

B20 Exterior Enclosure

Element Description	
Name	B201005 - Exterior Louvers and Screens - Roof
Installation Year	1993
Condition	3 - Poor
Expected Useful Life	40 Years
Remaining Useful Life	1 Year
Renewal Year	2024
Quantity / Unit of Measure	165 / SM
Unit Cost	\$164.00
Difficulty / Regional / Soft Cost Factors	1.00 / 1 / 1.3
Element Cost	\$35,178.00
Imported System ID	----

Description

The rooftop equipment is enclosed with metal panel screens supported on metal frame structures.

Condition Narrative

Deficiencies observed or reported at the time of the assessment include extensive corrosion on the frames, panels and joints. The observed deterioration is anticipated to progress. Replacement is recommended.

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Recommendations

Recommendations #1 - Exterior Louvers and Screens	
Type	Life Cycle Replacement
Year	2024
Cost	\$43,972.50
Imported Requirement ID	----

Replace Exterior Louvers and Screens

Element Description	
Name	B201027 - Pre-Cast / Cast in Place Wall Panels - All Elevations
Installation Year	1993
Condition	1 - Good
Expected Useful Life	75 Years
Remaining Useful Life	45 Years
Renewal Year	2068
Quantity / Unit of Measure	1365 / SM
Unit Cost	\$813.00
Difficulty / Regional / Soft Cost Factors	1.00 / 1 / 1.3
Element Cost	\$1,442,668.50
Imported System ID	SYS-450815

Description

The exterior walls on all elevations include a flat-faced precast concrete wall panel system which is likely independently supported to the structure by metal anchors. At the panel joints, a sealant is provided.

Condition Narrative

No major deficiencies were observed or reported. However, deteriorated sealant on precast panel wall joints was observed. Further deterioration may allow air and water leakage. Repair or replacement of the sealant is recommended. The replacement may require the removal and reinstatement of the backer rod.

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Recommendations

Recommendations #1 - Pre-Cast / Cast in Place Wall Panels	
Type	Major Repair
Year	2023
Cost	\$28,800.00
Imported Requirement ID	----

Deteriorated sealant on precast panel wall joints was observed. Further deterioration may allow air and water leakage. Repair or replacement of the sealant is recommended. The replacement may require the removal and reinstatement of the backer rod.

Element Description

Name	B201030 - Windows / Curtain Walls - All Elevations
Installation Year	1993
Condition	1 - Good
Expected Useful Life	50 Years
Remaining Useful Life	20 Years
Renewal Year	2043
Quantity / Unit of Measure	141 / SM
Unit Cost	\$1,045.00
Difficulty / Regional / Soft Cost Factors	1.00 / 1 / 1.3
Element Cost	\$191,548.50
Imported System ID	SYS-451210

Description

The exterior walls on all elevations include a curtain wall system consisting of vision and insulated metal panels. The insulated glass units (IGUs) are tinted plate glass. At the pressure plates vents are provided.

Condition Narrative

No major deficiencies were observed or reported. However, condensate between the IGU plate glass suggesting failed glazing seals were observed at isolated locations. Repair or replacement of the affected windows is recommended.

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Recommendations

Recommendations #1 - Windows / Curtain Walls	
Type	Major Repair
Year	2023
Cost	\$38,200.00
Imported Requirement ID	----

Condensate between the IGU plate glass suggesting failed glazing seals were observed at isolated locations. Repair or replacement of the affected windows is recommended.

Element Description	
Name	B203005 - Glazed Doors - Single - North and South Elevation
Installation Year	1993
Condition	3 - Poor
Expected Useful Life	25 Years
Remaining Useful Life	0 Years
Renewal Year	2023
Quantity / Unit of Measure	6 / Each
Unit Cost	\$4,646.00
Difficulty / Regional / Soft Cost Factors	1.00 / 1 / 1.3
Element Cost	\$36,238.80
Imported System ID	SYS-450819

Description

The exterior entrance and vestibule doors consist of glass double doors mounted to anodized metal frames with butt hinges. The door glazing is insulated glass units.

Condition Narrative

Deficiencies observed or reported at the time of the assessment include operational issues with the doors. Replacement is recommended.

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Recommendations

Recommendations #1 - Glazed Doors - Single	
Type	Life Cycle Replacement
Year	2023
Cost	\$45,298.50
Imported Requirement ID	----

Replace Glazed Doors - Single

Element Description	
Name	B203008 - Automatic Door Openers (Exterior) - Entrances
Installation Year	1993
Condition	3 - Poor
Expected Useful Life	15 Years
Remaining Useful Life	0 Years
Renewal Year	2023
Quantity / Unit of Measure	4 / Each
Unit Cost	\$4,646.00
Difficulty / Regional / Soft Cost Factors	1.00 / 1 / 1.3
Element Cost	\$24,159.20
Imported System ID	----

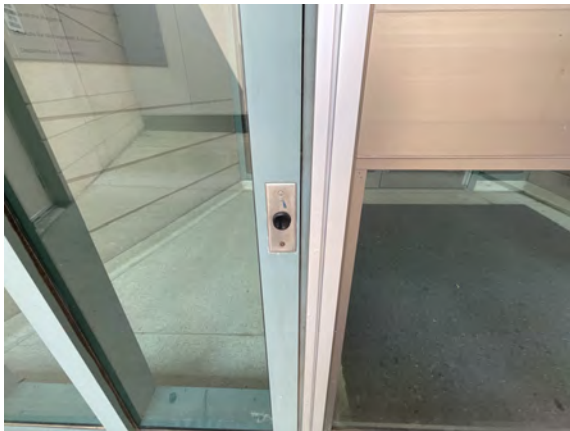
Description

The exterior entrance and vestibule doors include automatic door open devices, which are activated by door operators.

Condition Narrative

Deficiencies observed or reported at the time of the assessment include worn door operators and openers. The door operators may not comply with accessibility design guidelines. Replacement is recommended.

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Recommendations

Recommendations #1 - Automatic Door Openers (Exterior)	
Type	Life Cycle Replacement
Year	2023
Cost	\$30,199.00
Imported Requirement ID	----

Replace Automatic Door Openers (Exterior)

B30 Roofing

Element Description	
Name	B301021 - Conventional - Built-Up Roof - All Roof Sections
Installation Year	2021
Condition	1 - Good
Expected Useful Life	22 Years
Remaining Useful Life	20 Years
Renewal Year	2043
Quantity / Unit of Measure	2019 / SM
Unit Cost	\$314.00
Difficulty / Regional / Soft Cost Factors	1.00 / 1 / 1.3
Element Cost	\$824,155.80
Imported System ID	SYS-450821

Description

The flat or low-sloped roof structure has a roof assembly system, where the roof membrane is a multi-ply built-up membrane. Gravel stops completed with pre-finished metal cap flashing are provided at the roof perimeter. A metal cap flashing is provided at the parapet. Stormwater on the flat roof assembly system is directed to the roof drains that are connected to internal rainwater leaders. The roof drains are provided with gravel strainers

Condition Narrative

No major deficiencies were observed or reported. According to the provided information roof was replaced in 2021. However, extensive corrosion on the metal grating walkways was observed. Replacement of the walkways is recommended.

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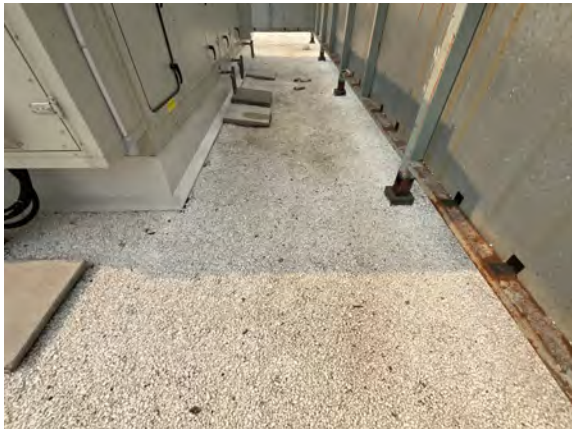
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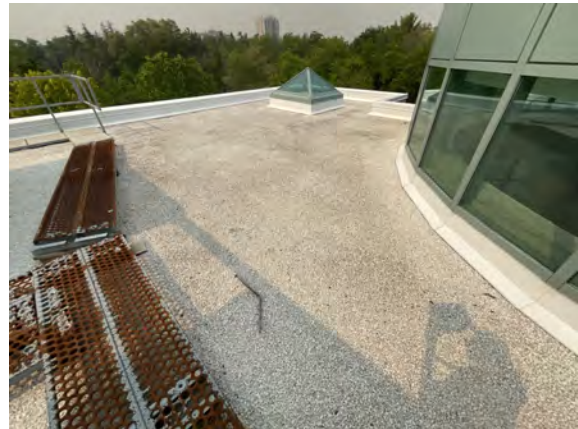
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Recommendations

Recommendations #1 - Conventional - Built-Up Roof	
Type	Major Repair
Year	2023
Cost	\$10,000.00
Imported Requirement ID	----

Extensive corrosion on the metal grating walkways was observed. Replacement of the walkways is recommended.

Element Description	
Name	B302021 - Skylights - Stair 247 and Corridor 216V
Installation Year	1993
Condition	3 - Poor
Expected Useful Life	25 Years
Remaining Useful Life	1 Year
Renewal Year	2024
Quantity / Unit of Measure	17 / SM
Unit Cost	\$1,742.00
Difficulty / Regional / Soft Cost Factors	1.00 / 1 / 1.3
Element Cost	\$38,498.20
Imported System ID	SYS-450955

Description

The roof includes two curbed-mounted pyramidal skylights. The skylights are metal framed and provides natural light to stairway 247 and corridor 216V below. The skylight glazing is tempered glass.

Condition Narrative

Deficiencies observed or reported at the time of the assessment include deteriorated glazing seals (cracks, debonding). Peeling paint and stains, suggesting water infiltration were observed on the interior gypsum ceiling in stairway 247. Replacement is recommended.

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Recommendations

Recommendations #1 - Skylights	
Type	Life Cycle Replacement
Year	2024
Cost	\$48,122.75
Imported Requirement ID	----

Replace Skylights