



## **ADDENDUM NO. 2**

### **Request for Proposals #: P-1260-24 Rotary Gardens Power and HVAC Upgrades**

#### **TO WHOM IT MAY CONCERN:**

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This addendum, issued Wednesday, December 4, 2024, must be incorporated into and made part of the above noted Request for Proposals document.

#### **ISSUE #1: AMENDMENT TO THE CLOSING DATE AND CLOSING TIME**

The following amendments have been made:

- A. The “Closing Date and Closing Time” referenced in Section 1.4.1 is hereby amended to:  
**TUESDAY, DECEMBER 10, 2024, AT 2:00 P.M. ET**
- B. The “Request for Proposals Closing Date” referenced in the table of events, dates and times in Section 3.1.1 is hereby amended to “Tuesday, December 10, 2024, at 2:00 p.m. ET”.

#### **ISSUE #2: AMENDMENT TO THE DEADLINE FOR ASKING QUESTIONS**

- A. Section 1.2.1 is amended to delete “**Questions are to be submitted no later than Wednesday, November 27, 2024, at 4:00 p.m. ET**” and replace with “**Questions are to be submitted no later than Thursday, December 5, 2024, at 4:00 p.m. ET**”.
- B. The “Deadline for asking questions in writing” in the table of events, dates and times in Section 3.1.1 is hereby amended to “Thursday, December 5, 2024, at 4:00 p.m. ET”.

#### **ISSUE #3: AMENDMENT TO P-1260-24 – COST PROPOSAL: CASH ALLOWANCES**

Pricing table “P-1260-24 – Cost Proposal: CASH ALLOWANCES” has been amended to include a \$20,000 lump sum cash allowance for “Abatement”.

NOTE: A new online submission form (reflecting this change) has been generated and saved to the “Documents” section of the Bids & Tenders project.

**ISSUE #4: RESPONSES TO QUESTIONS RECEIVED BY THE REGION AT THE NON-MANDATORY SITE MEETING**

**Question 1:** What is the height of the crawl space? Is it considered a confined space?

**Answer 1:** The crawl space height is 27” under the beams and 33” between the beams.

**Question 2:** Will moving bins be provided?

**Answer 2:** The Region will coordinate the relocation of tenant belongings.

**Question 3:** Please clarify the meaning of “Lot” in the Cost Proposal (Schedule of Prices): Divisional Pricing.

**Answer 3:** “Lot” is the all-inclusive price (i.e., upset limit) to provide all labour, materials and equipment necessary to complete the entire scope of work of RFP P-1260-24.

**ISSUE #5: RESPONSES TO QUESTIONS RECEIVED BY THE REGION FROM THE BIDDING SYSTEM**

**Question 4:** The drawings say to install the heat pumps on a concrete pad and makes no mention of installing them on a heat pump stand \*a heat pump stand is required as per the manufacture for a heat pump\* Please confirm?

**Answer 4:** The outdoor portion of the heat pump can be installed on wall brackets.

**Question 5:** The copper refrigeration lines are shown running exposed on the interior. Is this correct? Should we allow for lineset tracking to cover up the refrigeration lines?

**Answer 5:** The refrigerant pipes will be run neatly inside along the walls. Contractor to provide cover.

**Question 6:** Is the control wiring running exposed? are the walls being opened up to run cabling? If exposed can you provide a detail on the conduit?

**Answer 6:** All wires will run in exposed conduits at the ceiling height along the walls.

**Question 7:** can we remove the aluminum pipe jacket on the refrigeration lines This soft acr copper likely won't work with this type of jacket?

**Answer 7:** Aluminum jacket to be installed. Provide hard temper straight length as per specifications.

**Question 8:** You show the Indoor AC units and the baseboard heaters on a common thermostat? They are fed from two different electrical panels and one is line voltage ( BB Heaters) and one is low voltage control, do you have a schematic to show how this will work?

**Answer 8:** Please refer to specifications for type of thermostat. Contractor to provide all required wiring and relays for full operation.

**Question 9:** Do you have any photos of the crawl spaces you can provide?

**Answer 9:** Please see Appendix A – Crawl Space Photos attached hereto.

**Note:** Not all crawl spaces throughout the property have been waterproofed. Some are still exposed dirt/concrete block.

**Question 10:** Is it the Engineers intention to install the secondary duct banks under neath the existing cement sidewalk between the transformer pad and Boiler room #2?

**Answer 10:** Yes, that is correct.

The new secondary duct bank will be installed in a parallel path with the existing secondary duct bank. The exact path must be determined on site based on a detailed locate and scan service provided by the contractor as part of their scope of work. A locate layout of the existing underground services in attached hereto as Appendix B.

**Question 11:** Is there a cash allowance for Abatement?

**Answer 11:** See Issue #3 above.

**Question 12:** Is there a BAS /controls contractor required for this project? If so who is the Base building BAS contractor.

**Answer 12:** Rotary Gardens does not have a BAS system. No BAS contractor is required; all controls are local for each unit.

**Question 13:** Who is the base building fire alarm contractor?

**Answer 13:** Rotary Gardens does not have a fire alarm system. No fire alarm work is included within the scope of work.

**Question 14:** Please confirm if we can directly bury the Teck90 cables feeding the new residential suite panels, as mentioned in E-2.

**Answer 14:** Yes. Teck cables with inner PVC jackets are rated for direct buried applications.

**Question 15:** Do we need to run separate ground cables along with the Teck 90 cables to feed residential suite panels, considering that the Teck cables already include ground? Drawing asks for 3x#4AWG +GND.

**Answer 15: No separate ground cable is needed.**

**Question 16:** Can you confirm the location of the existing transformer, as well as the primary and secondary ducts? If the new duct routes conflict with the existing ones, we may need to isolate the power and set up a temporary service.

**Answer 16: Please refer to the Answer no. 10 above and Appendix B - Locate Layout of Existing Underground Services. The cost associated with the temporary service payable to local hydro will be paid by the Owner. The Contractor will be responsible for any other work and material needed for the temporary service connection.**

**Question 17:** Please include the fee for Oakville Hydro in the cash allowance, as they only provide estimates to the owner.

**Answer 17: Halton Region will be responsible for the costs associated with the new transformer and all electrical primary work. Any work done by Oakville Hydro will be billed directly to Halton Region.**

**Question 18:** Who will be responsible for supplying and installing the electrical heaters – EH-1 & EH-2?

**Answer 18: The heaters are supplied by mechanical contractor and install by electrical contractor.**

**Question 19:** Kindly confirm the working hours and any union requirements.

**Answer 19: There are no union requirements. Working hours are from 8:30am to 5:30pm.**

**Question 20:** How many devices in the laundry room need to be relocated or removed in order to run the pipes? This was not indicated in the drawings

**Answer 20: Consider the removal/relocation of five light fixtures. All damages to the ceiling and walls are to be fixed and painted.**

**Question 21:** Please provide specifications for electrical heaters – EH-1 & EH-2?

**Answer 21: Refer to drawing M-1 for performance, model and manufacturer.**

All other terms and conditions remain the same. This addendum must be acknowledged in the submitted document.

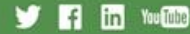
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**Appendix A – Crawl Space Photos**

**Photo 1**





Photo 2

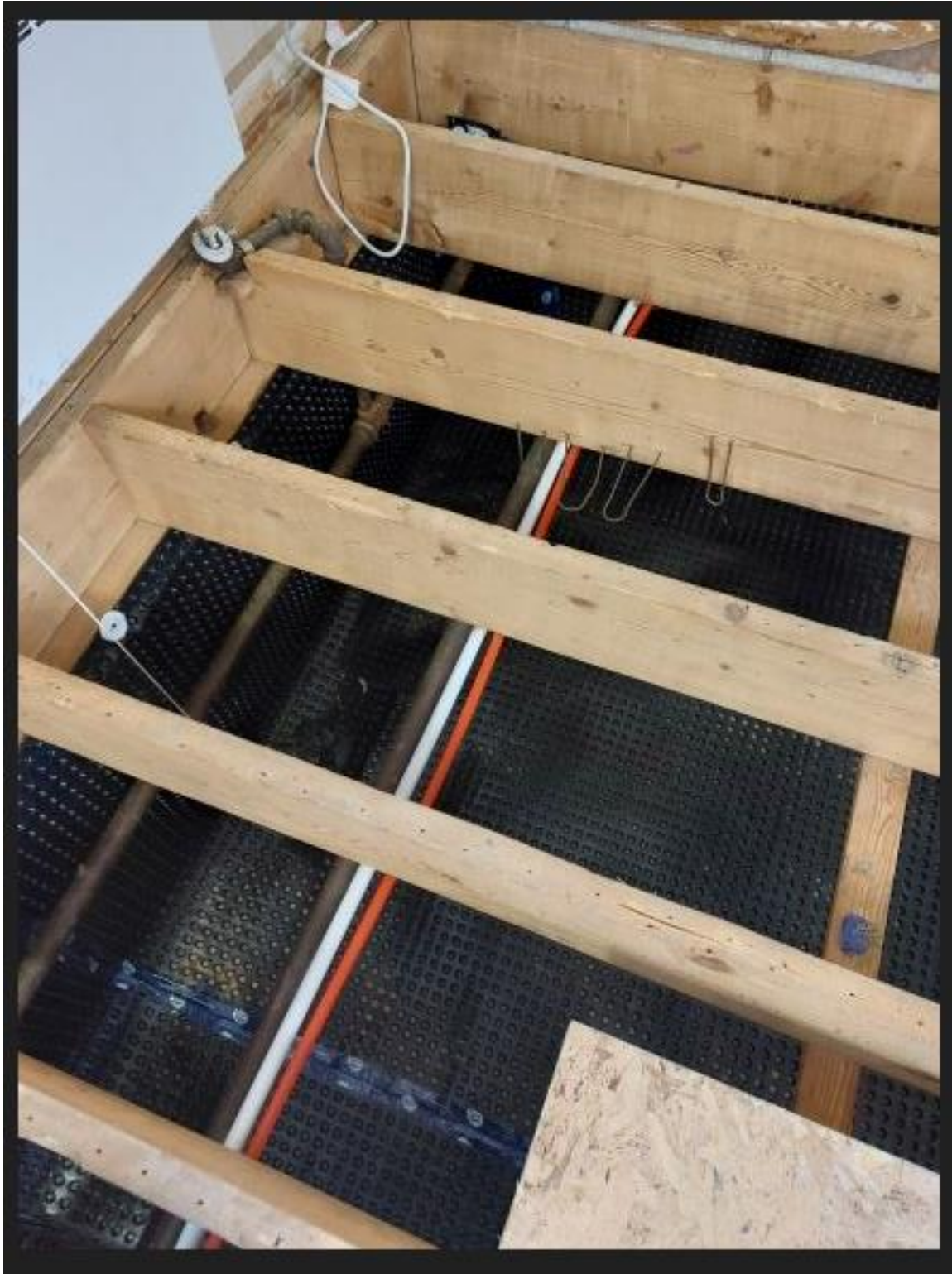


Photo 3





Photo 4



Photo 5

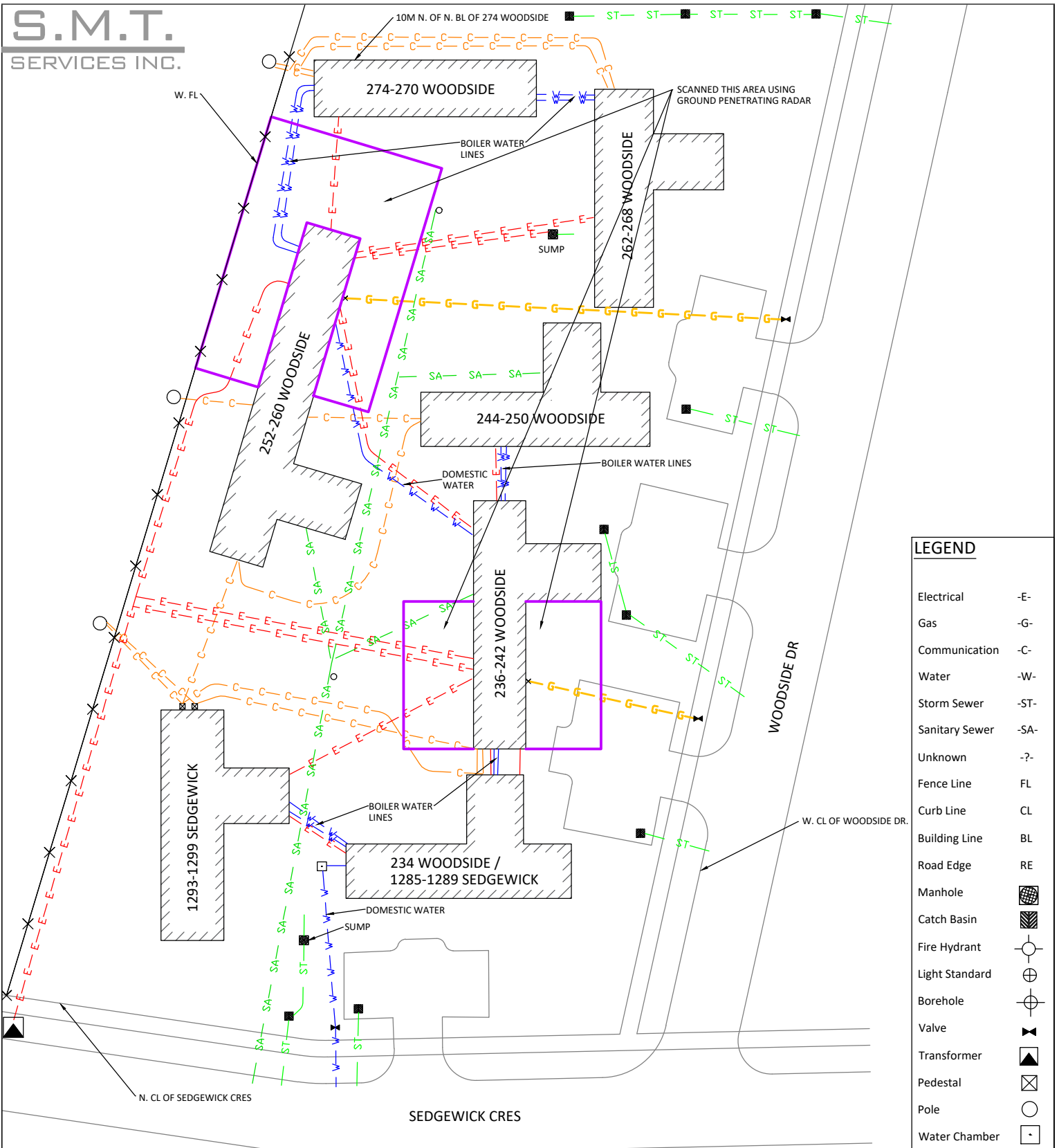


Photo 6



APPENDIX B - LOCATE LAYOUT OF EXISTING UNDERGROUND SERVICES

**S.M.T.**  
SERVICES INC.



LEGEND	
Electrical	-E-
Gas	-G-
Communication	-C-
Water	-W-
Storm Sewer	-ST-
Sanitary Sewer	-SA-
Unknown	-?-
Fence Line	FL
Curb Line	CL
Building Line	BL
Road Edge	RE
Manhole	
Catch Basin	
Fire Hydrant	
Light Standard	
Borehole	
Valve	
Transformer	
Pedestal	
Pole	
Water Chamber	

LOCATED AREA	From: W. FL	To: W. CL OF WOODSIDE DR.		Locator: S. T.
	From: 10M N. OF N. BL OF 274 WOODSIDE	To: N. CL OF SEDGEWICK CRES		Proj. #: SMT-17-007
Prepared For: Halton Region			Date: 03/02/17 (dd/mm/yy)	Scale: N. T. S.
Prepared By: S.M.T. SERVICES INC.	146 Mountville Ave. Hamilton ON. L9A1E5	smtservices@outlook.com 905-520-0516	Valid for 30 days	Page: 2 of 4