GRAND VALLEY ARENA RENOVATION & ADDITION

TOWN OF GRAND VALLEY

90 MAIN ST. N., GRAND VALLEY, ONTARIO, LON 5N6

NAME OF CONSULTANT: BARRY BRYAN ASSOCIATES

LIST OF DRAWINGS

COVER SHEET, DRAWING LIST, LOCATION MAP & OBC MATRIX

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ESC, GRADING &SERVICING PLAN

ARCHITECTURAL

A101 SITE PLAN A102 DEMOLITION SITE PLAN

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OVERALL FLOOR PLAN / LIFE SAFETY PLAN DEMOLITION: FLOOR PLAN AND PART CEILING PLAN A202

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> **EXISTING GROUND FLOOR PART PLANS - DEMOLITION** GROUND FLOOR PLAN - PLUMBING & DRAINAGE RENOVATION

GROUND FLOOR PLAN - FIRE PROTECTION

GROUND FLOOR PLAN - HVAC RENOVATION

MECH. ROOM PLAN - PLUMBING, DRAINAGE & HVAC

ROOF PLAN DETAILS

ELECTRICAL

DETAILS, KEYPLAN & LEGEND **DETAILS & SCHEDULES**

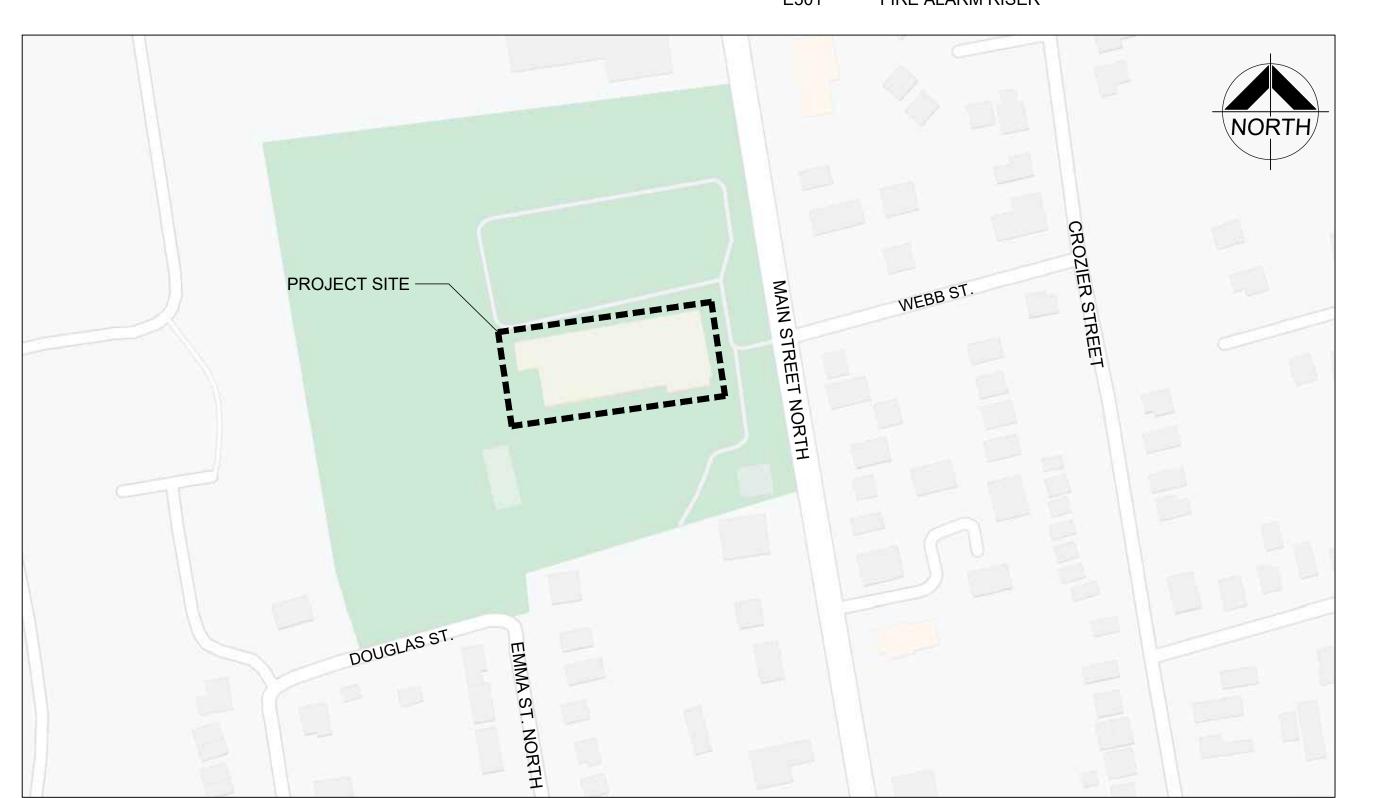
GROUND FLOOR DEMOLITION GROUND FLOOR RENOVATION LIGHTING

E302 GROUND FLOOR RENOVATION - POWER & SYSTEMS

ROOF POWER & SYSTEMS RENOVATION

DISTRIBUTION RISER DIAGRAM

FIRE ALARM RISER



Gran		tion and Interior Improvements	
LOCA 90 Ma Gran DATE			
JULY	⁷ 2024	Ontario Building Code Data Matrix Part 11 - Renovation of Existing Building	OBC Reference
1 00	Building Code Version		
	Project Type:	☐ Addition ☐ Renovation ☐ Addition and Renovation ☐ Change of use Description CHANGE ROOM ADDITION AND INTERIOR IMPROVEMENTS	[A] 1.1.2.
1.02	Major Occupancy Classification:	Occupancy	3.1.2.1.(1)
11.03	Superimposed Major Occupancies:	☐ Yes ☑ No Description	3.2.2.7
11.04	Building Area (m²)	Description ADDITION Existing 595.75 New 595.75 Total 595.75 EXISTING ±2,602 - ±2,602 - - - - Total= ±2,602 595.75 3197.75	[A] 1.4.1.2.
11.05	Building Height	2 (two) Storeys above grade ±8.365 (m) Above grade 0 (zero) Storeys below grade (Existing to be site verified)	[A] 1.4.1.2 & 3.2.1.1
11.06	Number of streets/ fire fighter access:	1 (one) street(s) (Existing)	3.2.2.10 & 3.2.5
	Building Size:	☐ Small ☐ Medium ☑ Large ☐ > Large	T.11.2.1.1.BN.
1.08	Existing Building Classification:	Change in Major Occupancy: Yes	11.2.1 T11.2.1.1A T11.2.1.1B to N, 4.2.1(3) & 5.2.2.1.(2)
11 00	Renovation Type:	☐ High ☐ Post-disaster ☐ Basic Renovation ☐ Extensive Renovation	11.3.3.1 & 11.3.3.2
	Occupant Load:	Floor Level/ Area Occupancy Type Based On Occup. Load	
11.11a	Plumbing Fixture Requirements:	Ratio: Male/Female = 50:50 Except as noted otherwise Floor level/ Area Occupant OBC Fixtures Fixtures GROUND (EXISTING)/ 2602 1000 3.7.4.3.C Required Provided SECOND (EXISTING)/ 686.8 250 3.7.4.3.C Existing 8 NEW ADDITION / 593.74 149 3.7.4.3.C 6 8	3.7.4
I1.11b	Plumbing Fixture Requirements: cont. NO CHANGE	Floor level/ Area B.F. Fixture B.F. Fixture Uni. Fixture Uni. Fixtures (Repeated) Required Provided Required Provided	Tables 3.8.2.3.A and 3.8.2.3.B
11.12	Barrier-free Design:	✓ Yes Explaination WHERE APPLICABLE ON RENOVATION EXTENT	11.3.3.2.(2)
1.13	Reduction in Performance Level:	Structural By Increase in occupant load: By change of major occupancy: Plumbing Sewage - system: No Yes Yes Yes No Yes Yes No Yes	11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
1.14	Compensating Construction:	Yes ✓ No Structural ✓ No By Increase in occupant load: ✓ No Yes By change of major occupancy: ✓ No Yes Plumbing ✓ No Sewage - system: ✓ No Extension of Combustible ✓ No Construction:	11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5 11.4.2.6 11.4.2.7
1.15	Compliance Alternatives Proposed:	☑ No ☐ Yes	11.5.1.
1.16	Notes:	PART 11 : MATRIX IS APPLICABLE TO THE LIMITS OF THE INTERIOR RENOVATION	11.5.1

NAME OF CONSULTANT: BARRY BRYAN ASSOCIATES
CERTIFICATE OF PRACTICE NUMBER: 5192
250 WATER STREET, SUITE 201
WHITBY, ONTARIO, CANADA. LIN 0G5
TEL: (905) - 666 - 5252
(Toronto) (905) - 427 - 4495
FAX : (905) - 666 - 5256
NAME OF PROJECT:
Grand Valley Arena Addition and Interior Improvements
at Grand Valley Recreation Complex
at Grand valley (1807) as in place
LOCATION OF PROJECT :
90 Main Street North,
Grand Valley, Ontario DATE:
JULY 2024

		Ontario Building Code Data Matrix Part 3	OBC Reference
3.00	Building Code Version	on: O. Reg. 332/12 Last Amendment: O. Reg. 191/14	
3.01	Project Type:	New	[A] 1.1.2.
3.02	Major Occupancy Classification:	Occupancy Use A3 ASSEMBLY - - - -	3.1.2.1.(1)
3.03	Superimposed Major Occupancies:	☐ Yes ☑ No Description	3.2.2.7
3.04	Building Area (m²)	EXISTING <u>±2,602</u> <u>-</u> <u>±2,</u>	al [A] 1.4.1.2. 5.75 602 97.75
3.05	Gross Area (m²)	GROUND FLOOR ±2,602 - ±2 SECOND FLOOR 686.8 686	5.75 .602
3.06	Mezzanine Area (m²) N/A	Description Existing New Total - - - - - - - - - - - - - - - - - - - - - - - -	3.2.1.1
3.07	Building Height		[A] 1.4.1.2 & 3.2.1.1
3.08	High Building	☐ Yes ☑ No	
3.09	Number of streets/ fire fighter access:	_1 (one) street(s)	3.2.2.10 & 3.2.5
3.10	Building Classificatio	n:3.2.2.31 Group/ DivA3 - ADDITION ONLY	3.2.2.20 83
3.11	Sprinkler System	☑ Required □ Not Required Proposed: □ entire building □ selected compartments ADDITION ONLY ☑ selected floor areas □ basement □ in lieu of roof rating □ none	3.2.1.5 & 3.2.2.17
3.12	Standpipe System	☑ Required ☐ Not Required	3.2.9
3.13	Fire Alarm System	☑ Required	3.2.4
3.14	Water Service/ Supply is Adequate	☑ Yes ☐ No	
3.15	ConstructionType:	Restriction: □Combustible Permitted ☑Non-combustible Required □Encapulated mass till Permitted Actual: □Combustible ☑Non-combustible □Encapulated mass till Permitted	0.044

3.15	ConstructionType:	Restriction: Combustible Permitted Mon-combustible Required Encapulated mass timber	3.2.2.20 83 &
		Actual: ☐Combustible ☐Encapulated mass timber	3.2.1.4
	Actual construction	Heavy Timber Construction: ☑No ☐Yes	
3.16	Importance Category:	□ Low □ Low human Occupancy □ Post-disaster shelter ☑ Normal □ High □ Minor storage building □ Explosives or hazardous substances	4.1.2.1. (3) & T4.1.2.1.B
		□ Post-disaster	
3.17	Seismic Hazard Index:	(I _E Fa Sa (0.2))=0.185 Seismic design required for Table 4.1.1.18. items 6 to 21: ((I Fa Sa (0.2))> or = 0.35 or Post-disaster) ☑No ☐Yes	4.1.2.1. (3) 4.1.8.18.(2)
3.18		Floor Level/ Area Occupancy Type Based On EXISTING Occup. Load GROUND (EXISTING)/ 2602 A3 EXISTING 1000 SECOND (EXISTING)/ 686.8 A3 EXISTING 250 NEW ADDITION / 595.75 A3 DESIGN 149	3.1.17
3.19	Barrier-free Design:	☑ Yes Explanation	3.8
		No Occupant Load:	
3.20	Hazardous Substances:	☐ Yes Explanation	3.3.1.2 & 3.3.1.19
3.21	Required Fire Resistance Ratings:	Horizontal Assembly Rating Supporting Assembly (H) in lieu of rating? Floors over basement Floors 1 HR Mezzanine N/A	3.2.2.20 83 & 3.2.1.4
3.22a	Spatial Separation:		3.2.3
	Wall Area	LD L/H Permitted Proposed FRR Noncombustible Combustible	

								₩ 100 □14//\	
Spatial Sep	paration:								3.2.3
Wall	Area	L.D.	L/H	Permitted	Proposed	FRR	Noncombustible	_	
	Of EBF	(m)	or H/L	Max. % Of	% Of	(Hours)	construction	construction w/ noncombustible	
	(m²)			Openings	Openings			cladding	
North	207.8	>50	43/4.8	100	7	-	✓	-	
South	EXISTIN	G (NO (HANGE	TO THIS SIDE	OF BUILDING			-	
East	FACES	A STRE	ET 100%	6 ACCEPTABLE			~	-	
West	59	>50	12/2.8	100	4	-	~	-	
(Addition wall areas contiued below)									
Spatial Separation: cont.									
Wall	EBF (Rep	eated)	Cons	struction Type	Cladding Typ	ре			
North					☐ Noncombu	ıstible]
South					☐ Noncombu	ıstible			
Fact					□ Noncombu	ıstible			1

			□ N	oncombustible	Э			
			□N	oncombustible	Э			
			□ N	oncombustible	е			
Ratio	: Male/F	emale = 5	0:50 E	xcept as noted	d otherwise			3.7.4
GR <u>OUN</u> SECON	ID (EXISTING ID (EXISTING	S)/ 686.8	Loa 100 25	0 0 0	OBC Reference 3.7.4.3.C 3.7.4.3.C 3.7.4.3.C	Fixtures Required Existing Existing 6	Provided 15 8 8	
				B.F. Fixture Provided	Require	ed Pr	ovided -	Tables 3.8.2.3.A and 3.8.2.3.B
Fixture ints:	GROUN SECON NEW AI	Floor level/ Area GROUND (EXISTING SECOND (EXISTING NEW ADDITION / 59 Fixture Floor level/ Area	GROUND (EXISTING)/ 2602 SECOND (EXISTING)/ 686.8 NEW ADDITION / 595.75 ———————————————————————————————————	Name	Ratio: Male/Female = 50:50 Except as noted ints: Floor level/ Area	Floor level/ Area	Ratio: Male/Female = 50:50 Except as noted otherwise ints: Floor level/ Area	Ratio: Male/Female = 50:50 Except as noted otherwise Floor level/ Area

MATRIX IS APPLICABLE TO THE LIMITS OF THE OF THE NEW ADDITION.

	cont.	-	- - - -	- - - -	- - - -	- - - -	and 3.8.2.3.B
3.24	Energy Efficiency:	Compliance Path: _ Climatic Zone: _	SB-10 Pre		6B-10, TABLE 5	.5-5 (2017)	12.2.1.2 SB-1 TABLE
3.25	Sound Transmission Design:	Is there more than 1	0 1	er building?:] Yes □ No		SB-3 5.8.1.2.(2),

250 Water Street Suite 201 Whitby, Ontario L1N 0G5 Fax: (905) 666-5256

e-mail: bba@bba-archeng.com PROJECT NO:

Engineers Project Managers

PROJECT:

90 MAIN ST. N

DRAWING:

OBC MATRIX

GRAND VALLEY ARENA

GRAND VALLEY, ONTARIO, LON 5N6

COVER SHEET, DRAWING

LIST, LOCATION MAP &

DISTRICT COMMUNITY CENTRE

TOWN OF GRAND VALLEY

RENOVATION & ADDITION

DO NOT SCALE THE DRAWINGS.

NO. ISSUES

CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.

ISSUED FOR CLIENT REVIEW

ISSUED FOR CLIENT REVIEW

ISSUED FOR 90% CLIENT REVIEW

ISSUED FOR TENDER & PERMIT

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Town of

DATE BY

DATE BY

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A000

CHECKED BY:

AS NOTED

MECHANICAL, ELECTRICAL:

DET Consulting Engineers MECHANICAL ELECTRICAL AQUATIC

LOCATION MAP A000

ARCHITECTURAL, STRUCTURAL:



CIVIL:

GENERAL

- PRIOR TO STARTING ANY WORKS, THE CONTRACTOR MUST ENSURE THAT ALL NECESSARY APPROVALS ARE IN PLACE FROM THE MUNICIPALITY, REGION, AND OTHER APPROVAL AGENCIES, AS REQUIRED.
- WORK SHALL BE CARRIED OUT IN COMPLIANCE WITH THE APPLICABLE HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS. THE GENERAL CONTRACTOR SHALL BE DEEMED TO BE THE CONSTRUCTORS AS DEFINED IN THE ACT.
- . WORKS AND MATERIALS SHALL CONFORM TO CURRENT MINISTRY OF THE ENVIRONMENT, CONSERVATION & PARKS, MUNICIPAL, REGIONAL AND ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS. FOR WORK WITHIN PRIVATE PROPERTY. WORKS AND MATERIALS SHALL CONFORM TO THE ONTARIO BUILDING CODE OR THE ABOVE-NOTED STANDARDS, WHICHEVER IS MORE STRINGENT.
- UTILITIES AND SERVICES WITHIN THE SITE AND ADJACENT WORK AREAS. UTILITIES AND SERVICES TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION AND/OR REPAIR, TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION, FOR ANY UTILITIES DISTURBED DURING CONSTRUCTION. DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO BE IMMEDIATELY REPORTED TO THE ENGINEER.
- ANY AREAS BEYOND THE LIMIT OF THE SITE DISTURBED DURING CONDITION OR BETTER TO THE SATISFACTION OF PROJECT ENGINEER,
- INFORMATION.

GRADING

- PRIOR TO COMMENCEMENT OF EARTHWORKS, SITE ALTERATION PLANS MUST BE APPROVED AND ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND OPERATIONAL. THE CONTRACTOR
- . ENGINEERED FILL SHALL BE INSPECTED AND TESTED BY THE GEOTECHNICAL CONSULTANT. PROOF ROLLING OF SUBGRADE WILL BE
- 4. GRANULAR COMPACTION TO BE PER GEOTECHNICAL REPORT.
- 6. DRIVEWAY PAVEMENT STRUCTURE PER THE GEOTECHNICAL ENGINEER'S SPECIFICATION
- 7. ASPHALT COMPACTION TO BE PER GEOTECHNICAL REPORT.
- 600.110. MOUNTABLE CURB SHALL BE AS PER OPSD 600.100. SEMI-MOUNTABLE CURB SHALL BE AS PER OPSD 600.090.
- . CONCRETE SIDEWALK: AS PER OPSD 310.020. WHERE SIDEWALK CROSSES RESIDENTIAL DRIVEEWAY: 150 mm DEEP. GRANULAR BASE UNDER SIDEWALK TO BE 75 mm GRANULAR 'A' AND SHALL BE INCREASED TO 150 mm UNDER DRIVEWAYS.
- 10. EXISTING BOUNDARY ELEVATIONS ALONG THE PERIMETER OF THE SITE SHALL REMAIN UNDISTURBED. DRAINAGE RECEIVED FROM ADJACENT PROPERTIES SHALL BE ACCOMMODATED AND DRAINAGE FROM THE
- ASPHALT AS PER DETAIL ON CV-2.
- 12. PAVEMENT MARKINGS SHALL BE PLACED AS SHOWN ON THE ARCHITECTURAL SITE PLAN WITH A MINIMUM OF TWO COATS OF ORGANIC SOLVENT BASED PAINT AS PER OPSS 1712.
- 13. INSTALL SIGNAGE AS PER THE ARCHITECTURAL SITE PLAN.
- 14. ALL EXCESS EXCAVATED MATERIAL SHALL BE REMOVED OFFSITE TO THE
- BETTER. THE RELOCATION OR REMOVAL OF TREES AND SHRUBS SHALL
- 17. REFER TO LANDSCAPE DRAWINGS FOR LOCATION AND TYPE OF ALL HARD LANDSCAPE SURFACES, INCLUDING CONCRETE SIDEWALKS, PAVING STONES, COLOURED CONCRETE, ETC.
- CONFIRM GRADING REQUIREMENTS AT LEVEL ACCESS LOCATIONS PRIOR TO CONSTRUCTION.

SANITARY SEWERS

- CONFIRM TO CSA-B182.1. ALL HIGH DENSITY POLYETHYLENE PIPES (HDPE) AND FITTINGS SHALL CONFIRM TO CSA-B182.6.
- 2. PVC SEWERS (450mm DIAMETER AND SMALLER): SDR-35, CSA B182.1-LATEST AMENDMENT AND B182.4 LATEST AMENDMENT, UNLESS
- 3. CONCRETE SEWERS (525 mm DIAMETER AND LARGER): CONCRETE (CLASS 65-D), CSA A257.2 OR LATEST AMENDMENT, UNLESS OTHERWISE
- 4. PVC PIPE SEWER BEDDING: OPSD 802.010.
- 5. CONCRETE PIPE SEWER BEDDING: OPSD 802.030 CLASS 'B' FOR TYPE 1 AND 2 SOILS. OPSD 802.031 FOR TYPE 3 SOILS. SOIL TYPE TO BE CONFIRMED BY THE GEOTECHNICAL CONSULTANT DURING EXCAVATION.
- 6. TRENCH BACKFILL UP TO 1.0 METRE FROM SUB-GRADE: COMPACT TO A MINIMUM OF 95% SPMDD.

- 4. THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ANY EXISTING THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING
- 5. ALL TEMPORARY TRAFFIC CONTROL AND SIGNAGE DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT ONTARIO TRAFFIC MANUAL BOOK 7: TEMPORARY CONDITIONS FIELD EDITION.
- CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR, TO ORIGINAL ARCHITECT AND LANDOWNER. GRASSED AREAS SHALL BE RESTORED BY PLACING 150 mm TOPSOIL AND ACTIVELY GROWING NUMBER 1 NURSERY
- 7. REFER TO THE ARCHITECTURAL SITE PLAN FOR DIMENSIONS AND LAYOUT

- SHALL MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL CONSTRUCTION IS COMPLETED TO THE SATISFACTION OF THE ENGINEER.
- 2. ENGINEERED FILL SHALL CONFORM TO THE SPECIFICATIONS PROVIDED IN THE GEOTECHNICAL REPORT, OR LATEST AMENDMENT THEREOF.
- REQUIRED PRIOR TO PLACEMENT OF GRANULAR MATERIALS. COORDINATE 3 INSPECTIONS WITH GEOTECHNICAL CONSULTANT.
- 5. ROAD PAVEMENT STRUCTURE (PER THE GEOTECHNICAL REPORT).
- B. BARRIER CURB WITHIN THE SITE TO BE CONSTRUCTED AS PER OPSD
- SUBJECT LANDS SHALL BE SELF-CONTAINED UNLESS NOTED OTHERWISE.
- 11. LAP JOINTS SHALL BE USED WHERE PROPOSED ASPHALT MEETS EXISTING
- CONTRACTOR'S APPROVED DISPOSAL SITE.
- 15. EMBANKMENTS SHALL BE SLOPED AT A MAXIMUM OF 3H:1V, UNLESS OTHERWISE SPECIFIED.
- 16. DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT OR ARBORIST.
- 18. CONTRACTOR TO ENSURE A 150mm ELEVATION DROP FROM FINISHED FLOOR TO PERIMETER GRADES AT BUILDING ENVELOPE. CONTRACTOR TO

- . ALL POLYVINYL CHLORIDE (PVC) PVC SEWER PIPES AND FITTINGS SHALL
- OTHERWISE SPECIFIED.
- 16. DURING CONSTRUCTION ALL CATCHBASINS SHALL BE EQUIPPED WITH TEMPORARY SPECIFIED. SEDIMENT CONTROL DEVICE. REFER TO DETAILS EROSION AND SEDIMENT CONTROL DRAWING.
 - 17. CONCRETE ADJUSTMENT UNITS FOR MANHOLES AND CATCHBASINS: OPSD 704.010, OPSS 407 AND CSA A257.4. MAXIMUM HEIGHT OF ADJUSTMENT UNITS SHALL BE 300mm.
 - 18. TERMINATE SEWERS 1.0 METRE FROM THE OUTSIDE FACE OF BUILDING, UNLESS OTHERWISE NOTED ON DRAWING.

CHAIN LINK FENCE

FIRE SERVICE MAINS AND WATER SERVICE PIPE COMBINED WITH FIRE SERVICE

2. PIPE: POLYVINYL CHLORIDE (PVC) CLASS 150 DR-18 PIPE, AWWA C900-07 AND

HORIZONTAL SEPARATION: MINIMUM 2.5 METRES FROM SEWERS AND SEWER

A SEWER, THE WATERMAIN SHALL BE INSTALLED WITH JOINTS LOCATED A

6. VERTICAL SEPARATION: MINIMUM 0.5 METRES. IF WATERMAIN MUST CROSS BELOW

PIPE FITTINGS: CAST IRON, CEMENT LINED, MECHANICAL JOINT, SHORT BODY

11. CATHODIC PROTECTION: OPSD 1109.011 AND OPSS 702. DUCTILE IRON FITTINGS:

THRUST BLOCKING: ALL TEES, PLUGS AND HORIZONTAL BENDS SHALL BE

PROVIDED WITH THRUST BLOCKING AS PER OPSD 1103.010 AND ONTARIO

13. TERMINATE SERVICES 1.0 METRE FRO THE OUTSIDE FACE OF BUILDING, UNLESS

14. ISOLATE NEW WATERMAIN FROM EXISTING LINES IN ORDER TO ALLOW

15. PRESSURE AND BACTERIOLOGICAL TESTING: AS PER MUNICIPAL STANDARD

INDEPENDENT PRESSURE TESTING AND CHLORINATION.

WHERE MANHOLE DEPTH EXCEEDS 5.0m.

11. JOINTS-PIPE AND MANHOLE: CSA A257.3.

GRANULAR 'B' COMPACTED TO 95% SPMDD.

1003.031 - (INTERNAL DROP FOR NEW MANHOLES).

AREAS AS PER OPSD 401.030.

10. MANHOLE FRAME AND COVERS: OPSD 401.010 - TYPE 'A'

OTHERWISE NOTED ON DRAWING. TERMINATE STUBS WITH PLUG AND 25mm BLOW

SPECIFICATIONS: ONTARIO BUILDING CODE AND MINISTRY OF THE ENVIRONMENT &

CLIMATE CHANGE. TREAT CHLORINATED WATER TO ACCEPTABLE LEVELS PRIOR TO

8. MANHOLES: OPSD 701.010 TO 701.015 (1200mm-3600mm) AND CSA A257.4.

9. SAFETY PLATFORM: OPSD 404.020 TO OPSD 404.022. INSTALL SAFETY PLATFORM

12. SANITARY MAINTENANCE HOLE SHALL HAVE WATERTIGHT FRAME AND COVER IN PONDING

13. BACKFILL: ALL MANHOLE AND CATCHBASIN EXCAVATIONS SHALL BE BACKFILLED WITH

15. DROP STRUCTURES: OPSD 1003.020 - (EXTERNAL DROP IF DROP IS MIN 1.2m). OPSD

1003.030 - (INTERNAL DROP FOR EXISTING 1500mm OR LARGER MANHOLES) OPSD

14. MANHOLE BENCHING: OPSD 701.021. CATCHBASIN MANHOLES TO BE BENCHED.

LENGTH LOWER SECTION AS REQUIRED COMPLETE WITH GUIDE PLATE.

10. TRACER WIRE: #12 AWG SOLID COPPER SUITABLE FOR DIRECT BURIAL.

MECHANICAL RESTRAINTS: OPSD 1103.010. RESTRAIN PIPE 12 METRES BACK FROM

CONFORMING TO ANSI/AWWA C110/A21.10. JOINTS: RUBBER GASKET CONFORMING

VALVE BOXES: 100mm SLIDING TYPE BOX WITH 750mm TOP SECTION AND 1.75m

5.4 kg ZINC ANODE. HYDRANTS, VALVES AND TEES: 10.8 kg ZINC ANODE. WHERE NEW WATERMAIN IS CONNECTED TO EXISTING CAST IRON OR DUCTILE IRON

WATERMAIN, ONE 14.5 kg MAGNESIUM ANODE SHALL BE PLACED ON EACH SIDE

CSA B137.3 LATEST AMENDMENT. TYPE K COPPER, ASTM B88.

BEDDING AND TRENCH DETAIL: OPSD 802.010 - CLASS 'B'.

MINIMUM COVER: 1.80m FROM PROPOSED FINISHED GRADES.

MINIMUM OF 2.5 METRES FROM THE POINT OF CROSSING.

MANHOLES, MEASURED FROM THE NEAREST EDGES.

TO ANSI/AWWA C111/A21.11.

OF THE CONNECTION

DISCHARGE.

BUILDING CODE S.7.3.4.9.

MAINS SHALL BE IN CONFORMANCE WITH NFPA 24, "INSTALLATION OF PRIVATE

FIRE SERVICE MAINS AND THEIR APPURTENANCES", UNLESS OTHERWISE NOTED ON

FENCE 3.2S -

APPROXIMATE TIE_LIMIT

ON THIS PAGE.

PROPOSED 50mm DOMESTIC —

CONNECT TO PROPOSED

CONNECTION DETAILS

AND 150mm FIRE LINE TO

MECHANICAL ROOM. SEE

MECHANICAL DRAWINGS FOR

MATCH EXISTING ASPHALT

WITH LAP JOINT PER DETAIL

- 19. LASER ALIGNMENT AND ELEVATION CONTROL TO BE UTILIZED FOR SEWER INSTALLATIONS.
- 20. FLUSH AND INSPECT SEWERS VIA CCTV CAMERA. SUBMIT ONE WRITTEN REPORT AND TWO DVD VIDEOS IN AN MPEG FORMAT TO THE ENGINEER FOR REVIEW.

EROSION AND SEDIMENT CONTROL NOTES 7. TRENCH BACKFILL WITHIN 1.0 METRE OF SUB-GRADE: COMPACT TO A MINIMUM OF 98%

1. INSTALL TREE PRESERVATION FENCING AS PER THE APPROVED TREE PRESERVATION PLAN PRIOR TO COMMENCEMENT OF ANY SITEWORKS.

PR. 150mm FIRE LINE PVC (SDR 18 CL150) WM

PR. 50mm DOMESTIC PE (S160) WM -

475.97 .475.99

ROOF DRÁINAGÉ NOTÉS:

LEADERS DRAIN ONTO GRADE

BUILDING ADDITION TO HAVE RAINWATER

2. INSTALL EROSION AND SEDIMENT CONTROLS (ESC) PRIOR TO COMMENCEMENT OF ANY SITE WORKS. ESC MEASURES TO BE INSPECTED BY THE ENGINEER, CONSERVATION AUTHORITY AND MUNICIPALITY PRIOR TO COMMENCEMENT OF ANY SITEWORKS.

- FENCE 3.0S

GRADE ELEVATIONS

,476.04

BUILDING ADDITION

MUNICIPAL No. 90

EXISTING BUILDING

FFE. 476.40

3 4 0 7 0 - 0 0 2 1

APPROXIMATE TIE LIMIT.

ON THIS PAGE.

MATCH EXISTING ASPHALT

WITH LAP JOINT PER DETAIL

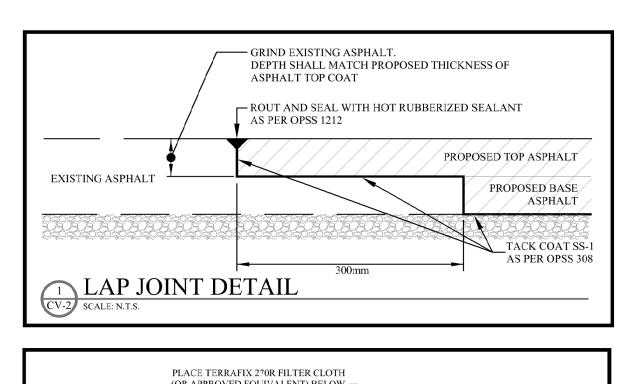
SAN INV. 474.50-

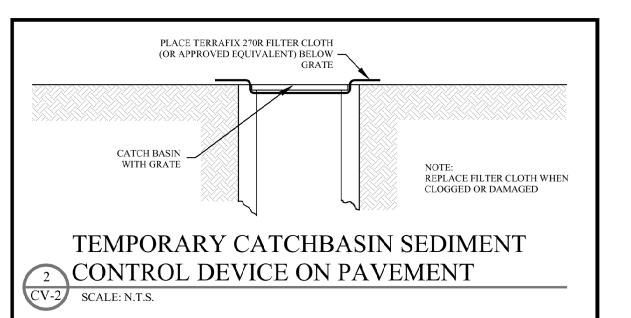
AT BUILDING FACE

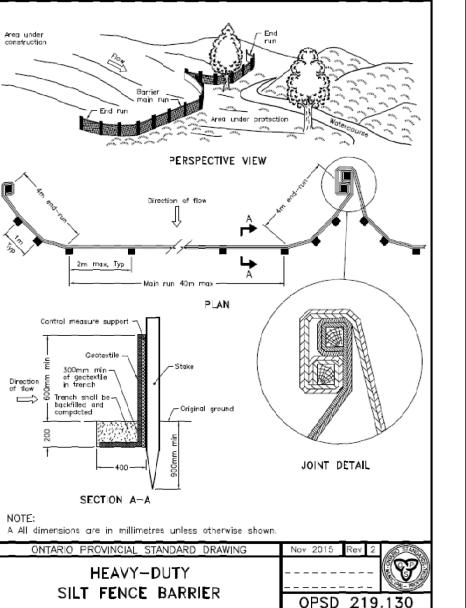
476.09

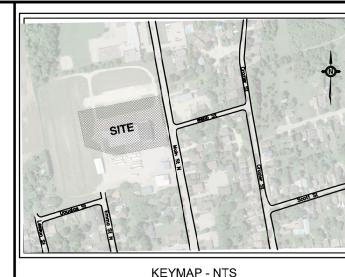
476.25

- 3. INSPECT EROSION AND SEDIMENT CONTROL MEASURES REGULARLY AND AFTER WET WEATHER EVENTS. REPAIRS AND OR SEDIMENT REMOVAL MUST BE COMPLETED WITHIN 24 HOURS OF INSPECTION.
- 4. STRIPPED GROUND LEFT INACTIVE FOR OVER 30 DAYS SHALL BE VEGETATED BY HYDROSEEDING OR APPROVED EQUIVALENT.
- 5. INSTALL SEDIMENT CONTROL FENCE AROUND THE BASE OF EARTH STOCKPILES. MAXIMUM STOCKPILE SIDESLOPES TO BE 1.5 (H) TO 1.0 (V). MAXIMUM STOCKPILE HEIGHT NOT TO EXCEED 3.0 METRES.
- 6. IMPLEMENT DUST CONTROL MEASURES AT ALL TIMES.
- 7. CLEAN MUD TRACKING AND SWEEP PUBLIC ROADS ON A REGULAR BASIS.
- 8. INSTALL OIL/GRIT SEPARATOR AND CONSTRUCT BULKHEAD IN DOWNSTREAM MANHOLE TO CONTROL SEDIMENT.
- 9. INSTALL CATCHBASIN SEDIMENT CONTROL DEVICES IMMEDIATELY FOLLOWING INSTALLATION OF CATCHBASIN.









KEYMAP - NT

L	KEYMAP - NTS					
	No.	DATE	REVISION / ISSUED NOTE			
	1.	2022/07/19	ISSUED FOR COSTING			
	2.	2024/07/05	ISSUED FOR COORDINATION			
	3.	2024/07/22	ISSUED FOR COORDINATION			
	4.	2024/12/10	ISSUED FOR TENDER			

LEGEND

=476.91

- EXISTING STORM

EXISTING DITCH

INSTALL TEMPORARY

PROTECTION DEVICE.

- 300x300x150mm

PER TOWN

STANDARDS

TAPPING SLEEVE AND

- 150mm GATE WV&B

REFER TO DETAIL (TYP.)

CATCHBASIN

CUL VERT

— FENCE 2.5S

HEAVY DUTY SILT FENCE

PER OPSD 219.130

- APPROXIMATE RESTORATION

JUMIT. MATCH EXISTING

ASPHALT WITH LAP JOINT

PER DETAIL ON THIS PAGE.

MH1A(12000)V=476.86

APPROXIMATE RESTORATION

LIMIT. MATCH EXISTING

ASPHALT WITH LAP JOINT

PR. 150mm FIRE LINE PVC

EX. WM INV = 474.25 (TO BE FIELD VERIFIED)

WATERMAINS. MAINTAIN MINIMUM VERTICAL SEPARATION OF 0.50m BETWEEN WATERMAINS

PR. WM OBV = 473.75

NOTE: MAINTAIN 1.8m COVER OVER

CLEARANCE = 0.50m

PER DETAIL ON THIS PAGE.

T/C 475.91

LINE PUC (SDR

W INV. 474.27

SE INV. 474.22

— APPROXIMATE TIE LIMIT. MATCH EXISTING ASPHALT

ON THIS PAGE.

476.30 1.5%

PR. 150mm FIRE LINE PVC (SDR 18 CL150) WM -

WITH LAP JOINT PER DETAIL

-24.3m-1500 SAN PVC @ 1.00% (INSULATE)

APPROXIMATE RESTORATION

LIMIT. MATCH EXISTING ASPHALT WITH LAP JOINT

PER DETAIL ON THIS PAGE.

33.3m-1500 SAN PVC-

@ 0.50% (INSUKATE)

EX. WM TNV =/474.1/4

CLEARANCE = 0.50m

PR. WM OBV = 473.64

PR. 50mm DOMESTIC -

PE (S160) WM

CORE INTO EXISTING -

BENCH MH TO SUIT.

SAN MH AT INV. 474.05.

EXISTING SAN MH TO B

PUMPED/FLUSHED CLEANED

PRIOR TO SERVICING WORKS.

PROPOSED DOMESTIC WATER SUPPLY TO

ADDITION MECHANICAL ROOM. EXISTING

METER TO REMAIN. SEE MECHANICAL DRAWINGS FOR INTERNAL CONNECTIONS

CONNECT AFTER EXISTING METER AND

ROUTED EXTERNALLY TO BUILDING

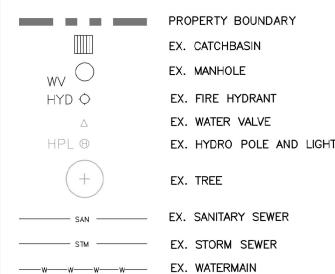
EXISTING WATER -

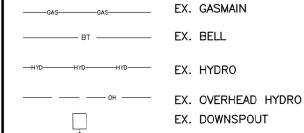
RESTORE EX. CURB AND SIDEWALK TO

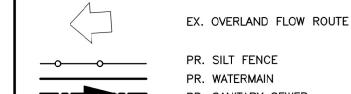
METER ROOM

EXISTING CONDITION OR BETTER

TO REMOVE ALL DEBRIS

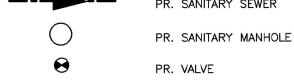






EX. HYDRO POLE

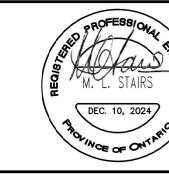
PR. SEDIMENT TRAP



BENCHMARK BEARINGS SHOWN HEREON ARE GRID BEARINGS AND ARE DERIVED FROM GPS OBSERVATIONS AND ARE REFFERED TO

THE UTM PROJECTION, ZONE 17. NAD 83-CSRS (2010)

TOPOGRAPHIC SURVEY PROVIDED BY VAN HARTEN SURVEYING FILE NO 30739-21, DATED JANUARY 10, 2022



Consulting Engineering & Project Management





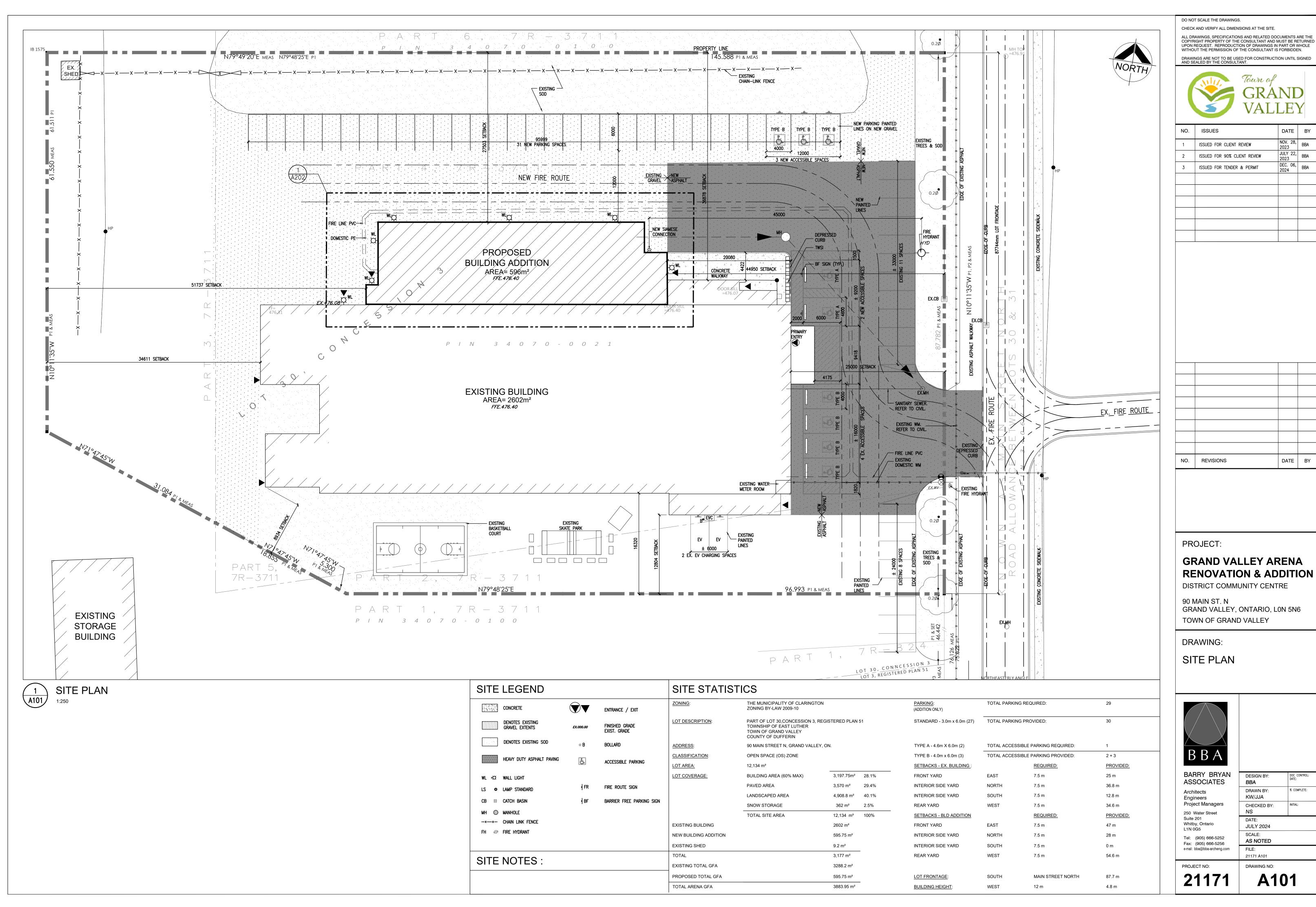
(905) 666-5252 (905) 666-5256 bba@bba-archeng.com

ASSOCIATES

90 Main St N, Grand Valley, ON

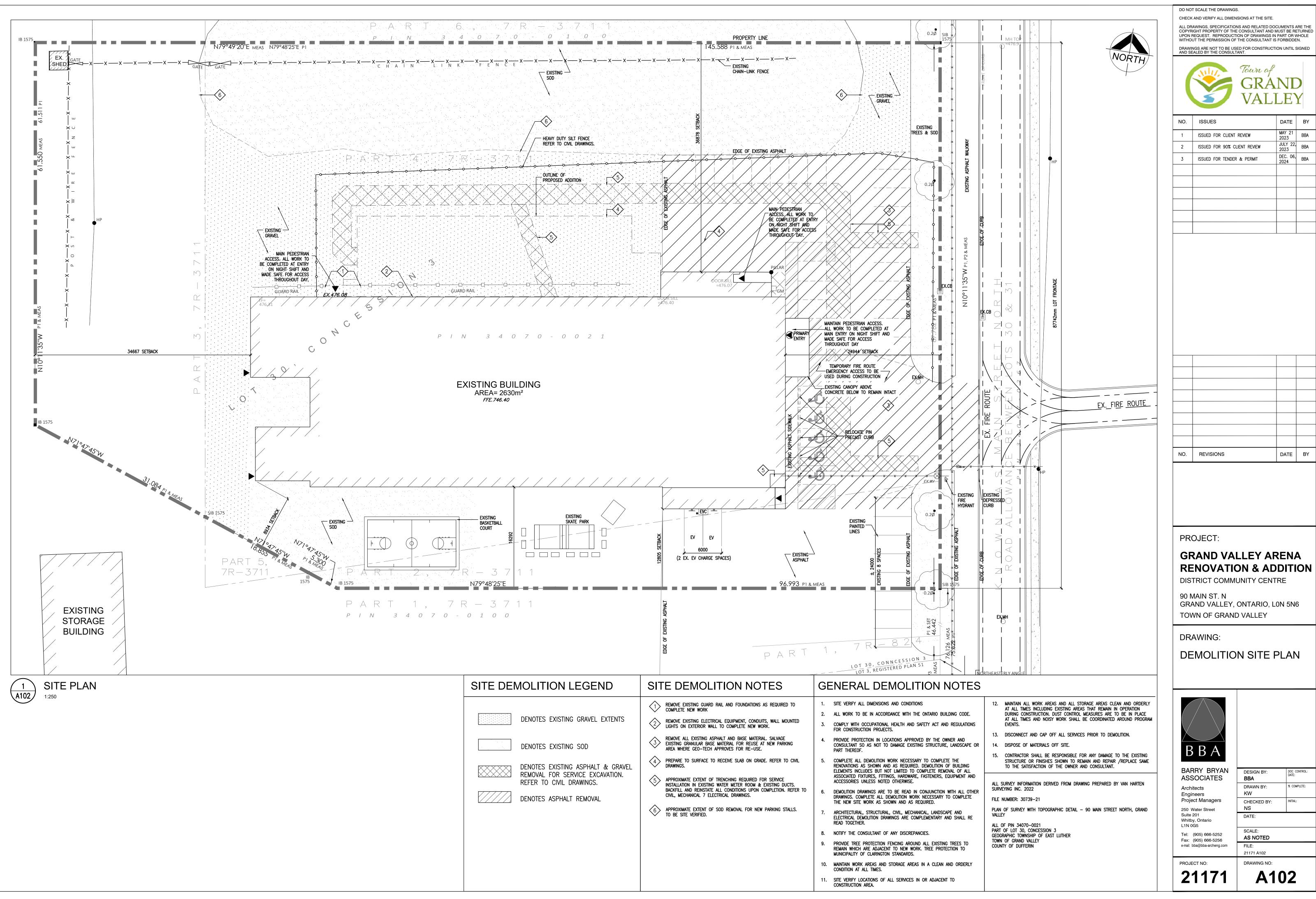
ESC, GRADING & SERVICING **PLAN**

CURRENT ISSUE:	CURRENT REV:	CV-2
1:250	2022-029	JULY 2022
SCALE:	PROJECT NO.:	DATE:
СВ	AP	AP
DRAWN BY:	CHECKED BY:	JOB CAPTAIN:



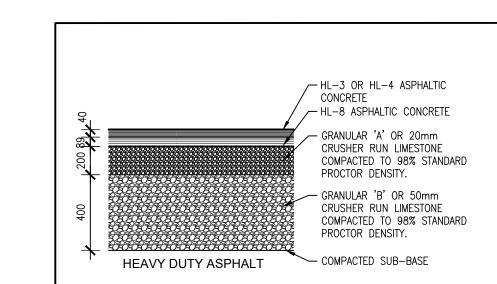
	NO.	ISSUES	DATE	BY
	1	ISSUED FOR CLIENT REVIEW	NOV. 28, 2023	BBA
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	3	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA

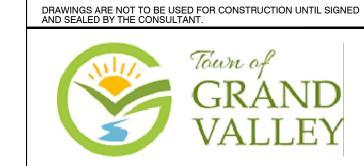
NO.	REVISIONS	DATE	BY



NO.	ISSUES	DATE	Е
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3	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BE

NO.	REVISIONS	DATE	BY



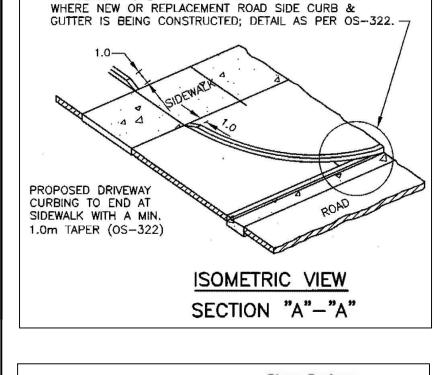


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ASPHALT COMPOSITION

MONOLITHIC CURB TRANSITION TO BE INCORPORATED

A103

<u>GENERAL NOTES:</u>
1. ALL WORK SHALL BE IN CONFORMANCE

2. ENSURE A CLEAN, FLUSH TRANSITION TRANSITION BETWEEN CONCRETE PAVING

3. ALL CONCRETE TO HAVE COMPRESSIVE STRENGTH OF 32MPa c/w 5-8% AIR

4. ALL EXPOSED SURFACES OF CONCRETE TO BE BRUSHED FINISH, RUNNING PERPENDICULAR TO DIRECTION OF

5. EXPANSION JOINTS TO BE PROVIDED

AT ALL STRUCTURES AND w/ JOINT

AT 1800mm O.C. MAX. U.N.O.

SPACING AT 3000mm O.C. MAX. U.N.O. 6. SAWCUT CONTROL JOINT SPACING TO BE

AND ADJACENT MATERIALS.

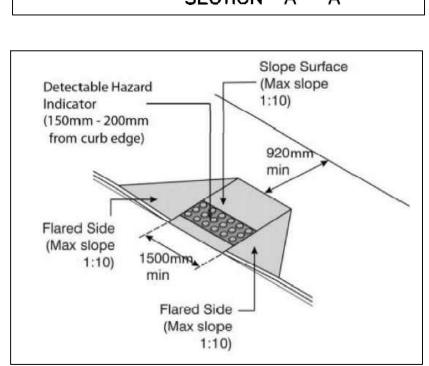
AND REGULATIONS.

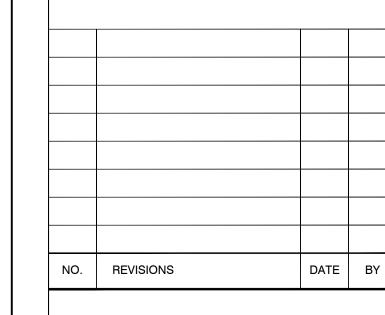
ENTRAINMENT.

PEDESTRIAN FLOW.

WITH ALL CURRENT APPLICABLE CODES

1:20





TYP. CONCRETE PAVING DETAILS A103

A – CONCRETE PAVING

1 A103

SAWCUT CONTROL JOINT -

C - CONCRETE PAVING CONTROL JOINT

B - CONCRETE PAVING EXPANSION JOINT

c/w POLYSULPHIDE

POLYSULPHIDE SEALANT -(TOOLED CONCAVE) AND POLYMER BACKER ROD

EXPANSION JOINT FILLER

600mm LG 15mmØ ——— SMOOTH ROD IN GREASED SLEEVE SET @ 900mm C/C

150mm CONC. PAVING ---c/w 9ga. 150x150 W.W.M. RÉINF. AT MID DEPTH, MIN. 50mm FROM EDGES

200mm GRANULAR 'A'

UNDISTURBED EARTH OR —— COMPACTED SUB-GRADE

98% S.P.D.



GRAND VALLEY ARENA RENOVATION & ADDITION DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 5N6 TOWN OF GRAND VALLEY

DRAWING:

PROJECT:

SITE DETAILS



BARRY BRYAN ASSOCIATES Architects Engineers Project Managers 250 Water Street Suite 201 Whitby, Ontario

PROJECT NO:

21171

L1N 0G5 Tel: (905) 666-5252

NS DATE: MAY 7, 2023 AS NOTED

DESIGN BY:

DRAWN BY:

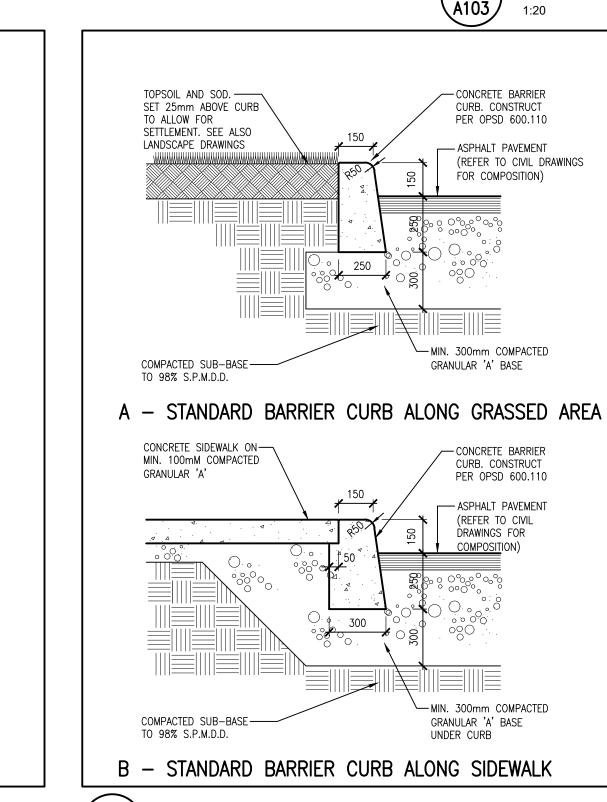
CHECKED BY:

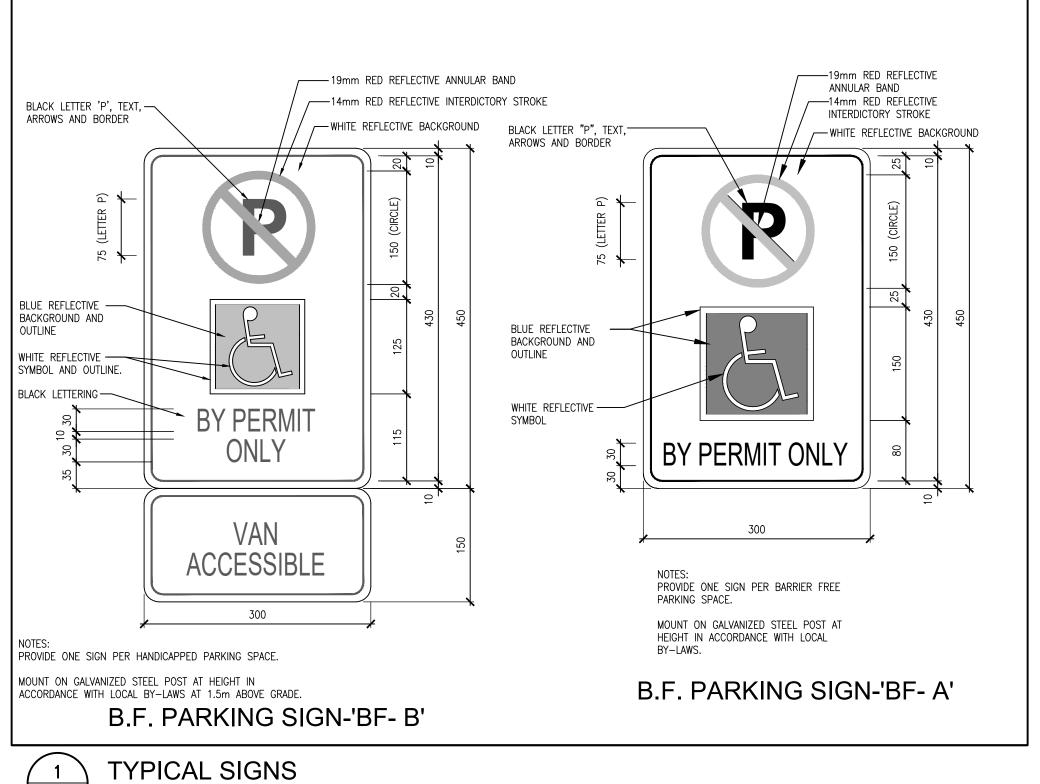
KW

COMPLETE:

Fax: (905) 666-5256 FILE: e-mail: bba@bba-archeng.com 21171 A103

DRAWING NO: A103





TYPICAL EXTERIOR BOLLARD 5 A103

ROUNDED TOP -

152mmø STEEL PIPE ———

BOLLARD

FILL BOLLARD —

25MPa CONC —

ALL BOLLARDS ARE TO BE PAINTED WITH PRIME COAT AND FINISHED WITH TWO

COATS OF RUST INHIBITOR

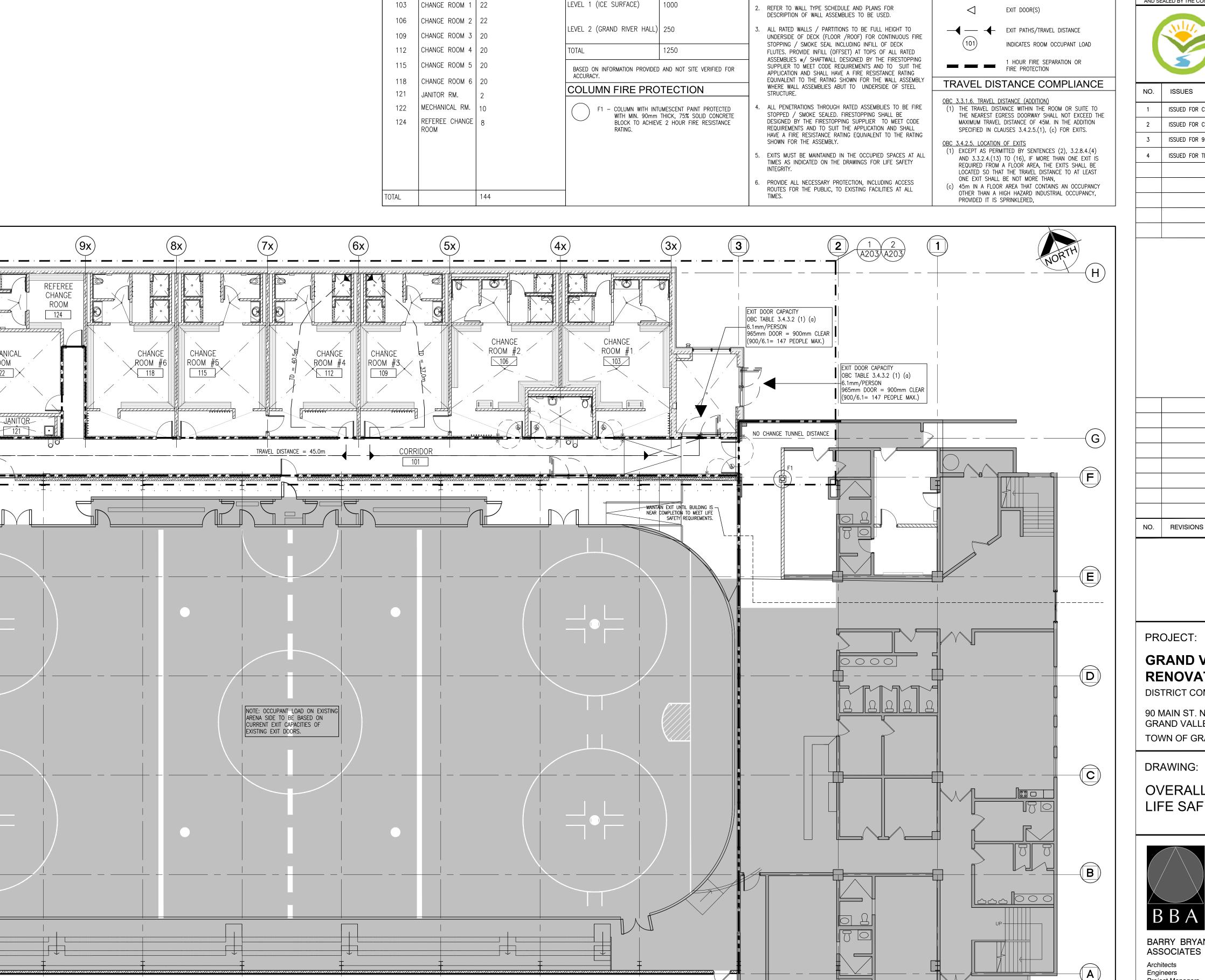
EXTERIOR GRADE 'YELLOW'

FOUNDATION

6 A103

WITH 25MPa CONC

TYPICAL CONCRETE CURB DETAILS



EXISTING EXIT DOOR —

3

2

1

ADDITION OCCUPANT LOAD:

ROOM NO. ROOM NAME:

(7x)

56296 **(W5**)

SEPARATE PRICE SIDING INSULATION

(8x)

ROOM #6

CHANGE

|| ROOM #5

REFEREE CHANGE ROOM

- | MECHANICAL

ROOM

EXIT DOOR CAPACITY

6.1mm/PERSON

OBC TABLE 3.4.3.2 (1) (a)

965mm DOOR = 900mm CLEAR

NEW DOOR & FRAME

FULL HEIGHT HOARDING AROUND CONSTRUCTION ZONE

EXISTING O/H GATE FOR RESURFACER MACHINE

EXISTING EXIT DOOR

(900/6.1= 147 PEOPLE MAX.)

PERSONS - DESIGN OF

BUILDING

EXISTING OCCUPANT LOAD

PERSONS - DESIGN OF

BUILDING

NOTES

ALL EXISTING FLOOR ASSEMBLIES SHALL BE FIRE

SEPARATIONS SHALL BE 1HR. MINIMUM (EXISTING)

SEPARATIONS WITH MINIMUM 1 HR. F.R.R. ALL FLOOR

DO NOT SCALE THE DRAWINGS.

LIFE SAFETY LEGEND

PUBLIC ENTRANCE

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NO.	ISSUES	DATE	ВҮ
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3	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
4	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA

PROJECT:

GRAND VALLEY ARENA RENOVATION & ADDITION

DATE BY

DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 5N6 TOWN OF GRAND VALLEY

DRAWING:

OVERALL FLOOR PLAN LIFE SAFETY PLAN



ASSOCIATES Architects Engineers Project Managers 250 Water Street Suite 201 Whitby, Ontario

% COMPLETE: KW/JJA CHECKED BY: NS NOV. 28, 2023

L1N 0G5 Tel: (905) 666-5252 Fax: (905) 666-5256 e-mail: bba@bba-archeng.com

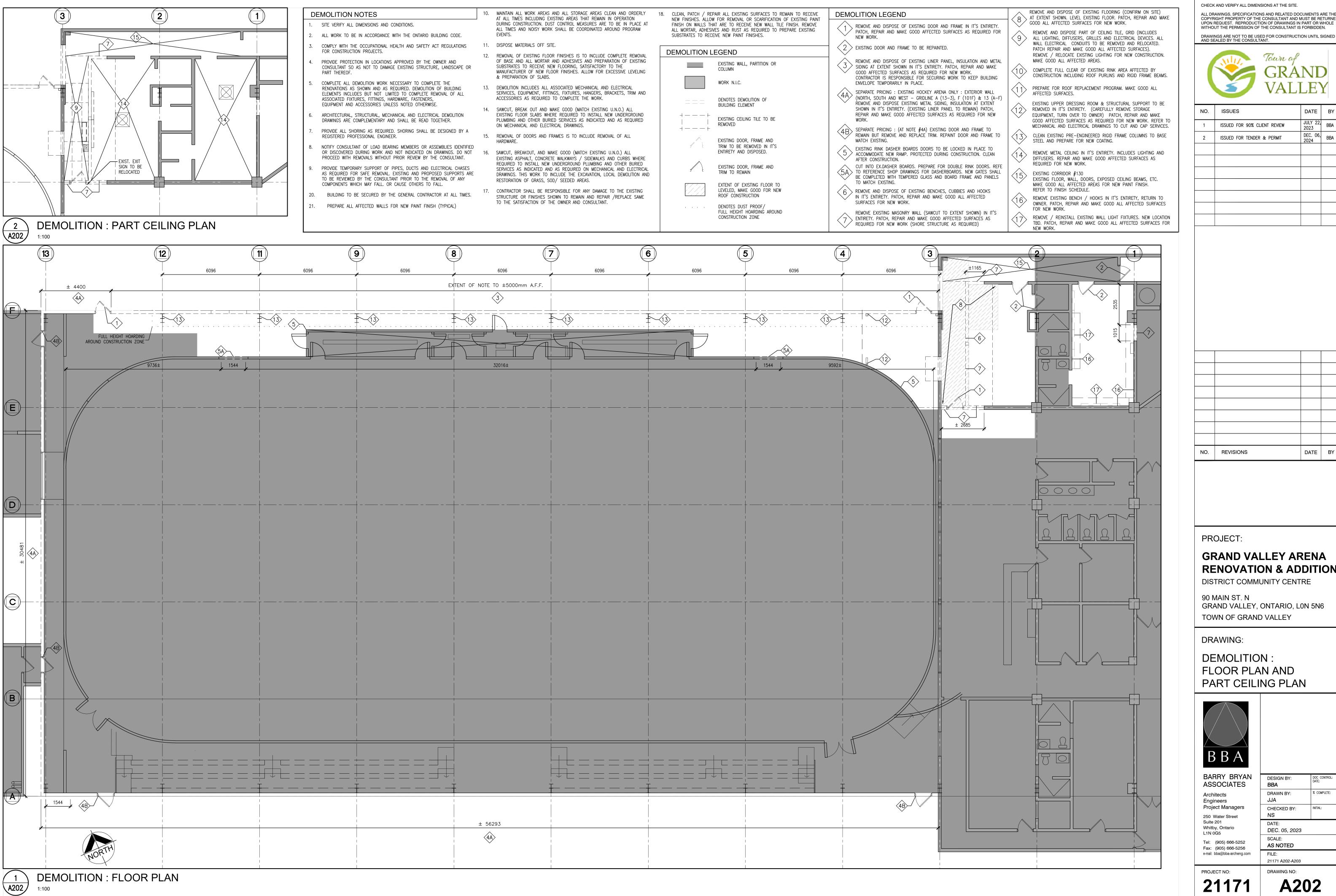
AS NOTED

PROJECT NO: 21171 **A201**



- EXISTING O/H DOOR

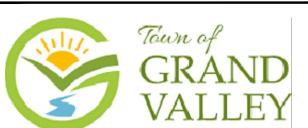
D



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PROJECT:

GRAND VALLEY ARENA RENOVATION & ADDITION

DATE BY

DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 5N6 TOWN OF GRAND VALLEY

DRAWING:

DEMOLITION: FLOOR PLAN AND PART CEILING PLAN



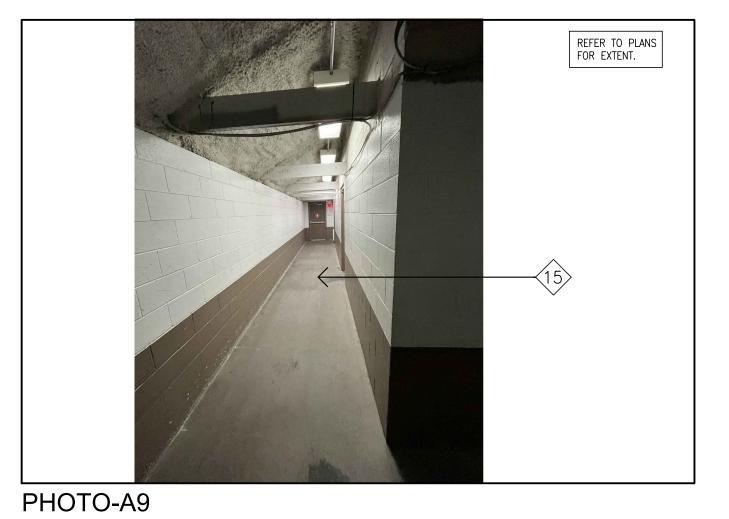
Engineers Project Managers

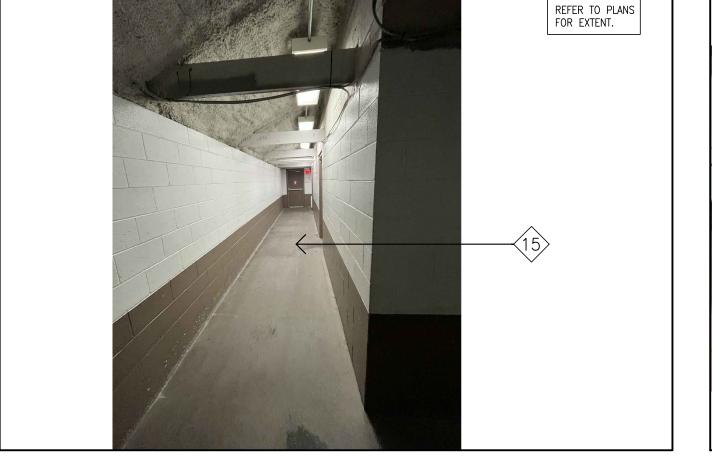
DEC. 05, 2023

AS NOTED

PROJECT NO: 21171

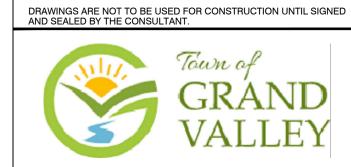
A202









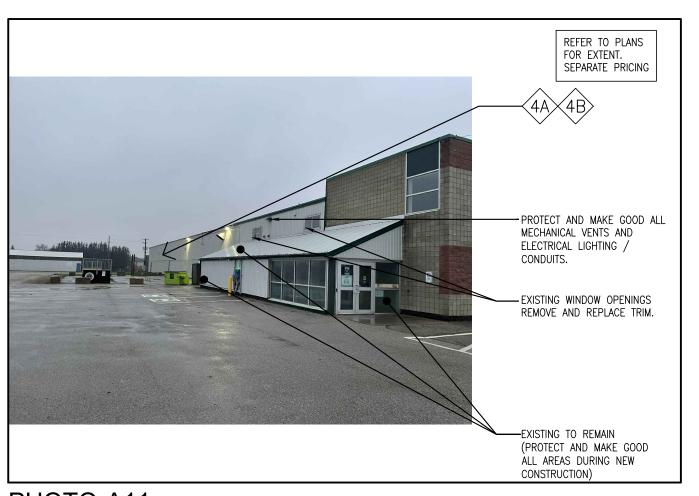


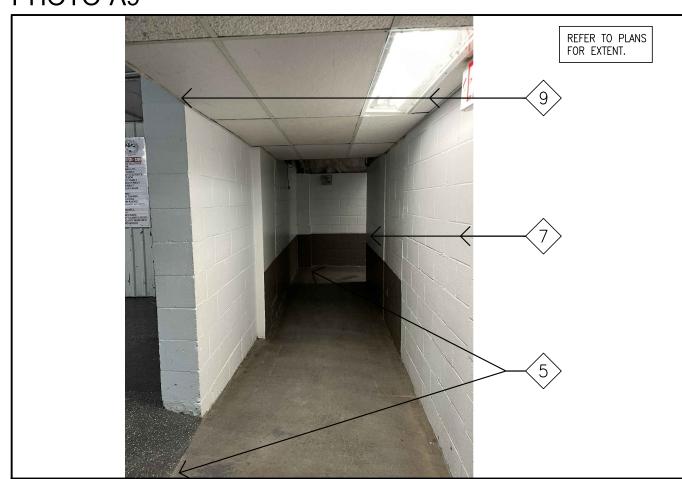
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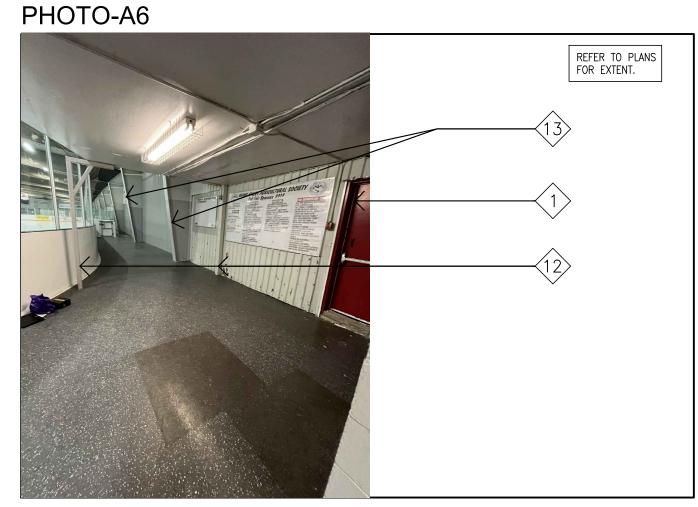
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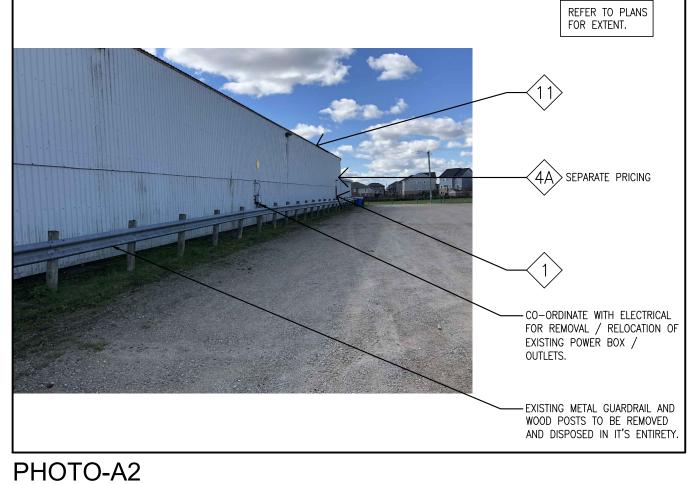
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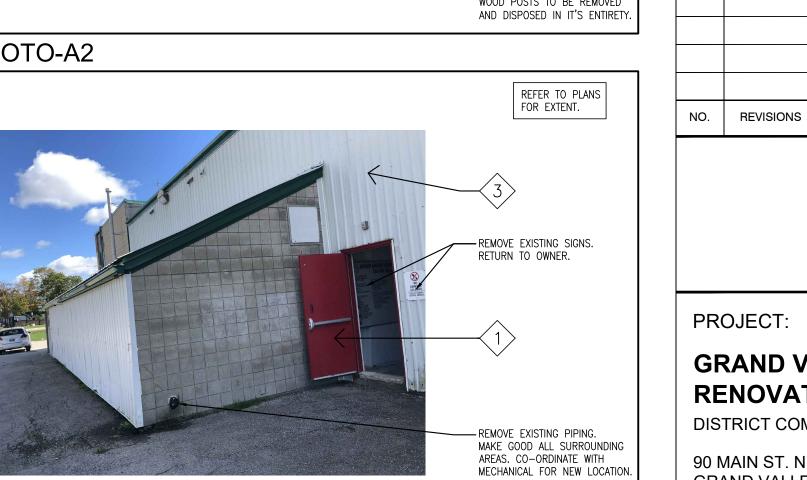
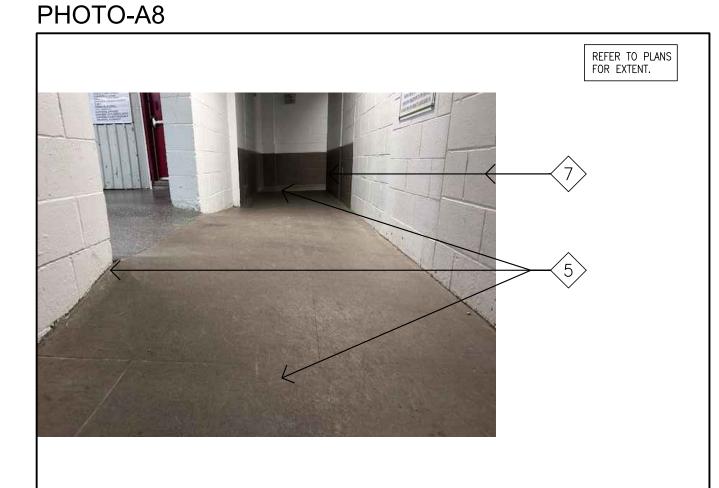




PHOTO-A10



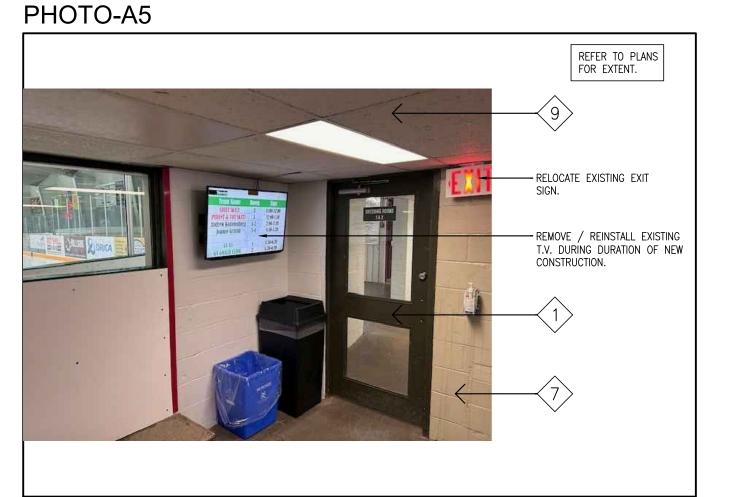


PHOTO-A1

PHOTO-A3

GRAND VALLEY ARENA RENOVATION & ADDITION

DATE BY

DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 5N6 TOWN OF GRAND VALLEY

DRAWING:

DEMOLITION SECOND FLOOR & DEMOLITION PHOTOS



MAY 31, 2024 AS NOTED

A203

FILE: 21171 A202-A203 DRAWING NO:

PROJECT NO:

BARRY BRYAN DESIGN BY: ASSOCIATES Architects JJA/KW Engineers Project Managers CHECKED BY: 250 Water Street Suite 201 Whitby, Ontario L1N 0G5 Tel: (905) 666-5252 Fax: (905) 666-5256 e-mail: bba@bba-archeng.com

STORAGE ROOM OPEN TO BELOW

PHOTO-A4

DEMOLITION SECOND FLOOR STORAGE

DEMOLITION LEGEND

REMOVE AND DISPOSE OF EXISTING DOOR AND FRAME IN IT'S ENTIRETY. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK.

 $\langle 2 \rangle$ existing door and frame to be repainted.

- REMOVE AND DISPOSE OF EXISTING LINER PANEL, INSULATION AND METAL > SIDING AT EXTENT SHOWN IN IT'S ENTIRETY. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK. CONTRACTOR IS RESPONSIBLE FOR SECURING WORK TO KEEP BUILDING ENVELOPE TEMPORARILY IN PLACE.
- SEPARATE PRICING: EXISTING HOCKEY ARENA ONLY: EXTERIOR WALL (NORTH, SOUTH AND WEST - GRIDLINE A (13-3), F (101F) & 13 (A-F) REMOVE AND DISPOSE EXISTING METAL SIDING, INSULATION AT EXTENT SHOWN IN IT'S ENTIRETY. (EXISTING LINER PANEL TO REMAIN) PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW
- SEPARATE PRICING: (AT NOTE #4A) EXISTING DOOR AND FRAME TO REMAIN BUT REMOVE AND REPLACE TRIM. REPAINT DOOR AND FRAME TO MATCH EXISTING.
- 5 EXISTING RINK DASHER BOARDS/DOORS TO BE PROTECTED DURING CONSTRUCTION OF AN AFTER CONSTRUCTION CONSTRUCTION. CLEAN AFTER CONSTRUCTION.
- (5A) REMOVE EXISTING DASHER BOARDS. PREPARE FOR NEW RINK DOORS. PROTECT DURING CONSTRUCTION.
- REMOVE AND DISPOSE OF EXISTING BENCHES, CUBBIES AND HOOKS IN IT'S ENTIRETY PATCH DEPAID AND WAYS CALL. IN IT'S ENTIRETY. PATCH, REPAIR AND MAKE GOOD ALL AFFECTED

- REMOVE AND DISPOSE OF EXISTING FLOORING (CONFIRM ON SITE) AT EXTENT SHOWN. LEVEL EXISTING FLOOR. PATCH, REPAIR AND MAKE GOOD ALL AFFECTED SURFACES FOR NEW WORK.
- REMOVE AND DISPOSE PART OF CEILING TILE, GRID (INCLUDES ALL LIGHTING, DIFFUSERS, GRILLES AND ELECTRICAL DEVICES. ALL WALL ELECTRICAL CONDUITS TO BE REMOVED AND RELOCATED. PATCH REPAIR AND MAKE GOOD ALL AFFECTED SURFACES). REMOVE / RELOCATE EXISTING LIGHTING FOR NEW CONSTRUCTION. MAKE GOOD ALL AFFECTED AREAS.
- COMPLETE FULL CLEAR OF EXISTING RINK AREA AFFECTED BY CONSTRUCTION INCLUDING ROOF PURLINS AND RIGID FRAME BEAMS.
- 1 1 PREPARE FOR ROOF REPLACEMENT PROGRAM. MAKE GOOD ALL
- REMOVED IN IT'S ENTIRETY. (CAREFULLY REMOVE STORAGE EQUIPMENT, TURN OVER TO OWNER) PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS TO CUT AND CAP SERVICES.

EXISTING UPPER DRESSING ROOM & STRUCTURAL SUPPORT TO BE

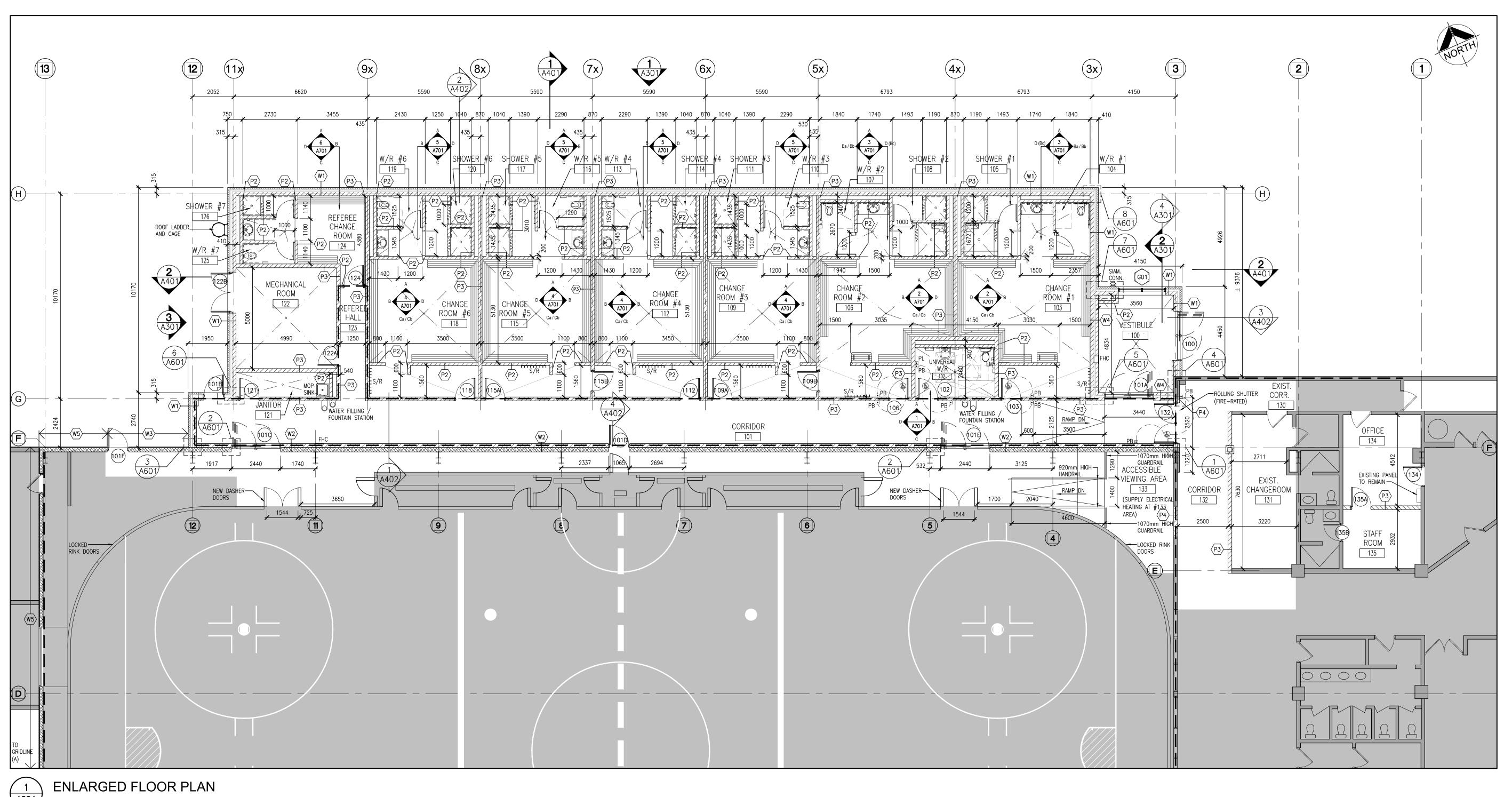
- CLEAN EXISTING PRE-ENGINEERED RIGID FRAME COLUMNS TO BASE STEEL AND PREPARE FOR NEW COATING.
- REMOVE METAL CEILING IN IT'S ENTIRETY. INCLUDES LIGHTING AND DIFFUSERS. REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK.
- EXISTING CORRIDOR #130 EXISTING FLOOR, WALL, DOORS, EXPOSED CEILING BEAMS, ETC. MAKE GOOD ALL AFFECTED AREAS FOR NEW PAINT FINISH. REFER TO FINISH SCHEDULE.
- REMOVE / REINSTALL EXISTING WALL LIGHT FIXTURES. NEW LOCATION TBD. PATCH, REPAIR AND MAKE GOOD ALL AFFECTED SURFACES FOR

REMOVE EXISTING BENCH / HOOKS IN IT'S ENTIRETY, RETURN TO

SURFACES FOR NEW WORK. OWNER. PATCH, REPAIR AND MAKE GOOD ALL AFFECTED SURFACES FOR NEW WORK. REMOVE EXISTING MASONRY WALL (SAWCUT TO EXTENT SHOWN) IN IT'S ➤ ENTIRETY. PATCH. REPAIR AND MAKE GOOD AFFECTED SURFACÉS AS REQUIRED FOR NEW WORK (SHORE STRUCTURE AS REQUIRED)

PHOTO-A7

A203



A204 1:100

FLOOR PLAN NOTATION LEGEND LEGEND PARTITION & FURRING NOTES PARTITION / WALL TYPES SCHEDULE PARTITION / WALL TYPES SCHEDULE ALL RAIN WATER LEADERS (RWL) AND PLUMBING RISERS SHALL BE EXISTING N.I.C. MASONRY CAVITY WALL 90mm MASONRY VENEER SEPARATE PRICING: FURRED IN WITH 'F1' FURRING TYPE TO 200mm ABOVE THE FINISHED (UNLESS OTHERWISE NOTED) ROOM NAME & NUMBER WALL SECTION REFERENCE CERAMIC WALL TILE ARENA EXTERIOR WALL (NORTH, SOUTH CEILING UNLESS OTHERWISE INDICATED. -----(REFER TO INTERIOR 30mm AIR SPACE WEST - GRIDLINE A (13-3), F (101F) ELEVATIONS FOR LOCATION UNLESS OTHERWISE NOTED, ALL PARTITIONS TERMINATE AT 100mm RIGID INSULATION (R20) & 13 (A-F) EXTERIOR WALL TYPE HEIGHT / LENGTH) CONTINUOUS SELF ADHERED UNDERSIDE OF PRECAST ABOVE. VERTICÀL V-GROOVE SIDING EXISTING WALL, PARTITION OR AIR/ VAPOUR BARRIER (TO MATCH EXISTING) COLUMN INTERIOR PARTITION OR 1 HOUR FIRE SEPARATION OR PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS. 190mm CONCRETE BLOCK AIR SPACE, SELF ADHERED A/V BARRIER BUILDING SECTION/ EXTERIOR FURRING TYPE (REFER TO EXTERIOR ELEVATIONS FIRE PROTECTION AT ALL TRANSITIONS AND OPENING ELEVATION REFERÊNCE . ALL GYPSUM BOARD BULKHEADS / PARTITIONS ABOVE WALL OPENINGS FOR FINISH) PENETRATIONS. EXISTING DOOR, FRAME AND EXTERIOR GLAZING NUMBER 76mm SPRAYED FOAM INSULATION OR SCREENS TO BE BRACED AS REQUIRED. BARRIER FREE DOOR TRIM TO REMAIN 25mm RIGID POLYISO OPERATOR PUSH BUTTON . ALL OUTSIDE AND EXPOSED CORNER BLOCK WALLS TO BE BULLNOSED. EXISTING GALVANIZED STEEL SHEET LINER 190mm CONCRETE BLOCK SC01 INTERIOR GLAZED SCREEN STICK RACK 15mm AIR SPACE PANEL AS CONTINUOUS A/V BARRIER NUMBER PUSH TO LOCK PUSH BUTTON PROVIDE FIRE STOPPING / SMOKE SEAL AT TOPS OF ALL RATED GALVANIZED STEEL SHEET LINER INTERIOR ELEVATION (REFER TO A700 SERIES) PARTITIONS/ FURRING REFERENCE NUMBER PANEL AS CONTINUOUS A/V BARRIER DOOR NUMBER PARTITION / WALL TYPES SCHEDULE 203mm HORIZONTAL Z-GIRTS C/W EMERGENCY ASSISTANCE SPRAYED INSULATION CALL BUTTON GALVANIZED STEEL SHEET LINER PANEL MW-1 MILLWORK NUMBER P1) 90mm CONCRETE BLOCK FLOOR FINISH TYPE (SEE ALSO DOOR WITH DOOR OPERATOR (NOT USED) ROOM FINISH SCHEDULE) VERTICAL V-GROOVE SIDING WATER FILLING / (TO MATCH EXISTING) ON P2 140mm CONCRETE BLOCK FOUNTAIN STATION 203mm HORIZONTAL Z-GIRTS C/W SPRAYED INSULATION. PROVIDE SELF ADHERED A/V BARRIER AT ALL TRANSITIONS AND OPENING PENETRATIONS. GALVANIZED STEEL SHEET LINER PANEL AS CONTINUOUS 190mm CONCRETE BLOCK A/V BARRIER 190mm CONCRETE BLOCK 50mm INSULATION CONCRETE BLOCK AIR SPACE TO MATCH EXISTING 140mm CONCRETE BLOCK (1 HR. F.R.R.) 13mm GYPSUM BOARD ON 92mm METAL STUD FURRING

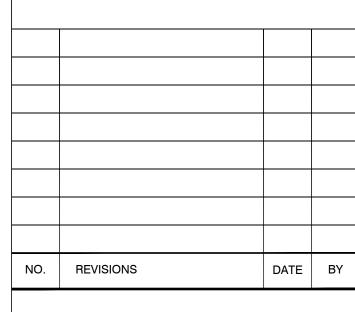
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	NO.	ISSUES	DATE	BY
	1	ISSUED FOR CLIENT REVIEW	NOV. 28, 2023	BBA
	2	ISSUED FOR CLIENT REVIEW	JAN. 10, 2024	BBA
	3	ISSUED FOR CLIENT REVIEW	FEB. 06, 2024	BBA
	4	ISSUED FOR CLIENT REVIEW	MAY 15, 2024	BBA
	5	ISSUED FOR CLIENT REVIEW	MAY 24, 2024	BBA
	6	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
	7	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA



PROJECT:

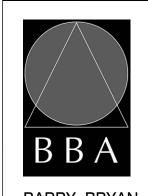
GRAND VALLEY ARENA RENOVATION & ADDITION

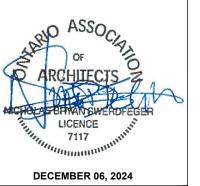
DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 5N6 TOWN OF GRAND VALLEY

DRAWING:

ENLARGED FLOOR PLAN





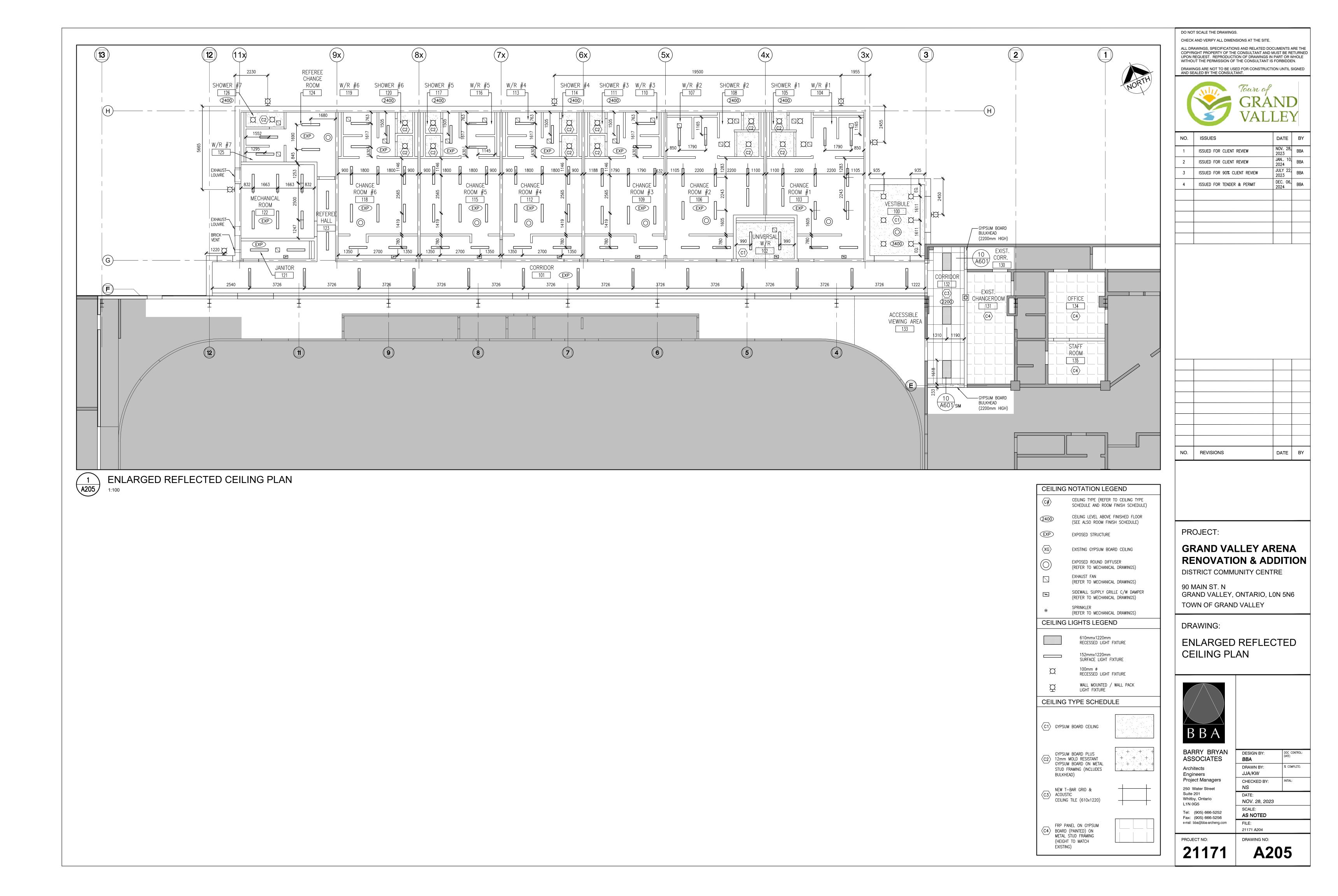
BARRY BRYAN ASSOCIATES Architects Engineers Project Managers

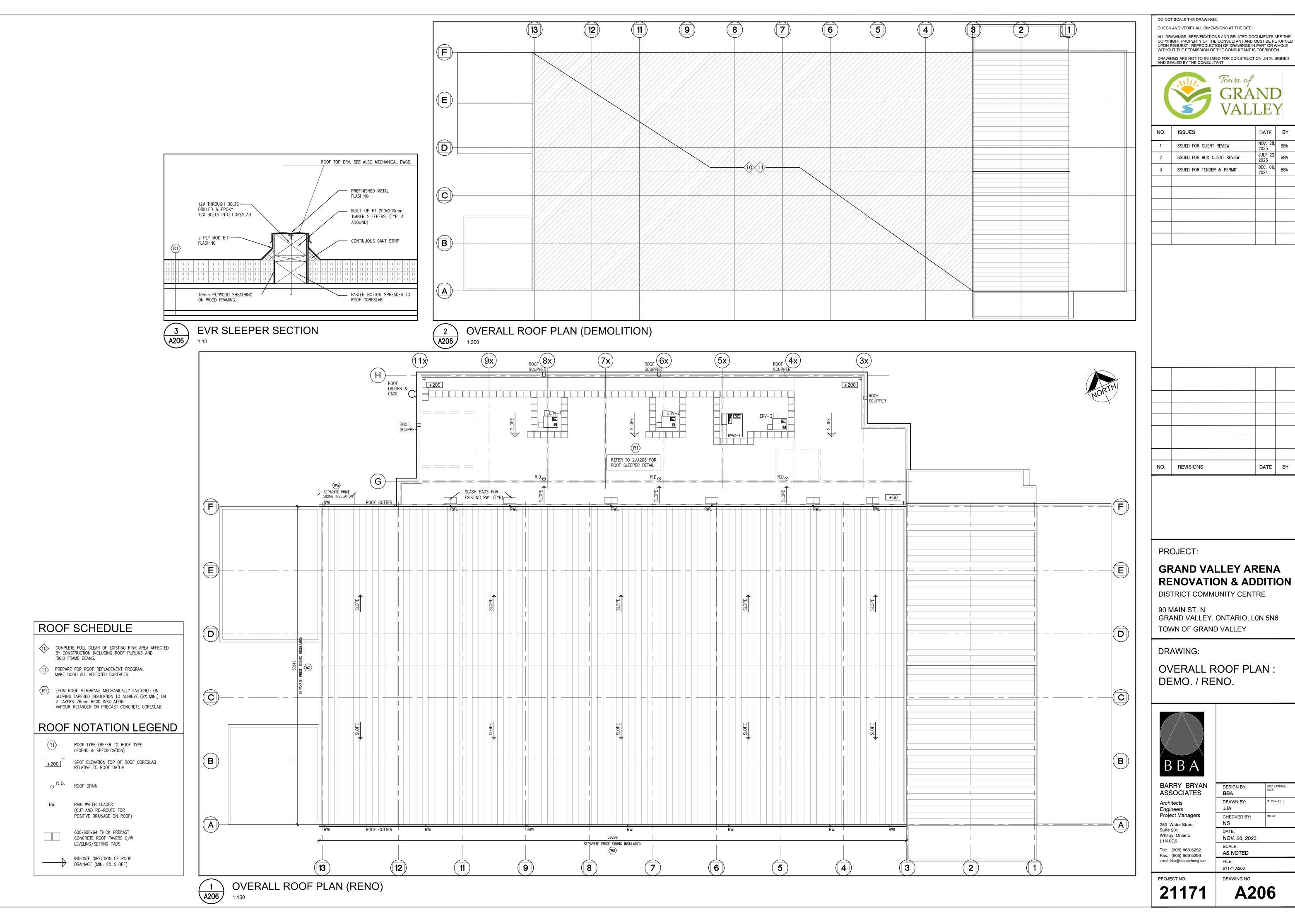
DESIGN BY: % COMPLETE: DRAWN BY: JJA/KW CHECKED BY: NS 250 Water Street

Suite 201 Whitby, Ontario NOV. 29, 2023 L1N 0G5 Tel: (905) 666-5252 Fax: (905) 666-5256 e-mail: bba@bba-archeng.com

AS NOTED FILE: 21171 A204

PROJECT NO: DRAWING NO: 21171 **A204**

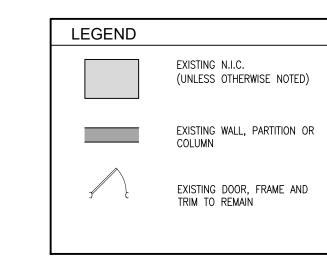






			1
NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	NOV. 28, 2023	BBA
2	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
3	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA







36.23m2

174.66m2 1,880sf

37.62m2 405sf

2 A207

23.69m2

17.18m2

11.15m2

24.43m2 263sf

11.33m2 122sf

30.19m2 325sf

RENOVATED OFFICE FLOOR AREAS (SEPARATE PRICING)
1:100

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PROJECT:

GRAND VALLEY ARENA RENOVATION & ADDITION

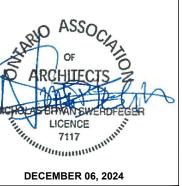
DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 5N6 TOWN OF GRAND VALLEY

DRAWING:

EXISTING OFFICE FLOOR AREAS NEW RUBBER FLOORING





DATE BY

BARRY BRYAN ASSOCIATES Architects Engineers Project Managers

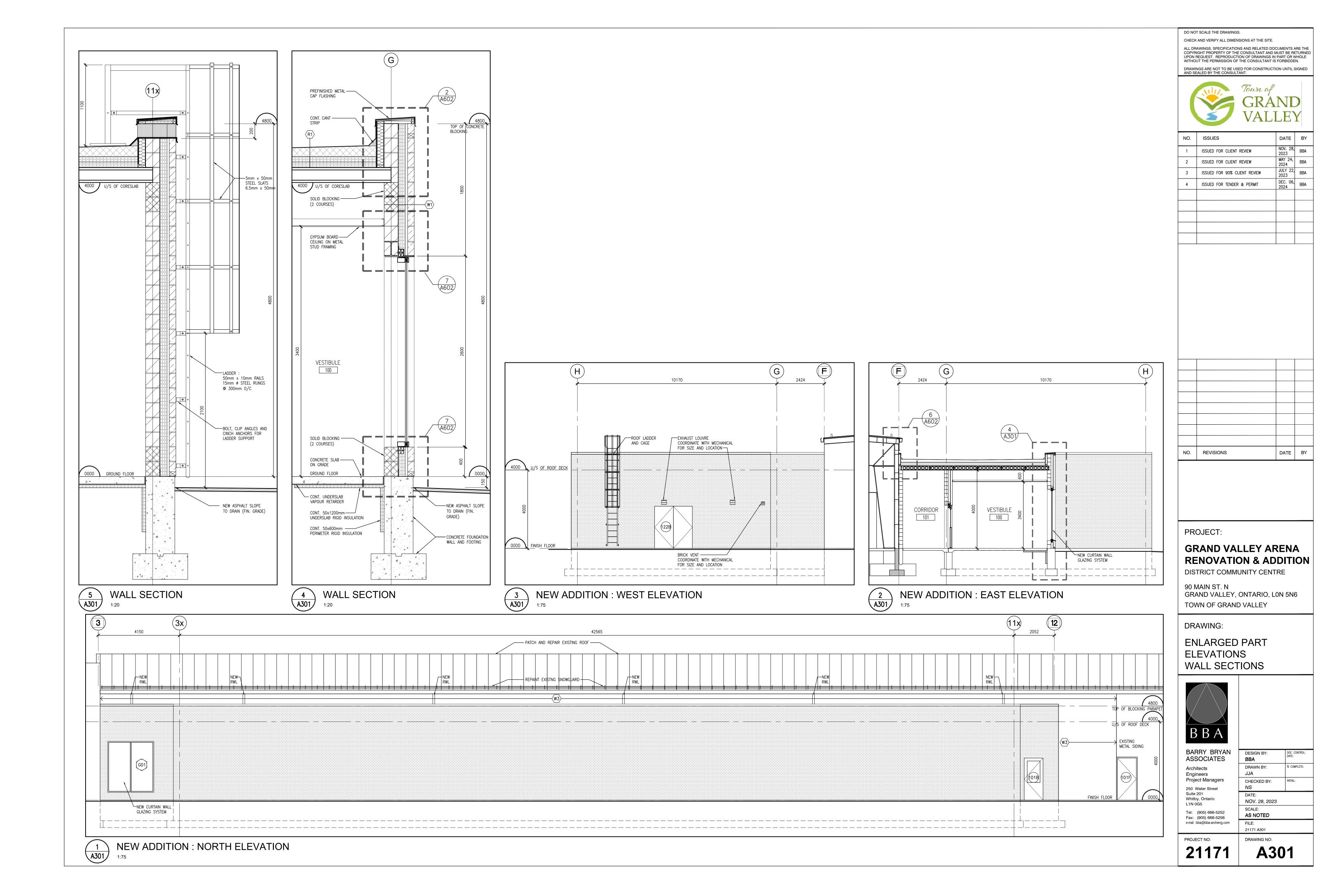
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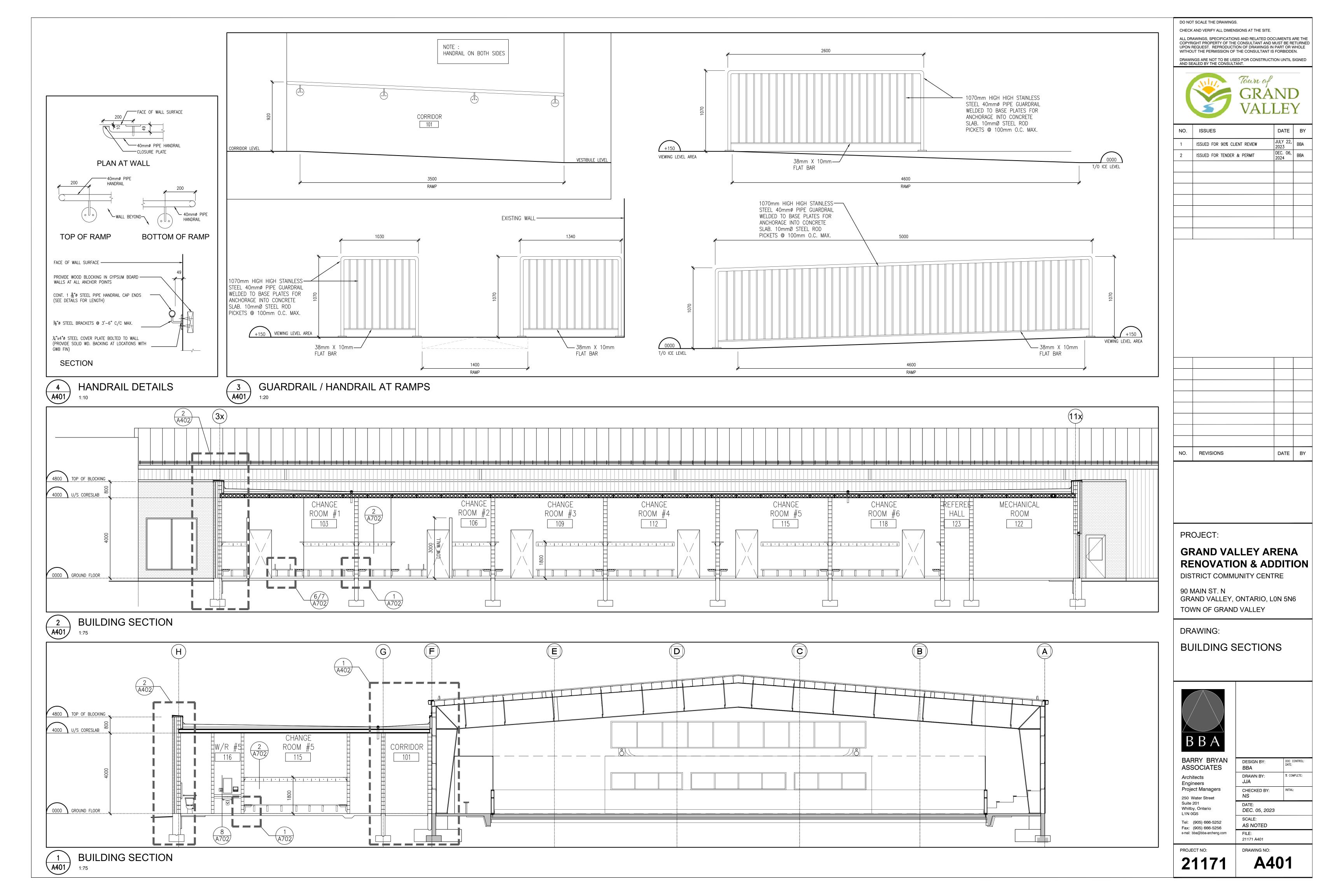
250 Water Street Suite 201 Whitby, Ontario L1N 0G5 DATE: NOV. 29, 2023 Tel: (905) 666-5252 Fax: (905) 666-5256 e-mail: bba@bba-archeng.com

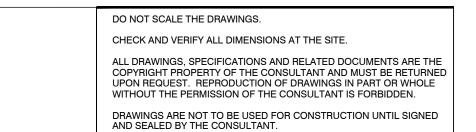
AS NOTED

21171 **A207**

EXISTING OFFICE FLOOR AREAS (SEPARATE PRICING)

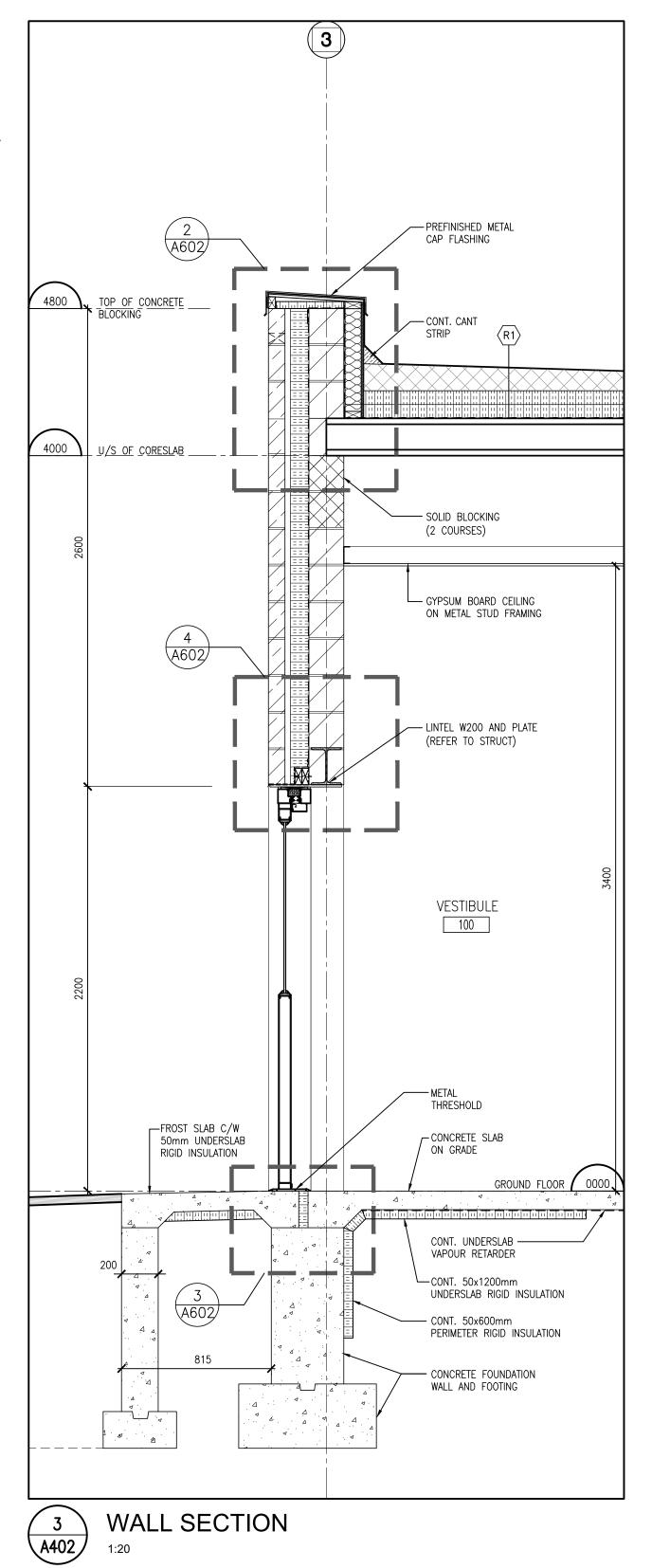








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2	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA
			·



CONT. CANT— STRIP

600x600x64 THICK-PRECAST CONCRETE

4000

EXISTING FLOOR

U/S OF CORESLAB

C150x12

ROOF PAVERS C/W LEVELING/SETTING PADS

SOLID BLOCKING -

LINTEL (REFER — TO STRUCT.)

SOLID BLOCK —

CORRIDOR

101

CLOSURE

PREFINISH METAL -

NEW TRANSITION STRIP

NEW FLOOR FINISH ON— NEW CONCRETE SLAB ON GRADE

CONCRETE FOUNDATION — WALL AND FOOTING

4 △

WALL SECTION

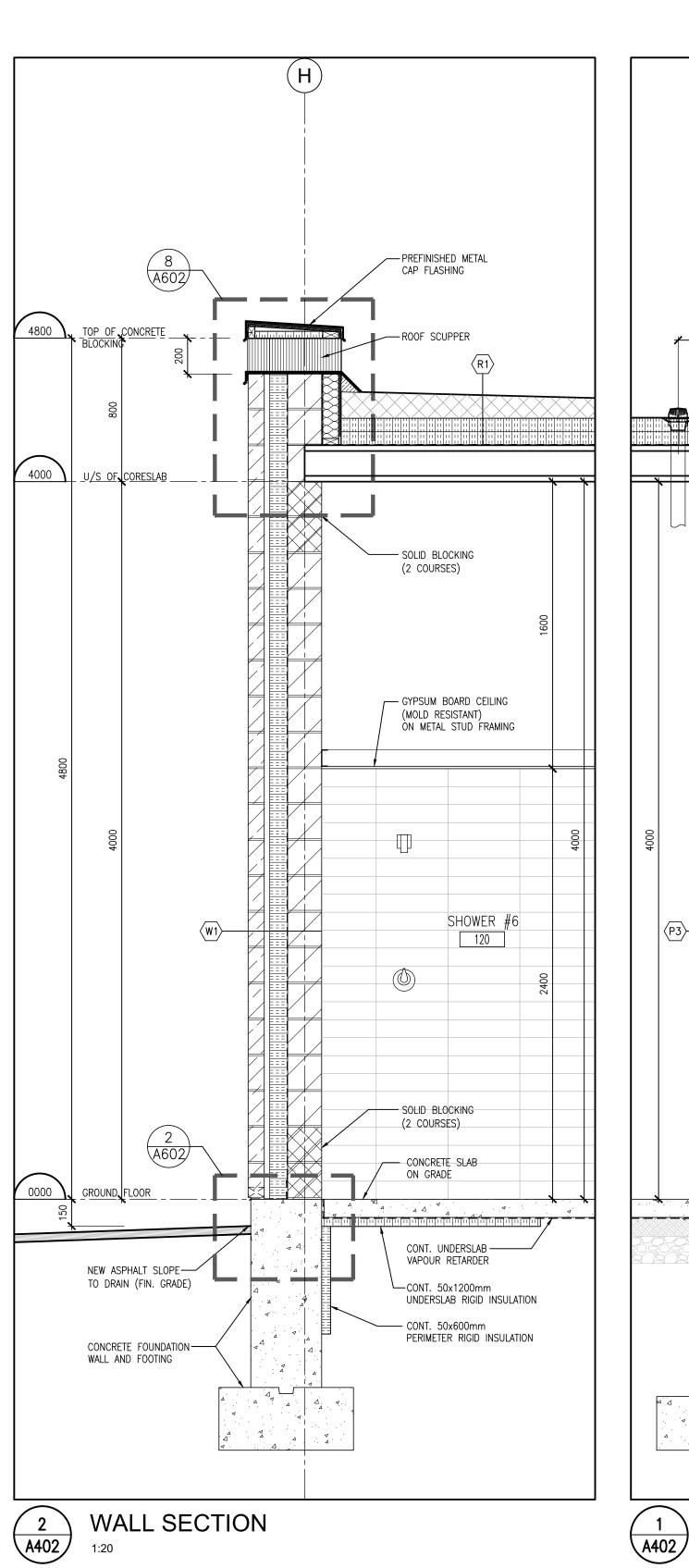
4 A402

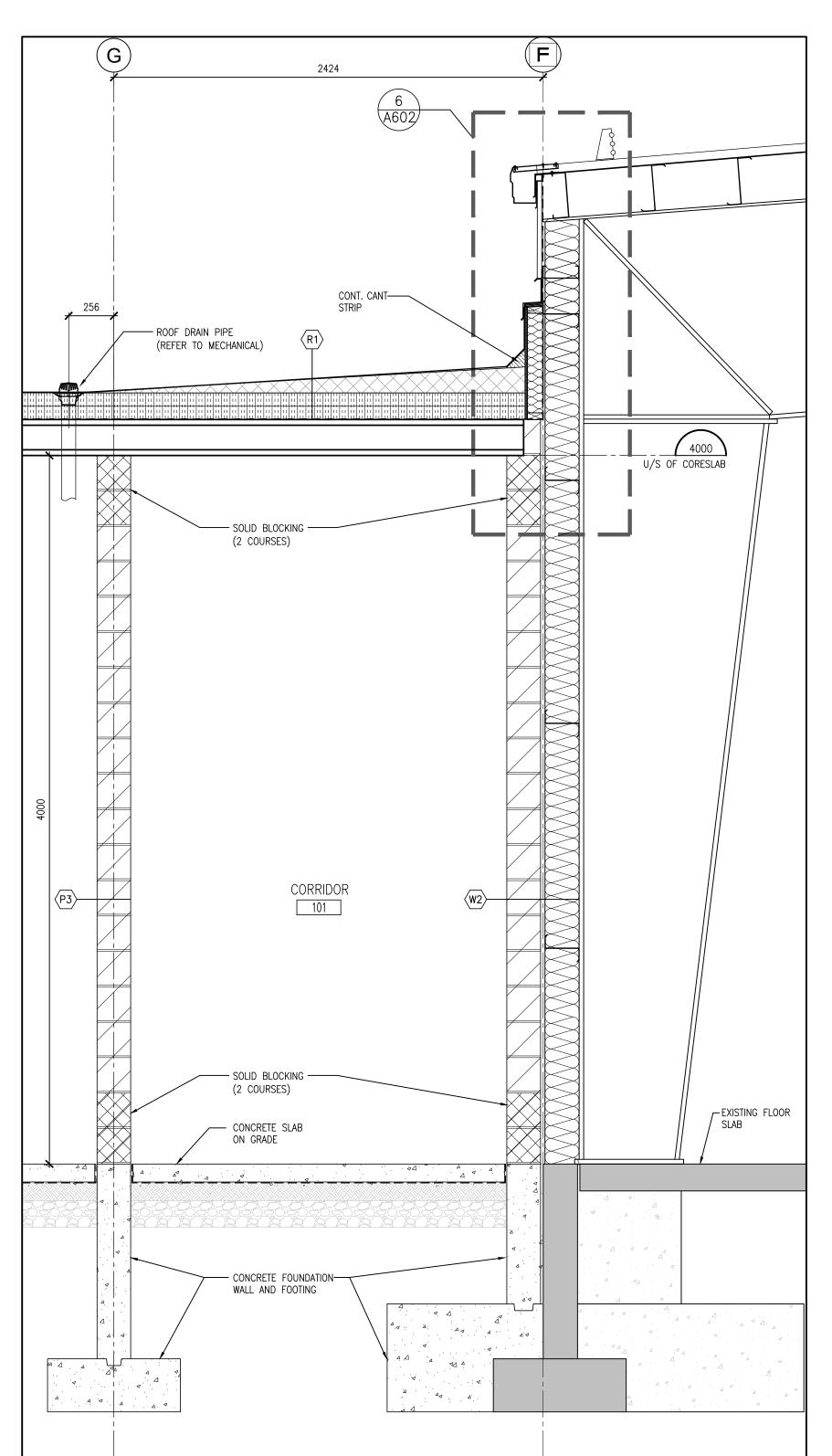
AT THRESHOLD

CONCRETE BULLNOSE

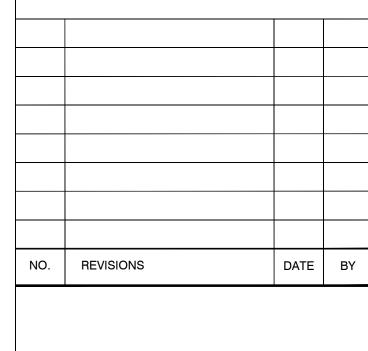
BLOCK EXPOSED EDGE

(2 COURSES)





WALL SECTION



PROJECT:

GRAND VALLEY ARENA RENOVATION & ADDITION DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 5N6 TOWN OF GRAND VALLEY

DRAWING:

WALL SECTIONS



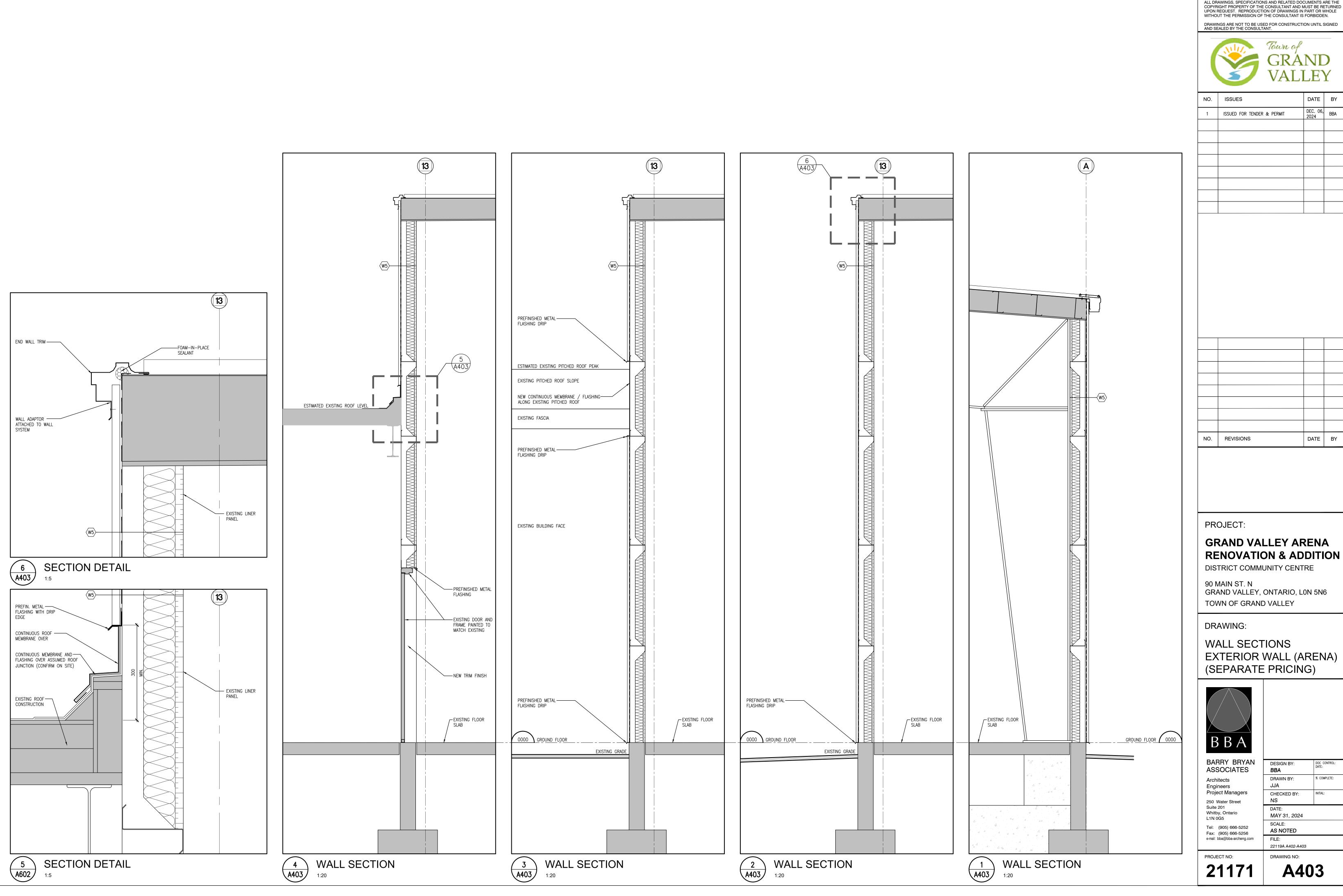
BARRY BRYAN ASSOCIATES Architects Engineers Project Managers 250 Water Street Suite 201 Whitby, Ontario L1N 0G5 Tel: (905) 666-5252 Fax: (905) 666-5256

DESIGN BY: DRAWN BY: % COMPLETE: CHECKED BY: NOV. 28, 2023 SCALE: AS NOTED

22119A A402-A403 DRAWING NO: A402

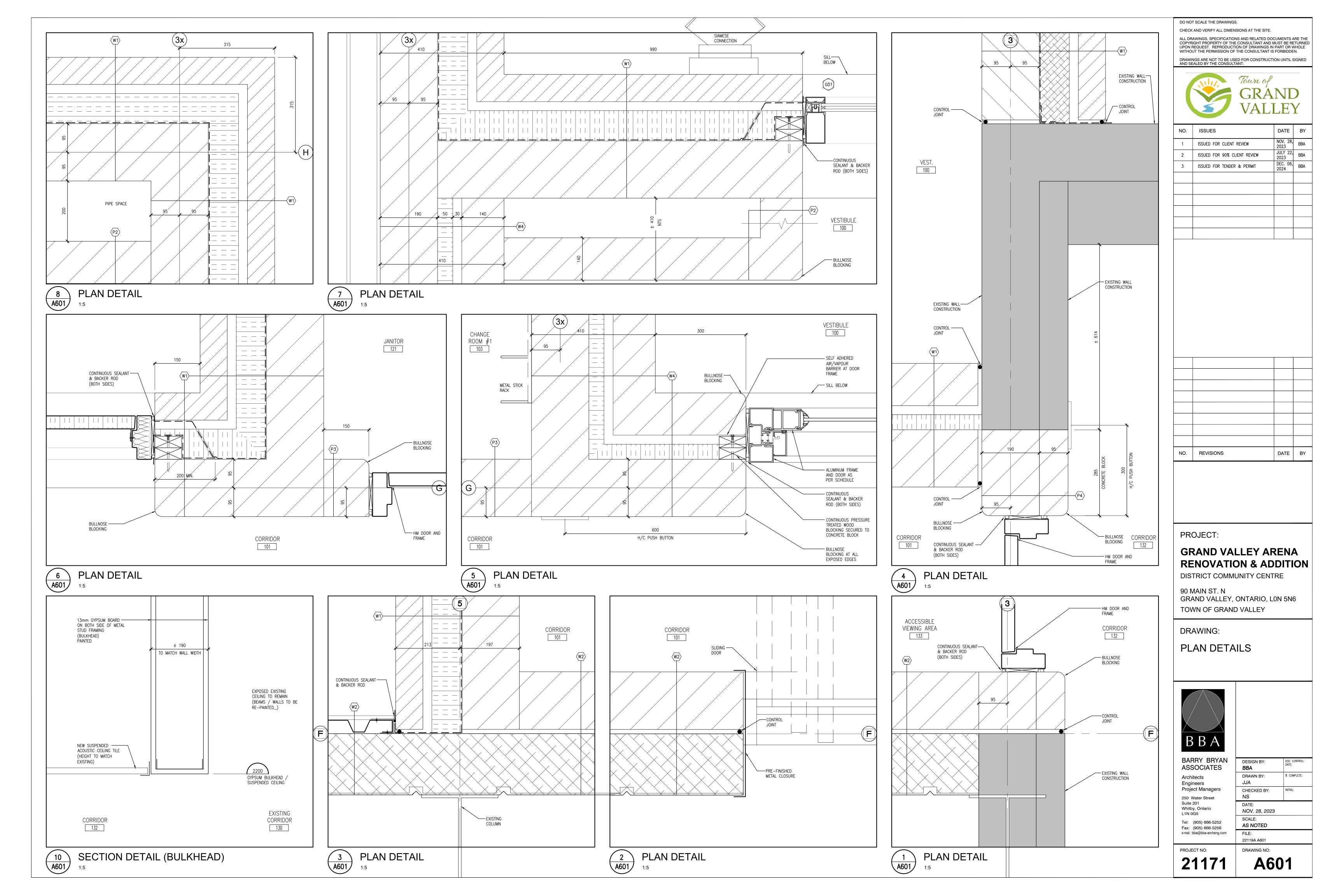
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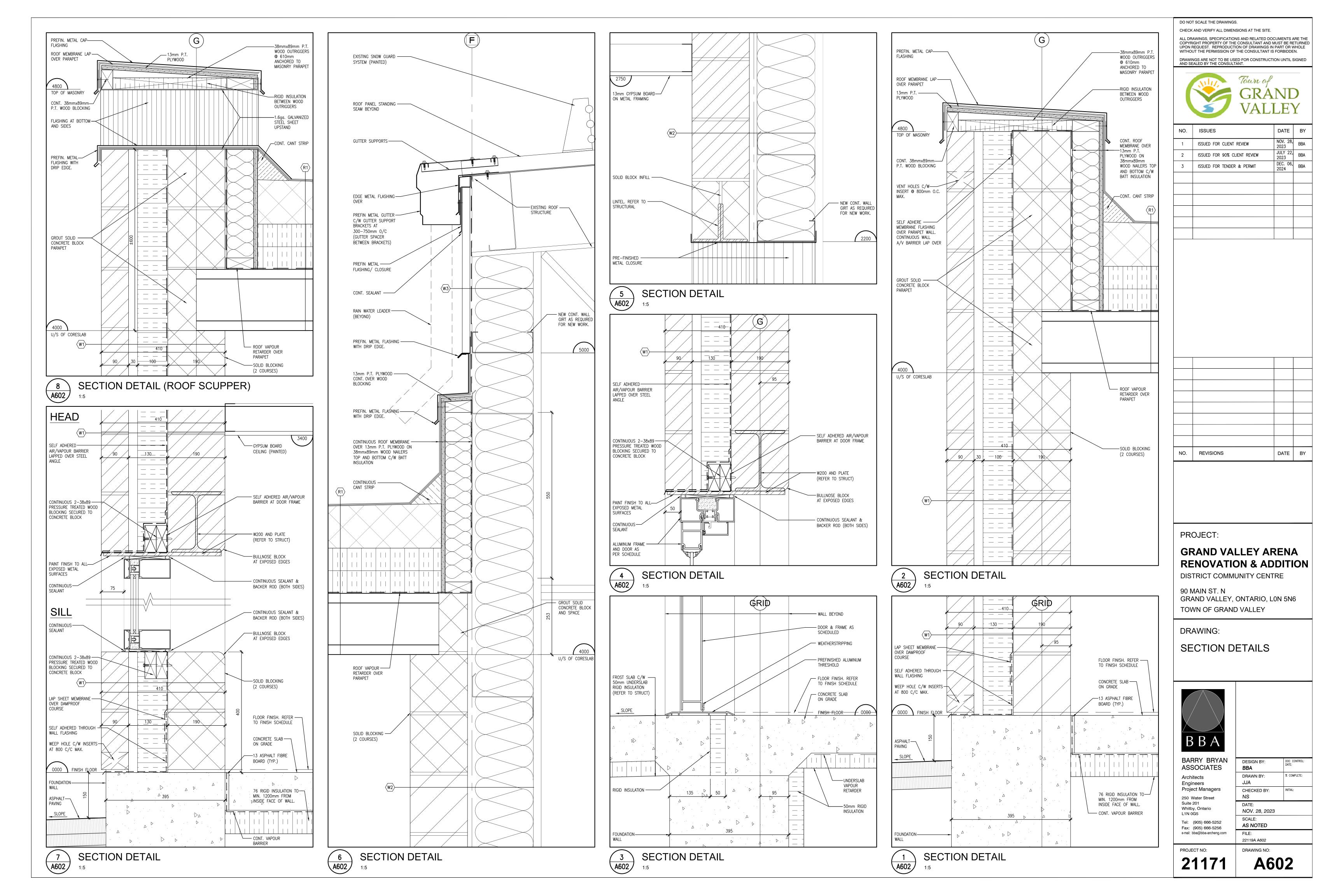
e-mail: bba@bba-archeng.com

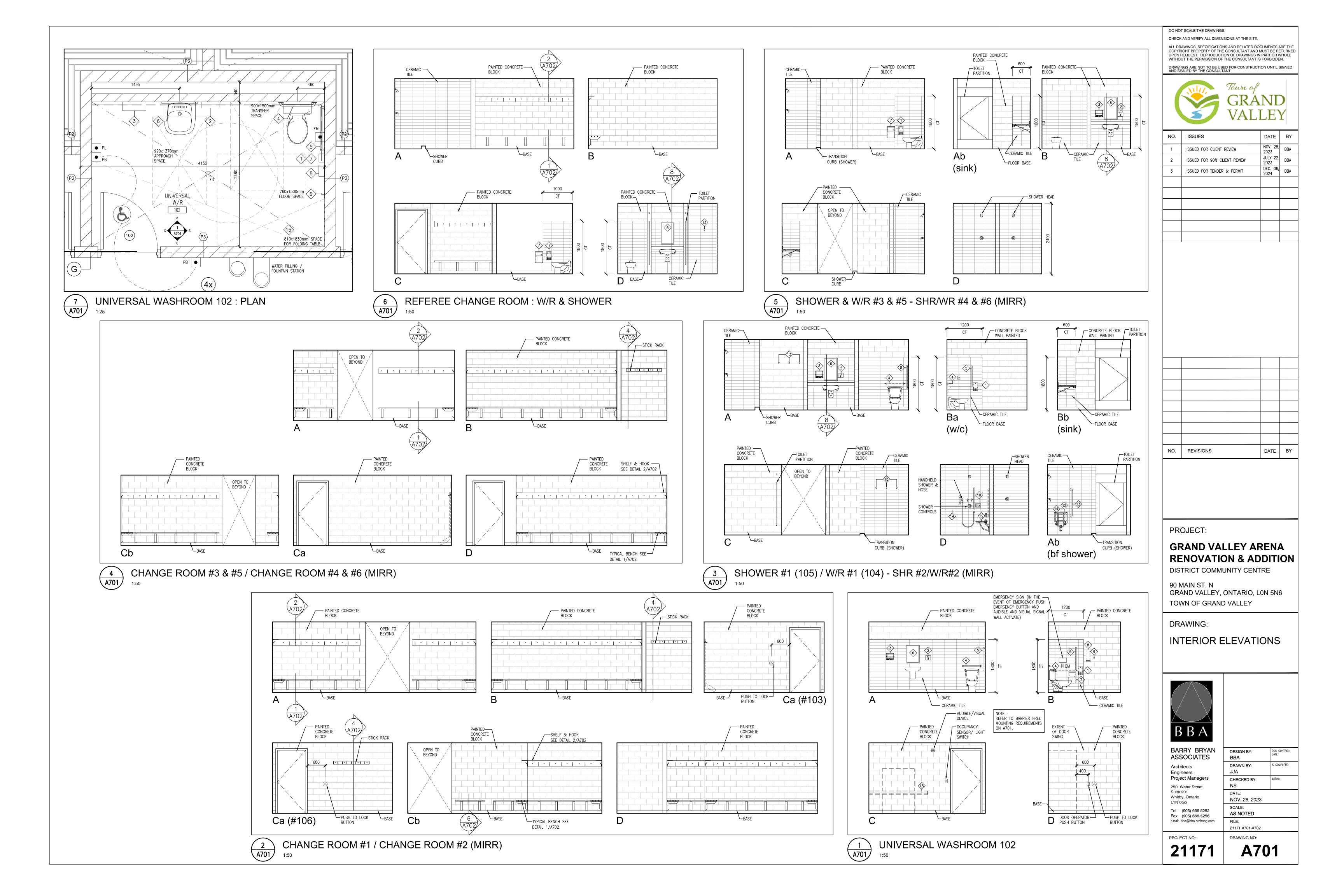


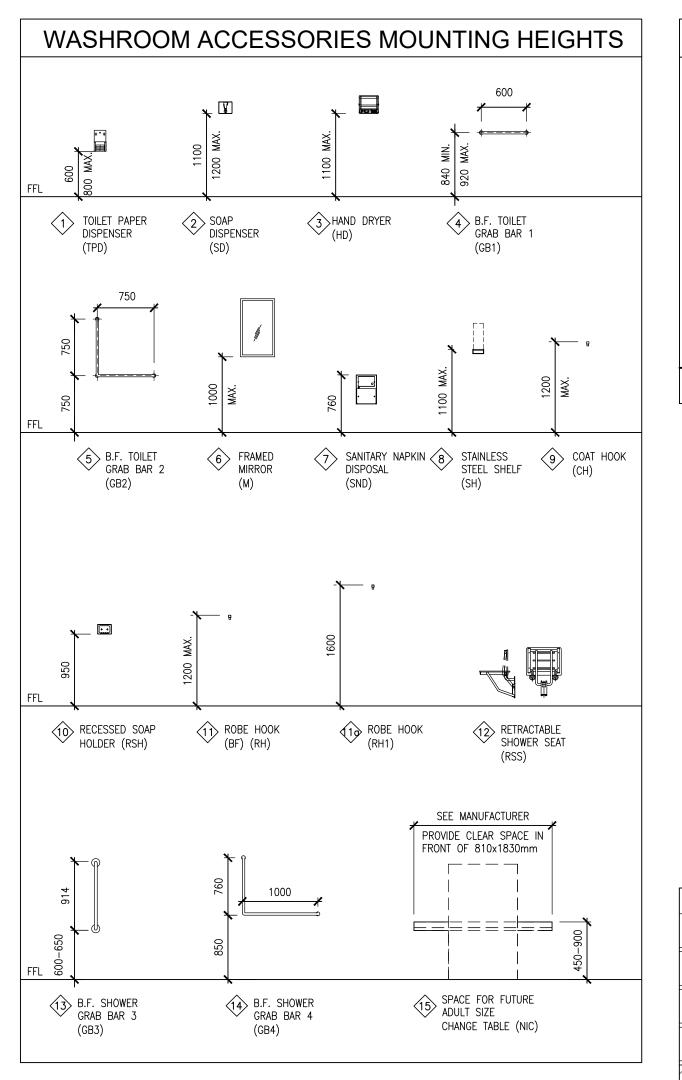
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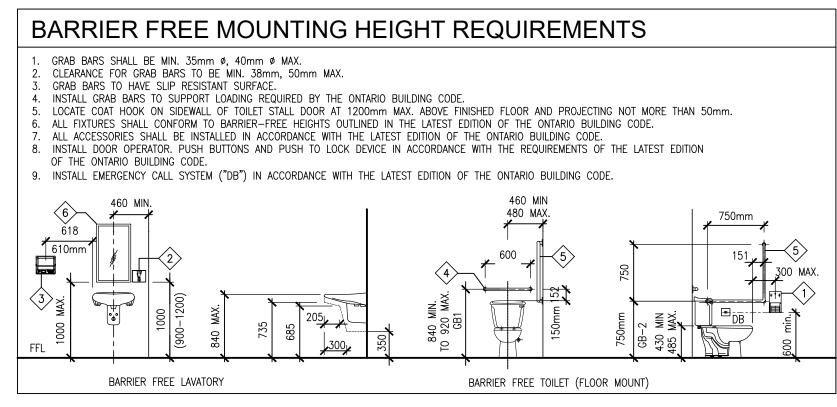
NO.	REVISIONS	DATE	BY

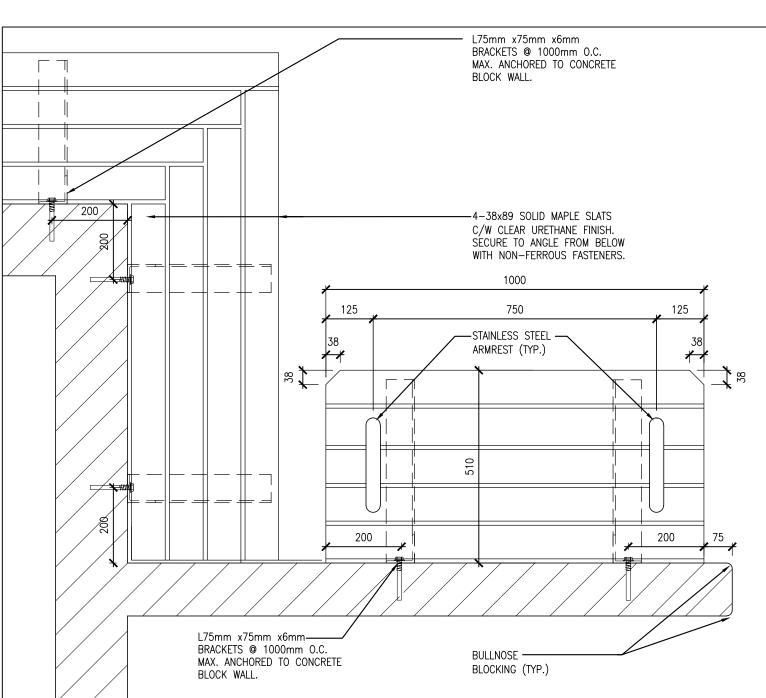


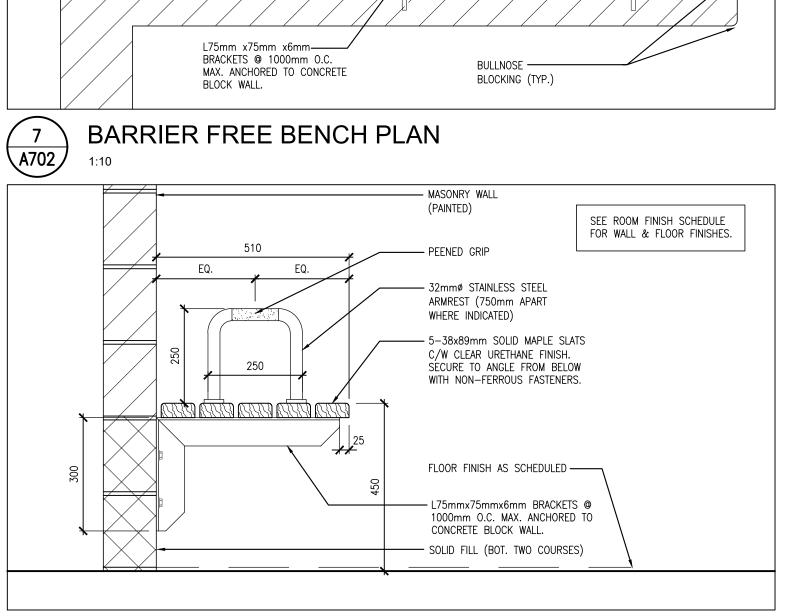






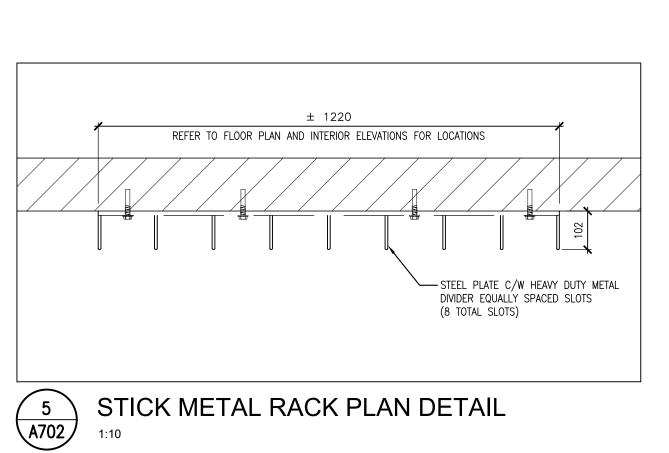


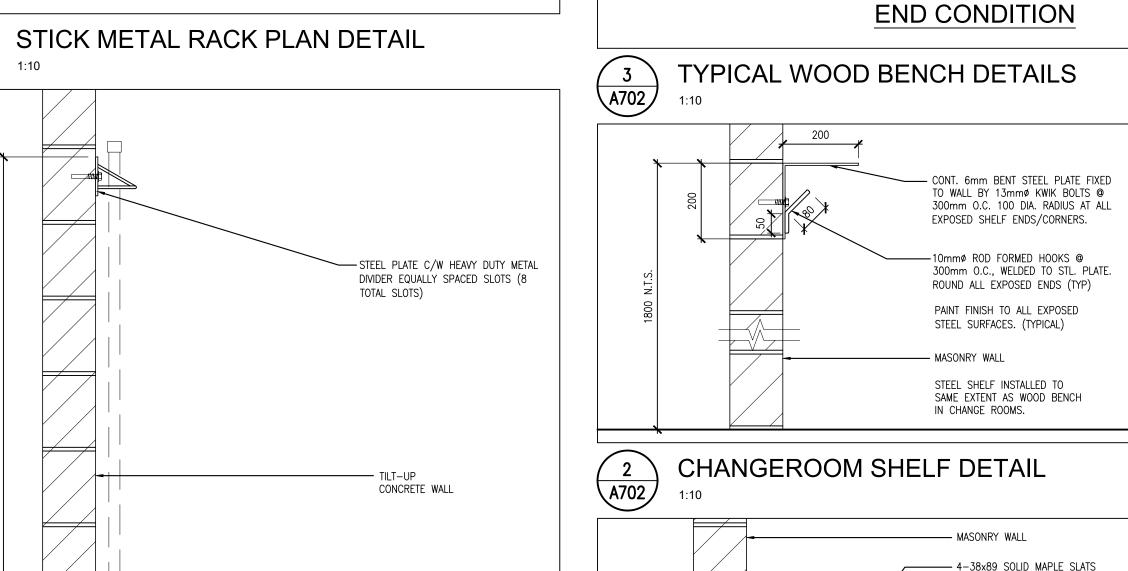




BARRIER FREE BENCH W/ ARMREST

6 A702





L75mm x75mm x6mm BRACKETS

4-38x89 SOLID MAPLE SLATS

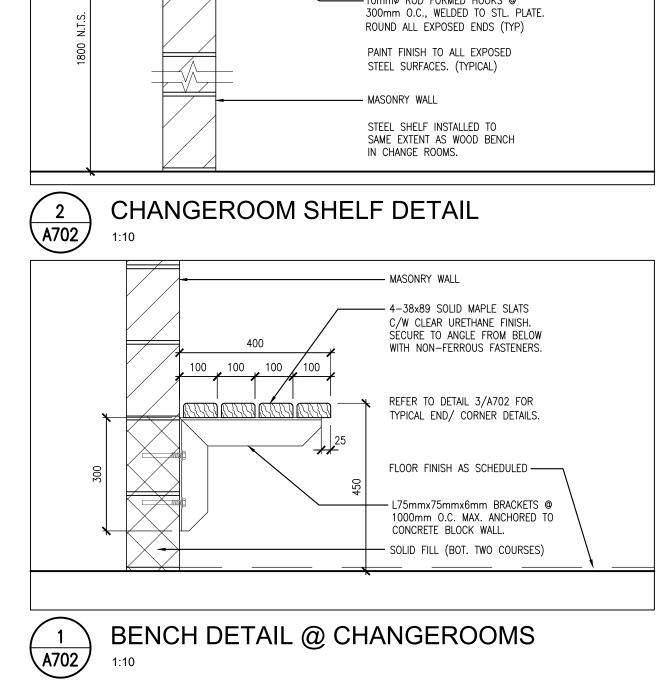
SECURE TO ANGLE FROM BELOW

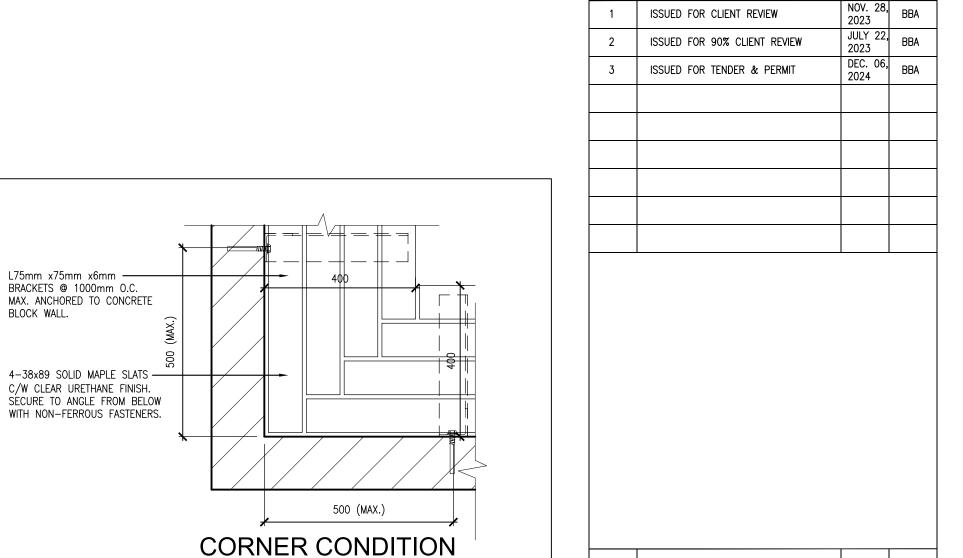
WITH NON-FERROUS FASTENERS.

C/W CLEAR URETHANE FINISH.

TO CONCRETE BLOCK WALL.

@ 1000mm O.C. MAX. ANCHORED _





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ISSUES

REVISIONS

ISSUED FOR CLIENT REVIEW

NO.

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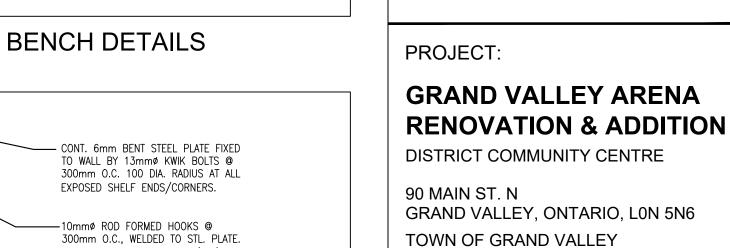
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Town of

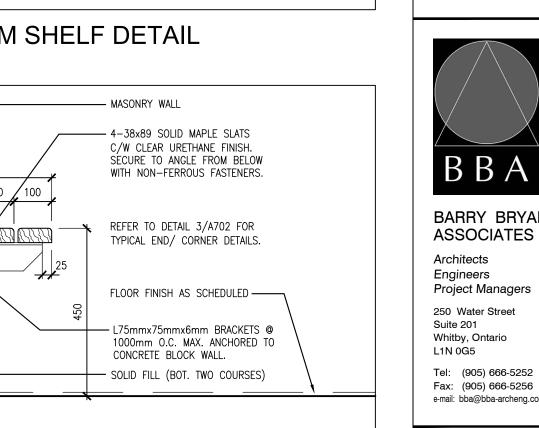
DATE BY

DATE BY



CHANGE ROOM DETAILS AND W/R ACCESSORIES

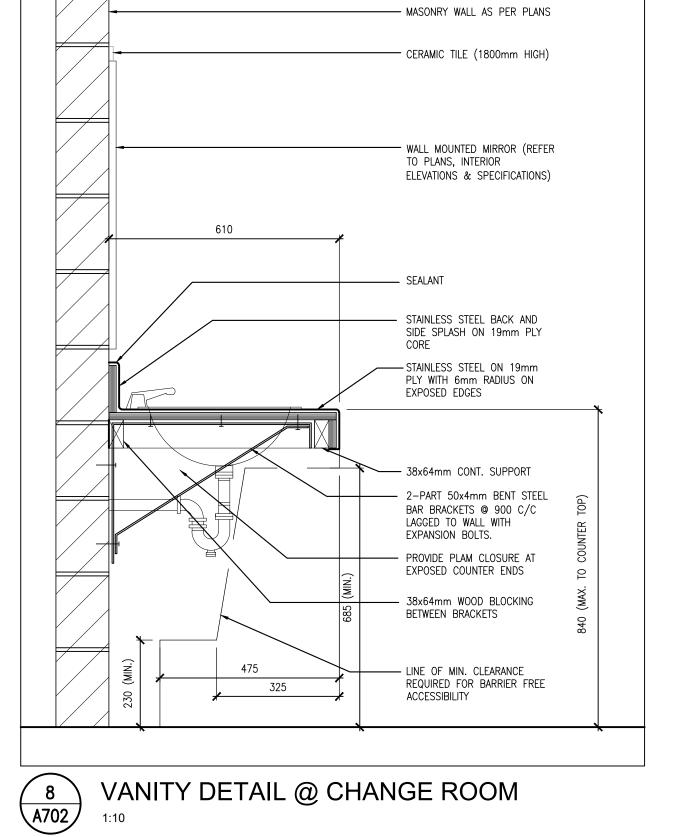
DRAWING:

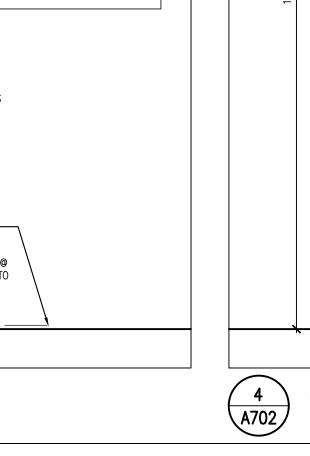




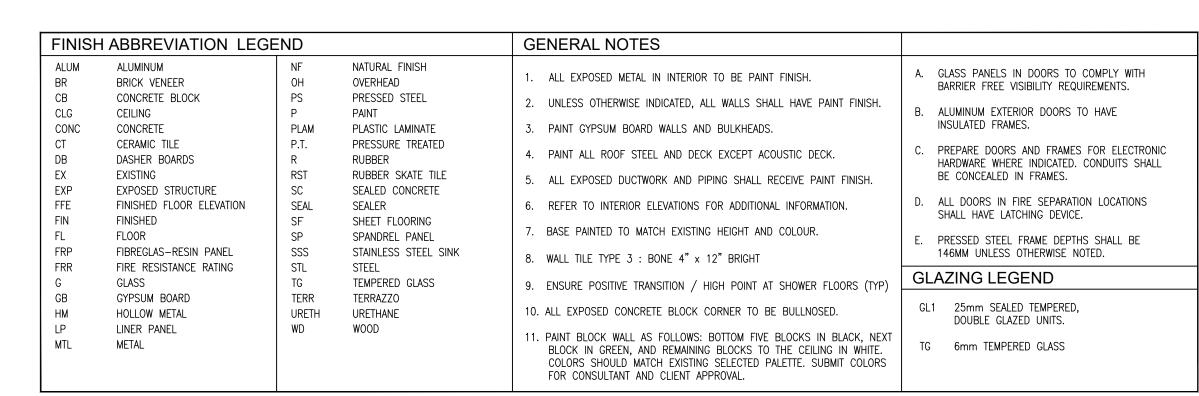
N	DESIGN BY: BBA	DOC CONTROL: DATE:
	DRAWN BY: JJA	% COMPLETE:
	CHECKED BY: NS	INITIAL:
	DATE: NOV. 28, 2023	
	SCALE: AS NOTED	
om	FILE: 21171 A701-A702	
	DRAWING NO:	

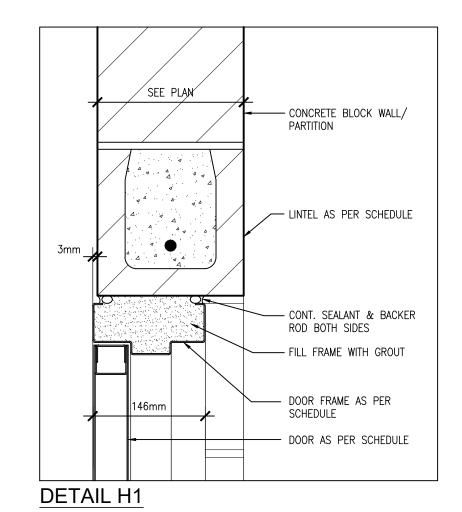
PROJECT NO: A702

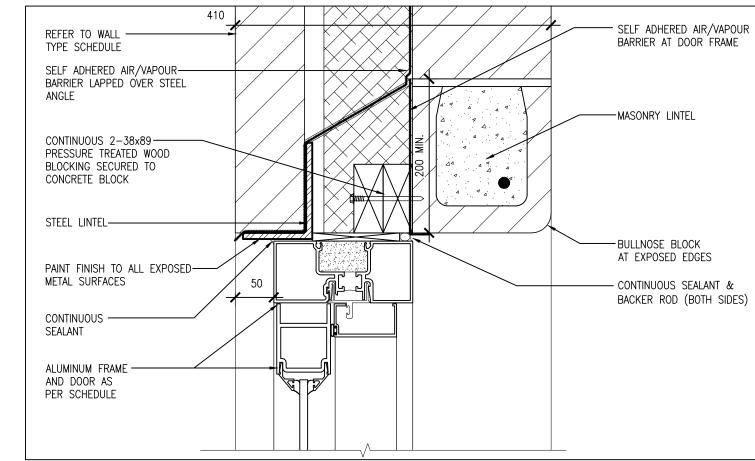


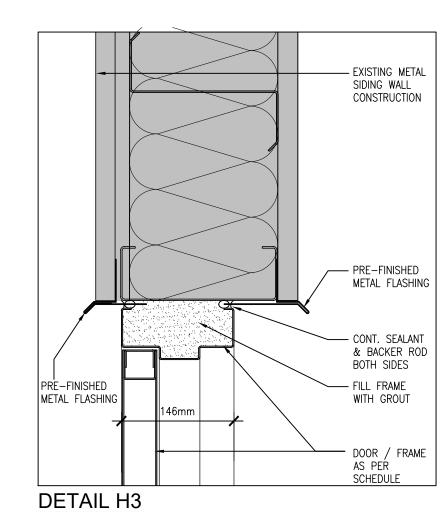


STICK RACK SECTION DETAIL

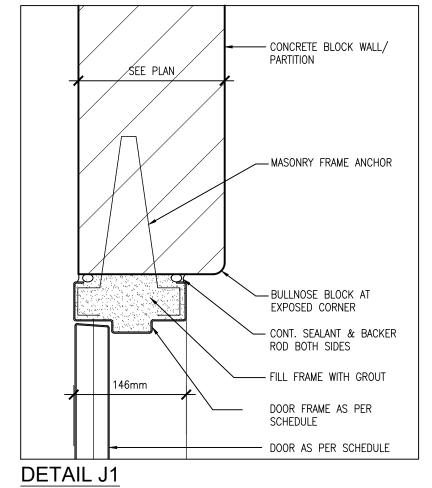


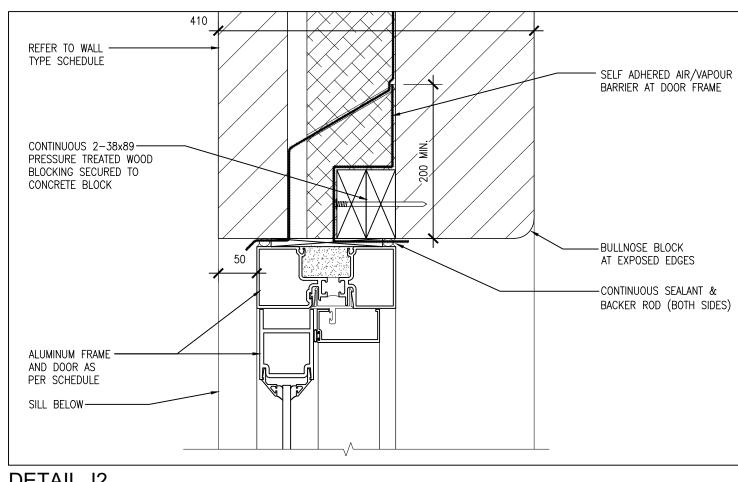


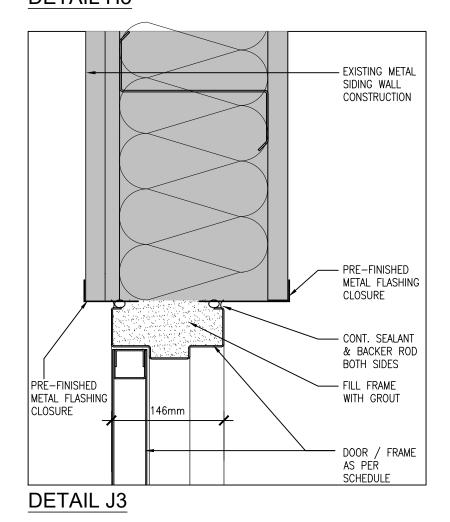




DETAIL H2



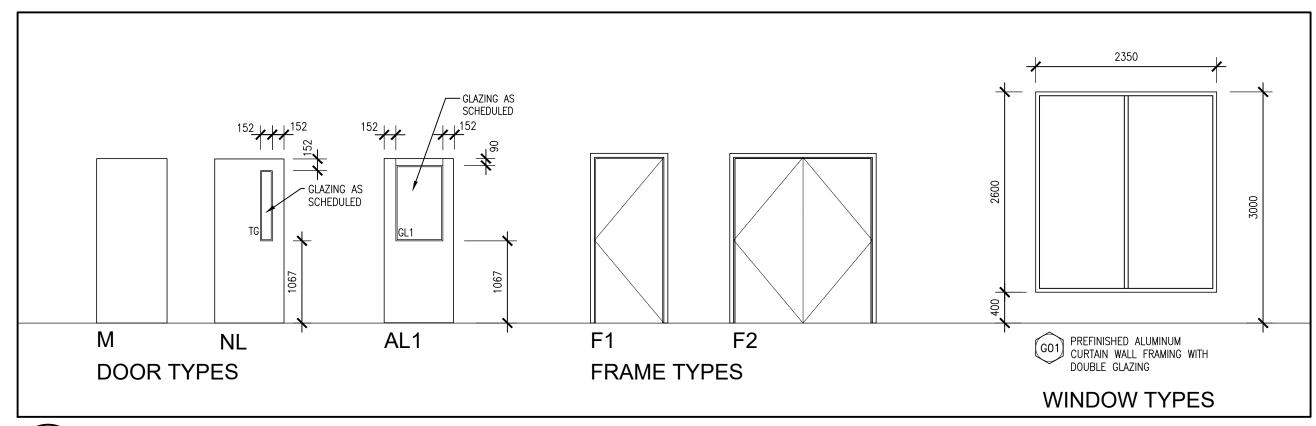




DETAIL J2



FRAME HEAD / JAMB DETAIL



A901

DOOR / FRAME / WINDOW TYPES

	DOOR AND FRAME SCHEDULE																					
											DOOR HARDWARE						REMARKS					
												RING		OP DLD	H H		ь	~ (1)		œ.		
	DOOR							FRAME			FIRE RATING	L BE/ GE	SER	DOOR STOP THRESHOLD	KICK PLATE	DEVICE	LATCHSET	WEATHER	JR PU	7 H 7 D	ELECTRIC STRIKE ROLLING SHUTTER	
NO.	SIZE AND THICKNESS	TYPE	MATERIAL	FINISH	GLASS	TYPE	HEAD	TAIL JAMB	MATERIAL	FINISH	RATING	E B	딩	ă ‡	KIC KIC		¥ ;	STR STR	ă ă		SE STEE	
100	965x2150x45	AL1	ALUM.	ANOD.	GL1	F2	H2	J2	ALUM	ANOD.	45MIN											VESTIBULE #100 (SLIDING DOOR)
101A	965x2150x45	AL1	ALUM.	ANOD.	GL1	F2	H2	J2	ALUM	ANOD.	45MIN											VESTIBULE #100 (SLIDING DOOR)
101B	965x2150x45	М	HM	PAINT	_	F1	H1	J1	НМ	PAINT	45MIN		•	• •	•	•		•				CORRIDOR #101
101C	2440x2150x45										45MIN										•	CORRIDOR #101 (SLIDING DOOR)
101D	965x2150x45	М	НМ	PAINT	_	F1	H1	J1	НМ	PAINT	45MIN	•	•	•	•	•			•		•	CORRIDOR #101
101E	2440x2150x45										45MIN										•	CORRIDOR #101 (SLIDING DOOR)
101F	965x2150x45	М	НМ	PAINT	-	F1	Н3	J3	НМ	PAINT	45MIN	•	•	• •	•	•		•				NEW EXIT DOOR (GRIDLINE F)
102	965x2150x45	М	НМ	PAINT	-	F1	H1	J1	НМ	PAINT	45MIN	•		•	•		•	•	•	•	•	UNIVERSAL WASHROOM (102)
103	965x2150x45	М	НМ	PAINT	-	F1	H1	J1	НМ	PAINT	45MIN	•	•	•	•	•			•			CHANGE ROOM #1 (103) BARRIER-FREE ACTUATOR
106	965x2150x45	М	НМ	PAINT	_	F1	H1	J1	НМ	PAINT	45MIN	•	•	•	•	•			•			CHANGE ROOM #2 (106) BARRIER-FREE ACTUATOR
109A	965x2150x45	М	НМ	PAINT	_	F1	H1	J1	НМ	PAINT	45MIN	•	•	•	• •				•			CHANGE ROOM #3 (109)
109B	965x2150x45	М	НМ	PAINT	-	F1	H1	J1	НМ	PAINT	_	•	•	•	• •	•			•			CHANGE ROOM #3 (109)
112	965x2150x45	М	НМ	PAINT	-	F1	H1	J1	НМ	PAINT	45MIN	•	•	•	• •	•			•			CHANGE ROOM #4 (112)
115A	965x2150x45	М	НМ	PAINT	-	F1	H1	J1	НМ	PAINT	45MIN	•	•	•	• •	•			•			CHANGE ROOM #5 (115)
115B	965x2150x45	М	НМ	PAINT	_	F1	H1	J1	НМ	PAINT	-	•	•	•	• •	•			•			CHANGE ROOM #5 (115)
118	965x2150x45	М	НМ	PAINT	_	F1	H1	J1	НМ	PAINT	45MIN	•	•	•	• •	•			•			CHANGE ROOM #6 (118)
121	965x2150x45	М	НМ	PAINT	-	F1	H1	J1	НМ	PAINT	45MIN											JANITOR (121)
122A	965x2150x45	М	НМ	PAINT	-	F1	H1	J1	НМ	PAINT	45MIN	•	•	• •	•							MECHANICAL ROOM #122
122B	2-965x2150x45	М	НМ	PAINT	-	F2	H1	J1	НМ	PAINT	-	•	•	• •	•	•		•				MECHANICAL ROOM #122
124	965x2150x45	М	НМ	PAINT	_	F1	H1	J1	НМ	PAINT	45MIN	•	•	•	•	•			•			REFEREE CHANGE ROOM #124
132	2-965x2150x45	NL	НМ	PAINT	FRG	F2	H1	J1	НМ	PAINT	45MIN	•	•	•	• •						• •	CORRIDOR #132
134	965x2150x45	М	НМ	PAINT	-	F1	H1	J1	НМ	PAINT	_	•	•	•	• •	•			•			OFFICE #134
135A	915x2150x45	М	НМ	PAINT	-	F1	H1	J1	НМ	PAINT	_	•	•	•	•	•			•			STAFF ROOM #135
135B	815x2150x45	М	НМ	PAINT	_	F1	H1	J1	НМ	PAINT	-	•	•	•	•				•			STAFF ROOM #135 (WASHROOM)

			ROOM SCHEDULE								TYPICAL SHOWERS : FLOOR TILES : QUEBEC SERIES 2x2 MOSAIC		
	ROOM			BASE			LLS	1	CEILING	CEILING HEIGHT	REV.	REMARKS	WALL TILES :
NO.	ROOM NAME	MAT.	FLOOR	H1. (mm)	NORTH CB	EAST CB	SOUTH	WEST BR	GYB	3400			
100	VESTIBULE	FIN.	SEAL	P	Р	Р	NF	NF	Р	-		(G01)	
101	CORRIDOR	MAT.	CONC	_ 	СВ	CB P	CB P	СВ	EXP	4000			
400	UNIVERSAL	FIN. MAT.	RST CONC	RB -	P CB	CB	CB	P CB	P EXP	4000			
102	WASHROOM	FIN.	RST	Р	Р	Р	Р	Р	Р	_			
103	CHANGE ROOM #1	MAT. FIN.	CONC RST	— Р	CB P	CB P	CB P	CB P	EXP P	4000		-	
104	WASHROOM #1	MAT.	CONC	_	СВ	СВ	СВ	СВ	EXP	4000			ITION & DOOR — PAINTED ACCESSORIES
	, , , , , , , , , , , , , , , , , , ,	FIN. MAT.	CONC	P _	P CB	P CB	P CB	P CB	P GYB	_		GYP. BD. Pl	LUS MOLD RESISTANT
105	SHOWER #1	FIN.	СТ	СТ	CT	CT	СТ	СТ	Р	2400			ARD—P, TRENCH DRAIN—CT SITIVE TRANSITION/HIGH POINT
106	CHANGE ROOM #2	MAT. FIN.	CONC RST	— Р	CB P	CB P	CB P	CB P	EXP P	4000		-	
107	WASHROOM #2	MAT.	CONC	_	СВ	СВ	СВ	СВ	EXP	4000			ITION & DOOR - PAINTED
107	WASTINOOM #2	FIN.	CT	Р	Р	Р	P	P	P	_			ACCESSORIES LUS MOLD RESISTANT
108	SHOWER #2	MAT.	CONC	- CT	CB CT	CB CT	CB CT	CB CT	GYB P	2400		GYPSUM BO	ARD-P, TRENCH DRAIN-CT SITIVE TRANSITION/HIGH POINT
109	CHANGE ROOM #3	MAT.	CONC	_	СВ	СВ	СВ	СВ	EXP	4000		_	SHITE HAMSHON HOLL TOM
	· ·	FIN. MAT.	RST CONC	P –	P CB	P CB	P CB	P CB	P EXP	4000		METAL PARTI	ITION & DOOR — PAINTED
110	WASHROOM #3	FIN.	СТ	Р	Р	Р	Р	Р	Р	_			ACCESSORIES LUS MOLD RESISTANT
111	SHOWER #3	MAT.	CONC	- CT	CB CT	CB CT	CB CT	CB CT	GYB P	2400		GYPSUM BO	LOS MOLD RESISTANT ARD—P, TRENCH DRAIN—CT SITIVE TRANSITION/HIGH POINT
112	CHANGE ROOM #4	MAT.	CONC	-	СВ	СВ	СВ	CB	EXP	4000		LENSURE POS	SITIVE TRANSITION/HIGH POINT
112	"	FIN. MAT.	RST CONC	P _	P CB	P CB	P CB	P CB	P EXP	4000		METAL DADT	ITION & DOOR — PAINTED
113	WASHROOM #4	FIN.	CT	Р	Р	P	P	P	P	-			ACCESSORIES
114	SHOWER #4	MAT.	CONC	- CT	CB	CB	СВ	CB	GYB P	-		GYPSUM BO	LUS MOLD RESISTANT ARD-P, TRENCH DRAIN-CT
115	CHANCE DOOM #E	MAT.	CONC	-	CT CB	CT CB	CT CB	CT CB	EXP	2400 4000		ENSURE POS	SITIVE TRANSITION/HIGH POINT
115	CHANGE ROOM #5	FIN.	RST	Р	Р	Р	Р	Р	Р	-		1	
116	WASHROOM #5	MAT. FIN.	CONC	— Р	CB P	CB P	CB P	CB P	EXP P	4000			ITION & DOOR — PAINTED ACCESSORIES
117	SHOWER #5	MAT.	CONC	_	СВ	CB	СВ	СВ	GYB	_			LUS MOLD RESISTANT ARD-P, TRENCH DRAIN-CT
	"	FIN. MAT.	CT CONC	CT -	CT CB	CT CB	CT CB	CT CB	P EXP	2400 4000			SITIVE TRANSITION/HIGH POINT
118	CHANGE ROOM #6	FIN.	RST	Р	P	P	P	P	P	-			
119	WASHROOM #6	MAT. FIN.	CONC	— Р	CB P	CB P	CB P	CB P	EXP P	4000			ITION & DOOR — PAINTED ACCESSORIES
120	SHOWER #6	MAT.	CONC	_	СВ	СВ	СВ	СВ	GYB	_			
120	SHOWER #0	FIN.	CT	CT	CT	CT	CT	CT	P EXP	2400 4000		SLOP SINK	
121	JANITOR	MAT.	CONC SEAL	_	CB P	CB P	CB P	CB P	Р	4000		SLUP SINK	
122	MECHANICAL ROOM	MAT.	CONC	_	СВ	СВ	СВ	СВ	EXP	4000			
	+	FIN. MAT.	SEAL CONC	_	P CB	P CB	P _	P CB	P EXP	4000			
123	REFEREE HALL	FIN.	RST	Р	Р	Р	_	Р	Р	_		_	
124	REFEREE CHANGE ROOM	MAT. FIN.	CONC RST	— Р	CB P	CB P	CB P	CB P	EXP P	4000		_	
125	WASHROOM #7	MAT.	CONC	_	СВ	СВ	СВ	CB	EXP	4000			ITION & DOOR — PAINTED
	, , , , , , , , , , , , , , , , , , ,	FIN. MAT.	CT CONC	P –	P CB	P CB	P CB	P CB	P GYB	_		GYP. BD. PL	ACCESSORIES LUS MOLD RESISTANT
126	SHOWER #7	FIN.	CONC	CT	CT	CT	CB	CB	Р	2400		GYPSUM BO	ARD-P, TRENCH DRAIN-CT SITIVE TRANSITION/HIGH POINT
130	EXISTING CORRIDOR	MAT.	CONC	-	EX/GYB	EX	EX	EX	_ ACT/EV	- ±3050		NORTH WALL GYPSUM BO	_ — GYB FIN. PAÍNTED ARD BULKHEAD — PANTED
474	+	FIN. MAT.	SEAL CONC	_	P EX	P EX	P EX	P CB	ACT/EX FRP/GB	±3050 -		DOOR - PA	NTED HEIGHT TO MATCH EXISTING
131	EXISTING CHANGE ROOM	FIN.	SEAL	-	Р	Р	Р	P	Р	*		1	The second secon
132	CORRIDOR	MAT.	CONC SEAL	_	EX P	CB P	_	EX/CB P	- ACT	±2200		GYPSUM BO	ARD BULKHEAD — PANTED
133	ACCESSIBLE VIEWING AREA	MAT.	CONC	_	LP	EX/CB	_	_	EXP	-		SUPPLY ELE	CCTRICAL HEATING
	MOOLSSIDLE VIEWING AINLA	FIN. MAT.	SEAL CONC	_	– EX	P EX	- CB	EX	- FRP/GB	_		* 05" ":	NICIONIT TO MATCH EVICTOR
134	OFFICE	FIN.	SEAL	_	Р	P	Р	P	P	*		_ * — UEILING	G HEIGHT TO MATCH EXISTING
135	STAFF ROOM	MAT.	CONC SEAL	-	СВ	EX P	EX P	EX P	FRP/GB	- *		* - CEILING	G HEIGHT TO MATCH EXISTING
		ı HIN	, SEAL	_	l P	۲ .		ı P	1 P	T	Ī	1	

DO NOT SCALE THE DRAWINGS.

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NO.	ISSUES	DATE	B'
1	ISSUED FOR CLIENT REVIEW	NOV. 28, 2023	BB/
2	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BB
3	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BB

NO.	REVISIONS	DATE	BY

PROJECT:

GRAND VALLEY ARENA RENOVATION & ADDITION

DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 5N6 TOWN OF GRAND VALLEY

DRAWING:

ROOM AND DOOR SCHEDULES



BARRY BRYAN ASSOCIATES Architects Engineers Project Managers 250 Water Street

Suite 201 Whitby, Ontario L1N 0G5 Tel: (905) 666-5252 Fax: (905) 666-5256

DATE: e-mail: bba@bba-archeng.com

NOV. 23, 2023 SCALE: AS NOTED FILE: 21171 A901

DRAWING NO:

DESIGN BY: BBA

DRAWN BY:

CHECKED BY:

PROJECT NO: 21171

A901

% COMPLETE:

GENERAL

REQUIREMENTS.

- 1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF ALL RELEVANT CODES AND STANDARDS.
- 2. CONFORM TO OWNER'S GENERAL SPECIFICATIONS INCLUDING ALL SAFETY
- 3. SITE VERIFY ALL DIMENSIONS AND LEVELS.
- 4. KEEP THE SITE THROUGHOUT THE WORK AREA IN A CLEAN AND ORDERLY CONDITION AT ALL TIMES TO THE SATISFACTION OF THE OWNER.
- 5. THE LATEST EDITION OF ALL CODES AND STANDARDS SHALL BE USED.
- 6. ALL STRUCTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH OTHER CONSULTANTS DRAWINGS.

DESIGN NOTES

- LATERAL FORCE RESISTING SYSTEM: EAST-WEST: REINFORCED MASONRY WALLS NORTH-SOUTH: REINFORCED MASONRY WALLS
- 2. DESIGN HOURLY WIND PRESSURES 1/10 : 0.30 kPa
- 1/50 : 0.39 kPa 3. DESIGN SNOW LOADS

Ss : 2.7 kPa

Sr : 0.4 kPa

4. SEISMIC DESIGN NOTES:

SITE CLASS "D" ASSUMED DESIGN SPECTRAL RESPONSE ACCELERATIONS

Sa (0.2) = 0.101Sa (0.5) = 0.075Sa(1.0) = 0.046Sa (2.0) = 0.0240Sa (5.0) = 0.0061Sa (10.0) = 0.0025

SFRS Rd AND Ro FACTORS

PGA = 0.058

PGV = 0.059

EAST-WEST REINFORCED MASONRY WALLS: Rd=1.5 Ro=1.3NORTH-SOUTH REINFORCED MASONRY WALLS

4 BASE SHEARS : UNFACTORED WIND: NORTH-SOUTH 40kN EAST-WEST : 20kN

Rd=1.5; Ro=1.3

EQ. NORTH-SOUTH: 90kN EQ. EAST-WEST : 75kN

1. CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF CAN/CSA-A23.1 AND CAN/CSA-A23.3 WITH THE FOLLOWING PROVISION:

LOCATION	DESIGN STRENGTH (28 DAYS)	SLUMP	EXPOSURE CLASS
EXTERIOR FOOTINGS/ FOUNDATION WALLS AND PIERS	25 MPa	80± 30	F-2
INTERIOR FOOTINGS/FOUNDATION WALLS AND PIERS	25 MPa	80± 30	N
SLAB ON GRADE	25 MPa	80± 30	N*
ALL OTHER INTERIOR CONCRETE	25 MPa	80± 30	N
ALL EXTERIOR REINFORCED CONCRETE (STAIRS & RETAINING WALLS)	35 MPa U.N.O.	80± 30	C-1
EXTERIOR UN-REINFORCED CONCRETE (CURBS & CONCRETE WALKWAYS)	32 MPa U.N.O.	80± 30	C-2

2. NO ADDITIONAL WATER SHALL BE ADDED AT THE JOB SITE. CONCRETE WHICH HAS BEEN WATERED OR DOES NOT MEET SPECIFICATIONS SHALL BE REJECTED.

ACCORDANCE WITH THE REQUIREMENTS OF CSA A23.1, LATEST EDITION.

- 3. DURING WINTER WEATHER BELOW 5 °C PROVIDE TEMPORARY HEATING OF CONCRETE IN
- 4. STRUCTURAL GROUT SHALL BE NON-SHRINK, NON METALLIC M-BED STANDARD PREMIX BY SIKA OR APPROVED EQUAL.
- 5. WHEN PIPES, CONDUITS, OR SLEEVES ARE REQUIRED TO PENETRATE CONCRETE
- ASSEMBLIES, THE FOLLOWING SHALL BE OBSERVED
- SPACING OF SUCH ITEMS SHALL BE 3x DIAMETER C/C. CONCRETE SHALL NOT BE PENETRATED WITHIN 600mm (24") OF
- CONCENTRATED LOADS. ANY PENETRATIONS SHALL BE A MINIMUM OF 600mm (24") FROM ALL EDGES. SUCH AS ENDS AND TOPS OF WALLS.
- FOR ANY PENETRATIONS GREATER THAN 300mm (12"), CONSULT THE ENGINEER FOR REVIEW AND DETERMINATION OF EXTRA REINFORCEMENT

SLAB ON GRADE

- 1. CAST SLAB ON GRADE ON 200mm (8")MIN CRUSHED STONE AND COMPACTED SUB-GRADE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT UNLESS NOTED
- 2. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS OF COMPOSITION OF MATERIALS BELOW GRADE (INSULATION AND VAPOUR BARRIER).
- 3. SAWCUT WITHIN 6 TO 18 HOURS. REFER TO THE DRAWINGS FOR SAWCUT REQUIREMENTS.
- 4. DO NOT CAST SLAB MORE THAN 30 METERS IN LENGTH IN EITHER DIRECTION. PLACE SLAB IN STRIP PATTERN. KEY CONSTRUCTION JOINTS AS DETAILED.
- 5. MAINTAIN MINIMUM SPECIFIED THICKNESS AT ALL DEPRESSIONS AND CHANGES IN ELEVATIONS.
- 6. REFER TO ARCHITECTURAL DRAWINGS FOR EXTENT AND LOCATION OF ALL FINISHES, DEPRESSIONS AND SLOPES.
- 7. WELDED WIRE MESH REINFORCING IN SLABS ON GRADE MUST BE PROPERLY CHAIRED.
- LIFTING OF THE WIRE MESH DURING POURS WILL NOT BE ACCEPTED.

FOUNDATIONS

- 1. FOUNDATION DESIGN BASED ON ASSUMED BEARING CAPACITY OF 100 kPa (SLS) AND 150 kPa (ULS) ON NATIVE MATERIAL. THE BEARING CAPACITY MUST BE CONFIRMED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING FOUNDATIONS.
- 2. ALL FOOTINGS SHALL BEAR ON UNDISTURBED NATIVE SOIL OR ENGINEERED FILL AS APPROVED BY THE GEOTECHNICAL CONSULTANT. REPORT ANY DOUBTFUL BEARING CONDITIONS TO THE STRUCTURAL ENGINEER BEFORE PLACING FOOTING.
- MATERIALS FOR BACKFILL SHALL BE GRANULAR 'A' AND GRANULAR 'B' CONFORMING TO OPSS STANDARDS COMPACTED TO 98% STANDARD PROCTOR MAX. DRY DENSITY.
- 4. ALL EXTERIOR FOOTINGS SHALL BE MINIMUM 1200mm BELOW FINISHED GRADE, AS SHOWN ON DRAWINGS.
- 5. ALL PIERS AND FOOTINGS UNDER COLUMNS TO BE CENTRED UNDER THE COLUMNS UNLESS NOTED OTHERWISE ON THE PLAN.

CONCRETE REINFORCEMENT

1. THE CLEAR DISTANCE BETWEEN REINFORCING STEEL AND SURFACE OF CONCRETE SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE.

- CLEAR COVER LOCATION 75mm(3") UNDERSIDE FOOTINGS 50mm(2") TOP AND ENDS 50mm(2") AGAINST EARTH (20M BAR OR GREATER) 40mm(1½") AGAINST EARTH (15M BAR) WALLS |40mm (1½") AGAINST FORM (20M BAR OR GREATER) 25mm (1") AGAINST FORM (15M BAR) 25mm(1") TOP BARS SLABS 25mm(1") BOTTOM BARS 40mm(1½") TO TIES COLUMNS/PIERS SURFACE IN CONTACT 75mm(3") WITH GROUND
- 2. DETAIL REINFORCING STEEL IN ACCORDANCE WITH "REINFORCING STEEL MANUAL OF STANDARD PRACTICE" LATEST EDITION.
- 3. REINFORCING BAR SPLICES FOR DEFORMED BARS: COLUMNS - COMPRESSION LAP UNLESS NOTED WALLS - CLASS 'B' TENSION SPLICE UNLESS NOTED ALL OTHERS - CLASS 'B' TENSION LAP UNLESS NOTED
- 4. ALL REINFORCING STEEL SHALL BE DEFORMED HARD GRADE BILLET STEEL CONFORMING TO CSA G30.18 GRADE 400.
- 5. WELDED STEEL WIRE FABRIC, PLAIN TYPE CONFORMING TO ASTM A1064/A1064M-17 IN FLAT SHEETS NOT ROLLED.
- 6. ALL CONCRETE REINFORCEMENT MUST BE PROPERLY CHAIRED WITH APPROVED BAR
- 7. PROVIDE CHAIRS, SPACER BARS, SUPPORT BARS AND OTHER ACCESSORIES TO SUPPORT REINFORCING IN ACCORDANCE WITH THE LATEST EDITIONS OF CSA A23.1 CSA A23.3 CHAIRS TO BE PLASTIC, PLASTIC TIPPED OR CONCRETE. ALL TIE WIRE, CHAIRS AND BAR SUPPORTS USED FOR COATED REINFORCING SHALL BE NON-METALLIC OR PROTECTED WITH ACCEPTABLE COATING.
- 9. CHAIRS SHALL BE SPACED AT 1200mm(4'-0")0.C. MAXIMUM.

MASONRY

- MASONRY WORK IN ACCORDANCE WITH CAN/CSA A370 AND CAN/CSA A371 EXCEPT WHERE SPECIFIED OTHERWISE.
- ONLY TYPE 'S' MORTAR SHALL BE USED, MINIMUM STRENGTH SHALL BE 12.4 MPa AT
- GROUT (PEA GRAVEL) AT BOND BEAMS AND GROUTED HOLLOW BLOCKS TO BE A MINIMUM OF 20MPa COMPRESSIVE STRENGTH AT 28 DAYS. IN ACCORDANCE WITH CAN3-A23.1
- 4. MORTAR FOR EXPOSED EXTERIOR MASONRY SHALL BE AIR ENTRAINED.
- PROVIDE LATERAL RESTRAINT AT TOP OF NON-LOAD BEARING BLOCK PARTITIONS AS INDICATED ON TYPICAL DETAILS.
- PROVIDE VERTICAL WALL REINFORCING FOR FULL HEIGHT OF LIFT, CONTINUOUS FROM FLOOR TO FLOOR/ROOF, WITH CLASS B LAPS.
- MASONRY WORK SHALL CONFORM TO CAN3-S304 AND ITS REFERENCED DOCUMENTS, INCLUDING:
- A. CONCRETE BLOCK TO CSA-A165.1, TYPE H15/A, SEE ARCH. DWGS. FOR FIREWALL REQUIREMENTS UNLESS NOTED OTHERWISE. (BASED ON NET AREA) - H 15/C FOR FIREWALL
- MORTAR TO CSA-A179M, TYPE 'S' FOR ALL WALLS GROUT TO CSA-A179-M.
- MASONRY WIRE REINFORCING TO CSA-G30.14. REINFORCING BARS TO CSA-G30.18-M-400 MPa.
- WELDED REINFORCING BARS TO CSA-G30.18-400 MPa. G. CONNECTION TO CAN/CSA A370.
- H. PRACTICE TO CAN/CSA A371. 8. STRUCTURAL DRAWINGS INDICATE ONLY LOAD-BEARING WALLS.
- SUBMIT EVIDENCE OF MORTAR AND GROUT STRENGTH. FIELD CONTROL AND TESTING SHALL COMPLY WITH REQUIREMENTS OF CLAUSE 5 OF CAN3-304.
- PROVIDE TEMPORARY BRACING OF MASONRY WORK UNTIL PERMANENT LATERAL SUPPORT IS IN PLACE

- 12. REFER TO TYPICAL DETAILS FOR BOND BEAM AND BEARING REQUIREMENTS AT FLOORS

13. MINIMUM STANDARD LAP LENGTH: WIRE REINF. – 200mm(8") 10M BARS - 400mm(16") 15M BARS - 600mm(24")

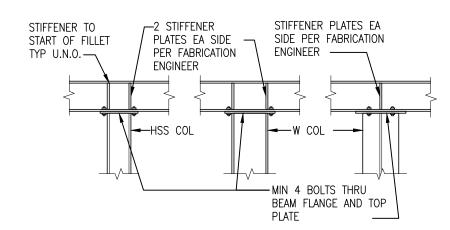
- 20M BARS 800mm(32")14. UNLESS NOTED OTHERWISE, PROVIDE 2-15M VERTICAL BARS FULL HEIGHT AT: A. UNSUPPORTED ENDS OF WALLS B. EACH SIDE OF CONTROL JOINTS
- 15. PROVIDE CLEANOUT PORT AT BOTTOM OF EACH GROUTED CORE WHEN REQUIRED BY ENGINEER. DO NOT CLOSE PORT OR PLACE GROUT UNTIL CORE AND STEEL HAVE BEEN
- 16. FILL CELLS CONTAINING VERTICAL REINFORCING AND BOLTS WITH GROUT VIBRATE OR PUDDLE TO FILL CELLS COMPLETELY.
- 17. FILL CELLS IN 1500mm (60") LIFTS MAXIMUM OR BETWEEN BOND BEAMS, WHICHEVER IS LESS, UNLESS SPECIAL PROVISIONS ARE MADE TO ENSURE FULL GROUT COLUMNS HAVE BEEN MADE TO THE SATISFACTION OF THE ENGINEER.
- 18. CONTROL JOINTS SHALL BE INSTALLED AT MAXIMUM SPACING OF 6000mm(20'-0"), IF 7. STEEL DECK SHALL BE SPOT WELDED TO STRUCTURAL STEEL BY 19mm DIA. FUSION NOT OTHERWISE SHOWN ON ARCHITECTURAL DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 19. FILL BLOCK CORES UNDER ALL BEAMS, JOISTS AND OTHER CONCENTRATED POINT LOADS WITH CONCRETE GROUT. GROUT SHALL EXTEND A MINIMUM OF 600mm (24")
- 20. CONTROL JOINTS AND EXPANSION JOINTS SHALL BE CONTINUED THROUGH BOND BEAMS IF NOT OTHERWISE SHOWN.
- 21. NO MASONRY WORK SHALL BE PERMITTED WITH TEMPERATURE BELOW 5° CELSIUS, UNLESS PROVISIONS ARE MADE FOR HEATING THE MATERIALS AND PROTECTING THE
- 22. SET BASE PLATES ON MASONRY ON MIN. 25MPa NON-SHRINK GROUT FOR LEVELING.
- FIRST COURSE OF MASONRY TO BE LAID IN A FULL BED OF MORTAR. ALL OTHER
- COURSES TO BE LAID WITH MORTAR AT FACE SHELL BED AND HEAD JOINTS.

CONCRETE BLOCK MASONRY COMPRESSIVE STRENGTH (MPa)						
LOCATION	NET	GROSS (f'm) FOR HOLLOW BLOCK	GROSS (f'm) FOR SOLID OR GROUTED BLOCK			
TYP. ALL CONCRETE BLOCK	15	9.8	7.5			

24. POCKETS FOR STEEL BEAMS AND JOISTS SHALL BE GROUTED SOLID AND THE WALL MADE GOOD AFTER

STRUCTURAL STEEL

- 1. ALL STRUCTURAL STEEL HSS AND W SECTIONS TO BE G40.21M-350W CLASS C.
- ALL OTHERS TO BE G40.21M-300W. 2. DESIGN FORCES INDICATED ON DRAWINGS FOR STRUCTURAL STEEL WORK ARE
- UN-FACTORED FORCES UNLESS NOTED OTHERWISE.
- 3. ALL CONNECTIONS TO BE DESIGNED BY FABRICATOR UNLESS NOTED OTHERWISE. ALL BEAM CONNECTIONS TO BE STANDARD SHEAR CONNECTIONS IN COMPLIANCE WITH CISC, UNLESS NOTED OTHERWISE
- 4. PROVIDE SHOP DRAWINGS OF COMPONENTS AND CONNECTIONS DESIGNED BY THE FABRICATOR'S ENGINEER. DRAWINGS SHALL BE SIGNED AND SEALED BY THAT ENGINEER.
- 5. FABRICATOR'S ENGINEER MUST BE LICENSED IN THE PROVINCE OF ONTARIO.
- 6. ALL ERECTION BOLTS SHALL BE ASTM GRADE A325 MINIMUM, AND SHALL BE DESIGNED
- BY STEEL FABRICATOR'S ENGINEER FOR TRANSFER OF ALL LOADS. 7. BOLTED CONNECTIONS SHALL HAVE A MINIMUM OF TWO BOLTS IN EACH CONNECTION
- PIECE AND DESIGNED AS BEARING CONNECTIONS U.N.O. B. UNLESS NOTED OTHERWISE, WHERE BEAMS FRAME OVER COLUMNS, PROVIDE FULL HEIGHT, FULL WIDTH STIFFENER PLATES ON EACH SIDE OVER COLUMN AS SHOWN BELOW:



- 9. FABRICATOR'S ENGINEER SHALL DESIGN TOP PLATES AND THEIR CONNECTIONS TO FULLY TRANSFER VERTICAL AND HORIZONTAL LOADS AS WELL AS MOMENTS WHEN REQUIRED PER CISC STANDARDS.
- 10. FABRICATION, ERECTION AND WORKMANSHIP SHALL CONFORM TO CSA S16.1.
- 11. ALL WELDING SHALL CONFORM TO CSA W59 AND SHALL BE PERFORMED BY A WELDER QUALIFIED UNDER CSA W47.
- 12. ALL STRUCTURAL STEEL SHALL BE PAINTED WITH ONE SHOP APPLIED COAT OF PRIMER. SPOT PRIME ALL WELDED AREAS.
- 13. REMOVE PAINT FILM FROM ALL STEEL SURFACES TO BE WELDED. SPOT PRIME AS
- 14. ALL WELDED CONNECTIONS SHALL BE WITH CSA W48 SERIES ELECTRODES.
- 15. PROVIDE DRAINAGE HOLES TO ARCHITECT'S APPROVAL IN ALL EXPOSED EXTERIOR HSS

SHAPE OF EQUAL OR GREATER SECTION PROPERTIES AND STRUCTURAL CAPACITY SHALL

- 16. PROVIDE CAP PLATES ON ALL HSS FRAMING MEMBERS UNLESS NOTED OTHERWISE.
- 17. DO NOT CUT OR CORE ANY OPENINGS IN ANY STRUCTURAL STEEL MEMBERS WITHOUT PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER. 18. WHERE A STRUCTURAL STEEL SHAPE SHOWN ON THE DRAWINGS IS UNAVAILABLE, A
- BE SUBSTITUTED, UPON APPROVAL BY OWNER AND CONSULTANT AT NO EXTRA COST.

19. ALL EXPOSED STEEL SHALL BE HOT DIP GALVANIZED.

- 1. STEEL JOISTS AND BRIDGING TO BE IN ACCORDANCE WITH CAN/CSA S16.1 LATEST EDITION AND CSA-S136 LATEST EDITION WITH BRIDGING DESIGNED AND DETAILED BY THE MANUFACTURER. BRIDGING SHALL EXTEND AND BE CONNECTED TO ABUTTING WALLS
- 2. JOIST DESIGNER SHALL BE RESPONSIBLE FOR CONNECTIONS BETWEEN BRIDGING AND SUPPORTING AND/OR MASONRY STRUCTURE
- 3. MECHANICAL LOADING ALLOWANCES SHOWN ON THE DRAWINGS ARE FOR DESIGN PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THAT THE LOADS USED BY THE JOIST DESIGNER ACCURATELY REFLECT THE ACTUAL UNIT OPERATING WEIGHTS INCLUDING PIPES, DUCTS AND OTHER EQUIPMENT BEING INSTALLED.
- 4. CAMBER JOISTS FOR DEAD LOAD.
- 5. LIMIT LIVE LOAD DEFLECTION OF JOISTS TO L/360 FOR LIVE LOAD AND L/240 FOR
- SERVICE LOADS UNLESS NOTED OTHERWISE ON PLANS. PROVIDE LINTELS OVER ALL OPENINGS IN MASONRY WALLS. SEE LINTEL SCHEDULE FOR 6. WHERE CONCENTRATED LOADS DO NOT INTERSECT OWSJ PANEL POINTS, PROVIDE ADDITIONAL JOIST WEB DIAGONAL BETWEEN CONCENTRATED LOAD AND NEAREST PANEL
 - POINT. REFER TO TYPICAL DETAILS FOR ADDITIONAL INFORMATION. . HANGERS FOR SUSPENSION OF DUCTS, PIPES OR CEILING SHALL BE CONNECTED TO JOIST PANEL POINT ONLY. PIPES 50mm O.D. OR LARGER SHALL BE HUNG FROM TOP CHORD PANEL POINTS. USE APPROVED CLAMPING DEVICE OR U-BOLT TYPE CONNECTION ONLY. NO WELDING, CUTTING OR DRILLING IS PERMITTED ON OWSJ OR BRIDGING.

STEEL DECK

- 1. STEEL SHEET TO CSSB1-10M GRADE A STRUCTURAL QUALITY (fy=230 MPa).
- 2. SPAN DECK OVER AT LEAST 3 SPANS AND PROVIDE INCREASED MATERIAL THICKNESS TO COMPENSATE FOR DISCONTINUITY WHERE LESS THAN 3 SPANS OCCUR.
- 3. DO NOT SUPPORT CEILING, LIGHTS, DUCTS OR PIPE FROM STEEL DECK. 4. PROVIDE CELL CLOSURES AT SUPPORTS UNLESS NOTED OTHERWISE.
- 5. PROVIDE CLEAN FORMED EDGE AT ENDS OF COMPOSITE SLAB OPENINGS.
- 6. GROUT UNDERSIDE OF STEEL FLUTES SOLID WHERE FLOOR DECK SUPPORTS MASONRY WELDS SPACED AT 300mm CENTRE, WITH A WELD ON EACH SIDE OF A SIDE LAPPED
- 8. STEEL DECK SHALL HAVE ADEQUATE CAPACITY TO SUPPORT LOADS GIVEN ON DRAWINGS.

JOINT UNLESS OTHERWISE NOTED. SHEET TO BE BUTTON PUNCHED AT 610mm (24")

9. STEEL DECK SUB-CONTRACTOR SHALL REINFORCE DECK FOR ROOF OPENINGS 150mm (6") TO 300mm (12") SQUARE ON SITE.

TEMPORARY WORKS

- 1. THE CONTRACTOR SHALL DESIGN, PROVIDE, ERECT, MAINTAIN REMOVE AND ASSUME FULL AND SOLE RESPONSIBILITY FOR ALL TEMPORARY WORKS REQUIRED FOR THE SAFE AND COMPLETE EXECUTION OF THE WORKS.
- 2. IN THE EXECUTION OF THE TEMPORARY WORKS AND FOR THE DURATION OF THE CONTRACT, THE CONTRACTOR SHALL MAKE ADEQUATE PROVISION FOR ALL LIKELY CONSTRUCTION LOADING AND PROVIDE SUFFICIENT BRACING AND PROPS TO KEEP THE
- WORKS IN PLUMB AND ALIGNMENT AND FREE FROM EXCESSIVE DEFLECTION. 3. ACCESS OF HEAVY CONSTRUCTION EQUIPMENT AND ACCUMULATION OF CONSTRUCTION MATERIALS ON THE FLOORS ARE NOT PERMITTED, UNLESS SUCH HAVE BEEN CATERED

FOR IN THE CONTRACTOR'S TEMPORARY WORK DESIGN TO THE SATISFACTION OF THE

4. SUBMIT SHOP DRAWINGS FOR ALL TEMPORARY WORKS FOR REVIEW BEFORE FABRICATION COMMENCES. SHOP DRAWINGS SHALL BE SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF ONTARIO.

INSPECTIONS AND TESTING

1. THE FOLLOWING ITEMS SHALL BE INSPECTED OR TESTED BY INDEPENDENT INSPECTION/ TESTING AGENCIES DESIGNATED BY THE CLIENT. MATERIALS AND WORKMANSHIP NOT CONFORMING TO THE SPECIFICATIONS SHALL BE REJECTED BY THE CONTRACTOR. REPORTS AND TEST RESULTS SHALL BE PROMPTLY SUBMITTED TO THE ENGINEER FOR REVIEW. TESTING SHALL INCLUDE BUT NOT BE LIMITED TO:

CONCRETE

- 1. CONCRETE AND GROUT TESTING IN ACCORDANCE WITH CSA A23.2 LATEST EDITION AND THE SPECIFICATIONS. INCLUDING THE REQUIREMENTS OF SLUMP. AIR AND AGE PRIOR TO BEING USED. CONTRACTOR TO KEEP RECORDS OF POUR DATES, TESTING PERFORMED, CLASS OF CONCRETE USED AND TEST RESULTS FOR ALL ITEMS
- 2. TESTING TO DETERMINE THE IN-SITU STRENGTH OF CONCRETE FOR EARLY FORM REMOVAL PURPOSES WITH THE TYPE OF TEST BEING DETERMINED ON THE ADVICE OF THE TESTING AGENCY REPAIRS NECESSARY TO THE STRUCTURE AS A RESULT OF THESE TESTS SHALL BE MADE BY THE CONTRACTOR AT NO EXPENSE TO THE
- 3. APPROVAL OF CONCRETE AND MORTAR MIX DESIGNS.
- 4. TESTING AS REQUIRED AND SPECIFIED BY THE ENGINEER TO DETERMINE THE IN-SITU STRENGTH OF CONCRETE WHICH FAILS TO MEET THE SPECIFIED REQUIREMENTS OR WHICH, DUE TO APPEARANCE, DAMAGE OR DEFECTS MAY BE DEEMED REJECTABLE. CORES SHALL BE ACQUIRED AND TESTED BY THE DESIGNATED TESTING AGENCY BUT ANY REPAIRS NECESSARY TO THE STRUCTURE AS A RESULT OF THESE TESTS SHALL

ENGINEERED MASONRY TEST

BE PERFORMED AT NO COST TO THE OWNER.

1. TESTS TO VERIFY STRENGTH OF GROUT AND MORTAR.

STRUCTURAL STEEL

- 1. VISUAL INSPECTION OF ALL WELDS, TORQUE TESTING OF BOLTED CONNECTIONS AND CHECK ON BEARING, PLUMBNESS AND ALIGNMENT OF STEEL STRUCTURES.
- 2. NON-DESTRUCTIVE TESTING TO VERIFY THE QUALITY OF WELDING, WHERE DEEMED QUESTIONABLE BY VISIBLE DEFECTS OR WHERE REQUIRED BY THE ENGINEER. REINFORCING STEEL
- 1. CONTRACTOR SHALL ADVISE BARRY BRYAN ASSOCIATES (1991)LTD. OF REQUIRED REINFORCING STEEL INSPECTIONS AT LEAST 24 HOURS PRIOR TO CLOSING OF COLUMN OR WALL FORMS AND 24 HOURS PRIOR TO PLACING OF CONCRETE IN SLABS, FOOTINGS, ETC.

SHOP DRAWINGS AND SUBMITTALS

- 1. SEPIAS OR REPRODUCTIONS OF THE STRUCTURAL DRAWINGS SHALL NOT BE ACCEPTED AS SHOP DRAWINGS. "PROFESSIONAL ENGINEER" IN THE FOLLOWING PARAGRAPHS SHALL BE REGISTERED AND LICENSED TO PRACTICE IN THE PROVINCE
- REVIEW OF DRAWINGS APPLIES TO GENERAL ARRANGEMENT ONLY FOR THE PURPOSE OF ASCERTAINING CONFORMANCE WITH THE GENERAL DESIGN CONCEPT. THIS REVIEW DOES NOT IMPLY APPROVAL OF DETAIL DESIGN OR QUANTITIES IN SUBMITTED DRAWINGS, NOR DOES IT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY FOR MAKING THE WORK COMPLETE, ACCURATE AND IN ACCORDANCE WITH THE
- 3. DO NOT FABRICATE MATERIALS BASED ON REJECTED OR DISAPPROVED SHOP

STRUCTURAL DRAWINGS. ALLOW 10 WORKING DAYS FOR SHOP DRAWING REVIEW.

4. SHOP DRAWING SUBMITTALS SHALL ALSO INCLUDE CLADDING CONNECTION DETAILS, STAIR DETAILS, SAFETY GUARDS, INTERIOR, GLAZING WALL AT FEATURE STAIR WITH GUARD RAIL LOADING. AND EXTERIOR SUNSHADE LOUVRE SUPPORT FRAMES. WHICH SHALL BE SIGNED AND STAMPED BY A PROFESSIONAL ENGINEER IN ACCORDANCE

WITH N.B.C. SECTIONS 2.3.4.4 AND 2.3.4.5 LATEST EDITIONS. REINFORCED CONCRETE

- SUBMIT FOR REVIEW 2 COPIES AND 1 SEPIA OF REINFORCEMENT PLACING DRAWINGS AND BARLISTS FOR EVERY PORTION OF THE STRUCTURE. SHOW WALLS IN FULL
- ELEVATION. SHOW SLABS WITH REINFORCING STEEL CALLED UP DIRECTLY ON PLAN. PROVIDE DETAILS OF DESIGN AND CONSTRUCTION OF FORMS AND FALSEWORK, SHORING AND RESHORING AND ANY SPECIAL REQUIREMENTS FOR STRIPPING OF FORMWORK. ALL SUCH DESIGN SHEETS SHALL BE PREPARED AND STAMPED BY A
- PROFESSIONAL ENGINEER. 3. SUBMIT FOR REVIEW ALL PROPOSED CONCRETE MIX DESIGNS. SUBMIT AT LEAST 15 WORKING DAYS PRIOR TO START OF WORK
- 4. SUBMIT FOR REVIEW DRAWINGS OF ALL PROPOSED CONSTRUCTION JOINTS LOCATIONS, AND LAYOUT DRAWINGS OF CONCRETE ISOLATION AND HOUSEKEEPING
- 5. REGULARLY SUBMIT REPORTS OF ALL CONCRETE TESTING AS SOON AFTER TESTING IS PERFORMED AS POSSIBLE.

MASONRY 1. SUBMIT EVIDENCE OF MORTAR AND GROUT STRENGTH.

<u>RECORD DRAWINGS</u> GENERAL CONTRACTOR SHALL MAINTAIN TWO SETS OF RECORD DRAWINGS WHICH SHOW AS-BUILT DETAILS OF ALL ASPECTS OF THE STRUCTURE, FOR REVIEW DURING CONSTRUCTION AND FOR SUBMISSION AT THE END OF THE PROJECT.

EXCAVATION, BACKFILLING AND GRADING

- CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, THE ONTARIO PROVINCIAL STANDARD SPECIFICATIONS (OPSS) AND THE WORKPLACE HEALTH AND
- PROVIDE MINIMUM 8" TOPSOIL BELOW ANY DISTURBED GREEN SCAPE AREAS TO BE RESTORED PRIOR TO SODDING.

BEFORE TENDERING THE WORK, THE CONTRACTOR SHALL EXAMINE THE SITE AND ASCERTAIN THE EXTENT AND NATURE OF THE MATERIAL IT MAY BE NECESSARY TO REMOVE TO PROVIDE FOR THE DEPTHS, LEVELS, AND GRADES REQUIRED, TO ASSURE HIMSELF THAT HIS DETERMINATIONS ARE MADE IN CONFORMITY WITH THE DRAWINGS AND SPECIFICATIONS.

SETTING OUT WORK

- 1. THE DRAWINGS INDICATE THE SITE COMPONENTS LOCATION. AND PROPOSED AND FINAL GRADES. BE RESPONSIBLE TO CONSTRUCT THE WORK ACCORDING TO LEVELS AND LOCATIONS SHOWN ON THE DRAWINGS. REPORT ANY ERRORS OR DISCREPANCIES TO THE CONSULTANT BEFORE COMMENCING WITH THE WORK. COMMENCEMENT OF ANY PART OF THE WORK SHALL CONSTITUTE ACCEPTANCE OF DRAWINGS AS BEING CORRECT.
- 2. EMPLOY A COMPETENT INSTRUMENT MAN AND PROVIDE ALL LINES AND LEVELS, LIMIT LINES AND BOUNDARY STAKES FOR THE EXECUTION OF THE WORK AS REQUIRED. ALL BENCH MARKS SHALL BE CAREFULLY PROTECTED.
- 3. PROVIDE ALL SUBCONTRACTORS WITH, AND BE RESPONSIBLE FOR, ALL LINES, LEVELS AND DIMENSIONS WHICH SUCH TRADES REQUIRE TO RELATE THEIR WORK TO THE WORK OF THE CONTRACTOR OR OTHER TRADES, ALL TRADES SHALL BE NOTIFIED THAT ALL SUCH LEVELS AND DIMENSIONS MUST BE OBTAINED FROM THE

CONTRACTOR. <u>PROTECTION</u>

A. PROTECTION OF EXISTING SERVICES

FOLLOWING PROCEDURE

- 1. BEFORE STARTING THE WORK, VERIFY THE LOCATION OF ALL KNOWN UNDERGROUND
- NOTIFY THE OWNER, PUBLIC UTILITY OR MUNICIPAL AUTHORITIES IN ADVANCE OF PLANNED EXCAVATIONS ADJACENT TO THEIR SERVICES.

SERVICES AND UTILITIES OCCURRING IN THE WORK SITE AREA.

- 3. TAKE CARE NOT TO DAMAGE OR DISPLACE ENCOUNTERED KNOWN AND UNKNOWN
- 4. WHEN SUCH SERVICES ARE ENCOUNTERED DURING THE EXECUTION OF WORK. IMMEDIATELY NOTIFY THE CONSULTANT AND PROTECT, BRACE AND SUPPORT ACTIVE SERVICES. WHERE REPAIRS TO THESE SERVICES BECOME NECESSARY USE THE
 - a. KNOWN SERVICES, REPAIR AT NO EXPENSE TO THE OWNER. b. UNKNOWN SERVICES, FORWARD TO THE CONSULTANT A COMPLETE BREAKDOWN OF THE ESTIMATED COST OF SUCH WORK. PROCEED ONLY UPON WRITTEN AUTHORIZATION.
- 5. IN THE CASE OF DAMAGE TO. OR CUTTING OFF OF AN ESSENTIAL SERVICE, NOTIFY CONSULTANT, THE OWNER, AND PUBLIC UTILITY OR MUNICIPAL AUTHORITIES IMMEDIATELY AND REPAIR THE SERVICE UNDER THE CONSULTANT'S DIRECTION.

ALL FILL SHALL BE STORED ON SITE IN A LOCATION APPROVED BY THE

BACKFILL ASSUME REUSE EXISTING COMPACT SOIL AND INFILL BALANCE OF GRANULAR MATERIAL/TOPSOIL AS REQUIRED TO ACCOMPLISH WORK ON PROJECT.

OWNER/CONSULTANT AND SHALL BE PROTECTED AS REQUIRED FOR RE-USE

- EXCAVATION WORK 1. REMOVE ALL CONCRETE, MASONRY, RUBBLE OR OTHER CONSTRUCTION DEBRIS ENCOUNTERED DURING THE WORK. REFER TO SOILS REPORT FOR DISPOSAL
- 2. KEEP EXCAVATION FREE OF WATER BY BAILING, PUMPING OR A SYSTEM OF DRAINAGE AS REQUIRED AND PROVIDE PUMPS, SUCTION AND DISCHARGE LINES OR WELL POINTS OF SUFFICIENT CAPACITY AND MAINTAIN LINTIL SUCH TIME AS THE PERMANENT DRAINAGE SYSTEM IS INSTALLED OR UNTIL THE CONSULTANT'S APPROVAL OF REMOVAL OF EQUIPMENT IS OBTAINED. TAKE ALL NECESSARY MEASURES TO
- PREVENT FLOW OF WATER INTO THE EXCAVATION. 3. PROTECT THE BOTTOM AND SIDES OF EXCAVATED PITS AND TRENCHES FROM FREEZING. PROTECT ALSO FROM EXPOSURE TO THE SUN AND WET WEATHER TO PREVENT CAVE-INS AND SOFTENING OF THE BED UPON WHICH CONCRETE OR
- 4. EXCAVATIONS MUST NOT INTERFERE WITH THE NORMAL 45 DEGREE PLANE OF
- BEARING FROM THE BOTTOM OF ANY FOOTING. 5. KEEP BOTTOMS OF EXCAVATIONS CLEAN AND CLEAR OF LOOSE MATERIALS LEVELLED AND STEPPED AT CHANGES OF LEVELS WITH EXCEPTION OF EXCAVATIONS MADE FOR
- DRAINAGE PURPOSES AND THOSE SLOPE AS REQUIRED. 6. IF THE EXCAVATIONS REVEAL SEEPAGE ZONES, SPRINGS OR OTHER UNEXPECTED SUB-SURFACE CONDITIONS WHICH MAY NECESSITATE REVISIONS OR ADDITIONS TO ANY DRAINAGE SYSTEM, INFORM THE CONSULTANT IMMEDIATELY SO THAT REMEDIAL

CAN BE TAKEN.

- BACK FILLING 1. PROCEED PROMPTLY WITH BACKFILLING AS THE BUILDING REPAIRS PROGRESSES, AND AS WORK TO BE BACKFILLED HAS BEEN INSPECTED AND APPROVED BY THE GEOTECHNICAL CONSULTANT. THE BACKFILL SHOULD BE PLACED IN LIFTS NOT
- 2. DO NOT COMMENCE BACKFILLING OPERATIONS UNTIL SITE DRAINAGE SYSTEMS AND WATERPROOFING HAS BEEN INSPECTED AND APPROVED BY CONSULTANT.

GREATER THAN 200mm THICK IN THE LOOSE STATE, EACH LIFT BEING COMPACTED

WITH A SUITABLE COMPACTOR TO THE SPECIFIED DENSITY.

3. WITHDRAW SHORING MATERIAL DURING BACKFILL. LUMBER LEFT IN PLACE WITHOUT THE CONSULTANT'S APPROVAL WILL NOT BE PAID FOR BY THE OWNER. 4. WHERE FILL IN PLACED ADJACENT TO STRUCTURES OR VULNERABLE BUILDING

COMPONENTS OR IN RESTRICTED AREAS, THE FILL SHALL BE COMPACTED TO THE

CONSULTANT. AVOID DAMAGE TO OR DISPLACEMENT OF EXISTING/NEW STRUCTURES. 5. ADD WATER IN AMOUNTS REQUIRED ONLY TO ACHIEVE THE OPTIMUM MOISTURE

SAME DEGREE AS SPECIFIED BY SUITABLE EQUIPMENT APPROVED BY THE

CONTENT, IN ACCORDANCE WITH ASTM D1557. 6. BACKFILL SHALL BE FREE OF SNOW AND ICE, TOPSOIL, CONSTRUCTION DEBRIS AND

STRUCTURAL

S501

S101 **GENERAL NOTES** S102 TYPICAL DETAILS

SECTIONS

OVERSIZED BOULDERS GREATER THAN 150mm.

S201 ENLARGED FOUNDATION PLAN S202 ENLARGED ROOF FRAMING PLAN, SCHEDULES CHECK AND VERIFY ALL DIMENSIONS AT THE SITE. ALL DRAWINGS. SPECIFICATIONS AND RELATED DOCUMENTS ARE THE

DO NOT SCALE THE DRAWINGS.

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1 ISSUED FOR 90% CLIENT REVIEW JULY 22, 2023 PEG 06				
2023 DEC. 06, DEC. 06	NO.	ISSUES	DATE	E
	1	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BE
	2	ISSUED FOR TENDER & PERMIT		BE

NO.	REVISIONS	DATE	B

PROJECT

GRAND VALLEY ARENA RENOVATION & ADDITION

DISTRICT COMMUNITY CENTRE

GRAND VALLEY, ONTARIO, LON 5N6

TOWN OF GRAND VALLEY

DRAWING:

90 MAIN ST. N

GENERAL NOTES



BARRY BRYAN ASSOCIATES Engineers Project Managers 250 Water Street Suite 201 Whitby, Ontario L1N 0G5 Tel: (905) 666-5252

PROJECT NO:

CHECKED BY: DM DEC. 01, 2023 SCALE AS NOTED Fax: (905) 666-5256 FILE: e-mail: bba@bba-archeng.com

> 21171 S101 DRAWING NO:

DESIGN BY

DRAWN BY:

BBA

DOC CONTROL:

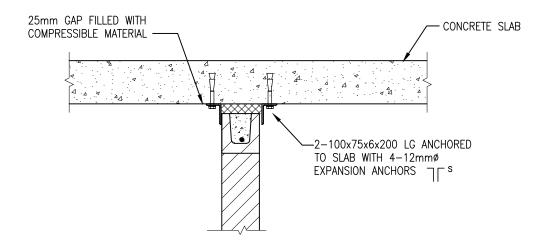
% COMPLETE:

	MASONRY	WALL SCH	EDULE
MARK	DESCRIPTION	VERTICAL REINFORCEMENT	REMARKS
F1	190mm BLOCK	15M @ 800	GROUT AT REINFORCED CORE

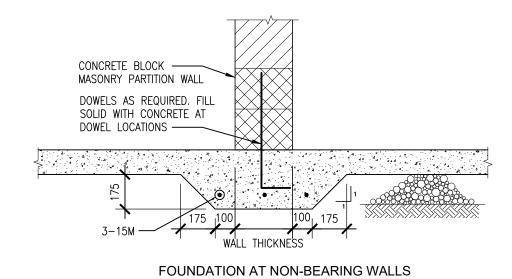
NON-LOAD BEARING STEEL LINTELS FOR MASONRY	,
WALLS	

		WALLS		
WALL		CLEAR SPAN		DETAIL
THICKNESS	UP TO 1200	1200 TO 1800	1800 TO 2400	DETAIL
90 VENEER	1-L89x89x6.4	1-L127x89x6.4 (LLV)	1-L127x89x7.9 (LLV)	L
140	2-L64x64x6.4	2-L89x64x6.4	2-L89x64x7.9	↓ 64 LEGS HORIZ.
190	2-L89x76x6	2-L89x89x6	2-L100x89x8	∦ 89 LEGS HORIZ.

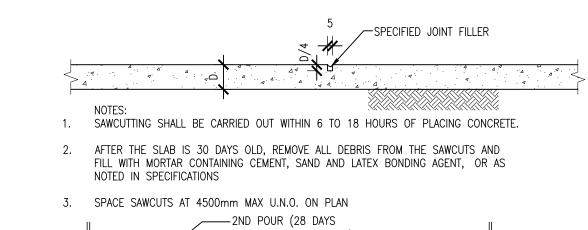
- 1. CONNECT ANGLES AT 600 C/C BY WELDING OR BOLTING FOR ANGLES WITH A TOTAL LENGTH OF 1800 OR MORE. USE 160 BOLTS OR 6x50 LONG WELDS.
- 2. USE SCHEDULES FOR LINTELS OVER MECH. OPENINGS IN ALL MASONRY WALLS UNLESS NOTED OTHERWISE ON PLAN. REFER TO MECH. DWGS. FOR LOCATIONS.
- 3. OPENINGS TO BE LOCATED MIN. 3 COURSES BELOW UNDERSIDE OF SLAB UNLESS APPROVED BY STRUCTURAL ENGINEER.
- 4. FOR DOUBLE WYTHE WALLS PROVIDE 10mm GUSSETS @ 800 C/C STEEL LINTEL SUPPORT BLOCK ABOVE PLUS CONT. 320x10mm BOT. PLATE.

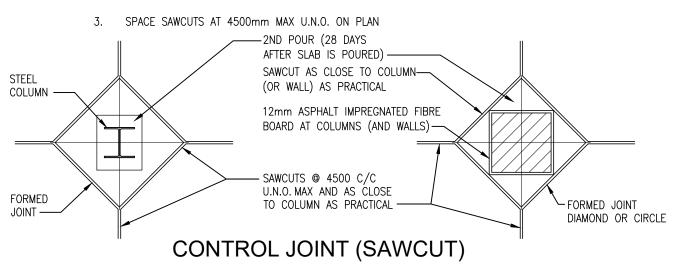




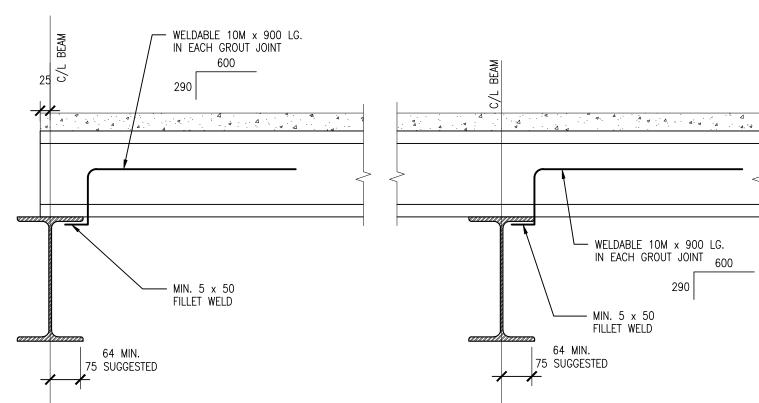


SLAB THICKENING (7 S102)

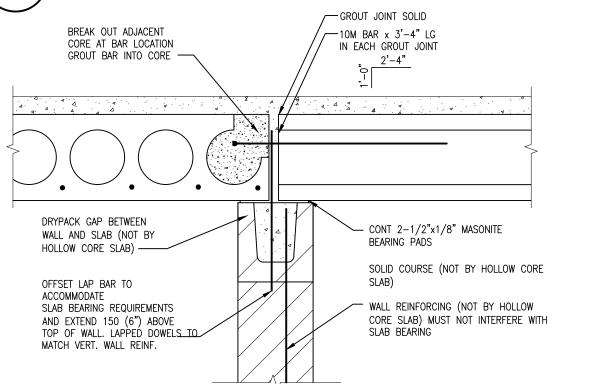




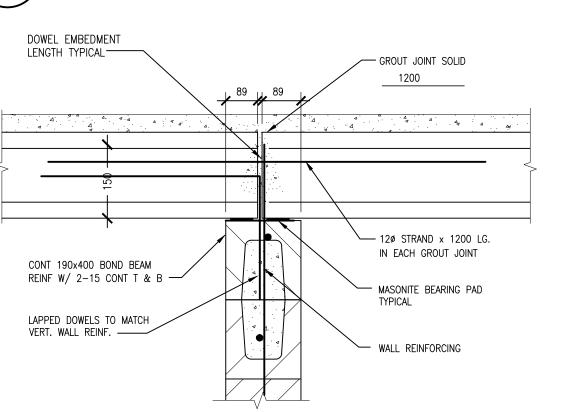




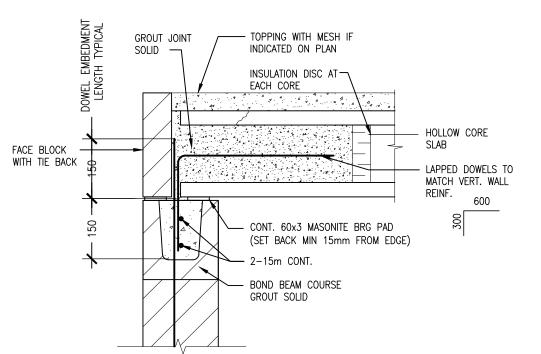
HOLLOW CORE SLAB AT STEEL SUPPORTS 5 S102



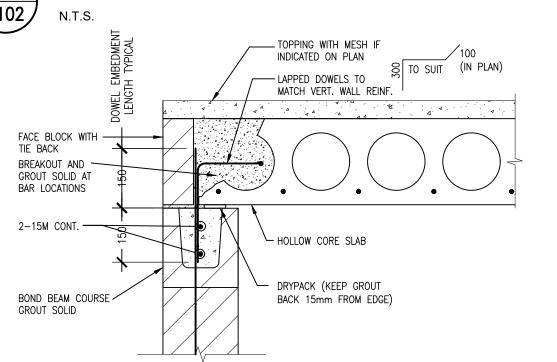
HOLLOW CORE SLAB BEARING ON BLOCK <u>4</u> <u>S102</u>



HOLLOW CORE SLAB BEARING ON BLOCK S102



HOLLOW CORE SLAB BEARING ON BLOCK <u>2</u> <u>S102</u>

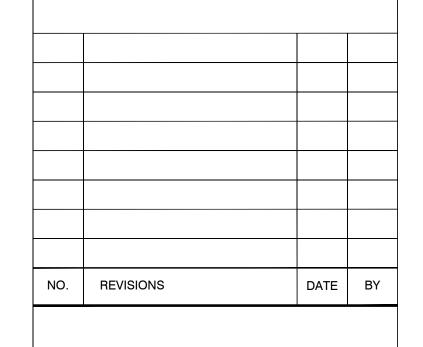


HOLLOW CORE SLAB BEARING ON BLOCK <u>S102</u>

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NO.	ISSUES	DATE	BY
1	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
2	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA



PROJECT:

GRAND VALLEY ARENA RENOVATION & ADDITION

DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 5N6 TOWN OF GRAND VALLEY

DRAWING:

TYPICAL DETAILS



BARRY BRYAN ASSOCIATES Architects Engineers Project Managers 250 Water Street Suite 201 Whitby, Ontario L1N 0G5 Tel: (905) 666-5252

Fax: (905) 666-5256

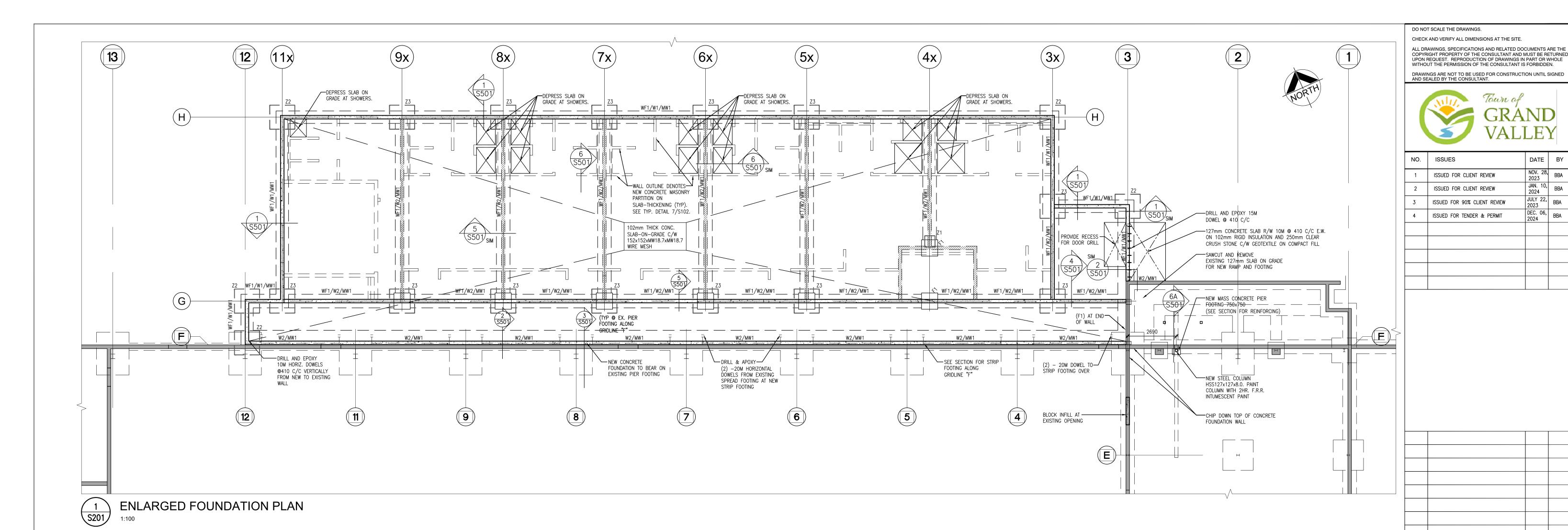
e-mail: bba@bba-archeng.com

DESIGN BY: DOC CONTROL: DATE: BBA DRAWN BY: % COMPLETE: CHECKED BY: DM DEC. 01, 2023 SCALE: AS NOTED

FILE:

21171 S101 DRAWING NO: PROJECT NO:

S102 21171



	ZONE REINFORCING SCHEDULE											
MARK	REINFORCING	DETAIL	REMARKS									
Z1	2-15M VERT.		GROUT SOLID REINFORCED CELLS									
Z2	3-15M VERT.		GROUT SOLID REINFORCED CELLS									
Z3	4-15M VERT.		GROUT SOLID REINFORCED CELLS									

PROVIDE Z1 AT ENDS OF ALL OPENINGS, U.N.O.

PROVIDE Z2 AT CORNERS OF LOAD BEARING WALLS, U.N.O.

3. PROVIDE Z3 AT CORNERS OF LOAD BEARING WALLS, U.N.O.

MARK	DESCRIPTION	ANCHORAGE	REMARKS
BP1	180x12x200	(1)-15mmøx250mmLG + 16mm HOOK ANCHOR	GROUT SOLID BEARING POCKE
CON	NCRETE F	OUNDATION	SCHEDULE
CON	NCRETE F	OUNDATION HORIZONTAL REINFORCING	SCHEDULE VERTICAL REINFORCING

LOAD BEARING MASONRY WALL SCH.

CONCRETE FOOTING SCHEDULE

CONCRETE STRIP FOOTING SCHEDULE

VERTICAL REINFORCEMENT

15M @ 800

DEPTH

350

FOOTING THICKNESS

300

GROUT AT REINFORCED CORES

CONT. BOND BEAM AT U/S

REINFORCING

(5) - 15M BEW

REINFORCING

(3) — 15M CONT. BOTTOM

PRECAST BEARING

DESCRIPTION

190mm BLOCK

WIDTH

900x900

600x600

WIDTH

750

F1

F2

MARK

WF1

FOUNDATION PLAN:

- 1. FINISHED GROUND FLOOR IS AT ELEVATION +000mm (255.99 GEODETIC) EXCEPT AS CROSSED AND NOTED. ÈLEVATIONS FOR ÁREAS CROSSED AND NOTED ARE TO BE READ FROM FINISHED FLOOR ELEVATION 0000mm.
- 2. ALL FOOTINGS SHALL BEAR ON UNDISTURBED NATIVE SOIL APPROVED BY THE GEOTECHNICAL CONSULTANTS. REPORT ANY DOUBTFUL BEARING CONDITIONS TO THE STRUCTURAL ENGINEER BEFORE PLACING FOOTINGS. REFER TO SOILS REPORT FOR EXCAVATION, BACKFILLING AND DEWATERING PROCEDURES. SOIL CAPACITY ASSUMED AS: ULS=190kPA; SLS=140kPa. SHALL BE CONFIRMED TO GEOTECHNICAL ENGINEER ON SITE AT TIME OF EXCAVATION.
- 3. VERIFY SITE SERVICES PRIOR TO PROCEEDING WITH WORK. NOTIFY CONSULTANTS OF ANY DISCREPANCIES. REFER TO MECHANICAL AND ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 4. LOWER FOOTINGS TO ACCOMMODATE NEW FOOTINGS, MECHANICAL, ELECTRICAL OR CIVIL SERVICES. SEE MECHANICAL, ELECTRICAL AND CIVIL DRAWINGS FOR ELEVATIONS OF SAME. FOOTINGS ARE NOT TO BE UNDERMINED BY EXCAVATION FOR SERVICES PITS, ETC.
- 5. PROTECT ALL EXISTING SUB GRADE SERVICES DURING INSTALLATION OF FOUNDATIONS.
- 6. REFER TO GENERAL NOTES AND TYPICAL DETAILS ON DRAWINGS S100 SERIES FOR ADDITIONAL INFORMATION.
- 7. ALL FOOTINGS TO BE CENTERED UNDER WALLS EXCEPT AS NOTED ON PLAN. PROVIDE SLAB THICKENING AS PER DETAIL 10/S102 FOR ALL INTERIOR NON LOAD BEARING WALLS EXCEPT
- 8. PROVIDE DOWELS IN FOOTINGS TO MATCH ALL VERTICAL WALL REINFORCEMENT.
- 9. SDF DENOTES STEP DOWN FOOTING. REFER TO TYPICAL
- DETAILS 2/S102 FOR ADDITIONAL INFORMATION. 10. PLACE ALL CONCRETE SLAB ON GRADE ON 150mm COMPACTED GRANULAR 'A' SUB BASE COMPACTED TO 100%
- 11. CONTRACTOR TO PROVIDE PROPOSED SAWCUT LAYOUT IN CONFORMANCE WITH THE TYPICAL DETAIL AND LIMITATIONS FOR REVIEW.
- 12. ALL EXTERIOR FOOTINGS TO BE MINIMUM 1200mm BELOW FINISHED GRADE AS SHOWN ON DRAWINGS.
- 13. STEP DOWN ALL INTERIOR FOOTINGS TO SUIT LOWER FOOTING/SLAB ELEVATIONS.
- 14. REMOVE ALL TOP SOIL, LOOSE AND WET SOILS, ORGANICS AND FILL TO SUITABLE NATIVE SUBGRADE MATERIAL AS APPROVED BY GEOTECHNICAL ENGINEER THROUGHOUT PROJECT AREAS WITHIN THE EXTENTS DEFINED BY THE PROJECT GEOTECHINICAL REPORT. THE EXISTING SUBGRADE MUST BE PROOF-ROLLED AND COMPACTED PRIOR TO

BACKFILLING. REFER TO GEOTECHNICAL REPORT FOR

REQUIREMENTS.

PROJECT:

NO. REVISIONS

GRAND VALLEY ARENA RENOVATION & ADDITION

DATE BY

JAN. 10, 2024 BBA

DATE BY

2024

DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 5N6 TOWN OF GRAND VALLEY

DRAWING:

ENLARGED FOUNDATION PLAN



BARRY BRYAN ASSOCIATES Architects Engineers Project Managers 250 Water Street

Suite 201 Whitby, Ontario L1N 0G5

Tel: (905) 666-5252 Fax: (905) 666-5256 e-mail: bba@bba-archeng.com

SCALE: AS NOTED FILE: 21171 S201

% COMPLETE:

DESIGN BY:

DRAWN BY:

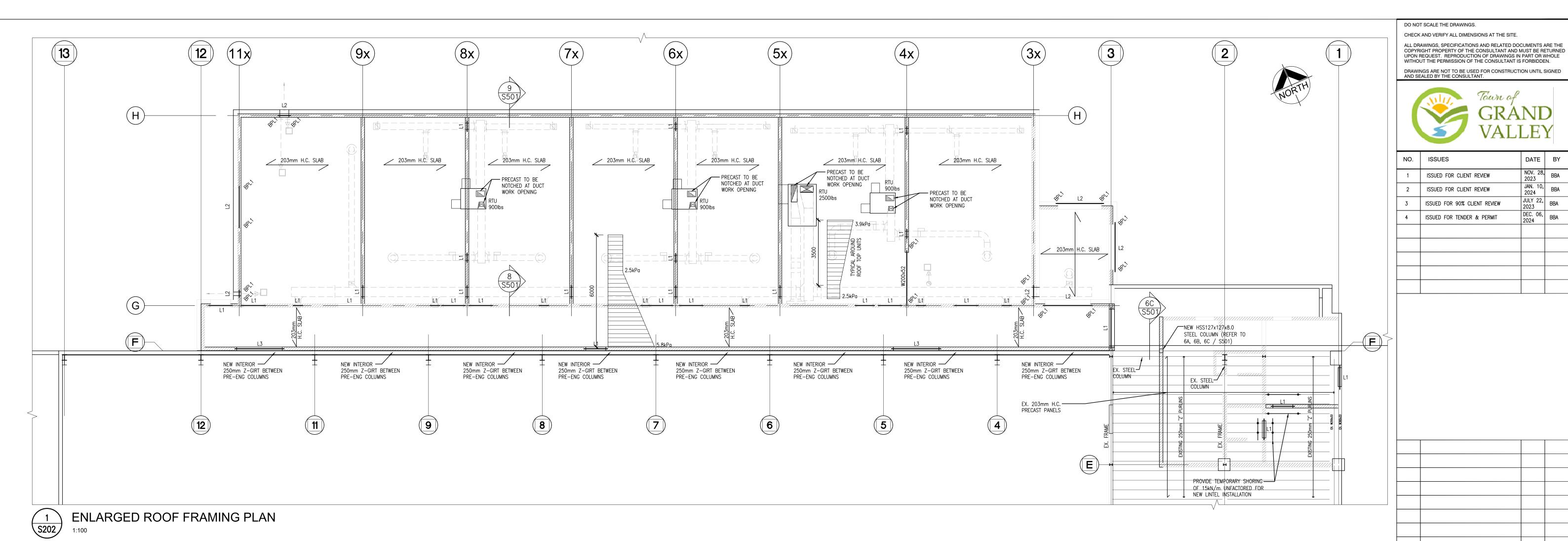
CHECKED BY:

NOV. 28, 2023

BBA

DM

PROJECT NO: DRAWING NO: **S201**



	LINTEL SCHEDULE											
MARK	SIZE	DETAIL	REMARKS									
L1	(2) - L127x89x9.5 LLV	DETAIL 1	200mm MIN. END BEARING									
L2	W200X36 + 12mm CONT BOT PL 390mm WIDE FOR VENEER	DETAIL 2	BEARING PLATE E/S									
L3	(2) - L152x89x9.5 LLL	DETAIL 3	150mm MIN. END BEARING									

MARK	DESCRIPTION	ANCHORAGE	REMARKS		
BP1	180x12x200	(1)-15mmøx250mmLG + 16mm HOOK ANCHOR	GROUT SOLID BEARING POCKET		
CC	NCRETE FO	UNDATION	SCHEDULE		
MARK	THICKNESS	HORIZONTAL REINFORCING	VERTICAL REINFORCING		
W1	400	10M @ 300 C/C H&V EF	(2)-15M CONT. TOP & BOTTOM		
W2	200	15M @ 300 C/C H&V SINGLE MAT	(2)-15M CONT. TOP & BOTTOM		

BEARING PLATE SCHEDULE

ROOF FRAMING NOTES:

- 1. UNDERSIDE OF STEEL DECK (HIGH POINT) IS AT ELEVATION +4000mm EXCEPT AS CROSSED AND NOTED. ELEVATIONS FOR AREAS NOTED ARE TO BE READ FROM ELEVATION +4000mm.
- +3900mm AND ARE TO BE READ FROM ELEVATION
- 3. ELEVATIONS TO TOP OF STEEL JOISTS ARE BASED ON AN ASSUMED JOIST SHOE DEPTH OF 100mm.

DEAD	LUAD:		
	ROOFING	=	0.35kPa
	STEEL DECK	=	0.10kPa
	INSULATION	=	0.10kPa
	MECH/ELEC	=	0.25kPa
	CEILING	<u>=</u>	0.10kPa
			0.90kPa

SNOW ACCUMULATION LOAD: SEE PLAN. WIND LOAD : $q(\frac{1}{50})$: 0.39 kPa SEE PLAN RTU WEIGHTS:

- OBC TABLE 4.1.2.1 (3)
- ls = 1.15 FOR SNOWle = 1.30 FOR EARTHQUAKE LOAD lw = 1.15 FOR WIND LOAD
- WP'x' DENOTES EMBEDDED WALL PLATE.
- DETAILS. NOT SHOWN ON PLAN FOR CLARITY.
- TOP UNITS / OPENINGS.
- 8. SEE NON LOAD BEARING LINTEL SCHEDULE FOR BRICK VENEER LINTEL SIZES U.N.O.

- 2. TOP OF STRUCTURAL STEEL BEAMS ARE AT ELEVATION
- 4. ROOF FRAMING DESIGN LOADS:

DEAD	LOAD:		
	ROOFING	=	0.35kl
	STEEL DECK	=	0.10kl
	INSULATION	=	0.10kl
	MECH/ELEC	=	0.25k
	CEILING	=	0.10kl

GROUND SNOW LOAD: Ss= 2.7 kPa; Sr= 0.4 S= 2.94 kPa (INCLUDING

- IMPORTANCE CATEGORY FOR THIS BUILDING IS HIGH AS ULS IMPORTANCE FACTOR:
- 5. REFER TO WALL PLATE SCHEDULE ON SHEET S101 FOR SIZE AND DIMENSIONS.
- 6. 'R.D." DENOTES ROOF DRAIN. PROVIDE FRAMING AROUND DRAIN PENETRATION IN ACCORDANCE WITH TYPICAL
- 7. COORDINATE WITH MECHANICAL FOR LOCATIONS OF ROOF

TOWN OF GRAND VALLEY DRAWING:

90 MAIN ST. N

NO. REVISIONS

PROJECT:

ENLARGED ROOF FRAMING PLAN SCHDULES

GRAND VALLEY ARENA

GRAND VALLEY, ONTARIO, LON 5N6

DISTRICT COMMUNITY CENTRE

RENOVATION & ADDITION



BARRY BRYAN **ASSOCIATES** Architects Engineers Project Managers 250 Water Street Suite 201

Whitby, Ontario L1N 0G5 Tel: (905) 666-5252 Fax: (905) 666-5256 e-mail: bba@bba-archeng.com

SCALE: AS NOTED FILE: 21171 S202

% COMPLETE:

DESIGN BY:

CHECKED BY:

NOV. 28, 2023

BBA DRAWN BY:

DM

DATE BY

JAN. 10, 2024 BBA

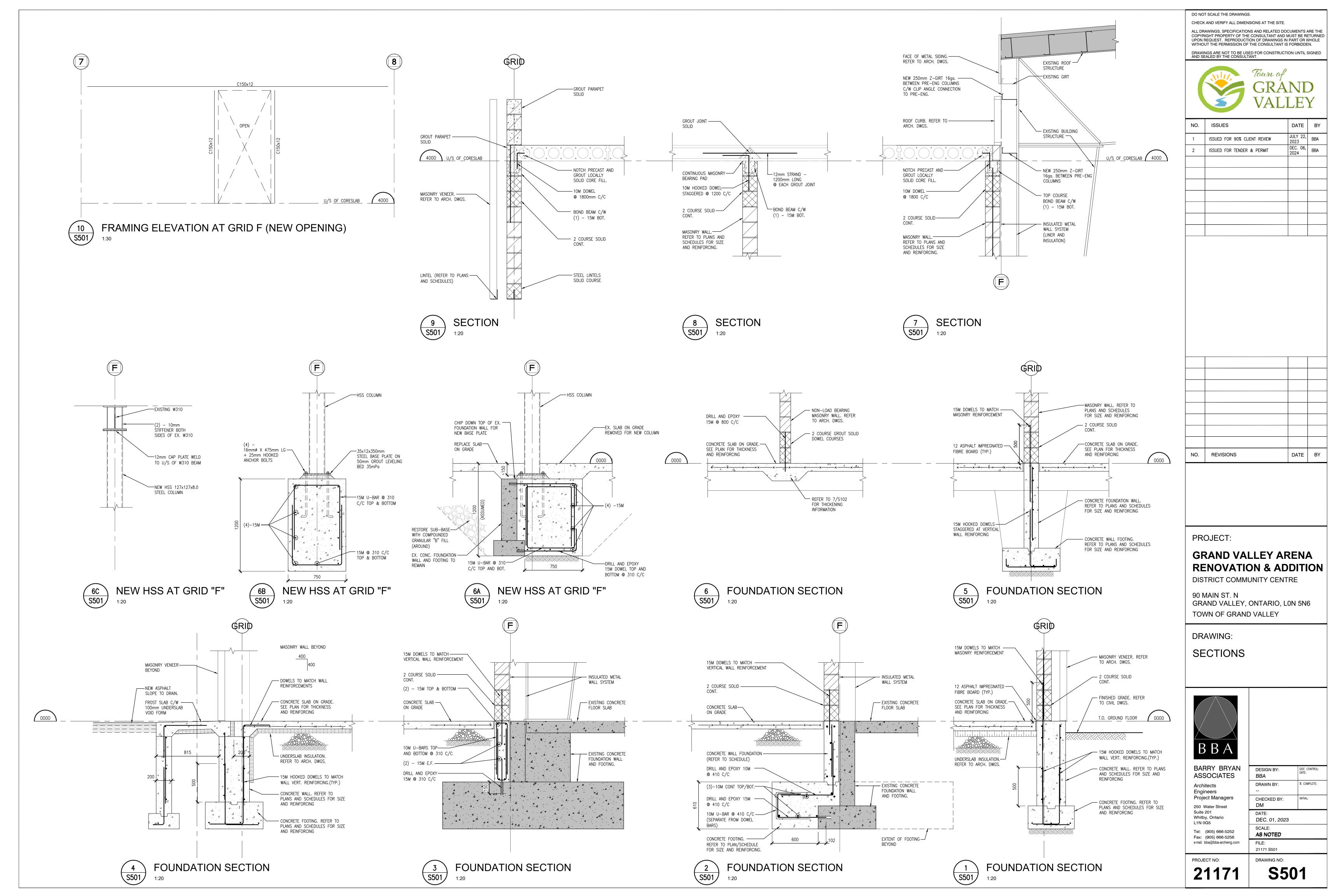
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PROJECT NO:

DRAWING NO: **S202**



n	Туре	HW CW TW	tion Sizes V Drain		Fixture Description	Acceptable Manufacturer	•	Acceptable Manufacture	Accessories Accessory Description
1	WATER CLOSET FLUSH VALVE, WALL MOUNTED	1 1		1/2 AMERICAN STANDARD AFWALL 3351 001 KOHLER KINGSTON K-4325 MANSFIELD ERIE 1301 ZURN ECO VANTAGE Z5615.258.00.00.00	VITREOUS CHINA, SIPHON JET, ELONGATED RIM, TOP SPUD FOR FLUSH VALVE, BOLT CAP, BACK OUTLET, WALL MOUNTED, MIN 2" TRAP WAY, MAXIMUM 6 litres (1.5 gal) PER FLUSH. C/W FLOOR MOUNTED CARRIER	DELTA 81T201-5 ZURN Z6000AV-WS1 SLOAN 111-1.6	BARRIER FREE, EXPOSED, POLISHED CHROME, EXTERNALLY ADJUSTABLE, DIAPHRAGM TYPE FLUSH VALVE WITH 25 mm (1") SCREWDRIVER ANGLE STOP, OSCILLATING HANDLE, FLUSH CONNECTION AND COUPLING FOR 40 mm (1 1/2") TOP SPUD, WALL AND SPUD ESCUTCHEONS, SEAT BUMPER AND VACUUM BREAKER. FLUSH CYCLE SET FOR 6 litres (1.5 gal) PER FLUSH	SEAT: BEMIS 7850TDG CENTOCO AM820STS	SEAT: WHITE, ELONGATED, OPEN FRONT WITH COVER, MOLDED SOLID ANTIMICROBIAL PLASTIC, STAINLESS STEEL CHECK HINGES, STAINLESS STEEL OR SOLID BRASS INSERT POST.
	BARRIER FREE WATER CLOSET FLUSH VALVE, WALL MOUNTED	1	3 1	1/2 AMERICAN STANDARD AFWALL 3351 001 KOHLER KINGSTON K-4325 MANSFIELD ERIE 1301 ZURN ECO VANTAGE Z5615.258.00.00.00	VITREOUS CHINA, SIPHON JET, ELONGATED RIM, TOP SPUD FOR FLUSH VALVE, BOLT CAP, BACK OUTLET, WALL MOUNTED, MIN 2" TRAP WAY, MAXIMUM 6 litres (1.5 gal) PER FLUSH. C/W FLOOR MOUNTED CARRIER BARRIER FREE FIXTURE IS MOUNTED AT HIGHER ELEVATION (RIM AT 16")	DELTA 81T201-5 ZURN Z6000AV-WS1 SLOAN 111-1.6	EXPOSED, POLISHED CHROME, EXTERNALLY ADJUSTABLE, DIAPHRAGM TYPE FLUSH VALVE WITH 25 mm (1") SCREWDRIVER ANGLE STOP, OSCILLATING HANDLE, FLUSH CONNECTION AND COUPLING FOR 40 mm (1 1/2") TOP SPUD, WALL AND SPUD ESCUTCHEONS, SEAT BUMPER AND VACUUM BREAKER. FLUSH CYCLE SET FOR 6 litres (1.5 gal) PER FLUSH	SEAT: BEMIS 2155SSCT CENTOCO AM500STSCCSS	SEAT: WHITE, ELONGATED, OPEN FRONT, LESS COVER, MOLDED SOLID ANTIMICROBIAL PLASTIC STAINLESS STEEL CHECK HINGES, STAINLESS STEEL OR SOLID BRASS INSERT POST.
	COUNTER MOUNTED LAV SINGLE HANDLE	/ 1/2 1/2	1 1/4 1	1/4 AMERICAN STANDARD COLONY 0346 403 KOHLER PENNINGTON K-2196 ZURN Z5114	VITREOUS CHINA SINK, SELF-RIMMING, WITH FRONT OVERFLOW, SOAP DEPRESSIONS, GASKET, SWIVEL CLAMPS, SEMI-OVAL, SUPPLY OPENINGS ON 100 MM (4") CENTRES. SIZES: 521 MM X 440 MM (20 1/2" X 17 5/8") OUTSIDE.		HEAVY DUTY CAST BRASS CHROME PLATED SINGLE HOLE MOUNT FAUCET, SLOW CLOSING METERING INTEGRAL BRASS CENTERLINE SPOUT VANDAL RESISTANT HANDLE, ADJUSTABLE CYCLE TIME (PRESET TO 10 SECONDS @ 80 PSI) VANDAL RESISTANT AERATOR. MAXIMUM FLOW RATE NOT TO EXCEED 0.5 GPM (0.25 GALLONS 0.95L PER CYCLE) C/W HEAVY DUTY CAST BRASS CHROME PLATED COVER PLATE.	INSULATION: MCGUIRE PROWRAP PWV8902 TRUEBRO LAV GUARD	INSULATION: INSULATE WASTE AND SUPPLIES UL LISTED PREFORMED INSULATION SYSTEM COMPLETE WITH SEAMLESS JACKET. WASTE FITTING: NPS 32 MM (11/4") OFFSET WITH GRID STRAINER. PROVIDE FLOOR MOUNTED WALL CARRIER
	B.F. WHEELCHAIR LAV BLADE HANDLED FAUCET	1/2 1/2	1 1/4 1	1/4 AMERICAN STANDARD WHEELCHAIR 9141.011 KOHLER MORNINGSIDE K-12636-L ZURN	WALL—HUNG SINK, VITREOUS CHINA, LOW SHELF, WITH INTEGRAL BACK, CONTOURED FRONT, SHALLOW FRONT BASIN, OVERFLOW, SOAP DEPRESSIONS, SUPPLY OPENINGS ON 100 MM (4") CENTRES, CONCEALED SUPPORTS. SIZES: 686 MM X 500 MM (27" X 20").	DELTA 87T105 MOEN COMMERCIAL 8884 ZURN Z86100-XL-RKR	HEAVY DUTY CAST BRASS CHROME PLATED SINGLE HOLE MOUNT FAUCET, SLOW CLOSING METERING INTEGRAL BRASS CENTERLINE SPOUT VANDAL RESISTANT HANDLE, ADJUSTABLE CYCLE TIME (PRESET TO 10 SECONDS @ 80 PSI) VANDAL RESISTANT AERATOR. MAXIMUM FLOW RATE NOT TO EXCEED 0.5 GPM (0.25 GALLONS 0.95L PER CYCLE) C/W HEAVY DUTY CAST BRASS CHROME PLATED COVER PLATE.	INSULATION: MCGUIRE PROWRAP PWV8902 TRUEBRO LAV GUARD	INSULATION: INSULATE WASTE AND SUPPLIES UL LISTED PREFORMED INSULATION SYSTEM COMPLETE WITH SEAMLESS JACKET. WASTE FITTING: NPS 32 MM (1½") OFFSET WITH GRID STRAINER. PROVIDE FLOOR MOUNTED WALL CARRIER
	SHOWER SUPPLY VALVE	1/2 1/2				SYMMONS 3-325 C/W 4-420 METERING VALVE & 4-295 SHOWER HEAD	POLISHED CHROME, METERING SHOWER VALVE AND SHOWER HEAD, C/W 1/2" SWEAT CONNECTIONS AND INTEGRAL STOPS. FREE FLOW INSTITUTIONAL SHOWER HEAD WITH ADJUSTABLE SPRAY AND NOZZLE. VANDAL RESISTANT RECESSED HEX SOCKET TYPE SHOWER HEAD AND VALVE MOUNTING FASTENERS. PROVIDE ACCESSORIES TO LIMIT MAXIMUM FLOW RATE TO 7.5 LPM (2 GPM). ADJUST METERING VALVE FOR 60 SECOND RUN TIME.		
	SHOWER SUPPLY VALVE	1/2 1/2				DELTA T17TH335-25	BARRIER FREE CHROME PLATED BRASS COMBINATION SHOWER FITTING WITH VOLUME CONTROL, PRESSURE BALANCING MIXING VALVE OPERABLE USING CLOSED FIST AND FORCE NOT MORE THAN 22.2 N, SCREWDRIVER STOPS, CHROME PLATED BALL JOINT FULLY ADJUSTABLE SPRAY PATTERN SHOWER HEAD WITH BENT SHOWER ARM AND ESCUTCHEON, SLIDE BAR HANDHELD SHOWER WITH MINIMUM 1800mm FLEXIBLE METAL HOSE, MOUNTING BRACKET AND ESCUTCHEON. PROVIDE ACCESSORIES TO LIMIT MAXIMUM FLOW RATE TO 7.6 LITRES (2.0 GPM)/MINUTE AT 550 KPA (80 PSI).		
1	SHOWER DRAIN		NOTED 1	1/2 ZURN FD 2254	GENERAL DUTY, PVC BODY, ADJUSTABLE HEAD, NICKEL BRONZE STAINER. USE SQUARE STRAINER IN TILED AREAS AND ROUND STRAINER ELSEWHERE.		i sij.		
1	MOP SINK	1/2 1/2	3 1	1/2 FIAT MSB 2424 ZURN 1996-24 STERN WILLIAMS MTB-2424	MOLDED HIGH DENSITY COMPOSITE BASIN WITH 80 mm (3") CHROME PLATED CAST BRASS DOME STRAINER AND GASKETED OUTLET CONNECTION. OVERALL SIZE: 600 mm X 600 mm X 250 mm HIGH (24" X 24" X 10").	FIAT 830-AA ZURN Z842M1-5H DELTA 28T9	CHROME PLATED CAST BRASS WALL MOUNTED FAUCET WITH WALL BRACE, 20 mm (3/4") THREADED OUTLET SPOUT WITH PAIL HOOK, 200 mm (8") CENTRESET LEVER HANDLES, VACUUM BREAKER, ESCUTCHEONS, UNION INLETS, AERATOR, & INTEGRAL STOP VALVES. PROVIDE ACCESSORIES TO LIMIT MAXIMUM FLOW RATE TO 8.35 I/min (2.2 gpm) AT 413 KPA (60 psi).	FIAT ZURN STERN WILLIAMS DELTA	HOSE AND HOSE BRACKET: 1200 mm (48") LONG RUBBER HOSE MOP HANGER WALL GUARD: STAINLESS STEEL 600 mm (24 HIGH CONTINUOUS ON ADJACENT WALLS.
1	FLOOR DRAIN		NOTED 1	1/2 ZURN ZN415B MIFAB F1100-C CONTOUR C2000-R6 WATTS FD-100-C-A	GENERAL DUTY CAST IRON BODY, ADJUSTABLE HEAD, NICKEL BRONZE STRAINER, INTEGRAL SEEPAGE PAN, AND CLAMPING COLLAR. USE SQUARE STRAINER IN TILED AREAS AND ROUND STRAINER ELSEWHERE. C/W TRAP PRIMER. TRAP AT DRAIN, OR REMOTE TRAP AS INDICATED.				
1	ROOF DRAIN		NOTED	ZURN ZA121-CR MIFAB R1200-BU CONTOUR C1000DMP WATTS RD-100-BED-K SMITH 1015-C-R-AD	STANDARD ROOF DRAIN WITH CAST IRON BODY WITH ALUMINUM DOME, UNDER-DECK CLAMP TO SUIT ROOF CONSTRUCTION, ROOF SUMP RECEIVER, FLASHING CLAMP RING WITH INTEGRAL GRAVEL STOP.				
	SINGLE DRINKING FOUNTAIN	1/2	1 1/4 1	1/4 ELKAY EDFP217RAC	BI-LEVEL REVERSE FOUNTAIN NON-FILTERS NON-REFRIGERATED STAINLESS STEEL CONSTRUCTION, C/W SAFETY BUBBLER. MECHANICAL FRONT BUBBLER BUTTON ACTIVATION, WALL MOUNTED				
	DOWN SPOUT NOZZEL		NOTED	ZURN ZN-199 ANCON RD-940 SMITH	ALL NICKEL BRONZE CONSTRUCTION THREADED BODY, SPOUT PROTRUDING PAST BUILDING FACE BY 90 MM (3 1/2") AND DECORATIVE WALL FLANGE.				
1	WALL HYDRANT	3/4		WATTS BD SERIES DELTA WALTEC WILKINS EMCO	20 MM (3/4") DIAMETER BRASS CONSTRUCTION, 200 PSI 180°F PRESSURE AND TEMPERATURE LIMITS, COMPLETE WITH HOSE CONNECTION, AND WHEEL HANDLE STRAIGHT/ANGLE PATTERN TO SUIT. PROVIDE VACUUM BREAKER COMPLETE WITH HOSE CONNECTION.				

Item	Description	Item	Description
	ITEM TO BE REMOVED		SCREWED OR WELDED PIPE CAP
	CUT EXISTING & CONNECT NEW PIPING	<u> </u>	BALL VALVE
—	FLOW DIRECTION	BV BV	BALANCING VALVE
·	POTABLE COLD WATER	- o-	INLINE PUMP
	POTABLE HOT WATER	FHC	FIRE HOSE CABINET
···	POTABLE HOT WATER RECIRC.	▼ FE	WALL MOUNTED FIRE EXTINGUISHER
SAN-EX	EXISTING SAN ABOVE FLOOR	o ^{co}	FLOOR CLEANOUT
SAN-EX	EXISTING SAN BELOW FLOOR	co	LINE CLEANOUT
— — SAN — —	SANITARY ABOVE FLOOR	G D	THERMOSTAT (WITH GUARD WHERE INDICATED)
— — SAN — —	SANITARY BELOW FLOOR	>>>>	TURNING VANES
STM_EX	EXISTING STM ABOVE FLOOR		SUPPLY AIR DUCT
STM-EX	EXISTING STM BELOW FLOOR		RETURN/EXHAUST AIR DUCT
—STM— — · —	STORM ABOVE FLOOR		ACOUSTIC DUCT LINING
—STM— — · —	STORM BELOW FLOOR		THERMAL INSULATION
FD %	FLOOR DRAIN		BRANCH LINE SPIN-IN COLLAR C/W BALANCING DAMPER
FD 8 -	FLOOR DRAIN WITH BACKWATER VALVE		TRUNK MAIN BRANCH COLLAR C/W BALANCING DAMPER
- 79-P-	TRAP PRIMER	— BD	BALANCING DAMPER
	TEE CONNECTION	-	RECTANGULAR DUCTWORK
c —	PIPE DOWN		RIGID ROUND DUCT
•—	PIPE UP		FLEXIBLE ROUND DUCT
	CHECK VALVE	Type Size Capacity	DIFFUSER/GRILLE SIZE (imp), TYPE & CAPACITY (cfm)
- K//K -	DOUBLE CHECK BACKFLOW PREVENTOR	— ех —	EXISTING DUCT (SIZE AS INDICATED)
	REDUCED PRESSURE BACKFLOW PREVENTOR		

GENERAL NOTES

- A. ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PREPARED
- B. CONTRACTOR TO INCLUDE COST FOR CONSULTANT TO COMPLETE ELECTRONIC CAD AS-BUILT DWGS (ALL PAGES). REFER TO SPEC SECTION 20 02 51 RECORD
- C. ALL PIPING, DUCTWORK, AND EQUIPMENT IS TO BE RESTRAINED TO MEET SEISMIC CODE REQUIREMENTS. SUPPLY AND INSTALL ALL SEISMIC RESTRAINT MATERIALS TO MANUFACTURER'S WRITTEN INSTRUCTIONS. REFER TO SPECIFICATION.
- D. SANITARY VENT PIPING IS NOT SHOWN. PROVIDE ALL NECESSARY VENT PIPING FROM ALL FIXTURES FOR A COMPLETE SYSTEM TO ALL LOCAL PLUMBING CODE & LOCAL AUTHORITY REQUIREMENTS, CONNECTED TO EXISTING VENTS OR NEW VENTS AS REQUIRED. CO-ORDINATE VENT LOCATION(S) WITH GENERAL CONTRACTOR. MAINTAIN MIN 14'-0" FROM ANY AIR INLET. INSTALL VENT PIPING HIGH IN JOIST SPACE.
- E. WHERE DUCTWORK PENETRATES CORRIDOR WALL, CENTER DUCT(S) BETWEEN OWSJ.
- F. CO-ORDINATE WITH THE GENERAL CONTRACTOR ANY OWSJ BRIDGING/CROSS BRACING RELOCATION OR REMOVAL/REPLACEMENT REQUIRED FOR INSTALLATION OF
- G. CONTRACTOR TO LOCATE ISOLATION VALVES / FREEZE PIPING / OR OTHERWISE DRAIN SYSTEMS TO ALLOW PROPOSED WORK TO PROCEED. REFILL SYSTEMS AS
- H. UPON COMPLETION OF THE PROJECT OR UPON COMPLETION OF EACH INDIVIDUAL PHASE OF THE PROJECT THE CONTRACTORS SHALL PROVIDE THE FOLLOWING
- CERTIFICATES BEFORE CONFORMANCE LETTERS ARE ISSUED BY THE CONSULTANT: - POTABLE WATER TEST (SEE SPEC 22 11 16 PART 3) - BACKFLOW TEST CERTIFICATE(S) FOR ALL TESTABLE DEVICES
- NFPA-13 SPRINKLER CONTRACTOR'S MATERIAL & TEST CERTIFICATE
- NFPA-14 STANDPIPE CONTRACTOR'S MATERIAL & TEST CERTIFICATE
- FIRE PROTECTION ENGINEER'S INSPECTION/CONFORMANCE LETTER
 COPY OF MANDATORY TSSA/CSA-B149 GAS PRESSURE TEST TAG
- ALL CERTIFICATES ARE TO BE SUBMITTED TOGETHER IN A SINGLE PACKAGE.

		errors comma The da Follow permit	ontractor shall verify all dimension and discrepancies to the Consumencement of the work. The consumers of the work of the wor	Itant before nt of service onstruction of service	es. will
	Description	The de	ltant before commencement of t rawings do not indicate all offse sories which may be required. I	ts fitting a	
	SCREWED OR WELDED PIPE CAP	Drawin by the	et the required conditions. gs and specifications, etc., prep Consultant are the property of	the Consul	ssued Itant
	BALL VALVE	project copied	nust be returned at the completi t. These documents are not to without the consent of the Cor	be duplica	ted or
BV	BALANCING VALVE	Do no © 202	t scale this drawing. 25 DEI Consulting Engineers		
	INLINE PUMP		Town o	f	
•	FIRE HOSE CABINET		Town of GRA	ANI	
	WALL MOUNTED FIRE EXTINGUISHER	\	VAI	LE	Y
)	FLOOR CLEANOUT				
)	LINE CLEANOUT	NO.	ISSUES	JULY 22	BY
	THERMOSTAT (WITH GUARD WHERE INDICATED)	1 2	ISSUED FOR 75% REVIEW ISSUED FOR 100% REVIEW	2024 NOV 14	MP MP
	TURNING VANES	3	ISSUED FOR PERMIT/TENDER	2024 DEC 6 2024	MP
	SUPPLY AIR DUCT				
	RETURN/EXHAUST AIR DUCT				
	ACOUSTIC DUCT LINING				
	THERMAL INSULATION				
	BRANCH LINE SPIN-IN COLLAR C/W BALANCING DAMPER				
<u></u>	TRUNK MAIN BRANCH COLLAR C/W BALANCING DAMPER				
D	BALANCING DAMPER				



PROJECT:

GRAND VALLEY ARENA RENOVATION & ADDITION

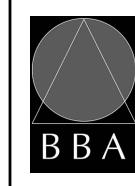
MECHANICAL | ELECTRICAL | AQUATIC

DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 1G0 TOWN OF GRAND VALLEY

DRAWING:

LEGENDS & SCHEDULES



BARRY BRYAN ASSOCIATES Architects Engineers Project Managers 250 Water Street

Suite 201

Whitby, Ontario L1N 0G5 Tel: (905) 666-5252 Fax: (905) 666-5256 e-mail: bba@bba-archeng.com

2025-01-13 AS NOTED FILE:

DESIGN BY:

DRAWN BY:

CHECKED BY:

PROJECT NO:

DRAWING NO: M101

6 Dec 24

% COMPLETE:

	ENERGY RECOVERY UNIT SCHEDULE												CAPACITY INDICATED ON SCHEDULE REFER TO SPECIFICATION FOR CONSTRUCTION STANDARDS, ACCESSORIES AND ADDITIONAL INFORMATION.
	Supply Air Data Return Air Data							ta	Elect	rical		Manufacturer	
	ltem	Туре	Capacity	ESP	Size bhp	Exhaust	ESP		Voltage		моср		Remarks
\perp			cfm	in wc	DIIP	cfm	in wc	DIID	10.1090	IVIOI	111001		
		ENERGY RECOVERY VENTILATOR	1000	0.625	1.5	1000	0.475	1.5	575/3/60	4.80	15	RUSKIN D11	C/W 24" HIGH ROOF CURB & PROGRAMMABLE TIMER
		ENERGY RECOVERY VENTILATOR	1000	0.625	1.5	1000	0.475	1.5	575/3/60	4.80	15	RUSKIN D11	C/W 24" HIGH ROOF CURB & PROGRAMMABLE TIMER
		ENERGY RECOVERY VENTILATOR	1500	0.625	1.5	1500	0.475	1.5	575/3/60	4.80	15	RUSKIN D12	C/W 24" HIGH ROOF CURB & PROGRAMMABLE TIMER

<u>EXP</u>	EXPANSION TANK SCHEDULE									CAPACITY INDICATED ON SCHEDULE REFER TO SPECIFICATION FOR CONSTRUCTION STANDARDS, ACCESSORIES AND ADDITIONAL INFORMATION.
Item	Туре	Max. Working Pressure (psig)	Max. Working Temperature (°F)	Total Volume (gal.)	Accept. Volume (gal.)	Diam. (in.)	Height (in.)	(in)	& Model	Remarks
ET-1	VERTICAL EXPANSION TANK	150	200	6.4	3.2	12	14	3/4"		DIAPHRAGM PRE-PRESSURIZED SUITABLE FOR POTABLE WATER.

ELE	CTRIC DUC	T HE	ATE	:R S	<u>CHEI</u>	DUL	Ε		CAPACITY INDICATED ON SCHEDULE REFER TO SPECIFICATION FOR CONSTRUCTION STANDARDS, ACCESSORIES AND ADDITIONAL INFORMATION.
Item	Туре	Capacity (cfm)	Size	Air Tem In (*F)	perature Out (°F)	Elect Capacity kw	tric Heat Electrical Voltage	Manufacturer & Model	Remarks
DH-1	FRONT END SUPPLEMENTAL COIL	500	12"ø	55	90	7.5	575/3/60	THERMOLEC	C/W SCR CONTROLLER (FULLY MODULATING)
DH-2	FRONT END SUPPLEMENTAL COIL	500	12"ø	55	90	7.5	575/3/60	THERMOLEC	C/W SCR CONTROLLER (FULLY MODULATING)
DH-3	FRONT END SUPPLEMENTAL COIL	500	12"ø	55	90	7.5	575/3/60	THERMOLEC	C/W SCR CONTROLLER (FULLY MODULATING)
DH-4	FRONT END SUPPLEMENTAL COIL	500	12"ø	55	90	7.5	575/3/60	THERMOLEC	C/W SCR CONTROLLER (FULLY MODULATING)
DH-5	FRONT END SUPPLEMENTAL COIL	750	12"ø	55	90	10	575/3/60	THERMOLEC	C/W SCR CONTROLLER (FULLY MODULATING)
DH-6	FRONT END SUPPLEMENTAL COIL	750	12"ø	55	90	10	575/3/60	THERMOLEC	C/W SCR CONTROLLER (FULLY MODULATING)

AIR	CURTAIN SCH	HEDULE	- - -			CAPACITY INDICATED ON SCHEDULE REFER TO SPECIFICATION FOR CONSTRUCTION STANDARDS, ACCESSORIES AND ADDITIONAL INFORMATION.
Item	Туре	Capacity cfm	Capacity Kw	Electrical	Manufacturer & Model	Remarks
ACT-1	AIR CURTAIN DOOR HEATER	750	10	600/3/60	SR S-100-E-600/32-C	CASSETTE ARRANGEMENT TO SUIT T-BAR CEILING, C/W VIBRATION ISOLATION HANGERS & CHIPS CONTROLLER AND DOOR SENSOR

FAN S	SCHEDULE	CAPACITY INDICATED ON SCHEDULE REFER TO SPECIFICATION FOR CONSTRUCTION STANDARDS,

Ī	14	Туре	Capacity	ESP .	Fan Speed rpm	Motor		Acceptable	Description
	ltem	туре	cfm	in wc		hp	Voltage	Manufacturer	Description
	EF-1	CEILING EXHAUST FAN (REFREE W/R)	200 0.20 715 Fhp 120/1/60 BROAN L20		BROAN L200MG	ACOUSTICALLY INSULATED STEEL HOUSING, DUAL CENTIFUGAL BLOWER WHEELS, 90° DISCHARGE OUTLET W/BACKDRAFT DAMPER, C/W WHITE PAINTED ENAMEL STEEL GRILLE, VIBRATION ISOLATORS. 2.5 SONES			
	EF-2	CEILING EXHAUST FAN (UNIVERSAL W/R)	200	0.20	715	Fhp	120/1/60	BROAN L200MG	ACOUSTICALLY INSULATED STEEL HOUSING, CENTIFUGAL BLOWER WHEEL, 90° DISCHARGE OUTLET W/BACKDRAFT DAMPER, C/W WHITE PAINTED ENAMEL STEEL GRILLE, VIBRATION ISOLATORS. 2.3 SONES
	EF-3	CEILING EXHAUST FAN (JAN. CLOSET)	100	0.20	640	Fhp	120/1/60	BROAN L100	ACOUSTICALLY INSULATED STEEL HOUSING, CENTIFUGAL BLOWER WHEEL, 90° DISCHARGE OUTLET W/BACKDRAFT DAMPER, C/W WHITE PAINTED ENAMEL STEEL GRILLE, VIBRATION ISOLATORS. 1.1 SONES
	EF-4	SIDEWALL EXHAUST FAN	350	0.20	1050	Fhp	120/1/60	GREENHECK SE1-12-432	GALVANIZED STEEL PANEL WITH FABRICATED GALVANIZED STEEL DRIVE FRAME (OPTIONAL WALL HOUSING OR WALL COLLAR). PROPELLER, ALUMINUM. DIRECT DRIVEN MOTOR IN THE AIRSTREAM.

GENERAL FAN NOTES:

1. ACCEPTABLE MANUFACTURERS: GREENHECK, PENN-BARRY, COOK, ACME, TWIN CITY, JENCO, BUFFALO. (CEILING FANS: BROAN, GREENHECK, ZONEX)

GRII	ΙF	SCHEDULI	F

<u>GRIL</u>	LE SCHEDULE				CAPACITY INDICATED ON SCHEDULE REFER TO SPECIFICATION FOR CONSTRUCTION STANDARDS, ACCESSORIES AND ADDITIONAL INFORMATION.
Item	Туре	Equalizing Grid	Volume Damper	Acceptable Manufacturer	Description
D1	ROUND DIFFUSER (EXPOSED)	YES	NONE	EH PRICE RCDA	MULTICONE, FULLY ADJUSTABLE, STEEL DIFFUSER W/ROUND NECK. SUITABLE FOR EXPOSED, HUNG INSTALLATION. PROVIDE CONCEALED SAFETY CHAIN FROM DIFFUSER UP INTO DUCTWORK.
D2	SQUARE CEILING DIFFUSER	YES	NONE	EH PRICE SCDA	MULTICONE, FULLY ADJUSTABLE, 24x24, ALUMINUM CEILING DIFFUSER W/ROUND NECK. SUITABLE FOR LAY-IN T-BAR CEILING, OR DRYWALL CEILING WHEN C/W FRAME.
S1	SIDEWALL SUPPLY LINEAR BAR GRILLE	NO	NONE	EH PRICE LBP-27B-500	ALUMINUM CONSTRUCTION, CORE BARS PARALLEL TO LONG DIMENSION, 30° DEFLECTION, 1/2" SPACING & 3/16" HEAD, 1/2" BORDER W/MITRED CORNERS.
E1	EXHAUST GRILLE (DUCTED)	NO	NONE	EH PRICE 80-FA	1/2x1/2x1/2 ALUMINUM EGGCRATE CORE, C/W 1 1/4" FLAT BORDER & SCREWED FASTENING FOR SURFACE MOUNTING.
DG1	DOOR GRILLE (RATED)	NO	NONE	AJ MFG 1900	HEAVY DUTY, STEEL, LOUVRED FACED GRILLE C/W 1 1/4" FLAT BORDER ON BOTH SIDES & SCREWED FASTENING FOR SURFACE MOUNTING. INSTALLED WITH INTEGRAL FIRE DAMPER
CENERAL	DIFFUSED /CPILLE NOTES:	· '		•	

GENERAL DIFFUSER/GRILLE NOTES:
1. ACCEPTABLE MANUFACTURERS: EH PRICE, NAILOR, TITUS, KRUEGER, CARNES, METALAIRE, TUTTLE & BAILEY 2. GRILLE COLOURS ARE SELECTED BY ARCHITECT FROM STANDARD COLOUR CHART, UNLESS OTHERWISE NOTED. 3. PAINT INTERIOR OF DUCTWORK BEHIND GRILLE MATT BLACK (WHERE VISIBLE THRU GRILLE).

AIR HANDLING UNIT SCHEDULE

<u>AIR</u>	AIR HANDLING UNIT SCHEDULE (CAPACITY INDICATED ON SCHEDULE REFER TO SPECIFICATION FOR CONSTRUCTION STANDARDS, ACCESSORIES AND ADDITIONAL INFORMATION.												
Item	Туре	Car tons		Heating Capacity MBH	Capacity		Vent. Air cfm	Size	Voltage	Electrica MCA	MOCP	Manufacturer & Model	Remarks
HVAC-1	PACKAGED ROOFTOP HVAC	10	4000	224	120	1.2	200	3.7	575/3/60	29	35	CARRIER 48GCRN12E M1-8W3N0	C/W CO2 SENSOR AND HUMIDI-MIZER

GENERAL HVAC UNIT NOTES:
1. ACCEPTABLE MANUFACTURERS: CARRIER, LENNOX, DAIKIN

4. CONTROLS: 7-DAY PROGRAMMABLE THERMOSTAT AND LOCKING COVER

2. UNITS HAVE 2 STAGE NATURAL GAS/PROPANE HEAT, 2 STAGE DX COOLING PLUS ECONOMIZER (1 STAGE ON SMALLER UNITS), BELT DRIVE

3. PROVIDE STANDARD INSULATED 24" HIGH ROOF CURB, ADDITIONAL ISOLATION/VIBRATION RAIL/CURB, STAINLESS STEEL GAS HEAT EXCHANGER, CONDENSER COIL GUARD, STAINLESS STEEL FLUE GAS EXTENSION, POWER EXHAUST ON UNITS 7.5 tons AND LARGER, ECONOMIZER, AND ALL HOODS & INLET SCREENS, AND 2 SETS MERV 8 DISPOSABLE FILTERS C/W HUMIDIMIZER HOT GAS REHEAT.

PUMP SCHEDULE

SPECIFICAT	TON FOR C	ONSTRUCTI	OULE REFER TO ON STANDARDS INFORMATION.	,)

								ACCESSORIES AND ADDITIONAL INFORMATION.
Item	Туре	Capacity USgpm	Head ft	Size hp	Electrical Voltage	Speed rpm	Manufacturer & Model	Remarks
C-1	DOMESTIC TW RECIRC PUMP	10	20	1/4	120/1/60	1750	ARMSTRONG H-51	

WATER HEATER SCHEDULE

/	CAPACITY	INDICATE	ON SC	HEDULE	REFER TO)
(SPECIFICAT					
	ACCESSO	RIES AND	ADDITIO	NAL INFO	RMATION.	ノ

		Input		Water Side		Manufacturer			
Item	Туре	Capacity	Medium	Storage Gal	Recovery GPH	& Model	Remarks		
WH-1	DOMESTIC WATER HEATER	199 MBH	N. Gas	100	1 200	A.O. SMITH CYCLONE BTH-199	HIGH EFFICIENCY, 120/1/60, fhp		
WH-2	DOMESTIC WATER HEATER	199 MBH	N. Gas	100	1 200	A.O. SMITH CYCLONE BTH-199	HIGH EFFICIENCY, 120/1/60, fhp		

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work. The drawings show general arrangement of services.
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to meet the required conditions.

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	3	ISSUED FOR PERMIT/TENDER	DEC 6 2024	MP

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/					
		NO.	REVISIONS	DATE	BY



PROJECT:

GRAND VALLEY ARENA RENOVATION & ADDITION

MECHANICAL | ELECTRICAL | AQUATIC

DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 1G0 TOWN OF GRAND VALLEY

DRAWING:

SCHEDULES



6 Dec 24 M.S. PAO 19017172 10017172	E A
DESIGN BY:	DOC CONTROL:

DRAWN BY:

CHECKED BY:

2025-01-13

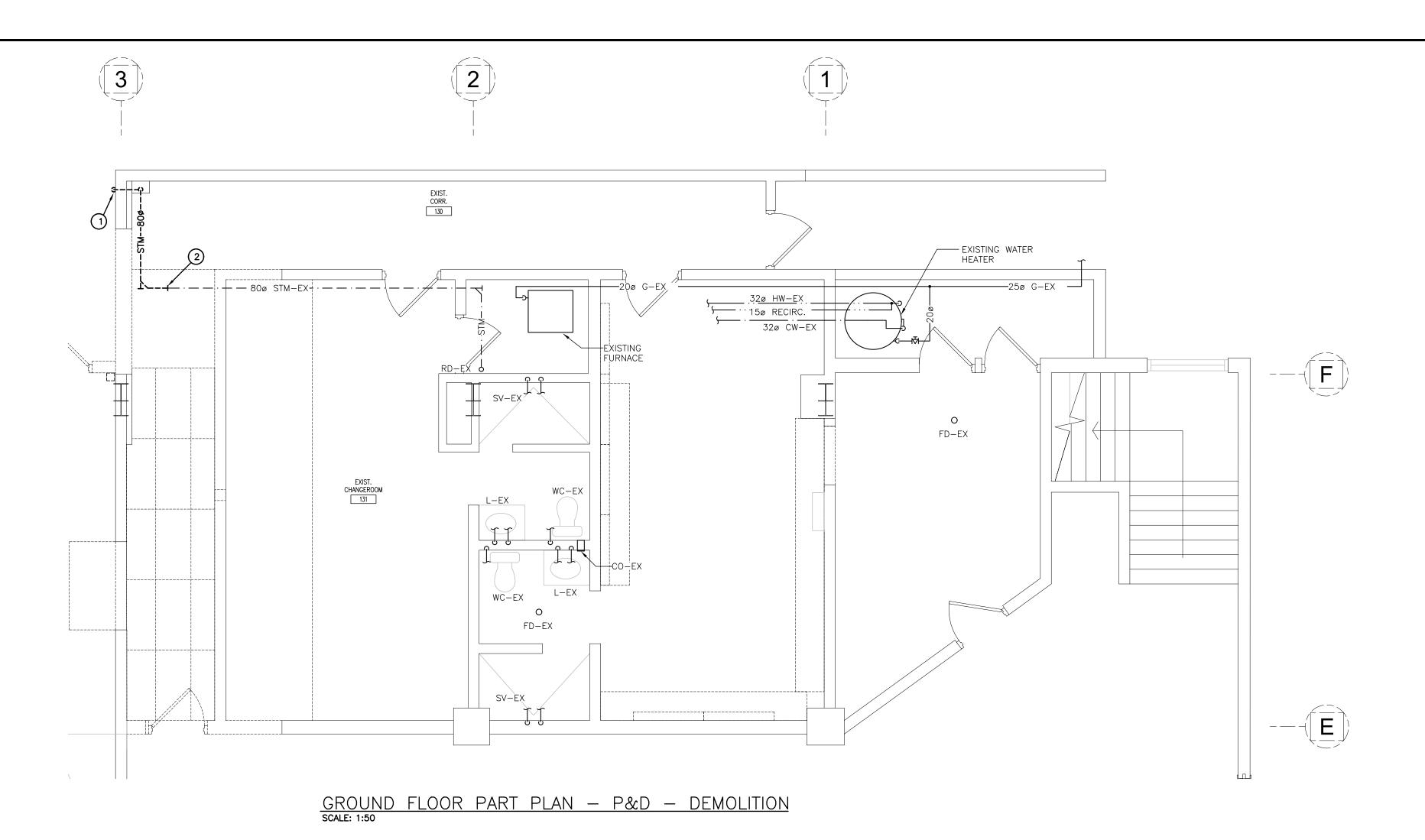
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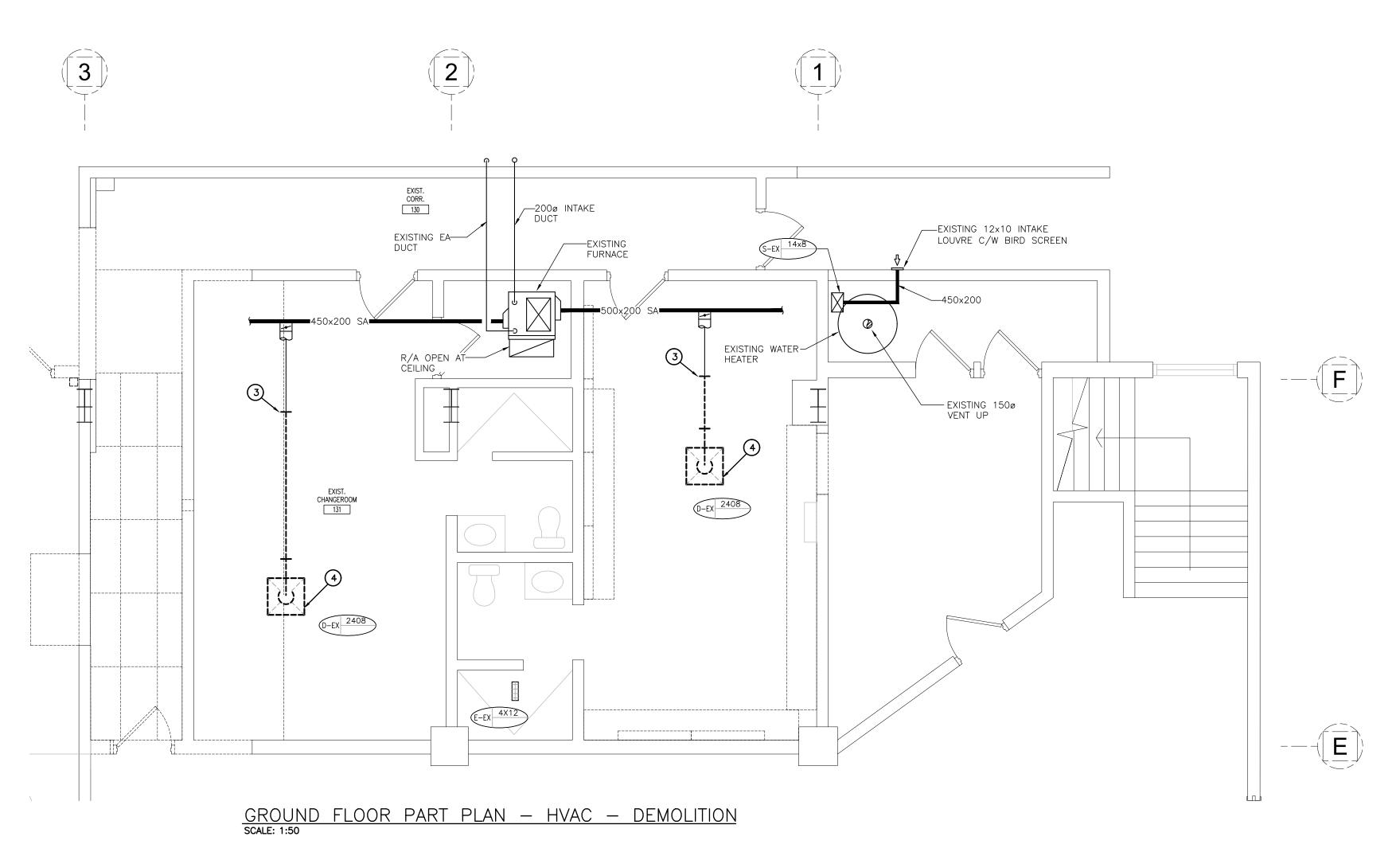
BARRY BRYAN ASSOCIATES
Architects Engineers Project Managers
250 Water Street Suite 201 Whitby, Ontario

L1N 0G5 Tel: (905) 666-5252 Fax: (905) 666-5256 e-mail: bba@bba-archeng.com

PROJECT NO:

DRAWING NO: M102





- B. EXISTING MECHANICAL ITEMS SHOWN BUT NOT NOTED AS BEING REMOVED OR RENOVATED SHALL REMAIN AS PRESENTLY INSTALLED AND OPERATING.
- C. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR
- CONSTRUCTION.
- INCLUDES REMOVAL OF ALL HANGERS, INSULATION, FITTINGS, ETC.
- . MAINTAIN INTEGRITY OF EXISTING SYSTEMS THAT ARE TO REMAIN OR BE MODIFIED.
- H. INSTALL NEW SYSTEM OR SERVICES WHERE REQUIRED TO MAINTAIN SYSTEM OPERATION PRIOR TO DEMOLITION
- THIS CONTRACTOR IS TO REMOVE & REPLACE CEILINGS AS REQUIRED FOR REMOVAL/REPLACEMENT OF SERVICES.

SPECIFIC DEMOLITION NOTES

- . EXISTING 80ø RWL TO BE RELOCATED COMPLETE.
- 3. CUT EXISTING DUCTWORK AND PREPARE FOR NEW CONNECTION.
- 4. EXISTING GRILLE/DIFFUSER TO REMOVED COMPLETE.

GENERAL DEMOLITION NOTES

- A. EXISTING MECHANICAL ITEMS NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- VERIFYING ON SITE ALL LOCATIONS AND SIZES OF ALL SERVICES & EQUIPMENT PRIOR TO THE COMMENCEMENT OF WORK.
- D. ALL OPENINGS THAT RESULT FROM THE REMOVAL OF EQUIPMENT OR SERVICES SHALL BE NEATLY PATCHED WITH SUITABLE NEW MATERIALS TO SUIT EXISTING
- PLUMBING VENTS ARE NOT INDICATED OR IDENTIFIED. REMOVE ALL REDUNDANT VENTS WHILE MAINTAINING INTEGRITY OF EXISTING SYSTEMS TO REMAIN.
- REMOVAL OF EXISTING PIPING, OR DUCT SYSTEMS
- OF EXISTING SERVICES.

- 2. CUT EXISTING STORM/SANITARY PIPING AND PREPARE FOR NEW CONNECTION.

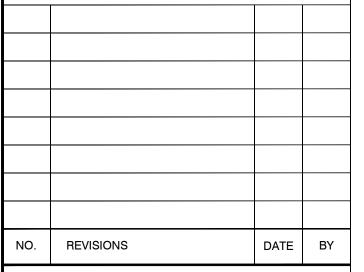
The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work. The drawings show general arrangement of services.
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PROJECT:

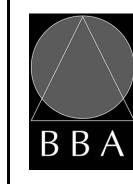
GRAND VALLEY ARENA RENOVATION & ADDITION

DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 1G0 TOWN OF GRAND VALLEY

DRAWING:

EXISTING GROUND FLOOR PART PLANS -**DEMOLITION**





BARRY BRYAN ASSOCIATES Architects Engineers Project Managers

250 Water Street Suite 201 Whitby, Ontario L1N 0G5

CHECKED BY: 2025-01-13 AS NOTED

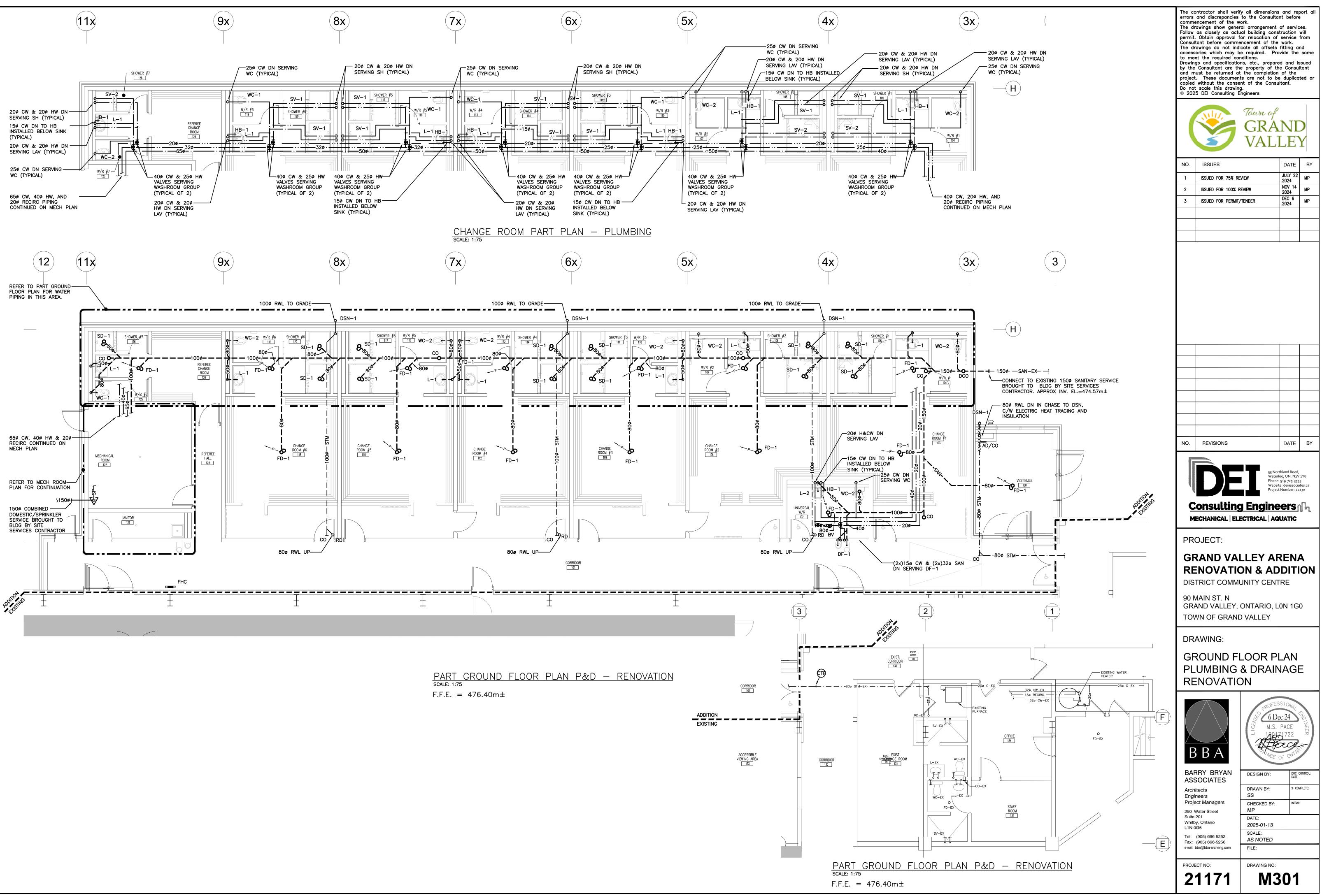
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DRAWN BY:

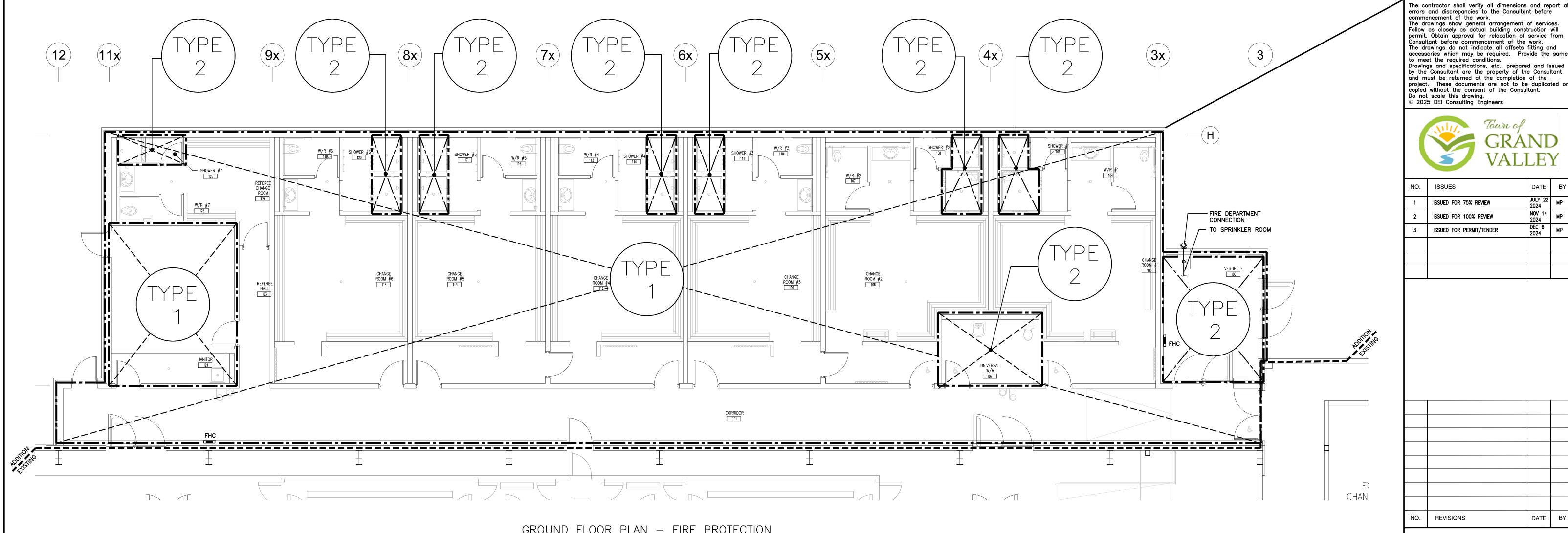
Tel: (905) 666-5252 Fax: (905) 666-5256 e-mail: bba@bba-archeng.com

PROJECT NO: **M201**

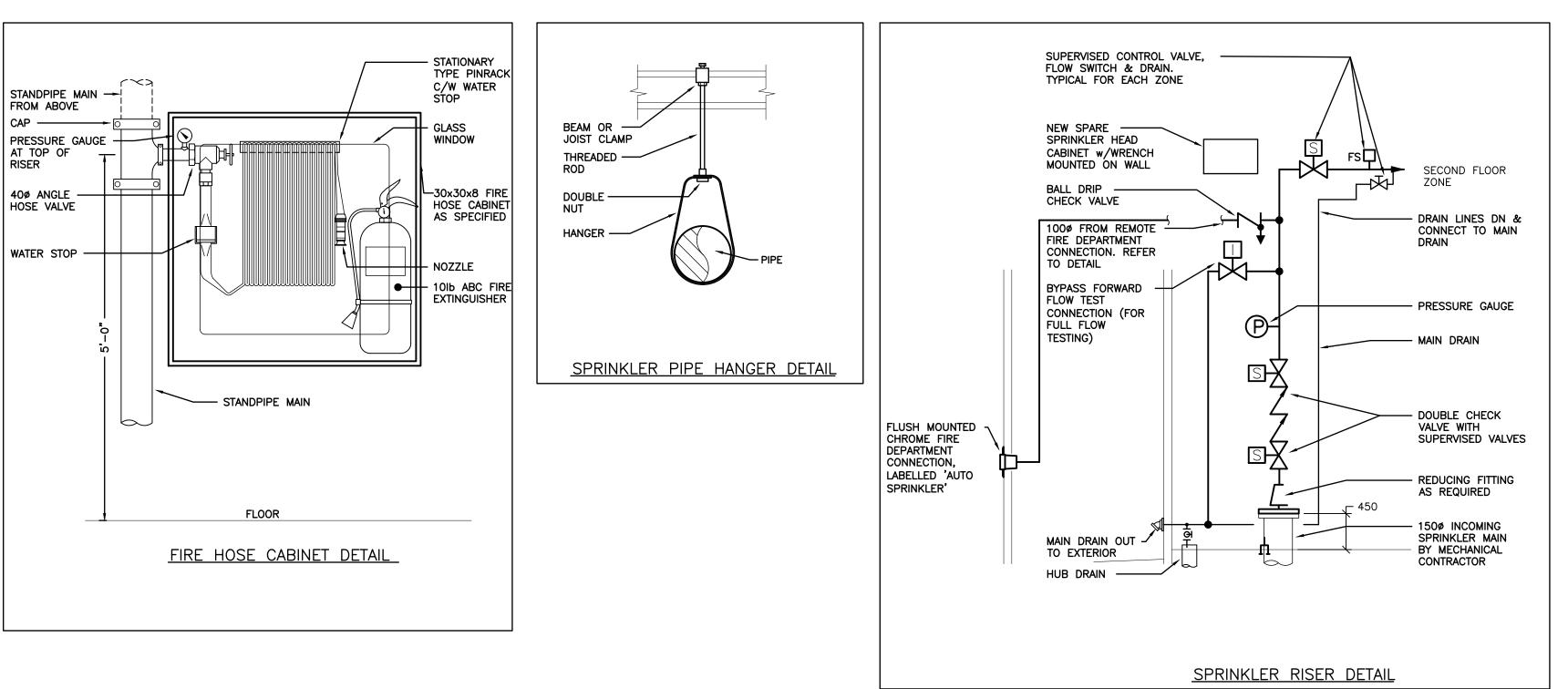
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1	ISSUED FOR 75% REVIEW	JULY 22 2024	MP
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GENERAL SPRINKLER NOTES

- 1. SUBMIT PRELIMINARY DESIGN & HYDRAULIC CALCULATIONS STAMPED BY A PROFESSIONAL ENGINEER, AND MANUFACTURERS' PRODUCT SHEETS FOR SHOP DRAWING SUBMISSION AS SPECIFIED PRIOR TO COMMENCING WORK. MARKED UP TENDER DRAWINGS ARE UNACCEPTABLE FOR SHOP DRAWINGS.
- 2. ENSURE DESIGN MEETS OR EXCEEDS PRESENT NFPA 13 STANDARDS. ENSURE SPRINKLER SYSTEMS ARE INSTALLED TO NFPA 13 STANDARDS. UPON COMPLETION, SPRINKLER CONTRACTOR TO PROVIDE REPRODUCIBLE DRAWING (AT 1/8"=1'-0" SCALE) AND HYDRAULIC CALCULATIONS OF AS-BUILT CONDITION.
- 3. SPRINKLER CONTRACTOR'S 'PROFESSIONAL ENGINEER' TO PROVIDE O.B.C. AND NFPA REQUIRED INSPECTION AND CERTIFICATION.
- 4. REFER TO ARCHITECTURAL DRAWINGS FOR REFLECTED CEILING PLAN.
- 5. PROVIDE SPRINKLER HEAD TYPES AS FOLLOWS:
- 5.1 PROVIDE UPRIGHT HEADS WITHIN 12" OF EXPOSED DECK THROUGHOUT EXPOSED STRUCTURE AREAS. PROVIDE HEAD GUARDS IN MECH/ELEC RM, AREAS WHERE HEADS ARE BELOW 8'-0" & STORAGE ROOMS.
- 5.2 PROVIDE CONCEALED PENDENT HEADS IN CEILINGS IN UNSUPERVISED AREAS (WASHROOMS, CORRIDORS, CHANGE ROOMS ETC.) COVER PLATE FINISH TO BE WHITE.
- 5.3 PROVIDE RECESSED PENDENT HEADS IN ALL OTHER CEILING AREAS (OFFICES, SERVERY, etc.). HEAD & ESCUTCHEON FINISH SELECTED BY CONSULTANT.
- 6. SPRINKLER HEADS TO BE CENTERED IN CEILING TILE.
- 7. FINAL NUMBER AND LOCATION OF SPRINKLER HEADS TO BE DETERMINED BY CONTRACTOR'S HYDRAULIC CALCULATIONS AND APPROVED DRAWINGS.
- 8. SPRINKLER PIPING TO BE COORDINATED WITH OTHER SERVICES PRIOR TO INSTALLATION.

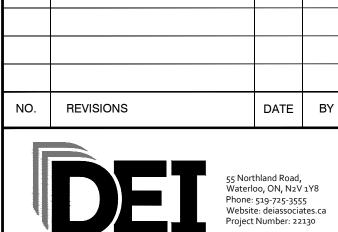
SPRINKLER SCHEDULE				
Туре	Sprinkler Head	Sprinkler Head Temp. Rating	Colour	Remarks
1	UPRIGHT	165° F	BRASS	C/W WIRE GUARD WET SYSTEM
2	PENDENT	165° F	CHROME	

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2 ISSUED FOR 100% REVIEW 2024 MP 2 ISSUED FOR 100% REVIEW NOV 14 MP 2024 MP 3 ISSUED FOR DEPART/TENDED DEC 6 MP	NO.	ISSUES	DATE	BY
2 ISSUED FOR 100% REVIEW 2024 MP 3 ISSUED FOR DEPART/TENDED DEC 6 MP	1	ISSUED FOR 75% REVIEW		MP
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PROJECT:

GRAND VALLEY ARENA RENOVATION & ADDITION

Consulting Engineers

MECHANICAL | ELECTRICAL | AQUATIC

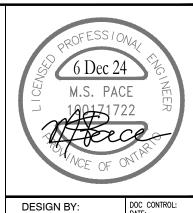
DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 1G0 TOWN OF GRAND VALLEY

DRAWING:

GROUND FLOOR PLAN -FIRE PROTECTION





% COMPLETE:

BARRY BRYAN
ASSOCIATES
Architects Engineers Project Managers
50 Water Street Suite 201

Whitby, Ontario L1N 0G5 Tel: (905) 666-5252 Fax: (905) 666-5256

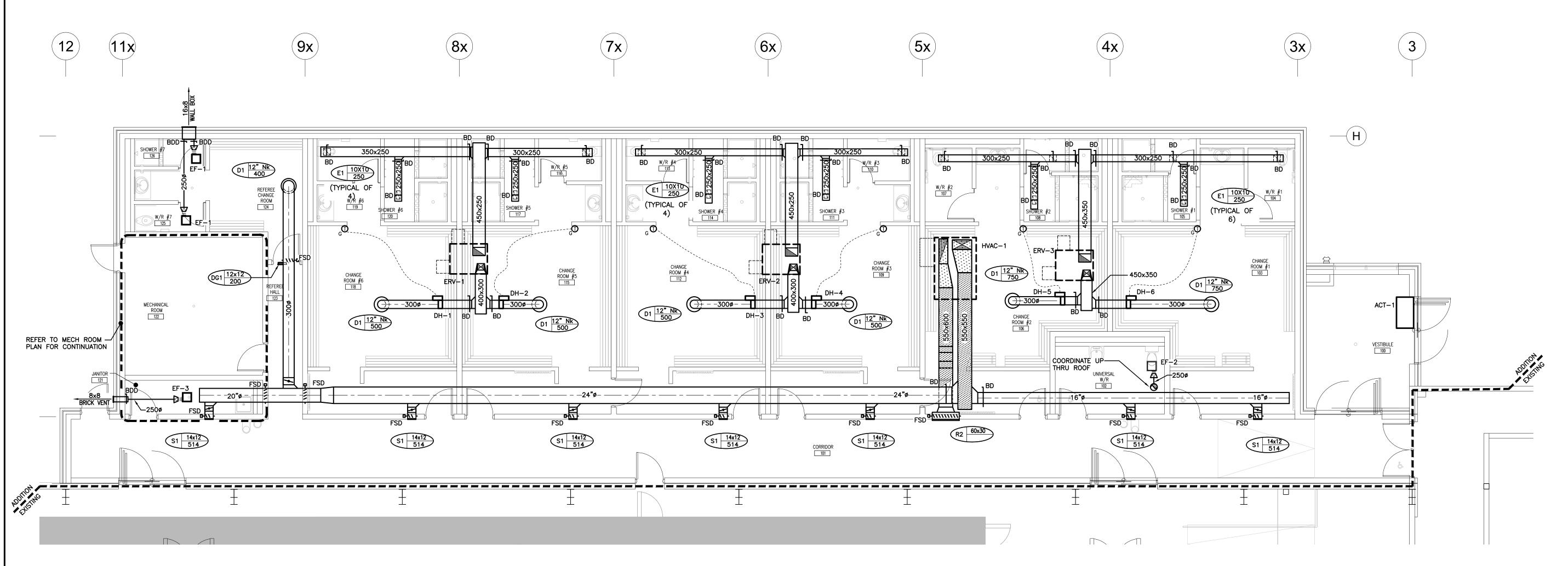
2025-01-13 AS NOTED e-mail: bba@bba-archeng.com FILE:

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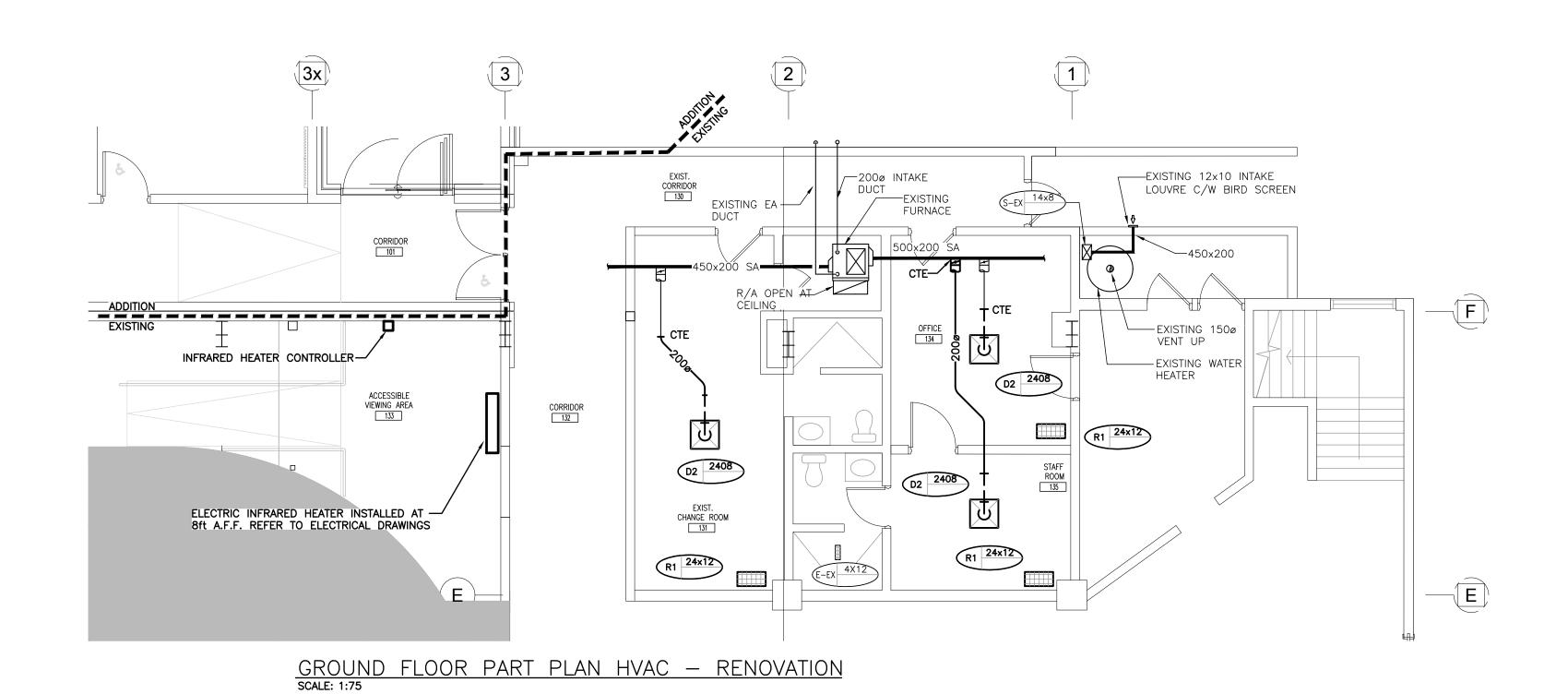
CHECKED BY:

PROJECT NO: DRAWING NO:

M401



GROUND FLOOR PLAN HVAC — RENOVATION SCALE: 1:75



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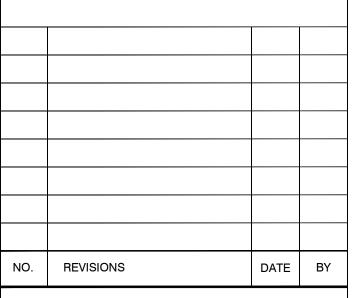
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PROJECT:

GRAND VALLEY ARENA RENOVATION & ADDITION

DISTRICT COMMUNITY CENTRE

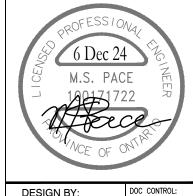
90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 1G0 TOWN OF GRAND VALLEY

DRAWING:

GROUND FLOOR PLAN **HVAC RENOVATION**



Suite 201



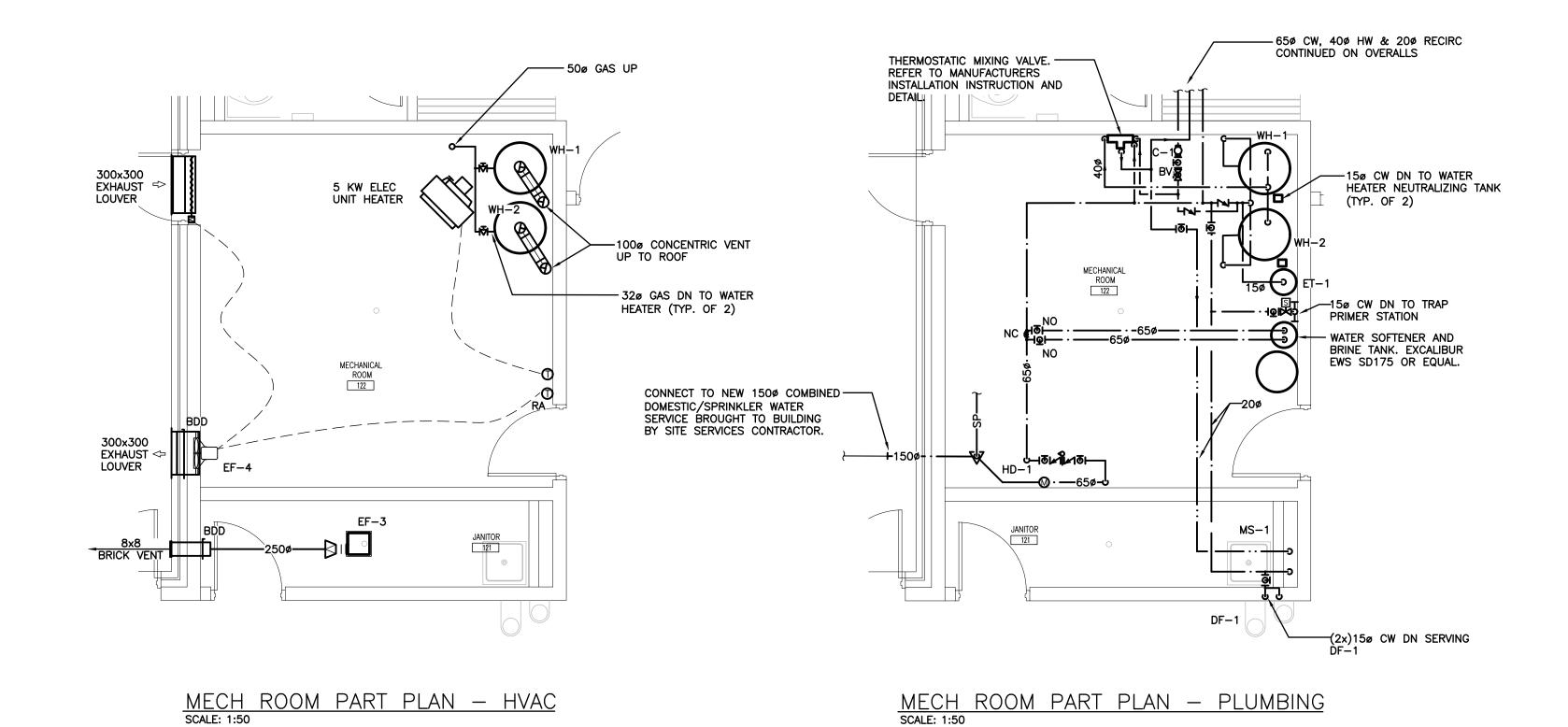
DD/Λ
BARRY BRYAN ASSOCIATES
Architects Engineers Project Managers
250 Water Street

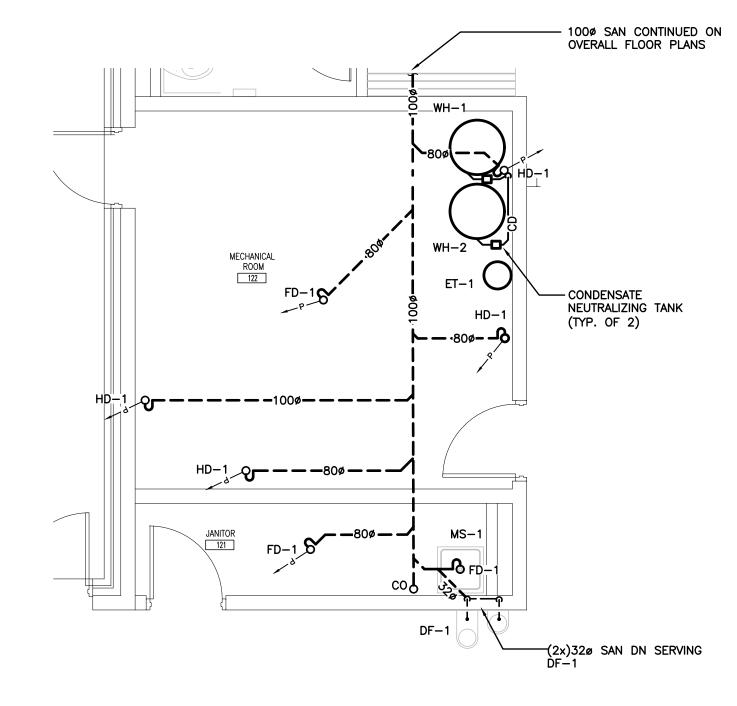
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Whitby, Ontario L1N 0G5 Tel: (905) 666-5252 AS NOTED Fax: (905) 666-5256 e-mail: bba@bba-archeng.com

PROJECT NO: **M501**

21171





MECH ROOM PART PLAN — DRAINAGE SCALE: 1:50

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.

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10.	REVISIONS	DATE	BY
	NO.	NO. REVISIONS	NO. REVISIONS DATE



MECHANICAL | ELECTRICAL | AQUATIC

PROJECT:

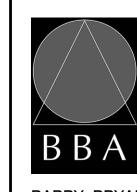
GRAND VALLEY ARENA RENOVATION & ADDITION

DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 1G0 TOWN OF GRAND VALLEY

DRAWING:

MECH ROOM PLAN -PLUMBING, DRAINAGE & HVAC



6 Dec 24 DESIGN BY:

DRAWN BY:

AS NOTED

BARRY BRYAN ASSOCIATES Architects Engineers Project Managers 250 Water Street

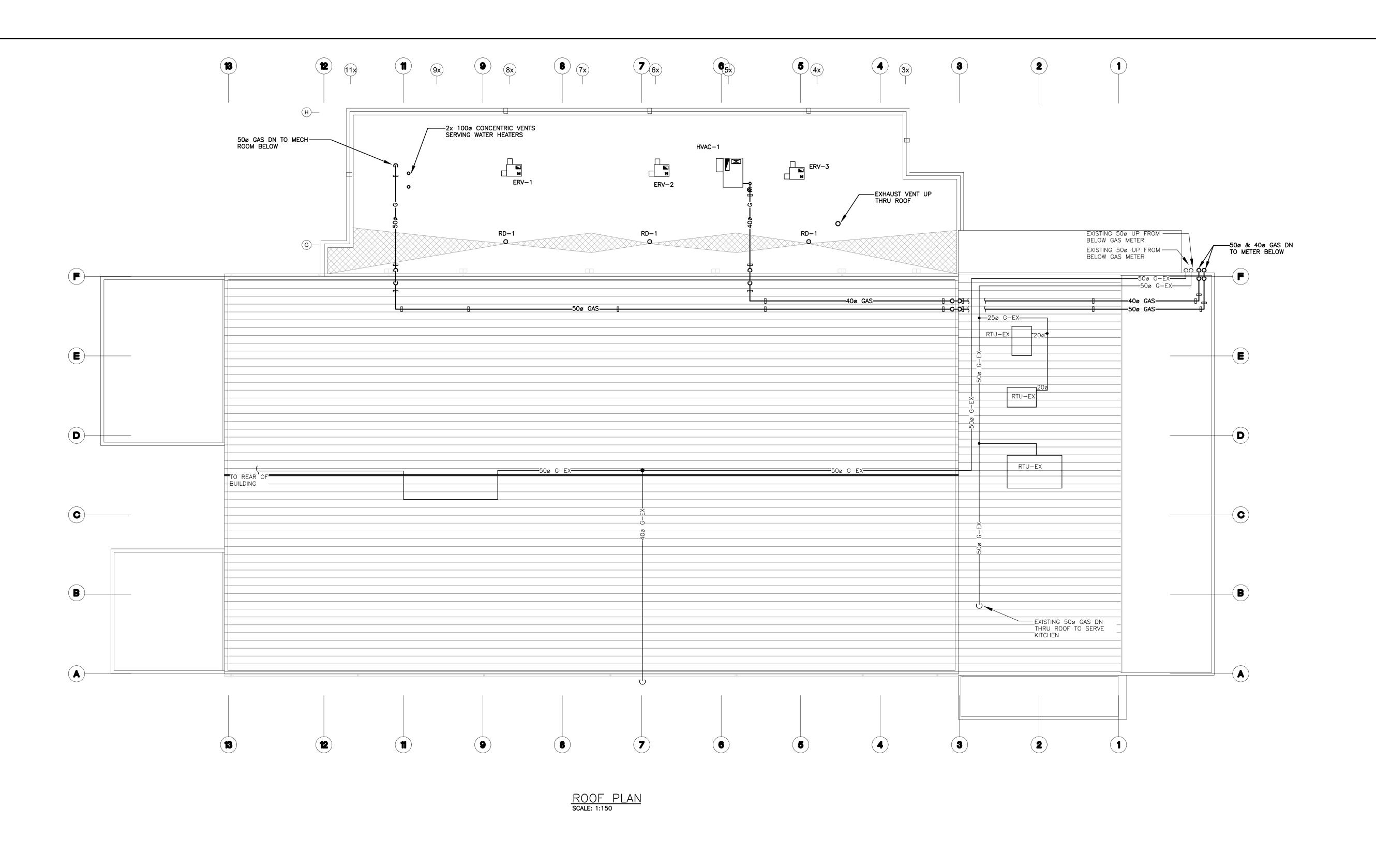
Suite 201

CHECKED BY: MP Whitby, Ontario 2025-01-13

L1N 0G5 Tel: (905) 666-5252 Fax: (905) 666-5256 e-mail: bba@bba-archeng.com

DRAWING NO: PROJECT NO:

21171 M601



The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.

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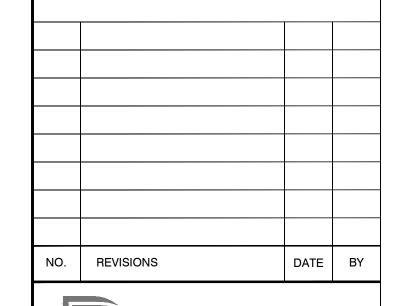
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© 2025 DEI Consulting Engineers The contractor shall verify all dimensions and report all



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PROJECT:

GRAND VALLEY ARENA RENOVATION & ADDITION

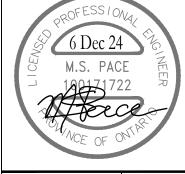
DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 1G0 TOWN OF GRAND VALLEY

DRAWING:

ROOF PLAN





BARRY BRYAN **ASSOCIATES** Architects Engineers

Suite 201

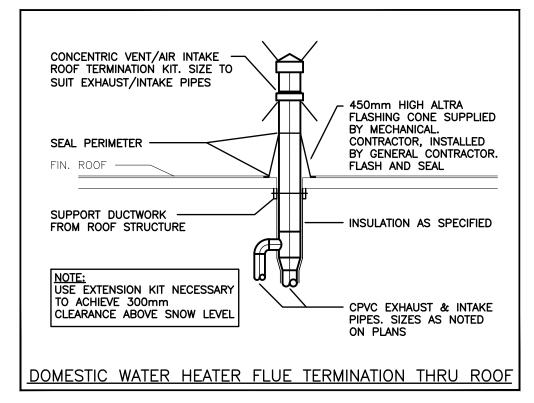
DESIGN BY: DRAWN BY: Project Managers CHECKED BY: MP 250 Water Street Whitby, Ontario 2025-01-13

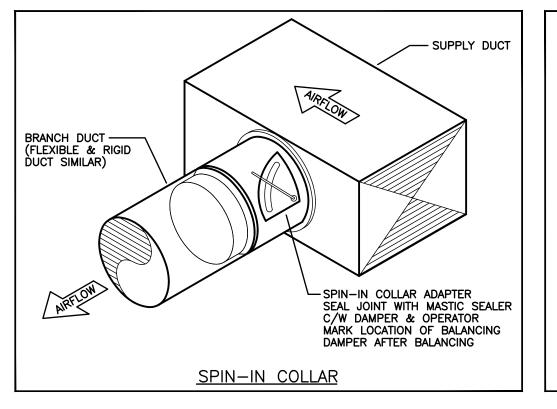
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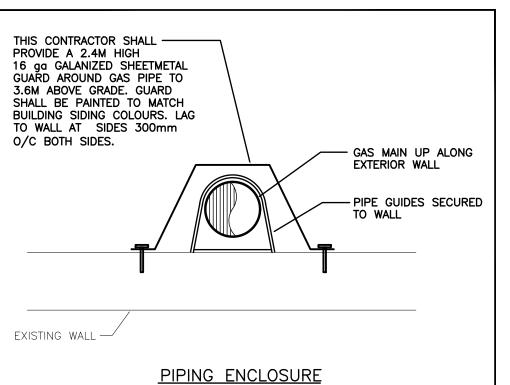
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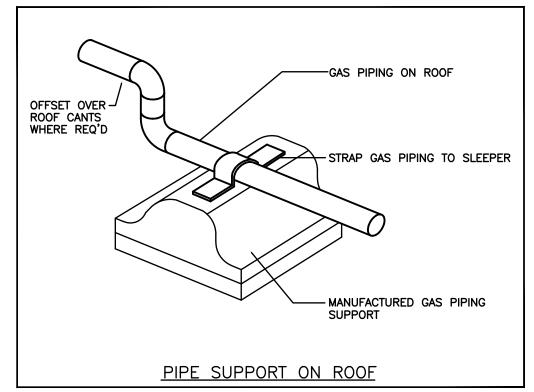
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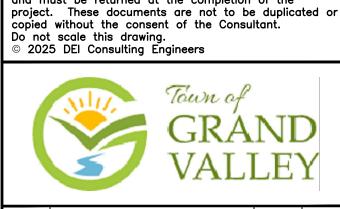
PROJECT NO:











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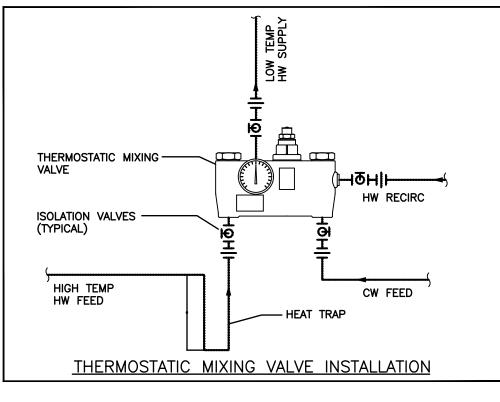
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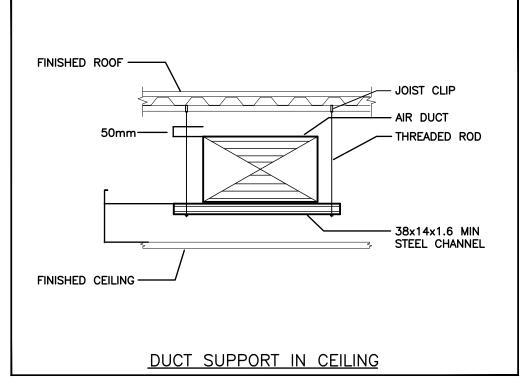
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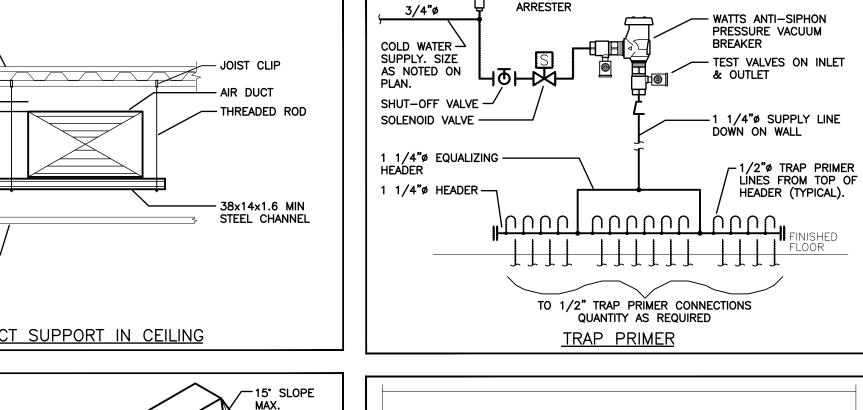
commencement of the work.

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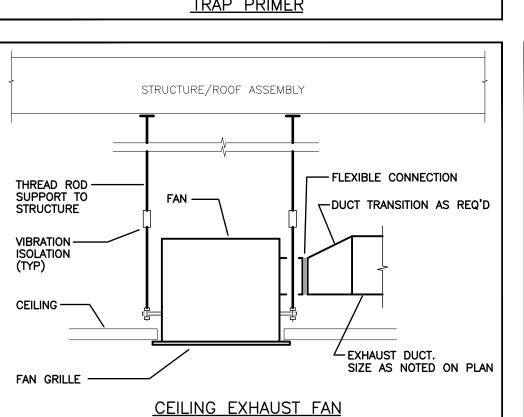
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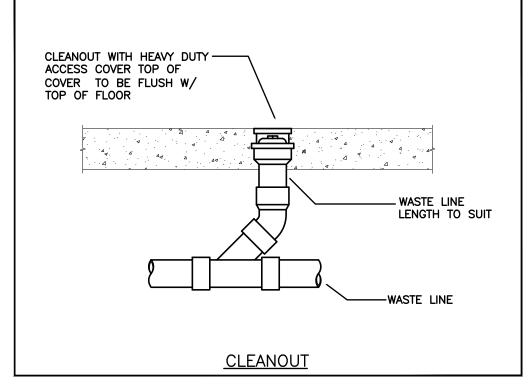
PROVIDE SUPPORT AT EACH CORNER OF DIFFUSER

— DUCT SUPPORT TO STRUCTURE

—EQUALIZING GRID

-S/A DIFFUSER SIZE, TYPE & CAPACITY AS NOTED





BEAM CLAMP —

CLEVIS HANGER -

- HIGH DENSITY INSULATION

— 1"x1"x6" HARDWOOD BLOCK

PIPE HANGER

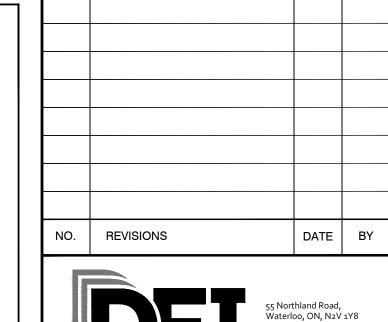
(OPTIONAL)

WALL FAN

MOTOR SIDE-

WALL COLLAR -

GUARD





PROJECT:

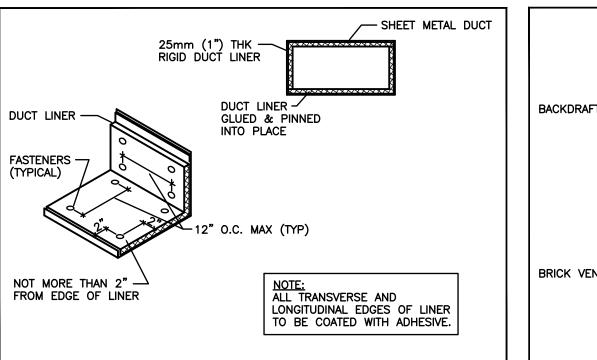
GRAND VALLEY ARENA RENOVATION & ADDITION

DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 1G0 TOWN OF GRAND VALLEY

DRAWING:

DETAILS

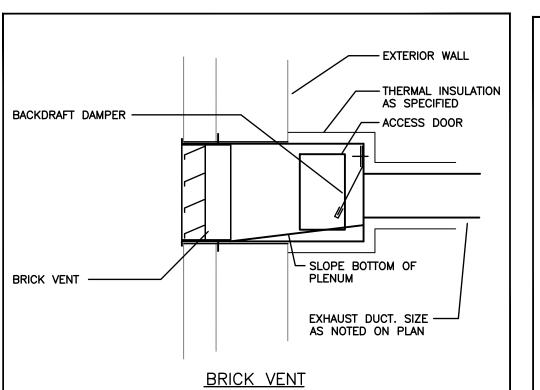


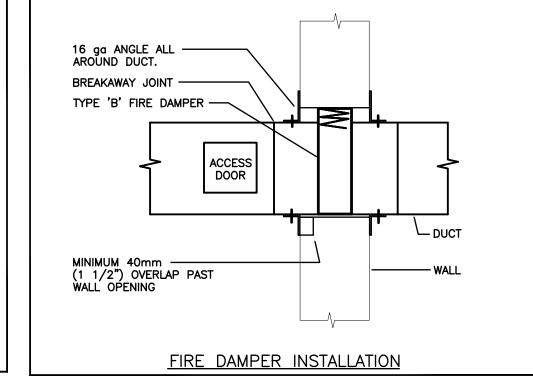
STRUCTURE/ROOF ASSEMBLY

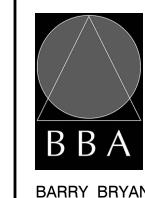
DIFFUSER

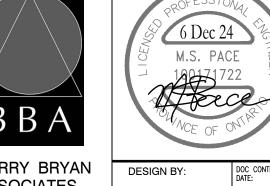
ACOUSTIC LINING

CEILING —







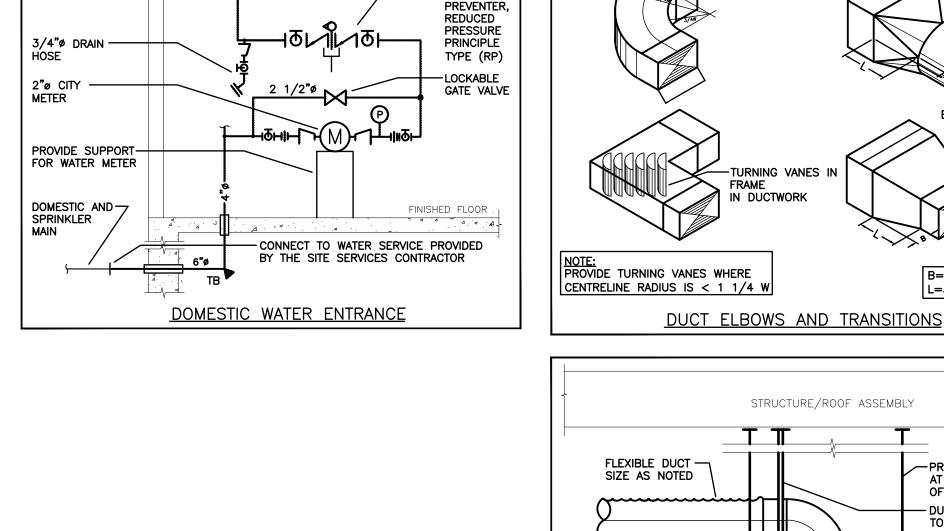


Architects Engineers Project Managers 250 Water Street Suite 201	BARRY BRYAN
Suite 201	Architects Engineers
Whitby, Ontario L1N 0G5	Suite 201 Whitby, Ontario

% COMPLETE: DRAWN BY: CHECKED BY: MP DATE: 2025-01-13 SCALE: Tel: (905) 666-5252 AS NOTED Fax: (905) 666-5256 e-mail: bba@bba-archeng.com FILE:

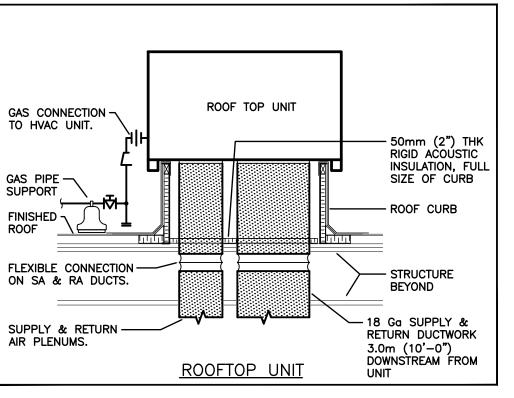
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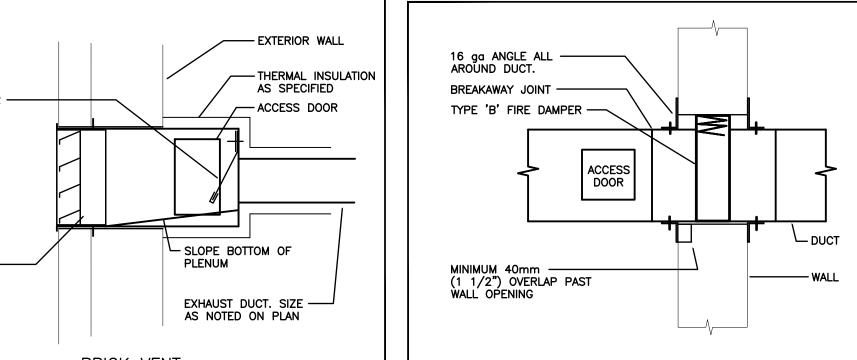
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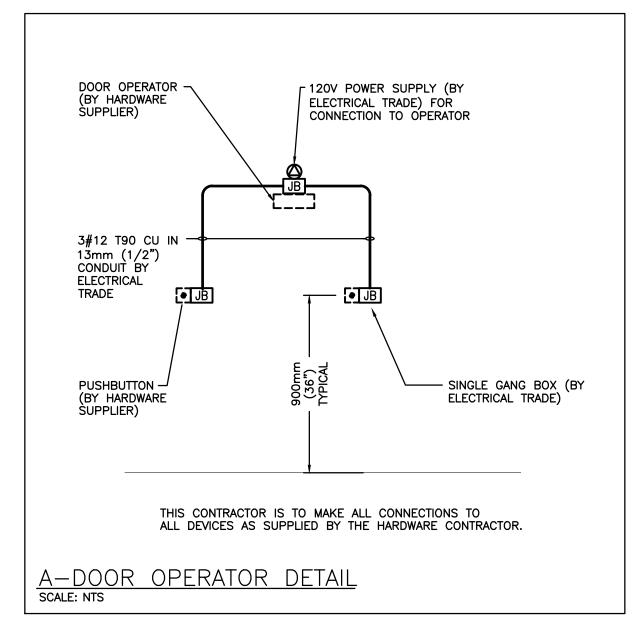


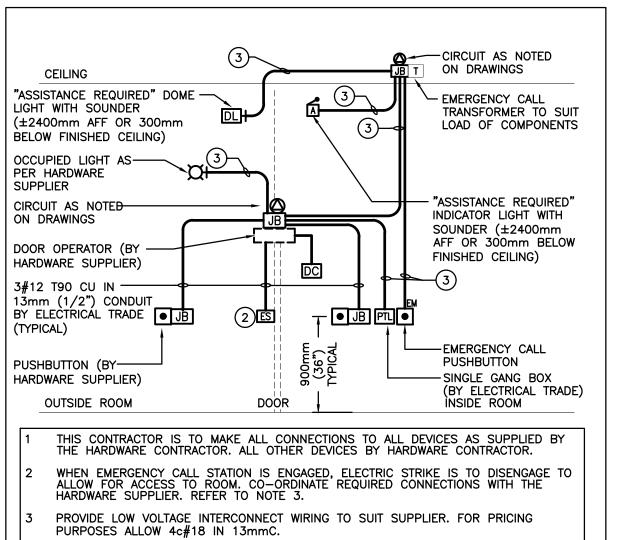
BUILDING

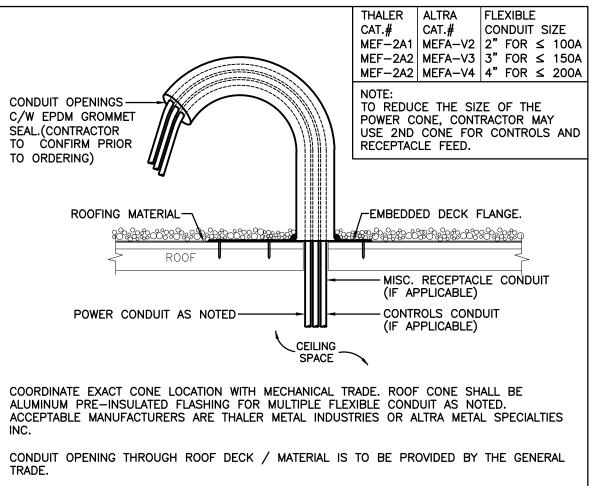
-BACKFLOW







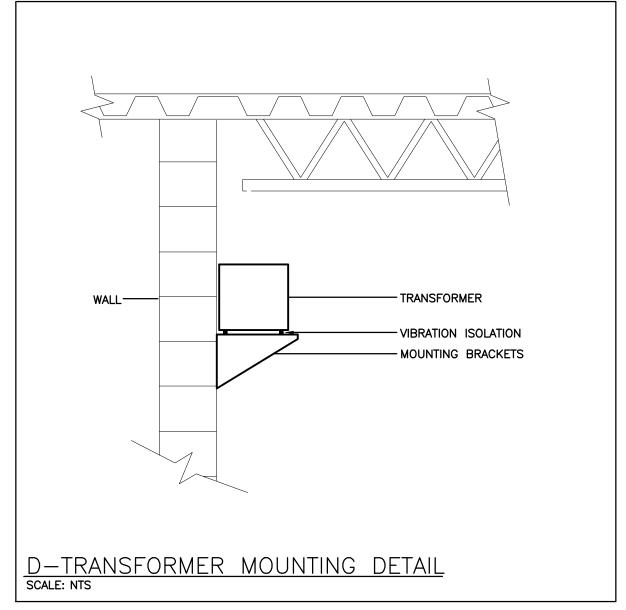


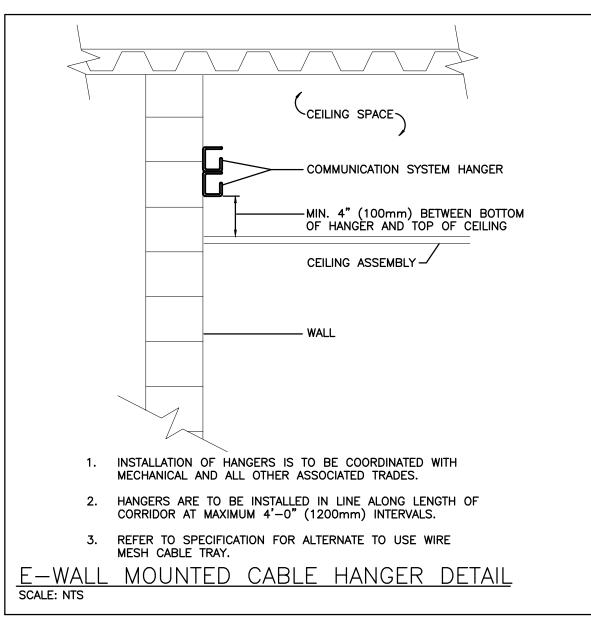


TURN OVER CONE TO ROOFER FOR INSTALLATION.

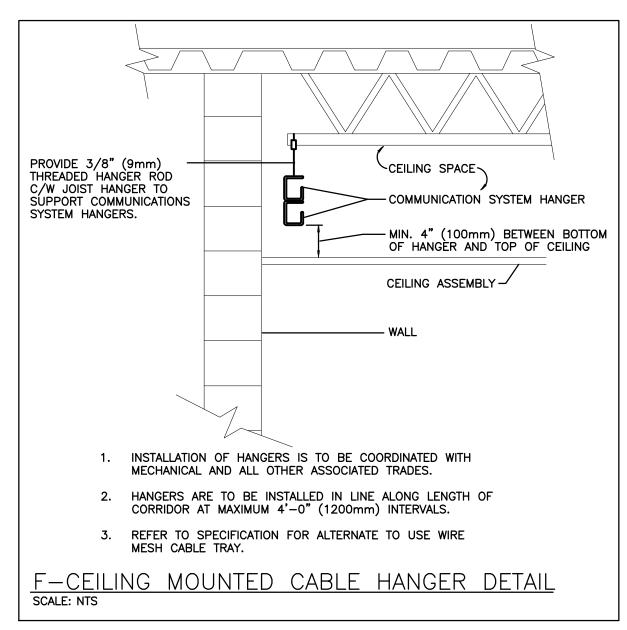
SUBMIT SHOP DRAWING AS PER THE SPECIFICATION.

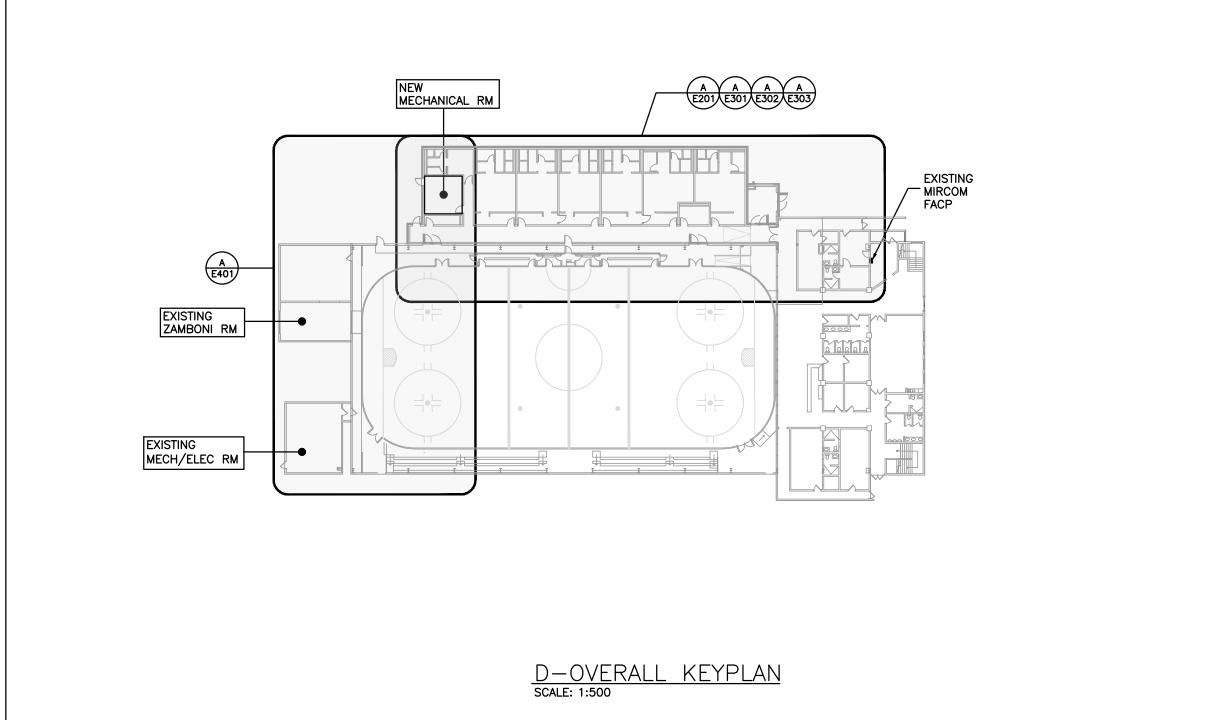
C-ROOF PENETRATION DETAIL SCALE: NTS





B-UNIVERSAL WASHROOM DEVICE INSTALLATION scale: nts





	LIGHTING	POWER		
[X]	LIGHT FIXTURE	Ψ	WALL MOUNTED RECEPTACLE (15A-120V)	
	TYPE AS INDICATED COMBINATION EMERGENCY/EXIT TYPE AS INDICATED	Ψ	WALL MOUNTED T-SLOT RECEPTACL (20A-120V)	
EM-X DC-X X-X	(EM-X INDICATES BATTERY UNIT TYPE, DC-X INDICATES DC CIRCUIT, AND X-X INDICATES AC SOURCE CIRCUIT)	INDICATES DC CIRCUIT,		
M M	CEILING OR WALL MOUNTED LIGHT FIXTURE TYPE AS INDICATED	0	DIRECT CONNECTION	
>	WALL MOUNTED EXIT LIGHT SHADING INDICATES FACE	JB	JUNCTION BOX	
199(1	CEILING MOUNTED EXIT LIGHT ARROWS DENOTE DIRECTION SHADING INDICATES FACE	PB	PULLBOX	
FRE	SINGLE OR TWIN EMERGENCY LIGHTING FIXTURE	-	PANEL AS INDICATED	
EM-X DC-X X-X	BATTERY UNIT WITH INTEGRAL EMERGENCY FIXTURE (EM-X INDICATES BATTERY UNIT	C	CONTACTOR	
□ (M	TYPE, DC-X INDICATES DC CIRCUIT, AND X-X INDICATES AC SOURCE CIRCUIT)	•	PUSH-BUTTON STATION (QUANTITY OF BUTTONS AS PER PLANS)	
\$	SINGLE POLE SWITCH (3=3 WAY, 4=4 WAY, P=PILOT LIGHT, K=KEYED, DM=DIMMER, M=MOTOR RATED)	K	TIME CLOCK	
\$ ^{os}	OCCUPANCY SENSOR (PASSIVE)		30 MINUTE INTERVAL TIMER	
OS	CEILING MOUNTED MOTION SENSOR	□R^A	THERMOSTAT (RA=REVERSE ACTING)	
DM	DIGITAL WALL DIMMER STATION	짣	FUSED DISCONNECT	
PK	ANALOG POWER PACK	ㅁ	UNFUSED DISCONNECT	
	FIRE ALARM		SECURITY	
⑤	SMOKE DETECTOR (RL=RELAY BASE)	DC	DOOR CONTACT C/W 19mmC TO NEAREST SECURITY JUNCTION BOX (REFER TO DETAIL)	
	PULLSTATION		ACCESS CONTROL	
8	ALARM BELL	ES	ELECTRIC STRIKE. CONFIRM ROUGHII WITH DOOR HARDWARE.	
	ALARM STROBE	PTL	"PUSH-TO-LOCK" BUTTON	
8	HEAT DETECTOR (135 DEGREE RATE OF RISE AND FIXED TEMPERATURE)	●EM	EMERGENCY PUSH BUTTON STATION	
CO	CARBON MONOXIDE DETECTOR C/W BATTERY BACK UP	DLH	"ASSISTANCE REQUIRED" DOME LIGH WITH SOUNDER	
EOL	END-OF-LINE RESISTOR	á	"ASSISTANCE REQUIRED" INDICATOR LIGHT WITH SOUNDER	
SV	SUPERVISED VALVE		GENERAL	
FS	FLOW SWITCH	ER	INDICATED EXISTING ITEM TO REMAIN	
FSD	FIRE SMOKE DAMPER	D	INDICATES EXISTING ITEM TO BE DELETED	
	ELECTRIC HEAT	R	INDICATES EXISTING ITEM TO BE RELOCATED/IN RELOCATED POSITION	
	UNIT HEATER (TYPE AS INDICATED)	WG	WIREGUARD	
STA	NDARD CIRCUIT LABELING	GF	GROUND FAULT	
POWFR	PANEL LABEL ————————————————————————————————————	WP	WEATHERPROOF	
	INDICATION	21.2	CEILING MOUNTED	
CIRCUIT	LEG (IF APPLICABLE) ——/	CLG	GEIENIAG MICONTED	

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.

The drawings show general arrangement of services.
Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.

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	2	ISSUED FOR 100% REVIEW	NOV 14 2024	JL
	3	ISSUED FOR PERMIT/TENDER	DEC 6 2024	JL
$\frac{1}{1}$				



DATE BY

PROJECT:

NO. REVISIONS

GRAND VALLEY ARENA RENOVATION & ADDITION DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 1G0 TOWN OF GRAND VALLEY

DRAWING:

DETAILS, KEYPLAN & LEGEND





% COMPLETE:

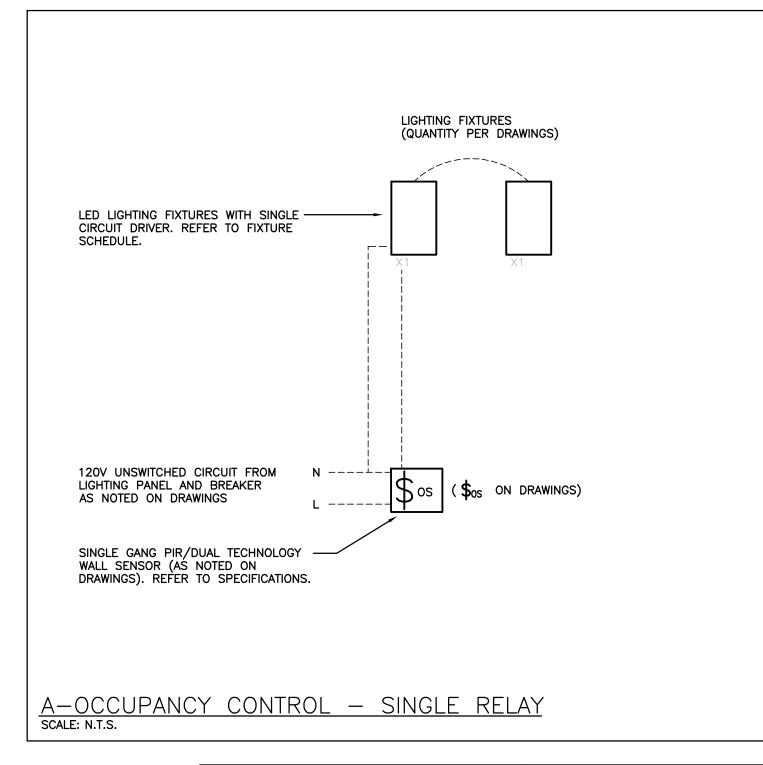
BARRY BRYAN	DESIGN BY:
ASSOCIATES	JI
ASSOCIATES	JL
Architects	DRAWN BY:
Engineers	DV
Project Managers	OUEQUED DV
r roject waragers	CHECKED BY:
250 Water Street	CM
Suite 201	DATE:
Whitby, Ontario	2025-01-10
L1N 0G5	2020-01-10

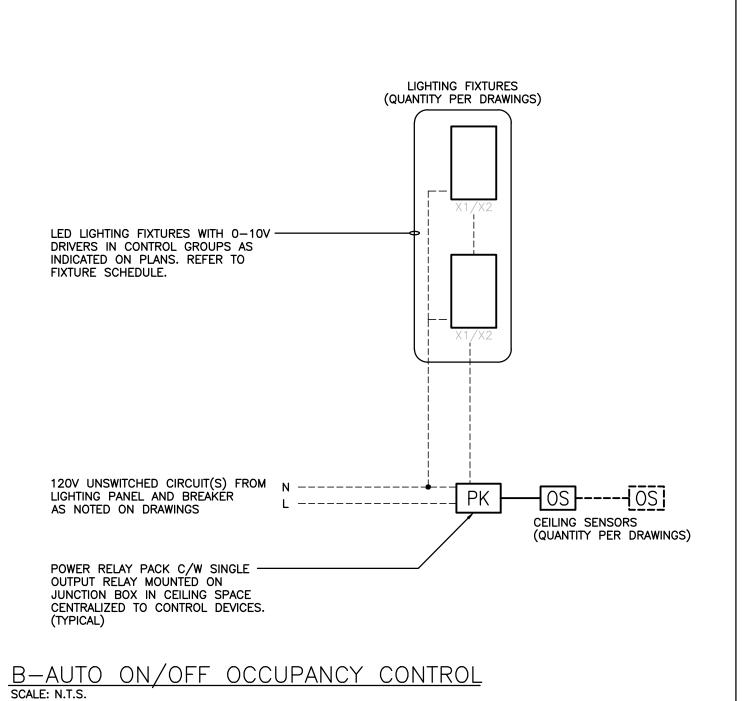
AS NOTED

L1N 0G5
Tel: (905) 666-5252
Fax: (905) 666-5256
e-mail: bba@bba-archeng.com

PROJECT NO:

DRAWING NO:





PANEL 'R1' VOLTAGE: 120/208 VOLTS PHASE: 3P, 4W MAINS: 225A NEUTRAL BUS: FULL MOUNTING: SURFACE	THE CONTRACTOR IS TO COORDINATE ROOM NAMES AND NUMBERS NOTED WITH THE FINAL ROOM INFORMATION ISSUED DURING CONSTRUCTION AND ADJUST DIRECTORIES TO SUIT.
VEST./CORRIDOR LGT 15A 3 MECH RM LGT 15A 3 CHANGE RM LGT 15A 5 CHANGE RM LGT 15A 7 EXIT LGT 15A 9 EXTERIOR LGT 15A 11 CHANGE RM #1 REC 20A 13 CHANGE RM #2 REC 20A 15 CHANGE RM #3 REC 20A 17 ROOFTOP MAINT. REC 20A 19 EXTERIOR EQUIPMENT REC 15A 21 ROOM 134, 135 REC 15A 21 ROOM 134, 135 REC 15A 23 FIRE SMOKE DAMPERS 20A 25 HEAT TRACE 20A 31 SPACE 331 SPACE 335 SPARE 20A 37 SPARE 20A 39 SPARE 20A 39 SPARE 20A 39 SPARE 20A 41	2 00A MECH RM REC 4 20A MECH RM REC/EX FAN EF-4 6 20A JANITOR RM REC 8 20A CORRIDOR REC 10 20A REF CHANGE RM REC 112 20A UNIV WR TABLE/REC 14 20A CHANGE RM #4 REC 16 20A CHANGE RM #5 REC 18 20A CHANGE RM #6 REC 20 15A DOOR OPERATORS 21 15A MECH RM W.HEATERS/CIRC PUMP 24 20A VIEWING AREA HEATER A 26 2P 28 SPACE 30 SPACE 31 SPACE 32 SPACE 33 SPACE 34 SPACE 35 SPACE 36 SPACE 37 SPACE 38 SPACE 39 SPACE 39 SPACE 39 SPACE 31 SPACE 31 SPARE 31 SPARE 31 SPARE

PANEL 'R2' VOLTAGE: 347/600 VOLTS PHASE: 3P, 4W MAINS: 225A	THE CONTRACTOR IS TO COORDINATE ROOM NAMES AND NUMBERS NOTED WITH THE FINAL ROOM INFORMATION ISSUED DURING CONSTRUCTION AND ADJUST DIRECTORIES TO SUIT.
NEUTRAL BUS: FULL MOUNTING: SURFACE	
DH-1 DH-1 15A 0 1	2 0 30A HVAC-1 (HVAC-1)
DH-2 DH-2 15A 7	6 3P 8 15A ERV-1 (ERV-1)
DH-3 DH-3 15A 13 15 15	12 3P 14 15A ERV-2 (ERV-2)
DH-4 DH-4 15A 19 21	18 3P 20 15A ERV-3 (ERV-3)
$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$	24 3P 26 15A MECH RM UNIT HEATER B 28
$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$	30 3P ACT-1 (ACT-1)
SPACE 35 37 37 SPACE 39 SPACE 41	36 3P 38 40A TRANSFORMER 'TX-R1' 40 3P
NOTE: THE INDICATED PANEL ASSEMBLY MUST	T HAVE AN INTERRUPTING CAPACITY OF 18000 A. TAKERS OR INTEGRATED EQUIPMENT RATING WITH
THE UPSTREAM BREAKER.	THE STATE OF THE PARTY WATER WITH

Item	Manufacturer/Catalog Number	Voltage	Lamp	Mounting	CRI	Listings	Description
B1	COOPER CAT. #24GR-LD5-42-F125-UNV-L840-CD-1 LITHONIA CAT. #2GTL 4 40L A12125 MVOLT GZ1 LP840 VISCOR CAT. #LRTA2X4-LED840K-040L-UNV-P98	120V	LED 4294 LUMENS 4000K 34.6W	RECESSED	80	DLC IC DAMP LOC.	2'X4' (610mmX1220mm) LED TROFFER C/W 0.125" (3.2mm) THICK PATTERN 12 FROSTED LENS, 10% 0-10V DIMMING DRIVER, AND WHITE FINISH.
J1	COOPER CAT. #4SNLED-LD5-23SL-LW-UNV-L840-CD-1-AYC-WG/SNF-4FT LITHONIA CAT. #CLX L48 3000LM SEF RDL WD MVOLT GZ10 40K 80CRI WH/WGCLX48 SIGNIFY CAT. #SDS42448L8CST-UN3-DIM-FKR-126-SDS4WG (SET TO 4000K AND 2430LM)	120V	LED 2410 LUMENS 4000K 18W	SUSPENDED	80	DLC DAMP LOC.	4' (1220mm) SURFACE LED STRIP LIGHT C/W WIDE LENSED OPTICAL DISTRIBUTION, CHAIN SUSPENSION KIT, 10% 0-10V DIMMING DRIVER, AND WIRE GUARD. NOTE: SUSPEND TO MAINTAIN MAXIMUM HEADROOM.
J2	COOPER CAT. #4SNLED-LD5-33SL-LW-UNV-L840-CD-1-AYC-WG/SNF-4FT LITHONIA CAT. #CLX L48 4000LM SEF RDL WD MVOLT GZ10 40K 80CRI WH/WGCLX48 SIGNIFY CAT. #SDS42448L8CST-UN3-DIM-FKR-126-SDS4WG (SET TO 4000K AND 3640LM)	120V	LED 3504 LUMENS 4000K 28W	SUSPENDED	80	DLC DAMP LOC.	SIMILAR TO FIXTURE 'L1' BUT HIGHER LUMEN PACKAGE.
R1	COOPER CAT. #HC407D010-HM412840-41MDHWF LITHONIA CAT. #LDN4 40/07 LO4AR LSS MVOLT GZ1 TRW LIGHTOLIER CAT. #4RN-C4L10840MZ10U-C4RDLXX	120V	LED 750 LUMENS 4000K 7.9W	RECESSED	80	ENERGY STAR WET LOC.	RECESSED 4" (100mm) DIAMETER LED DOWNLIGHT C/W SELF-FLANGED 60 DEGREE BEAM REFLECTOR, SEMI-SPECULAR CLEAR FINISH, AND 1% 0-10V DIMMING DRIVER. ARCHITECT TO CONFIRM FLANGE FINISH.
T1	COOPER CAT. #24FPSL2SCT3 FPXSURF24 LITHONIA CAT. #CPX 2X4 ALO8 SWW7 M2 2X4SMKSH SIGNIFY CAT. #2SBP3550L8CS-4-UNV-DIM FSK24	120V	LED 6300 LUMENS 4000K 56.3W	SURFACE	80	DLC DAMP LOC.	2'X4' (610mmX1220mm) LED BACKLIT FLAT PANEL FIXTURE C/W FIELD SELECTABLE LUMENS AND COLOUF TEMPERATURE, SURFACE MOUNTING BOX KIT, WHITE FROSTED LENS, 10% 0-10V DIMMING DRIVER, AND WHITE FINISH.
	COOPER CAT. #IST-SA1D-730-9-T4W-XX LITHONIA CAT. #WDGE3 LED P1 30K 70CRI R4 MVOLT SRM XXXXX SIGNIFY CAT. #GWM-A09-830-TM4-UNV	120V	LED 5665 LUMENS 3000K 45.2W	WALL	70	IP66 IDA	COMPLETE CUT OFF TRAPEZOIDAL LED WALLPACK FIXTURE C/W TYPE '4' WIDE DISTRIBUTION, FULL CUT-OFF DARK SKY COMPLIANCE (IDA), 800mA DRIVER, AND FINISH TO SUIT ARCHITECT. MOUNT FIXTURE AT HEIGHT AS INDICATED ON ARCHITECTURAL ELEVATIONS.
	COOPER CAT. #XTOR1B-Y LITHONIA CAT. #WPX1 LED P1 30K MVOLT XX SIGNIFY CAT.#LPW16-20-WW-G3-4-120-XX	120V		WALL SURFACE	70	IP66, DLC, DARK SKY	WALL MOUNTED LED FIXTURE, 103mA DRIVER, CAST ALUMINUM HOUSING. MOUNTING HEIGHT TO BE 9'.
EXIT IGHTS	AIMLITE CAT. #RPALWUMWHTUNVDC STANPRO CAT. #RMXLOWH-UDC LUMACELL CAT. #LA3WUX	12V/120V	LED 2.5 WATT (MAX.)AC 2 WATT (MAX.)DC		N/A	N/A	LED EXTRUDED ALUMINUM PICTOGRAM FIXTURE C/W GREEN FACE AND WHITE LEGEND, UNIVERSAL MOUNTING TO SUIT WALL, END OR CEILING, AND MAXIMUM 2.5" (63mm) THICKNESS. FACES AND CHEVRONS TO SUIT DRAWINGS.
	AIMLITE CAT. #RMSM212V4WLJWHT STANPRO CAT. #N2-06-12V4WLJWH LUMACELL CAT. #MQM2LD7 AIMLITE CAT. #CARPW SERIES EM-1 #CARPW12036X2SM4WLJATD STANPRO CAT. #PRMXL SERIES EM-1 #PRMXL10361-2N4LJ-AT LUMACELL CAT. #LAC SERIES EM-1 #LACXW12502LD7ATN		LED 2-4W MR16	SURFACE	N/A	N/A	TWIN HEAD LED REMOTE MR16 FIXTURE C/W COMPAC DESIGN, THERMOPLASTIC CONSTRUCTION, WHITE COLOUR, FULL AIMING ADJUSTMENT, AND 360° ROTATION.
			LED 2-4W MR16	SURFACE	N/A	N/A	LED EXTRUDED ALUMINUM PICTOGRAM FIXTURE C/W GREEN FACE AND WHITE LEGEND, UNIVERSAL MOUNTING TO SUIT WALL, END OR CEILING, MAXIMUM 2.5" (63mm) THICKNESS, 12V INTERNAL SEALED RECHARGABLE BATTERY PROVIDING MINIMUM EMERGENCY WATTAGE AS NOTED BY THE CATALOGUE NUMBER AND AUTOTEST FEATURE. INTEGRAL 12V LED HEADS TO HAVE COMPACT DESIGN WITH WHITE COLOUR, FULL AIMING ADJUSTMENT, AND 360° ROTATION. WHERE NOTED UNIT SHALL BE C/W WIREGUARD. FACES AND CHEVRONS TO SUIT DRAWINGS.
	AIMLITE #EBST12 SERIES: EM-2 #EBST12200-2SM4WLRWHT-ATD STANPRO CAT. #SLX12 SERIES EM-2 #SLC12200-2N4LJ/AT	12V/120V	LED 2-4W MR16	SURFACE	N/A	N/A	LONG LIFE, SEALED RECHARGABLE BATTERY PROVIDING MINIMUM EMERGENCY WATAGE AS NOTED BY THE CATALOGUE NUMBER C/W MICRO SIZE 12V 4W (MINIMUM) LED HEADS AND AUTOTEST FEATURE.

NOTES: 1 LED LUMEN VALUES QUOTED FOR FIXTURES ARE TO BE CONSIDERED MINIMUM, AND AS ABSOLUTE OR DELIVERED LUMENS. LUMEN VALUES SHOULD NOT EXCEED MORE THAN 10% OF SPECIFIED OUTPUT.

EM-2 #SLC12200-2N4LJ/AT LUMACELL CAT. #RGS SERIES

> 2 IF THERE ARE ANY DISCREPANCIES BETWEEN THE FIXTURE PART NUMBER AND DESCRIPTION, IT IS THE RESPONSIBILITY OF THIS CONTRACTOR TO BRING THESE TO THE ELECTRICAL CONSULTANT'S ATTENTION PRIOR TO TENDER CLOSE. NO EXTRAS WILL BE ENTERTAINED FOR FAILURE TO DO SO. FINAL FIXTURE CHARACTERISTICS AND DESCRIPTION WILL BE MARKED BY CONSULTANT AT TIME OF SHOP DRAWING REVIEW.

HEATER SCHEDULE	FOR INFORMATION REGARDING EQUAL MANUFACTURERS REFER TO SPECIFICATION.

Manufacturer/Catalog Number

3000 WATT 208 VOLT SINGLE PHASE RADIANT HEATER C/W 30MIN INTERVAL TIMER FOR CONTROL (BYPASS REMOTE CONTROL) AND STANDARD FACTORY FINISH TO SUIT ARCHITECT, OUELLET CAT, #CF40240B 5000 WATT 600 VOLT THREE PHASE SUSPENDED UNIT HEATER C/W REMOTE THERMOSTAT AND STANDARD FACTORY FINISH TO SUIT ARCHITECT. OUELLET CAT. #0AS05036AM & KIT-OAS-T

DISTRICT COMMUNITY CENTRE E = ELECTRICAL90 MAIN ST. N M = MECHANICAL

GRAND VALLEY, ONTARIO, LON 1G0 TOWN OF GRAND VALLEY

PROJECT:

NO. REVISIONS

DRAWING:

DETAILS & **SCHEDULES**



ASSOCIATES Architects Engineers

Project Managers 250 Water Street Suite 201 Whitby, Ontario

L1N 0G5 Tel: (905) 666-5252 Fax: (905) 666-5256

2025-01-10 AS NOTED

DESIGN BY:

DRAWN BY:

CM

CHECKED BY:

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Town of

DATE BY

DATE BY

Waterloo, ON, N2V 1Y8

Phone: 519-725-3555 Website: deiassociates.ca

Consulting Engineers

MECHANICAL | ELECTRICAL | AQUATIC

GRAND VALLEY ARENA

RENOVATION & ADDITION

2024

2024

commencement of the work.

to meet the required conditions.

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NO. ISSUES

ISSUED FOR 75% REVIEW

ISSUED FOR PERMIT/TENDER

2 ISSUED FOR 100% REVIEW

e-mail: bba@bba-archeng.com FILE: PROJECT NO:

DRAWING NO: E102

JACKSON

DOC CONTROL:

% COMPLETE:

100011324 12/6/24

0 = OTHERSDescription Electrical Data Isolating Device Remote Items Starter Ctrl Device Other Interlock M 575 27 MCA 3 30 HVAC-1 PACKAGED RTU M | 575 | 4.8 MCA ERV-1,2,3 ROOFTOP ERV EF-1 REFEREE W/R CEILING EXH M 120 FHP ON WITH LIGHTS EF-2 UNIVERSAL W/R CEILING EXH M 120 FHP ON WITH LIGHTS M 120 FHP EF-3 JAN CLOSET CEILING EXH EF-4 SIDEWALL EXH FAN M 120 FHP M 120 FHP WH-1/2 GAS FURED WATER HEATER M 120 1/4 HP C-1 RECIRC PUMP DH-1,2,3,4 ELECTRIC DUCT HEATER M 575 7.5KW 3 15 DH-5,6 ELECTRIC DUCT HEATER M 575 10KW

LIGHTING CONTROL SYSTEMS SEQUENCE OF OPERATION

LIGITING	COMINOL 31	SILMS SEQUENCE OF OFENANCE	<u> </u>	
Control Type	Typical Room Names	Control Sequence / Control Device(s):	Control System	Detail Reference
Service Rooms (Manual On/Off)	I.T. Rooms, Electrical Rooms Mechanical Rooms	Sequence: MANUAL ON/OFF: Lights turned on/off manually via light switch.	LOCAL SWITCH	N/A
Automatic On/Off (Line Voltage)	Janitor Closets, Private Washrooms	Sequence: ON: Lights turn on automatically via wall sensor switch. OFF: 5 minutes after the room has been vacated, the lights will automatically off.	LINE VOLTAGE OCCUPANCY CONTROL SYSTEM	A/E1.2
Automatic On/Off	Changerooms, Corridors, Private Washrooms and Offices	Sequence: Auto ON: Lights turned on automatically via occupancy sensor. Auto OFF: Lights turn off automatically after 15 minutes of vacancy.	DIGITAL ROOM CONTROL SYSTEM	B/E1.2
Automatic On/Off	Exterior Lights	Sequence: Auto ON: Lights turned on automatically via programmable time clock. Auto OFF: Lights turn off automatically via programmable time clock	PROGRAMMABLE TIMECLOCK + CONTACTOR	N/A

SYSTEM DESCRIPTIONS:

DIGITAL ROOM CONTROL (DLM) SYSTEM CONTROL STATIONS.

LINE VOLTAGE OCCUPANCY CONTROL SYSTEM DIGITAL ROOM CONTROL RELAY POWER PACKS C/W LINE VOLTAGE WALL SENSOR SWITCHES AND LINE VOLTAGE PLUG AND PLAY DIGITAL SENSORS AND WALL MOUNT POWER PACKS WITH HARD WIRED SENSORS.

ACT-1 AIR CURTAIN

M | 575 | 10.7FLA |

EQUIPMENT WIRING SCHEDULE



- 'ER' DENOTES EXISTING ITEM TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE. 'R' INDICATES EXISTING ITEM TO BE RELOCATED. REFER TO RENOVATION DRAWINGS AND RELOCATE DEVICE AND WIRING TO SUIT. UNLESS OTHERWISE NOTED.
- 'D' INDICATES EXISTING ITEM TO BE DELETED. UNLESS OTHERWISE NOTED DISCONNECT AND REMOVE NOTED DEVICE AND WIRING BACK TO SOURCE.

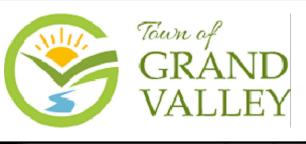
SPECIFIC DEMOLITION NOTES

- REMOVE INDICATED DEVICE. MAINTAIN BRANCH CIRCUIT WIRING AND CONTROLS FOR RECONNECTION IN RENOVATION PHASE.
- INDICATES JUNCTION BOXES SERVICING EXISTING EXTERIOR EQUIPMENT. REVISE LOCATION OF JUNCTION BOXES IN RENOVATION PHASE TO SUIT NEW LAYOUT. PREPARE TO RECONNECT EXISTING EQUIPMENT IN RENOVATION PHASE. EXTEND EXISTING CONDUIT AND WIRE TO SUIT. COORDINATE EXACT LOCATION WITH OWNER.
- DISCONNECT AND REMOVE ALL LIGHT FIXTURES AND RECEPTACLES WITHIN HATCHED AREA. MAINTAIN ELECTRICAL CIRCUITS FOR RECONNECTION IN RENOVATION PHASE.
- 4 EXCAVATE EXISTING DUCTS AND REROUTE AS REQUIRED FOR NEW ADDITION. COORDINATE EXACT REQUIREMENTS ON SITE.

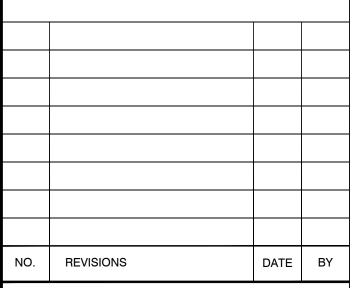
errors and discrepancies to the Consultant before commencement of the work. The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions. Drawings and specifications, etc., prepared and issued

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	2	ISSUED FOR 100% REVIEW	NOV 14 2024	JL
	3	ISSUED FOR PERMIT/TENDER	DEC 6 2024	JL





Consulting Engineers ∩ In MECHANICAL | ELECTRICAL | AQUATIC

PROJECT:

GRAND VALLEY ARENA RENOVATION & ADDITION

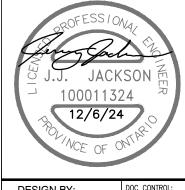
DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 1G0 TOWN OF GRAND VALLEY

DRAWING:

GROUND FLOOR DEMOLITION





Architects Engineers Project Managers

250 Water Street Suite 201 Whitby, Ontario L1N 0G5

2025-01-10 Tel: (905) 666-5252

AS NOTED

Fax: (905) 666-5256 e-mail: bba@bba-archeng.com PROJECT NO: 21171 E201

EXIST. CORR. 130 CHANGEROOM
131
3 EXISTING— FIRE ALARM CONTROL

A-PARTIAL FLOOR PLAN-DEMOLITION SCALE: 1:100

(5x)

(7x)

HATCHED AREA NOT IN SCOPE

(13)

(12)

(H)—

EKA p江北

ER ZD

(11x)

GENERAL RENOVATION NOTES

'ER' INDICATES EXISTING ITEM TO REMAIN.

ACCESSIBLE VIEWING AREA

- 'R' INDICATES EXISTING ITEM IN RELOCATED POSITION.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS OTHERWISE NOTED.
- MAINTAIN SERVICE TO ALL EXISTING DEVICES TO REMAIN. REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).

SPECIFIC RENOVATION NOTES

- CONNECT INDICATED FIXTURE TO SWITCHED SIDE OF ADJACENT CORRIDOR LIGHTING CIRCUIT.
- INDICATES POWER PACK/DIGITAL ROOM CONTROLLER INSTALLED WITHIN ACCESSIBLE CEILING SPACE FOR CONTROL OF NOTED MOTION SENSOR(S).
- 3 CONNECT TO EXISTING LIGHTING CIRCUIT MAINTAINED FROM DEMOLITION. EXTEND EXISTING CONDUIT AND WIRING TO SUIT NEW LOCATION(S).
- 4 LIGHTING TO BE CONNECTING TO EXISTING CORRIDOR/LOBBY CONTROLS.

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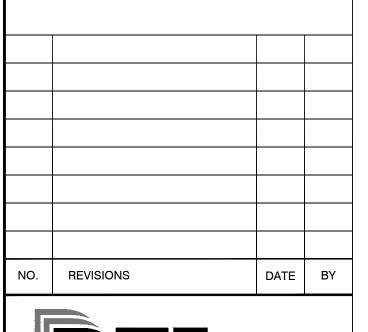
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	3	ISSUED FOR PERMIT/TENDER	DEC 6 2024	JL





MECHANICAL | ELECTRICAL | AQUATIC

PROJECT:

GRAND VALLEY ARENA RENOVATION & ADDITION

DISTRICT COMMUNITY CENTRE 90 MAIN ST. N

TOWN OF GRAND VALLEY

GRAND VALLEY, ONTARIO, LON 1G0

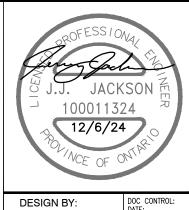
DRAWING:

3

STAFF ROOM 135

GROUND FLOOR RENOVATION-LIGHTING





ASSOCIATES Architects Engineers Project Managers

DRAWN BY: CHECKED BY: 250 Water Street Suite 201 Whitby, Ontario L1N 0G5

СМ Tel: (905) 666-5252

2025-01-10 AS NOTED

E301

PROJECT NO: 21171

Fax: (905) 666-5256 e-mail: bba@bba-archeng.com

A-PARTIAL FLOOR PLAN-RENOVATION-LIGHTING SCALE: 1:100

(7x)

HATCHED AREA NOT IN SCOPE

(13)

(12)

EM-1 R1-9

(11x)

GENERAL RENOVATION NOTES

- 'ER' INDICATES EXISTING ITEM TO REMAIN.
- 'R' INDICATES EXISTING ITEM IN RELOCATED POSITION.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS OTHERWISE NOTED.
- MAINTAIN SERVICE TO ALL EXISTING DEVICES TO REMAIN.
- REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).

SPECIFIC RENOVATION NOTES

- INDICATED DEVICE TO BE CONNECTED TO NEW SIGNAL CIRCUIT. ALL WIRING MUST BE SUPERVISED. REFER TO FIRE ALARM RISER FOR DETAILS.
- INDICATED DEVICE TO BE CONNECTED TO NEW INITIATING CIRCUIT. ALL WIRING MUST BE SUPERVISED. REFER TO FIRE ALARM RISER FOR DETAILS.
- INDICATES RECEPTACLE DEDICATED TO CHANGE TABLE. COORDINATE EXACT LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.
- CONNECT TO EXISTING BRANCH CIRCUIT MAINTAINED FROM DEMOLITION. EXTEND EXISTING CONDUIT AND WIRING TO SUIT NEW LOCATION.
- EQUIPMENT. EXTEND EXISTING CONDUIT AND WIRE TO SUIT. COORDINATE EXACT LOCATION INDICATED FIRE ALARM CONTROL PANEL TO RECONNECT ALL EXISTING FIRE ALARM CIRCUITS
- RETAINED DURING DEMOLITION. CONNECT EXISTING 120V POWER CONNECTION RETAINED DURING DEMOLITION.

INDICATED EXHAUST FAN TO BE CONNECTED TO SWITCHED SIDE OF LOCAL LIGHTING

INDICATES PROPOSED LOCATION OF JUNCTION BOXES SERVICING EXISTING EXTERIOR

- 8 INDICATED TIMECLOCKS TO CONTROL MECHANICAL ERV'S ON ROOFTOP. COORDINATE LOCATION OF TIMECLOCKS ON SITE.
- PROVIDE ZONE EXPANSION CARD WITHIN EXISTING CONVENTIONAL FIRE ALARM CONTROL PANEL (MIRCOM FA-1000).
- 10 INDICATES LIGHTING DUTY MULTI-POLE CONTACTOR(S) FOR CONTROL OF EXTERIOR LIGHTING. CONTACTOR(S) TO BE CONTROLLED BY ADJACENT TIMECLOCK. REFER TO DISTRIBUTION RISER DIAGRAM AND LIGHTING CONTROLS FOR FURTHER
- INDICATES 120V POWER AND FIRE ALARM CONNECTIONS TO SMOKE/FIRE DAMPER WITH INTEGRAL SMOKE DETECTOR. REFER TO FIRE ALARM RISER AND SPECIFICATIONS. COORDINATE EXACT LOCATION/CONNECTION REQUIREMENTS WITH MECHANICAL CONTRACTOR. SMOKE/FIRE DAMPER AND ASSOCIATED INTEGRAL SMOKE DETECTOR TO BE PROVIDED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE TWO MONITORING MODULES PER SMOKE/FIRE DAMPER - ONE TO SUPERVISE 120V POWER SUPPLY CONNECTION TO THE DAMPER ACTUATOR, AND ONE FOR INTEGRAL SMOKE DETECTOR ALARM SIGNAL.
- 12 INDICATES INTERVAL TIMER FOR CONTROL OF RADIANT HEATER. THIS CONTRACTOR IS TO BYPASS THE REMOTE CONTROL OPTION FOR THE HEATER.
- INDICATES HEAT TRACE CONNECTION. COORDINATE CONNECTION REQUIREMENTS WITH MECHANICAL CONTRACTOR AND SHOP DRAWINGS PRIOR TO ROUGH-IN.

errors and discrepancies to the Consultant before ommencement of the work. The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets fitting and

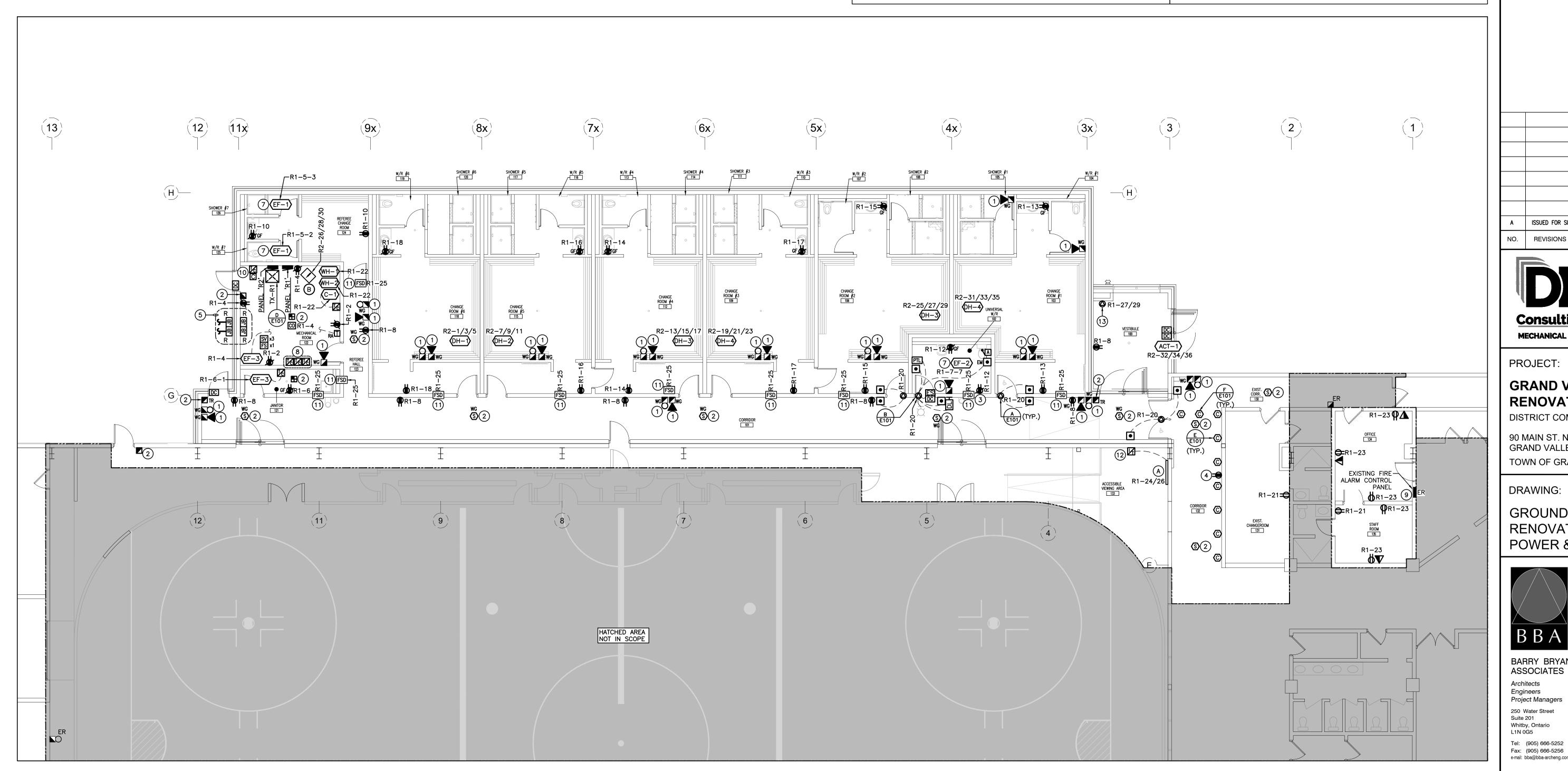
The contractor shall verify all dimensions and report all

accessories which may be required. Provide the same to meet the required conditions. Drawings and specifications, etc., prepared and issued by the Consultant are the property of the Consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant. Do not scale this drawing.

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A-PARTIAL FLOOR PLAN-RENOVATION-POWER & SYSTEMS
SCALE: 1:100



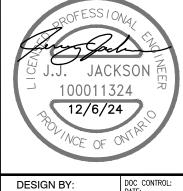
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MECHANICAL | ELECTRICAL | AQUATIC

ISSUED FOR SI

GROUND FLOOR RENOVATION-POWER & SYSTEMS





2025

DATE BY

ASSOCIATES Architects Engineers Project Managers 250 Water Street Suite 201

DRAWN BY: CHECKED BY: СМ 2025-01-10

Whitby, Ontario L1N 0G5 Tel: (905) 666-5252 AS NOTED Fax: (905) 666-5256 e-mail: bba@bba-archeng.com

PROJECT NO: 21171

E302



- 'ER' INDICATES EXISTING ITEM TO REMAIN.
- 'R' INDICATES EXISTING ITEM IN RELOCATED POSITION.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS OTHERWISE NOTED.
- MAINTAIN SERVICE TO ALL EXISTING DEVICES TO REMAIN.

SPECIFIC RENOVATION NOTES

REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).

PROVIDE T-SLOT GROUND FAULT RECEPTACLE COMPLETE WITH "HEAVY DUTY IN-USE" WEATHER-PROOF COVER. COORDINATE PLACEMENT WITH MECHANICAL TRADE. INDICATED DEVICE IS TO BE MOUNTED ± 36 " (900mm) ABOVE FINISHED ROOF LEVEL.

errors and discrepancies to the Consultant before commencement of the work. The drawings show general arrangement of services.
Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions. Drawings and specifications, etc., prepared and issued

The contractor shall verify all dimensions and report all

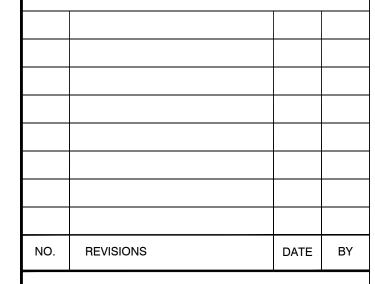
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PROJECT:

GRAND VALLEY ARENA RENOVATION & ADDITION

DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 1G0 TOWN OF GRAND VALLEY

DRAWING:

ROOF POWER & SYSTEMS RENOVATION



Architects Engineers Project Managers

Tel: (905) 666-5252

Fax: (905) 666-5256 e-mail: bba@bba-archeng.com

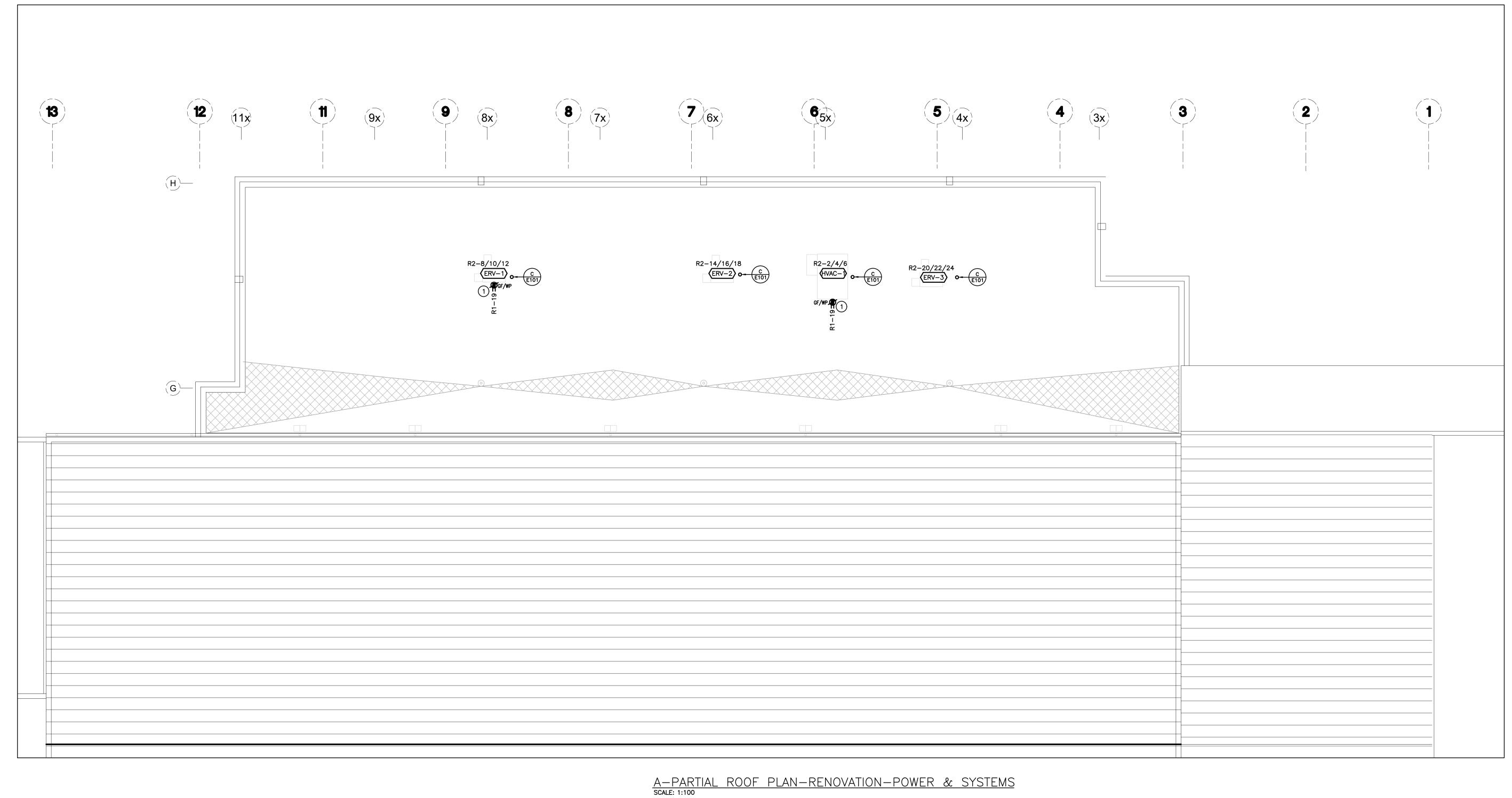
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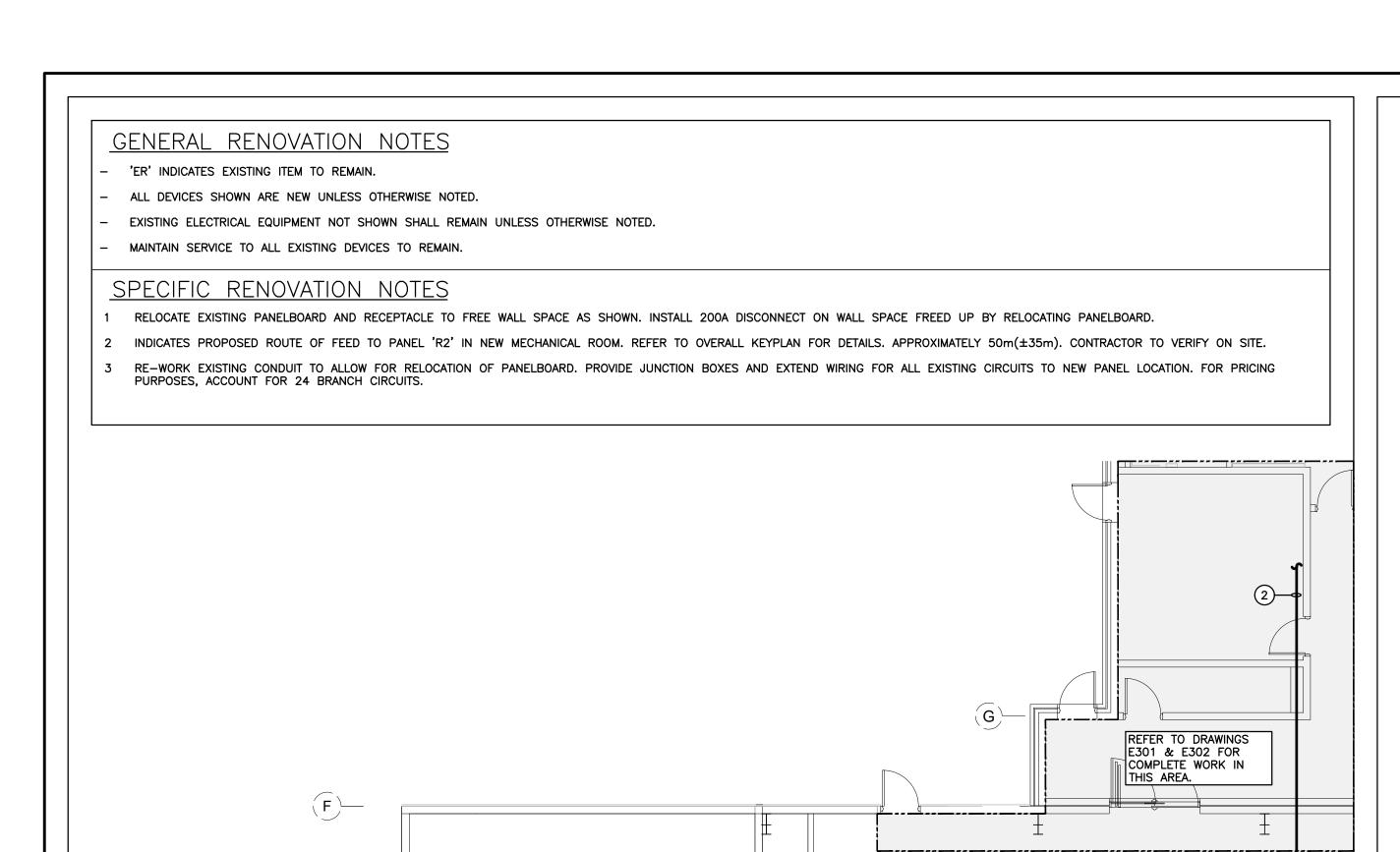
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AS NOTED

21171

E303





PANEL 'A'

ZAMBONI ROOM

MECHANICAL/ ELECTRICAL ROOM

1)200A DISCONNECT FEEDING PANEL 'R2'

ER DISCONNECT

EXISTING— SPLITTER

RELOCATE— EXISTING PANEL

EXISTING RINK — CONTROL PANEL

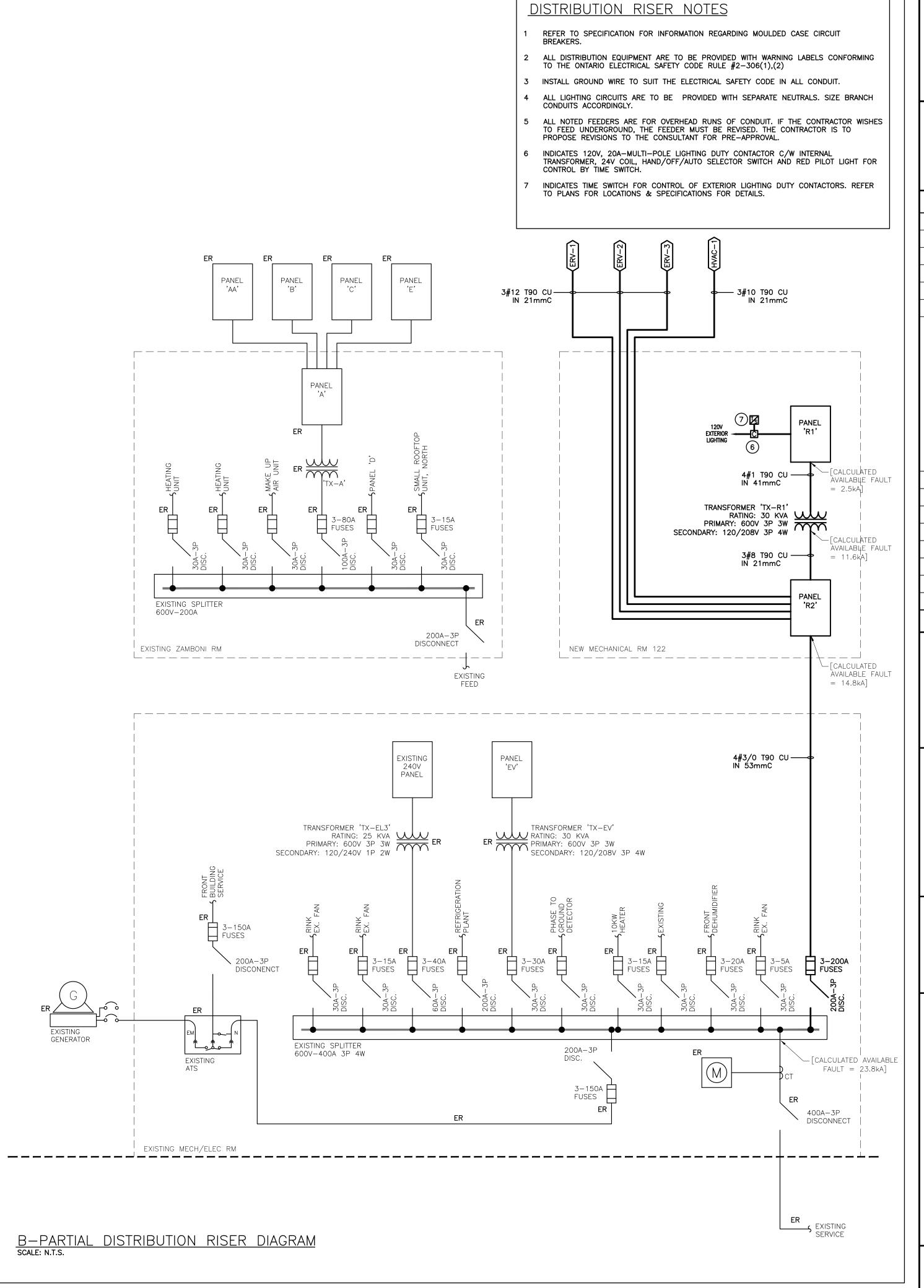
EXISTING ATS

A-EXISTING SERVICE ROOMS-POWER & SYSTEMS SCALE: 1:100

(<u>D</u>)—

(12)

(11)

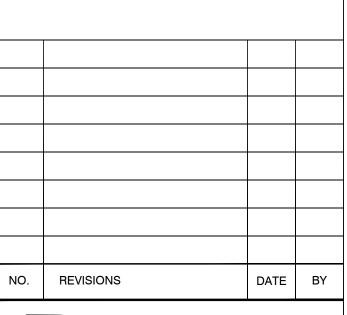


The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before ommencement of the work. he drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same o meet the required conditions. Drawings and specifications, etc., prepared and issued by the Consultant are the property of the Consultant

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PROJECT:

GRAND VALLEY ARENA RENOVATION & ADDITION

DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, LON 1G0 TOWN OF GRAND VALLEY

DRAWING:

DISTRIBUTION RISER DIAGRAM



100011324 12/6/24

ASSOCIATES Architects Engineers Project Managers

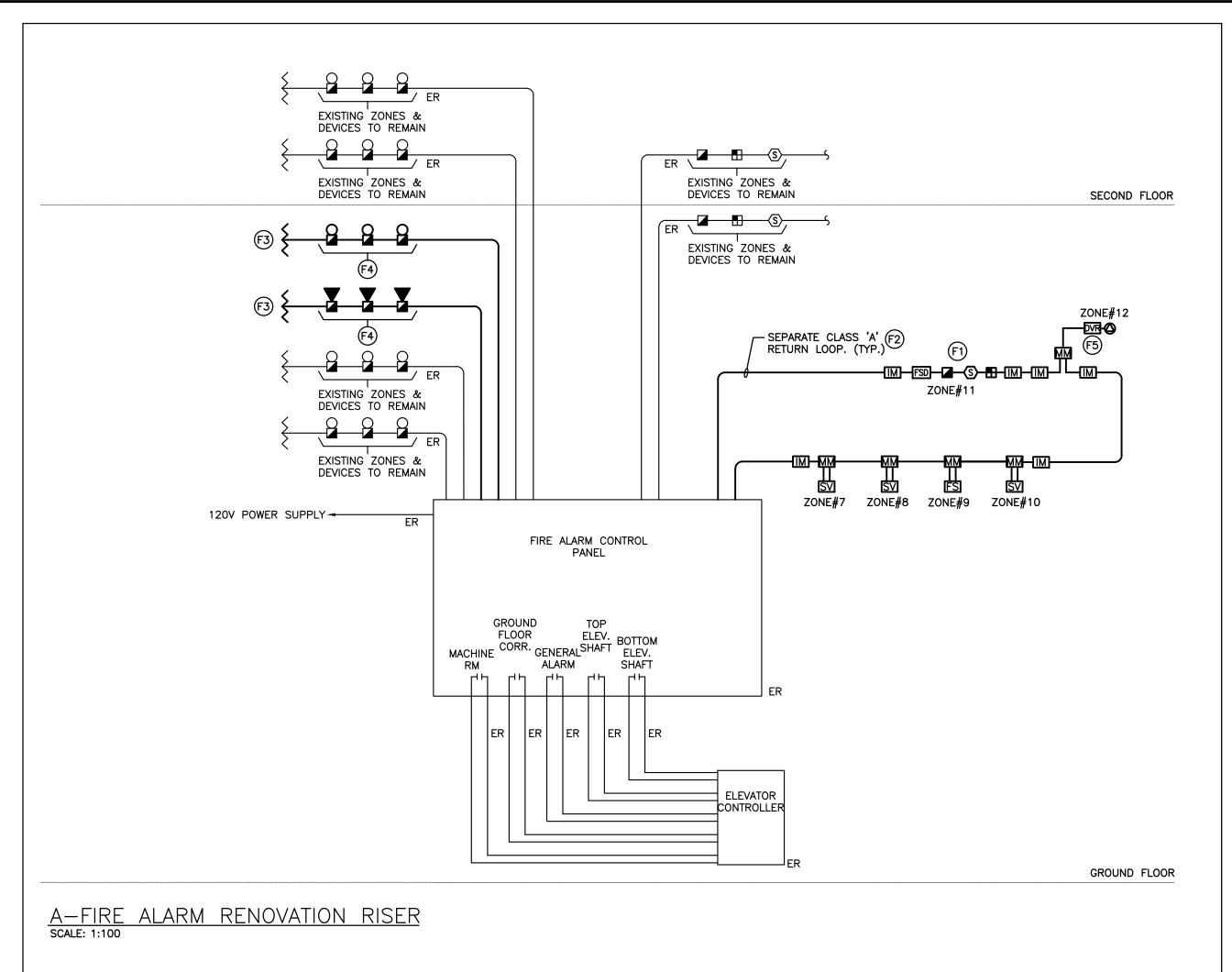
250 Water Street Suite 201 Whitby, Ontario L1N 0G5

СМ 2025-01-10 AS NOTED

Tel: (905) 666-5252 Fax: (905) 666-5256 e-mail: bba@bba-archeng.com

E401

PROJECT NO:



FIRE ALARM RISER RENOVATION NOTES

- F1 REFER TO FLOOR PLANS FOR EXACT LOCATION AND QUANTITIES OF DEVICES.
- F2 CONTRACTOR IS TO CONFIRM WIRE SIZES (BASED UPON LENGTH OF CIRCUIT RUN AND QUANTITY OF SIGNALS) FOR SIGNAL CIRCUIT WITH MANUFACTURER.
- F3 LOCATE END OF LINE RESISTORS AND ISOLATOR MODULES IN SERVICE ROOMS AT ±1.8M AFF. PROVIDE LAMICOID
- LABEL INDICATING ZONE LABEL AND NUMBER.

 F4 PROVIDE THE REQUIRED NUMBER OF SIGNAL CIRCUITS TO SUIT THE QUANTITY OF STROBES. SIGNAL CIRCUITS ARE TO BE ALTERNATED.
- F5 INDICATES FIRE ALARM CONNECTION TO SMOKE/FIRE DAMPER INTEGRAL DETECTOR. PROVIDE INPUT MONITOR/CONTACT MODULE AND DUAL VOLTAGE RELAY TO MONITOR INTEGRAL DAMPER DETECTOR FOR ALARM CONDITION AND TROUBLE CONDITION FOR AC POWER SUPPLY TO DAMPER. SMOKE DAMPER AND ASSOCIATED DETECTOR BY MECHANICAL CONTRACTOR. REFER TO FLOOR PLANS. PROVIDE NEW SUPERVISORY FIRE ALARM ZONE FOR THE SUPERVISION OF THE 120V FIRE SMOKE DAMPER CONNECTION. ZONE TO BE NAMED "FIRE SMOKE DAMPER 120V SUPERVISION".

FIRE ALARM ANNUNCIATOR SCHEDULE

Zone	Description	Alarm	Supervisory	Existing	New
1	NORTH STAIR	•		•	
2	SOUTH STAIR	•		•	
3	MAIN FLOOR & DRESSING ROOMS	•		•	
4	2ND FLOOR	•		•	
5	ARENA & WORKSHOP AREA	•		•	
6	ELEVATOR SHAFT	•		•	
7	GROUND FLOOR SPRINKLER SUPERVISED VALVE		•		•
8	GROUND FLOOR SPRINKLER FLOW SWITCH	•			•
9	SPRINKLER VALVE INCOMING DOUBLE CHECK VALVE ASSEMBLY		•		•
10	SPRINKLER VALVE OUTGOING DOUBLE CHECK VALVE ASSEMBLY		•		•
11	GROUND FLOOR ADDITION	•			•
12	FIRE SMOKE DAMPERS 120V SUPERVISION		•		•
13	SPARE				
14	SPARE				
15	SPARE				

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.

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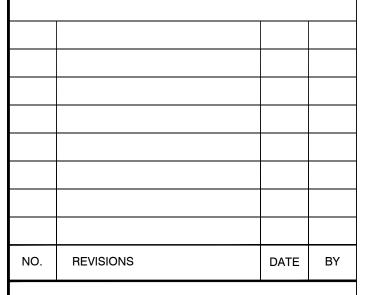
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MECHANICAL | ELECTRICAL | AQUATIC

PROJECT:

GRAND VALLEY ARENA RENOVATION & ADDITION

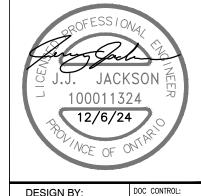
DISTRICT COMMUNITY CENTRE

90 MAIN ST. N GRAND VALLEY, ONTARIO, L0N 1G0 TOWN OF GRAND VALLEY

DRAWING:

FIRE ALARM RISER





DRAWN BY:

BARRY BRYAN ASSOCIATES
Architects Engineers Project Managers

Project Managers

250 Water Street
Suite 201
Whitby, Ontario
L1N 0G5

CHECKED BY:
CM
DATE:
2025-01-10

Whitby, Ontario
L1N 0G5

Tel: (905) 666-5252
Fax: (905) 666-5256
e-mail: bba@bba-archeng.com

2025-01-10

SCALE:
AS NOTED

FILE:

PROJECT NO: **91171**

E501