



**GENERAL**

1. PRIOR TO STARTING ANY WORKS, THE CONTRACTOR MUST ENSURE THAT ALL NECESSARY APPROVALS ARE IN PLACE FROM THE MUNICIPALITY, REGION, AND OTHER APPROVAL AGENCIES, AS REQUIRED.
2. WORK SHALL BE CARRIED OUT IN COMPLIANCE WITH THE APPLICABLE HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS. THE GENERAL CONTRACTOR SHALL BE DEEMED TO BE THE CONSTRUCTORS AS DEFINED IN THE ACT.
3. WORKS AND MATERIALS SHALL CONFORM TO CURRENT MINISTRY OF THE ENVIRONMENT, CONSERVATION & PARKS, MUNICIPAL, REGIONAL AND ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS. FOR WORK WITHIN PRIVATE PROPERTY, WORKS AND MATERIALS SHALL CONFORM TO THE ONTARIO BUILDING CODE OR THE ABOVE-NOTED STANDARDS, WHICHEVER IS MORE STRINGENT.
4. THE CONTRACTOR SHALL CONFIRM THE LOCATION OF ANY EXISTING UTILITIES AND SERVICES WITHIN THE SITE AND ADJACENT WORK AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND SERVICES TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION AND/OR REPAIR, TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION, FOR ANY UTILITIES DISTURBED DURING CONSTRUCTION. DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS TO BE IMMEDIATELY REPORTED TO THE ENGINEER.
5. ALL TEMPORARY TRAFFIC CONTROL AND SIGNAGE DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT ONTARIO TRAFFIC MANUAL BOOK 7: TEMPORARY CONDITIONS FIELD EDITION.
6. ANY AREAS BEYOND THE LIMIT OF THE SITE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR, TO ORIGINAL CONDITION OR BETTER TO THE SATISFACTION OF PROJECT ENGINEER, ARCHITECT AND LANDOWNER. GRASSED AREAS SHALL BE RESTORED BY PLACING 150 mm TOPSOIL AND ACTIVELY GROWING NUMBER 1 NURSERY SOD.
7. REFER TO THE ARCHITECTURAL SITE PLAN FOR DIMENSIONS AND LAYOUT INFORMATION.

**GRADING**

1. PRIOR TO COMMENCEMENT OF EARTHWORKS, SITE ALTERATION PLANS MUST BE APPROVED AND ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND OPERATIONAL. THE CONTRACTOR SHALL MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES UNTIL CONSTRUCTION IS COMPLETED TO THE SATISFACTION OF THE ENGINEER.
2. ENGINEERED FILL SHALL CONFORM TO THE SPECIFICATIONS PROVIDED IN THE GEOTECHNICAL REPORT, OR LATEST AMENDMENT THEREOF.
3. ENGINEERED FILL SHALL BE INSPECTED AND TESTED BY THE GEOTECHNICAL CONSULTANT. PROOF ROLLING OF SUBGRADE WILL BE REQUIRED PRIOR TO PLACEMENT OF GRANULAR MATERIALS. COORDINATE INSPECTIONS WITH GEOTECHNICAL CONSULTANT.
4. GRANULAR COMPACTION TO BE PER GEOTECHNICAL REPORT.
5. ROAD PAVEMENT STRUCTURE (PER THE GEOTECHNICAL REPORT).
6. DRIVEWAY PAVEMENT STRUCTURE PER THE GEOTECHNICAL ENGINEER'S SPECIFICATION
7. ASPHALT COMPACTION TO BE PER GEOTECHNICAL REPORT.
8. BARRIER CURB WITHIN THE SITE TO BE CONSTRUCTED AS PER OPSD 600.110. MOUNTABLE CURB SHALL BE AS PER OPSD 600.100. SEMI-MOUNTABLE CURB SHALL BE AS PER OPSD 600.090.
9. CONCRETE SIDEWALK: AS PER OPSD 310.020. WHERE SIDEWALK CROSSES RESIDENTIAL DRIVEWAY: 150 mm DEEP, GRANULAR BASE UNDER SIDEWALK TO BE 75 mm GRANULAR 'A' AND SHALL BE INCREASED TO 150 mm UNDER DRIVEWAYS.
10. EXISTING BOUNDARY ELEVATIONS ALONG THE PERIMETER OF THE SITE SHALL REMAIN UNDISTURBED. DRAINAGE RECEIVED FROM ADJACENT PROPERTIES SHALL BE ACCOMMODATED AND DRAINAGE FROM THE SUBJECT LANDS SHALL BE SELF-CONTAINED UNLESS NOTED OTHERWISE.
11. LAP JOINTS SHALL BE USED WHERE PROPOSED ASPHALT MEETS EXISTING ASPHALT AS PER DETAIL ON CV-2.
12. PAVEMENT MARKINGS SHALL BE PLACED AS SHOWN ON THE ARCHITECTURAL SITE PLAN WITH A MINIMUM OF TWO COATS OF ORGANIC SOLVENT BASED PAINT AS PER OPS 1712.
13. INSTALL SIGNAGE AS PER THE ARCHITECTURAL SITE PLAN.
14. ALL EXCESS EXCAVATED MATERIAL SHALL BE REMOVED OFFSITE TO THE CONTRACTOR'S APPROVED DISPOSAL SITE.
15. EMBANKMENTS SHALL BE SLOPED AT A MAXIMUM OF 3H:1V, UNLESS OTHERWISE SPECIFIED.
16. DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER. THE RELOCATION OR REMOVAL OF TREES AND SHRUBS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT OR ARBORIST.
17. REFER TO LANDSCAPE DRAWINGS FOR LOCATION AND TYPE OF ALL HARD LANDSCAPE SURFACES, INCLUDING CONCRETE SIDEWALKS, PAVING STONES, COLOURED CONCRETE, ETC.
18. CONTRACTOR TO ENSURE A 150mm ELEVATION DROP FROM FINISHED FLOOR TO PERIMETER GRADES AT BUILDING ENVELOPE. CONTRACTOR TO CONFIRM GRADING REQUIREMENTS AT LEVEL ACCESS LOCATIONS PRIOR TO CONSTRUCTION.

**SANITARY SEWERS**

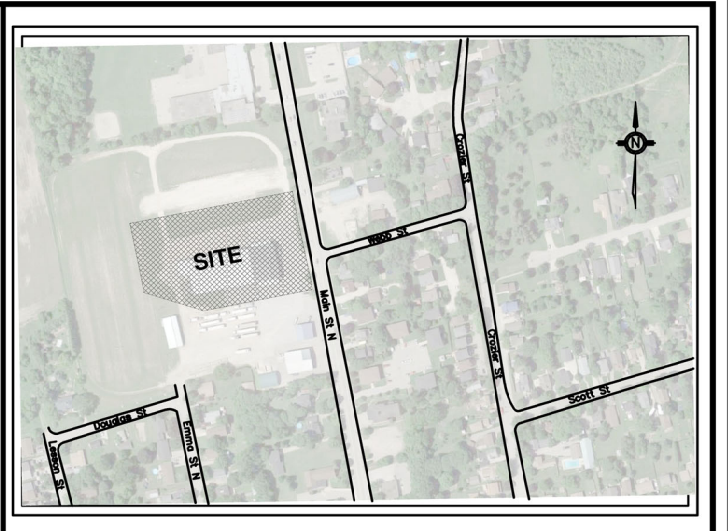
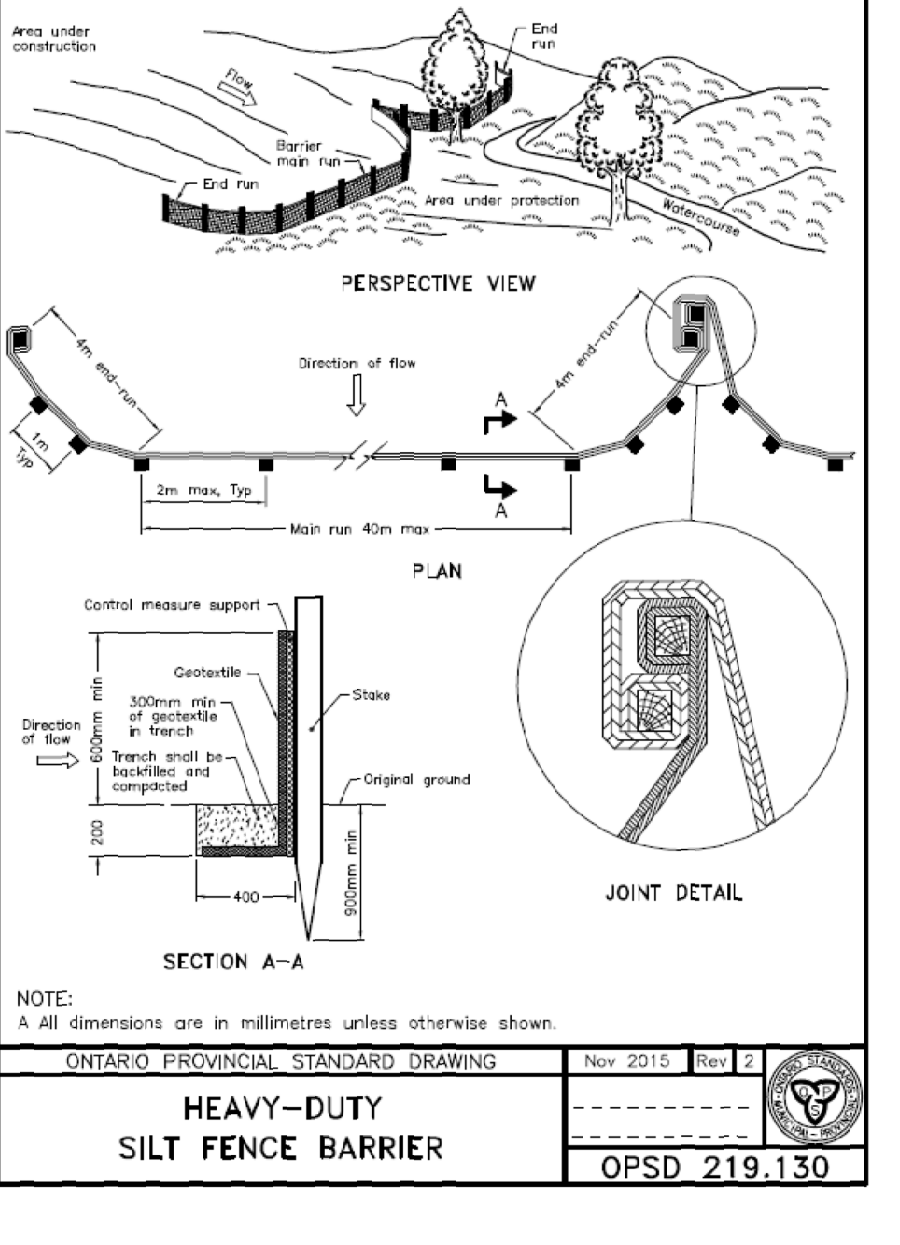
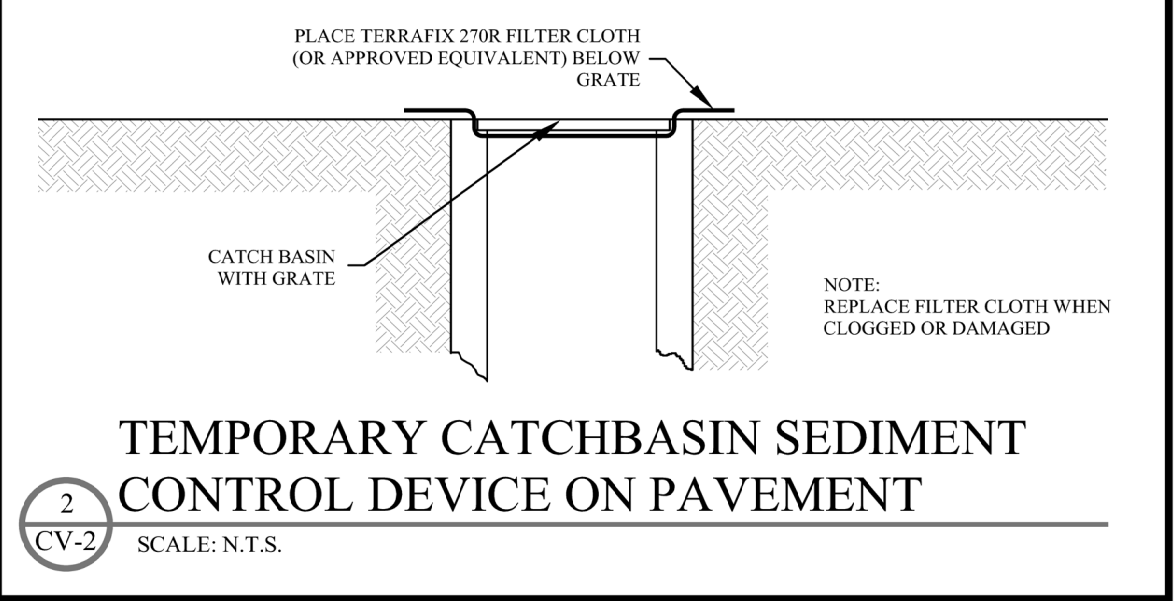
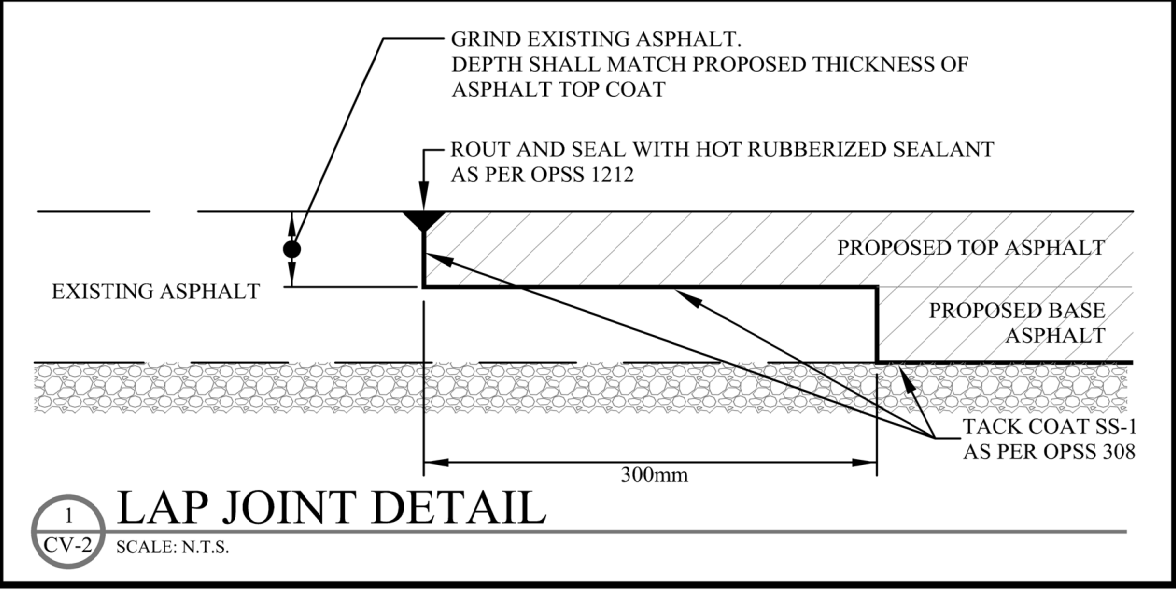
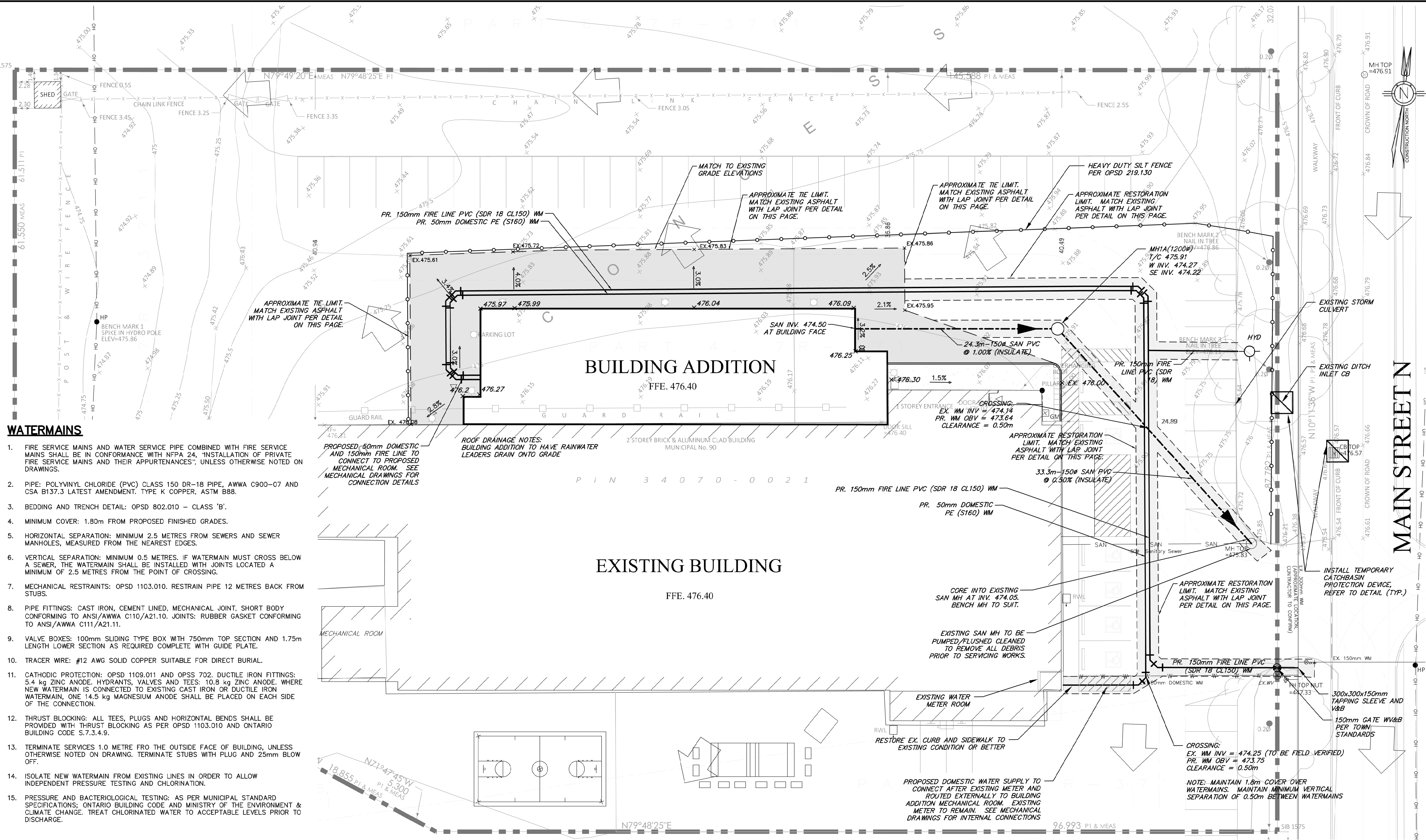
1. ALL POLYVINYL CHLORIDE (PVC) SEWER PIPES AND FITTINGS SHALL CONFIRM TO CSA-B182.1. ALL HIGH DENSITY POLYETHYLENE PIPES (HDPE) AND FITTINGS SHALL CONFIRM TO CSA-B182.6.
2. PVC SEWERS (450mm DIAMETER AND SMALLER): SDR-35, CSA B182.1-LATEST AMENDMENT AND B182.4 LATEST AMENDMENT, UNLESS OTHERWISE SPECIFIED.
3. CONCRETE SEWERS (525 mm DIAMETER AND LARGER): CONCRETE (CLASS 65-D), CSA A257.2 OR LATEST AMENDMENT, UNLESS OTHERWISE SPECIFIED.
4. PVC PIPE SEWER BEDDING: OPSD 802.010.
5. CONCRETE PIPE SEWER BEDDING: OPSD 802.030 CLASS 'B' FOR TYPE 1 AND 2 SOLS, OPSD 802.031 FOR TYPE 3 SOLS. SOIL TYPE TO BE CONFIRMED BY THE GEOTECHNICAL CONSULTANT DURING EXCAVATION.
6. TRENCH BACKFILL UP TO 1.0 METRE FROM SUB-GRADE: COMPACT TO A MINIMUM OF 95% SPMD.

**WATERMANS**

1. FIRE SERVICE MAINS AND WATER SERVICE PIPE COMBINED WITH FIRE SERVICE MAINS SHALL BE IN CONFORMANCE WITH NFPA 24, "INSTALLATION OF PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES", UNLESS OTHERWISE NOTED ON DRAWINGS.
2. PIPE: POLYVINYL CHLORIDE (PVC) CLASS 150 DR-18 PIPE, AWWA C900-07 AND CSA B137.3 LATEST AMENDMENT, TYPE K COPPER, ASTM B88.
3. BEDDING AND TRENCH DETAIL: OPSD 802.010 - CLASS 'B'.
4. MINIMUM COVER: 1.80m FROM PROPOSED FINISHED GRADES.
5. HORIZONTAL SEPARATION: MINIMUM 2.5 METRES FROM SEWERS AND SEWER MANHOLES, MEASURED FROM THE NEAREST EDGES.
6. VERTICAL SEPARATION: MINIMUM 0.5 METRES. IF WATERMAIN MUST CROSS BELOW A SEWER, THE WATERMAIN SHALL BE INSTALLED WITH JOINTS LOCATED A MINIMUM OF 2.5 METRES FROM THE POINT OF CROSSING.
7. MECHANICAL RESTRAINTS: OPSD 1103.010. RESTRAIN PIPE 12 METRES BACK FROM STUBS.
8. PIPE FITTINGS: CAST IRON, CEMENT LINED, MECHANICAL JOINT, SHORT BODY CONFORMING TO ANSI/AWWA C110/A21.10. JOINTS: RUBBER GASKET CONFORMING TO ANSI/AWWA C111/A21.11.
9. VALVE BOXES: 100mm SLIDING TYPE BOX WITH 750mm TOP SECTION AND 1.75m LENGTH LOWER SECTION AS REQUIRED COMPLETE WITH GUIDE PLATE.
10. TRACER WIRE: #12 AWG SOLID COPPER SUITABLE FOR DIRECT BURIAL.
11. CATHODIC PROTECTION: OPSD 1109.011 AND OPSS 702. DUCTILE IRON FITTINGS: 5.4 kg ZINC ANODE, HYDRANTS, VALVES AND TEES: 10.8 kg ZINC ANODE. WHERE NEW WATERMAIN IS CONNECTED TO EXISTING CAST IRON OR DUCTILE IRON WATERMAIN, ONE 14.5 kg MAGNESIUM ANODE SHALL BE PLACED ON EACH SIDE OF THE CONNECTION.
12. THRUST BLOCKING: ALL TEES, PLUGS AND HORIZONTAL BENDS SHALL BE PROVIDED WITH THRUST BLOCKING AS PER OPSD 1103.010 AND ONTARIO BUILDING CODE S.7.3.4.9.
13. TERMINATE SERVICES 1.0 METRE FROM THE OUTSIDE FACE OF BUILDING, UNLESS OTHERWISE NOTED ON DRAWING. TERMINATE STUBS WITH PLUG AND 25mm BLOW OFF.
14. ISOLATE NEW WATERMAIN FROM EXISTING LINES IN ORDER TO ALLOW INDEPENDENT PRESSURE TESTING AND CHLORINATION.
15. PRESSURE AND BACTERIOLOGICAL TESTING: AS PER MUNICIPAL STANDARD SPECIFICATIONS, ONTARIO BUILDING CODE AND MINISTRY OF THE ENVIRONMENT & CLIMATE CHANGE. TREAT CHLORINATED WATER TO ACCEPTABLE LEVELS PRIOR TO DISCHARGE.

**EROSION AND SEDIMENT CONTROL NOTES**

1. INSTALL TREE PRESERVATION FENCING AS PER THE APPROVED TREE PRESERVATION PLAN PRIOR TO COMMENCEMENT OF ANY SITEWORKS.
2. INSTALL EROSION AND SEDIMENT CONTROLS (ESC) PRIOR TO COMMENCEMENT OF ANY SITE WORKS. ESC MEASURES TO BE INSPECTED BY THE ENGINEER, CONSERVATION AUTHORITY AND MUNICIPALITY PRIOR TO COMMENCEMENT OF ANY SITEWORKS.
3. INSPECT EROSION AND SEDIMENT CONTROL MEASURES REGULARLY AND AFTER WET WEATHER EVENTS. REPAIRS AND OR SEDIMENT REMOVAL MUST BE COMPLETED WITHIN 24 HOURS OF INSPECTION.
4. STRIPPED GROUND LEFT INACTIVE FOR OVER 30 DAYS SHALL BE VEGETATED BY HYDROSEEDING OR APPROVED EQUIVALENT.
5. INSTALL SEDIMENT CONTROL FENCE AROUND THE BASE OF EARTH STOCKPILES. MAXIMUM STOCKPILE SIDESLOPES TO BE 1.5 (H) TO 1.0 (V). MAXIMUM STOCKPILE HEIGHT NOT TO EXCEED 3.0 METRES.
6. IMPLEMENT DUST CONTROL MEASURES AT ALL TIMES.
7. CLEAN MUD TRACKING AND SWEEP PUBLIC ROADS ON A REGULAR BASIS.
8. INSTALL OIL/GRIT SEPARATOR AND CONSTRUCT BULKHEAD IN DOWNSTREAM MANHOLE TO CONTROL SEDIMENT.
9. INSTALL CATCHBASIN SEDIMENT CONTROL DEVICES IMMEDIATELY FOLLOWING INSTALLATION OF CATCHBASIN.
10. TRENCH BACKFILL WITHIN 1.0 METRE OF SUB-GRADE: COMPACT TO A MINIMUM OF 98% SPMD.
11. MANHOLES: OPSD 701.010 TO 701.015 (1200mm-3600mm) AND CSA A257.4.
12. JOINTS-PIPE AND MANHOLE: CSA A257.3.
13. SANITARY MAINTENANCE HOLE SHALL HAVE WATERTIGHT FRAME AND COVER IN PONDING AREAS AS PER OPSD 401.030.
14. MANHOLE BENCHING: OPSD 701.021. CATCHBASIN MANHOLES TO BE BENCHING.
15. DROP STRUCTURES: OPSD 1003.020 - (EXTERNAL DROP IF DROP IS MIN 1.2m), OPSD 1003.030 - (INTERNAL DROP FOR EXISTING 1500mm OR LARGER MANHOLES) OPSD 1003.031 - (INTERNAL DROP FOR NEW MANHOLES).
16. DURING CONSTRUCTION ALL CATCHBASINS SHALL BE EQUIPPED WITH TEMPORARY SEDIMENT CONTROL DEVICE. REFER TO DETAILS EROSION AND SEDIMENT CONTROL DRAWING.
17. CONCRETE ADJUSTMENT UNITS FOR MANHOLES AND CATCHBASINS: OPSD 704.010, OPSS 407 AND CSA A257.4. MAXIMUM HEIGHT OF ADJUSTMENT UNITS SHALL BE 300mm.
18. TERMINATE SEWERS 1.0 METRE FROM THE OUTSIDE FACE OF BUILDING, UNLESS OTHERWISE NOTED ON DRAWING.
19. LASER ALIGNMENT AND ELEVATION CONTROL TO BE UTILIZED FOR SEWER INSTALLATIONS.
20. FLUSH AND INSPECT SEWERS VIA CCTV CAMERA. SUBMIT ONE WRITTEN REPORT AND TWO DVD VIDEOS IN AN MPEG FORMAT TO THE ENGINEER FOR REVIEW.

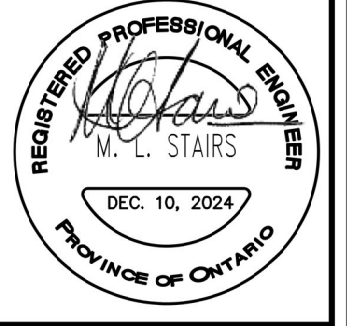


No.	DATE	REVISION / ISSUED NOTE
1.	2022/07/19	ISSUED FOR COSTING
2.	2024/07/05	ISSUED FOR COORDINATION
3.	2024/07/22	ISSUED FOR COORDINATION
4.	2024/12/10	ISSUED FOR TENDER

**LEGEND**

	PROPERTY BOUNDARY
	EX. CATCHBASIN
	EX. MAN-HOLE
	EX. FIRE HYDRANT
	EX. WATER VALVE
	EX. HYDRO POLE AND LIGHT
	EX. TREE
	EX. SANITARY SEWER
	EX. STORM SEWER
	EX. WATERMAIN
	EX. GASMAIN
	EX. BELL
	EX. HYDRO
	EX. OVERHEAD HYDRO
	EX. DOWNSPOUT
	EX. HYDRO POLE
	EX. OVERLAND FLOW ROUTE
	PR. SILT FENCE
	PR. WATERMAIN
	PR. SANITARY SEWER
	PR. SANITARY MANHOLE
	PR. VALVE
	PR. SEDIMENT TRAP

BEARINGS SHOWN HEREON ARE GRID BEARINGS AND ARE DERIVED FROM GPS OBSERVATIONS AND ARE REFERRED TO THE UTM PROJECTION, ZONE 17, NAD 83-CRS (2011) ADJUSTMENT.  
 TOPOGRAPHIC SURVEY PROVIDED BY VAN HARTEN SURVEYING INC. FILE NO 30739-21, DATED JANUARY 10, 2022



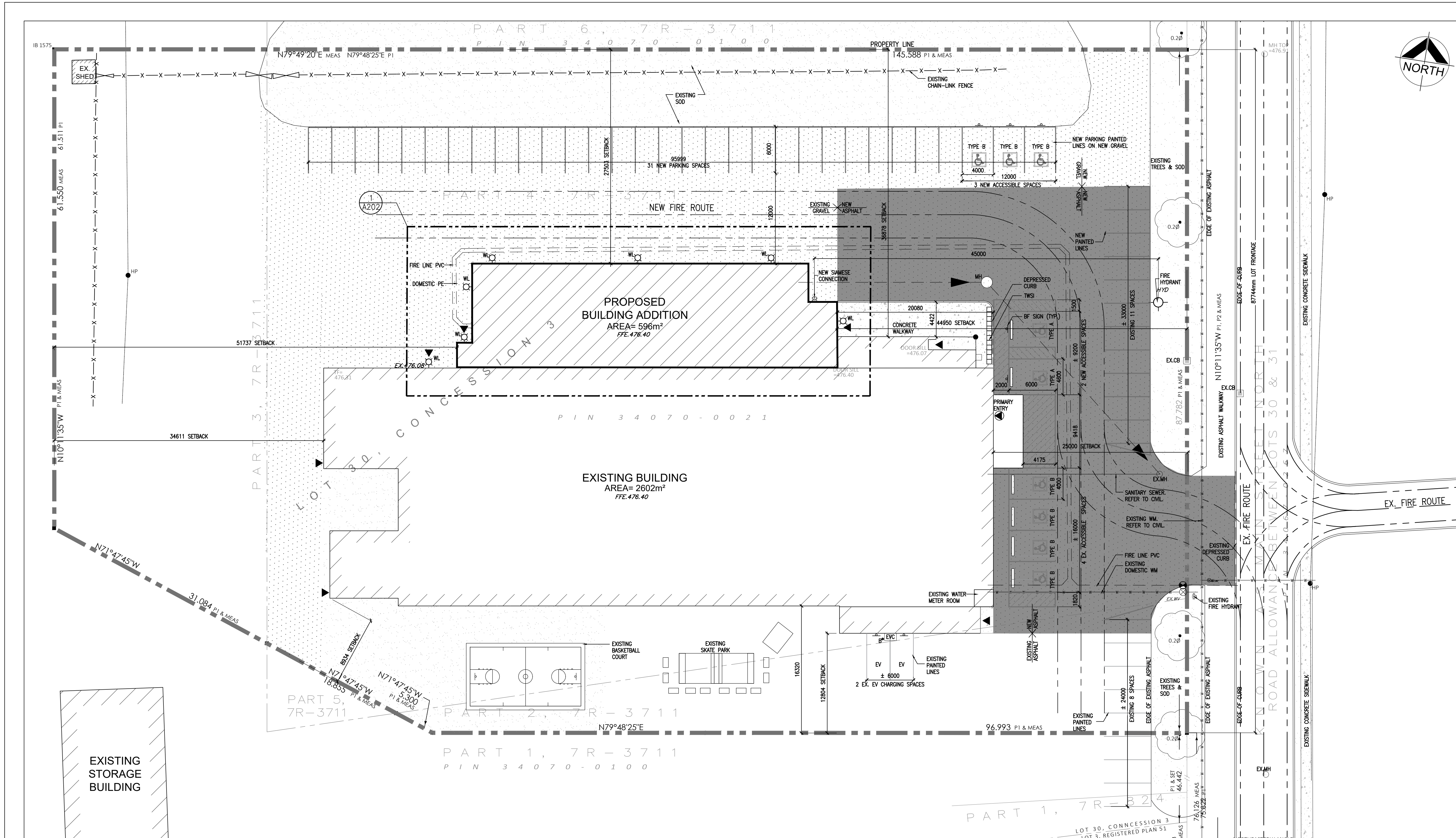
**CONSULTANTS:**  
**MGM CONSULTING INC**  
 Consulting Engineering & Project Management  
 555 Industrial Drive  
 Suite 201  
 Milton, Ontario  
 L7T 0H7  
 Tel: (905) 967-8676  
 Fax: (905) 975-1339  
 Email: mrgm@mrgm.on.ca  
 www.mrgm.on.ca

**CLIENT:**  
**BARRY BRYAN ASSOCIATES**  
 250 Water Street  
 Whitby, Ontario, L1M 0G5  
 (905) 696-5252  
 (905) 696-5256  
 bob@bbasoc.com

**PROJECT:**  
 90 Main St N,  
 Grand Valley, ON

**DRAWING:**  
 ESC, GRADING & SERVICING PLAN

<b>DRAWN BY:</b> CB	<b>CHECKED BY:</b> AP	<b>JOB CAPTAIN:</b> AP
<b>SCALE:</b> 1:250	<b>PROJECT NO.:</b> 2022-029	<b>DATE:</b> JULY 2022
<b>CURRENT ISSUE:</b> 4	<b>CURRENT REV.:</b> 3	<b>SHEET NO.:</b> CV-2



NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	NOV. 28, 2023	BBA
2	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
3	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA

NO.	REVISIONS	DATE	BY

PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 5N6  
TOWN OF GRAND VALLEY

DRAWING:  
**SITE PLAN**

1 A101 SITE PLAN  
1:250

- #### SITE LEGEND
- CONCRETE
  - DENOTES EXISTING GRAVEL EXTENTS
  - DENOTES EXISTING SOD
  - HEAVY DUTY ASPHALT PAVING
  - WALL LIGHT
  - LAMP STANDARD
  - CATCH BASIN
  - MANHOLE
  - CHAIN LINK FENCE
  - FIRE HYDRANT
  - ENTRANCE / EXIT
  - FINISHED GRADE EXIST. GRADE
  - BOLLARD
  - ACCESSIBLE PARKING
  - FIRE ROUTE SIGN
  - BARRIER FREE PARKING SIGN

#### SITE NOTES :

EXISTING BUILDING  
2602 m²

NEW BUILDING ADDITION  
595.75 m²

EXISTING SHED  
9.2 m²

TOTAL  
3,177 m²


EXISTING TOTAL GFA  
3288.2 m²

PROPOSED TOTAL GFA  
595.75 m²

TOTAL ARENA GFA  
3883.95 m²

#### SITE STATISTICS

ZONING:	THE MUNICIPALITY OF CLARINGTON ZONING BY-LAW 2008-10	PARKING: (ADDITION ONLY)	TOTAL PARKING REQUIRED:	29	
LOT DESCRIPTION:	PART OF LOT 30, CONCESSION 3, REGISTERED PLAN 51 TOWNSHIP OF EAST LUTHER TOWN OF GRAND VALLEY COUNTY OF DUFFERIN	STANDARD - 3.0m x 6.0m (27)	TOTAL PARKING PROVIDED:	30	
ADDRESS:	90 MAIN STREET N, GRAND VALLEY, ON.	TYPE A - 4.6m x 6.0m (2)	TOTAL ACCESSIBLE PARKING REQUIRED:	1	
CLASSIFICATION:	OPEN SPACE (OS) ZONE	TYPE B - 4.0m x 6.0m (3)	TOTAL ACCESSIBLE PARKING PROVIDED:	2 + 3	
LOT AREA:	12,134 m²	SETBACKS - EX. BUILDING:	REQUIRED:	PROVIDED:	
LOT COVERAGE:	BUILDING AREA (60% MAX)	FRONT YARD	EAST	7.5 m	25 m
	PAVED AREA	INTERIOR SIDE YARD	NORTH	7.5 m	36.8 m
	LANDSCAPED AREA	INTERIOR SIDE YARD	SOUTH	7.5 m	12.8 m
	SNOW STORAGE	REAR YARD	WEST	7.5 m	34.6 m
	TOTAL SITE AREA	SETBACKS - BLD. ADDITION	REQUIRED:	PROVIDED:	
		FRONT YARD	EAST	7.5 m	47 m
EXISTING BUILDING	2602 m²	INTERIOR SIDE YARD	NORTH	7.5 m	28 m
NEW BUILDING ADDITION	595.75 m²	INTERIOR SIDE YARD	SOUTH	7.5 m	0 m
EXISTING SHED	9.2 m²	REAR YARD	WEST	7.5 m	54.6 m
TOTAL	3,177 m²	LOT FRONTAGE:	SOUTH	MAIN STREET NORTH	87.7 m
EXISTING TOTAL GFA	3288.2 m²	BUILDING HEIGHT:	WEST	12 m	4.8 m
PROPOSED TOTAL GFA	595.75 m²				
TOTAL ARENA GFA	3883.95 m²				



BARRY BRYAN ASSOCIATES

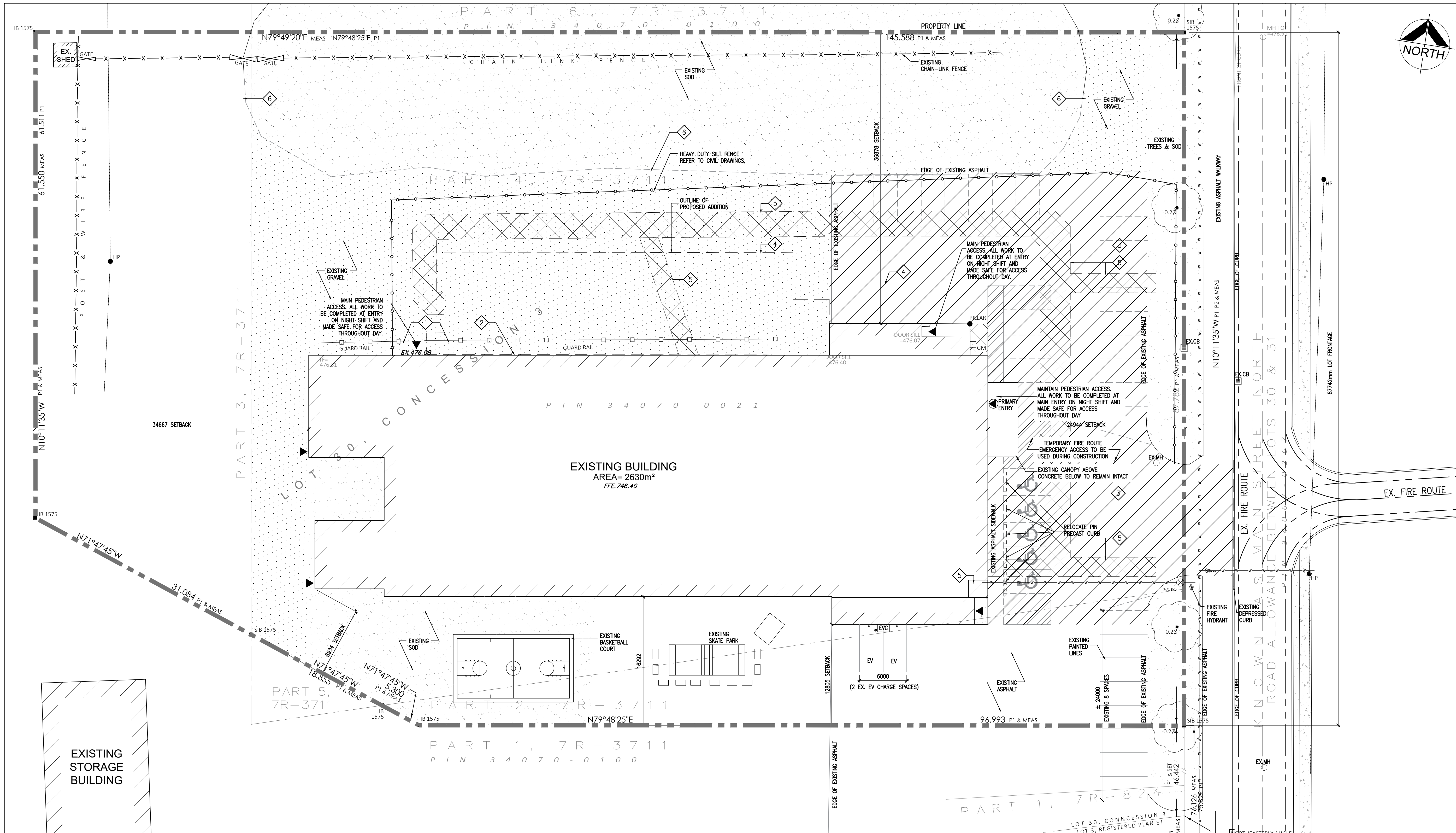
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5

TEL: (905) 666-5252  
FAX: (905) 666-5258  
EMAIL: bba@barrybryan.com

PROJECT NO:  
**21171**

DRAWING NO:  
**A101**

DESIGN BY:	BBA	DOC. CONTROL DATE:	
DRAWN BY:	KW/LJA	% COMPLETE:	
CHECKED BY:	NS	INITIAL:	
DATE:	JULY 2024		
SCALE:	AS NOTED		
FILE:	21171 A101		



DO NOT SCALE THE DRAWINGS.  
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.



NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	MAY 21 2023	BBA
2	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
3	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA

NO.	REVISIONS	DATE	BY
-----	-----------	------	----

**PROJECT:**  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
 DISTRICT COMMUNITY CENTRE  
 90 MAIN ST. N  
 GRAND VALLEY, ONTARIO, L0N 5N6  
 TOWN OF GRAND VALLEY

**DRAWING:**  
**DEMOLITION SITE PLAN**

**1**  
**A102** SITE PLAN  
 1:250

**SITE DEMOLITION LEGEND**

- DENOTES EXISTING GRAVEL EXTENTS
- DENOTES EXISTING SOD
- DENOTES EXISTING ASPHALT & GRAVEL REMOVAL FOR SERVICE EXCAVATION. REFER TO CIVIL DRAWINGS.
- DENOTES ASPHALT REMOVAL

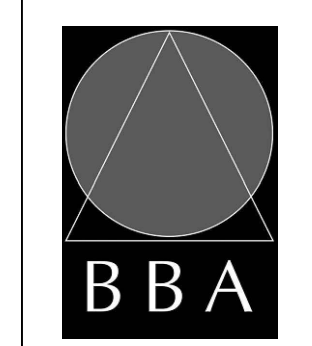
**SITE DEMOLITION NOTES**

1. REMOVE EXISTING GUARD RAIL AND FOUNDATIONS AS REQUIRED TO COMPLETE NEW WORK
2. REMOVE EXISTING ELECTRICAL EQUIPMENT, CONDUITS, WALL MOUNTED LIGHTS ON EXTERIOR WALL TO COMPLETE NEW WORK.
3. REMOVE ALL EXISTING ASPHALT AND BASE MATERIAL. SALVAGE EXISTING GRANULAR BASE MATERIAL FOR REUSE AT NEW PARKING AREA WHERE GEO-TECH APPROVES FOR RE-USE.
4. PREPARE TO SURFACE TO RECEIVE SLAB ON GRADE. REFER TO CIVIL DRAWINGS.
5. APPROXIMATE EXTENT OF TRENCHING REQUIRED FOR SERVICE INSTALLATION IN EXISTING WATER METER ROOM & EXISTING DUCTS. BACKFILL AND REINSTATE ALL CONDITIONS UPON COMPLETION. REFER TO CIVIL, MECHANICAL & ELECTRICAL DRAWINGS.
6. APPROXIMATE EXTENT OF SOD REMOVAL FOR NEW PARKING STALLS. TO BE SITE VERIFIED.

**GENERAL DEMOLITION NOTES**

1. SITE VERIFY ALL DIMENSIONS AND CONDITIONS
2. ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
3. COMPLY WITH OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
4. PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE, LANDSCAPE OR PART THEREOF.
5. COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION OF BUILDING ELEMENTS INCLUDES BUT NOT LIMITED TO COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE.
6. DEMOLITION DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS. COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE NEW SITE WORK AS SHOWN AND AS REQUIRED.
7. ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, LANDSCAPE AND ELECTRICAL DEMOLITION DRAWINGS ARE COMPLEMENTARY AND SHALL BE READ TOGETHER.
8. NOTIFY THE CONSULTANT OF ANY DISCREPANCIES.
9. PROVIDE TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO REMAIN WHICH ARE ADJACENT TO NEW WORK. TREE PROTECTION TO MUNICIPALITY OF CLARINGTON STANDARDS.
10. MAINTAIN WORK AREAS AND STORAGE AREAS IN A CLEAN AND ORDERLY CONDITION AT ALL TIMES.
11. SITE VERIFY LOCATIONS OF ALL SERVICES IN OR ADJACENT TO CONSTRUCTION AREA.
12. MAINTAIN ALL WORK AREAS AND ALL STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES INCLUDING EXISTING AREAS THAT REMAIN IN OPERATION DURING CONSTRUCTION. DUST CONTROL MEASURES ARE TO BE IN PLACE AT ALL TIMES AND NOISY WORK SHALL BE COORDINATED AROUND PROGRAM EVENTS.
13. DISCONNECT AND CAP OFF ALL SERVICES PRIOR TO DEMOLITION.
14. DISPOSE OF MATERIALS OFF SITE.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR / REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.

ALL SURVEY INFORMATION DERIVED FROM DRAWING PREPARED BY VAN HARTEN SURVEYING INC. 2022  
 FILE NUMBER: 30739-21  
 PLAN OF SURVEY WITH TOPOGRAPHIC DETAIL - 90 MAIN STREET NORTH, GRAND VALLEY  
 ALL OF PIN 34070-0021  
 PART OF LOT 30, CONCESSION 3  
 GEOGRAPHIC TOWNSHIP OF EAST LUTHER  
 TOWN OF GRAND VALLEY  
 COUNTY OF DUFRIN



**BARRY BRYAN ASSOCIATES**  
 Architects  
 Engineers  
 Project Managers  
 250 Water Street  
 Suite 201  
 Whitby, Ontario  
 L1N 0G5  
 Tel: (905) 866-5252  
 Fax: (905) 866-5256  
 e-mail: bba@bbe-archeng.com

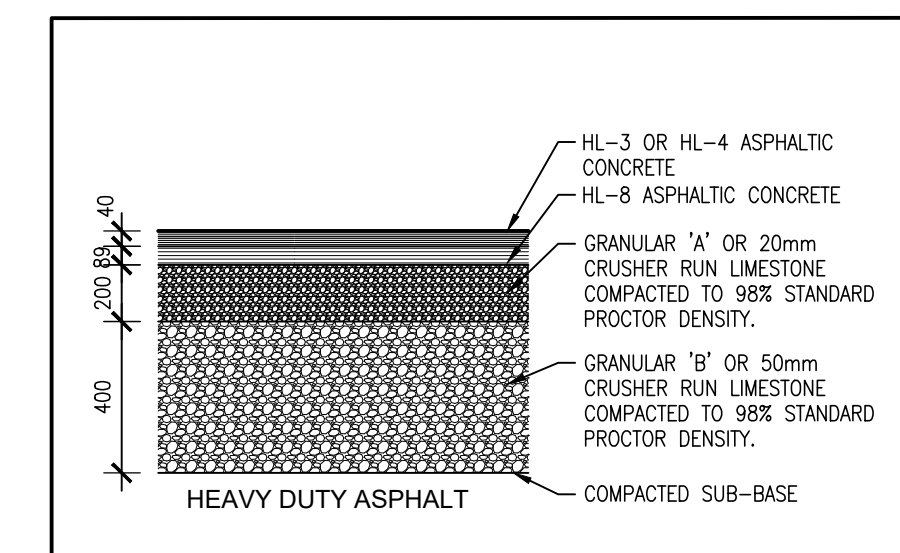
DESIGN BY: BBA	DOC. CONTROL DATE:
DRAWN BY: KJV	% COMPLETE:
CHECKED BY: NS	INITIAL:
DATE:	
SCALE: AS NOTED	
FILE: 21171 A102	

PROJECT NO: **21171**  
 DRAWING NO: **A102**

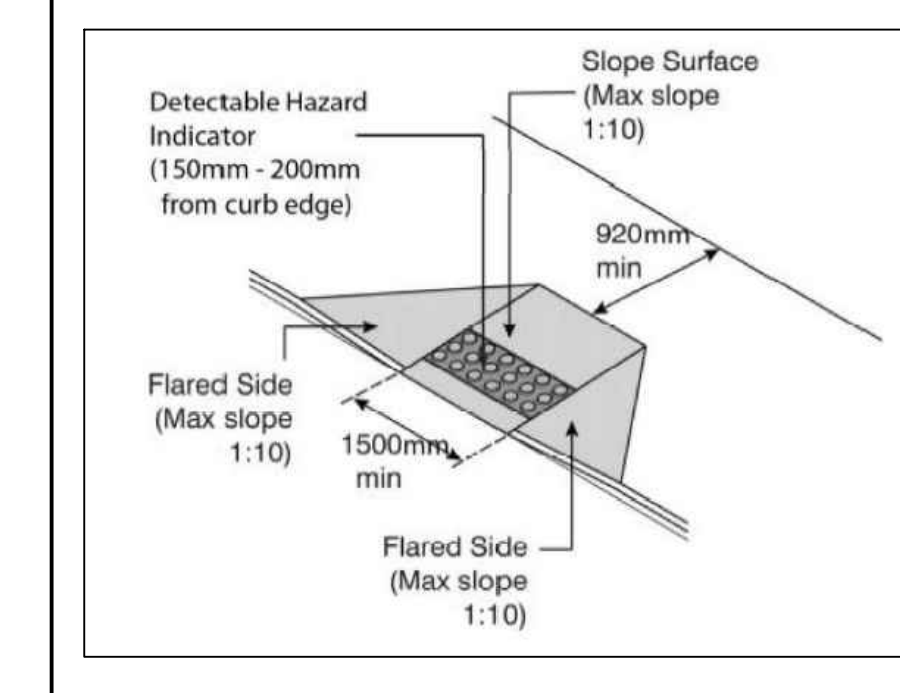
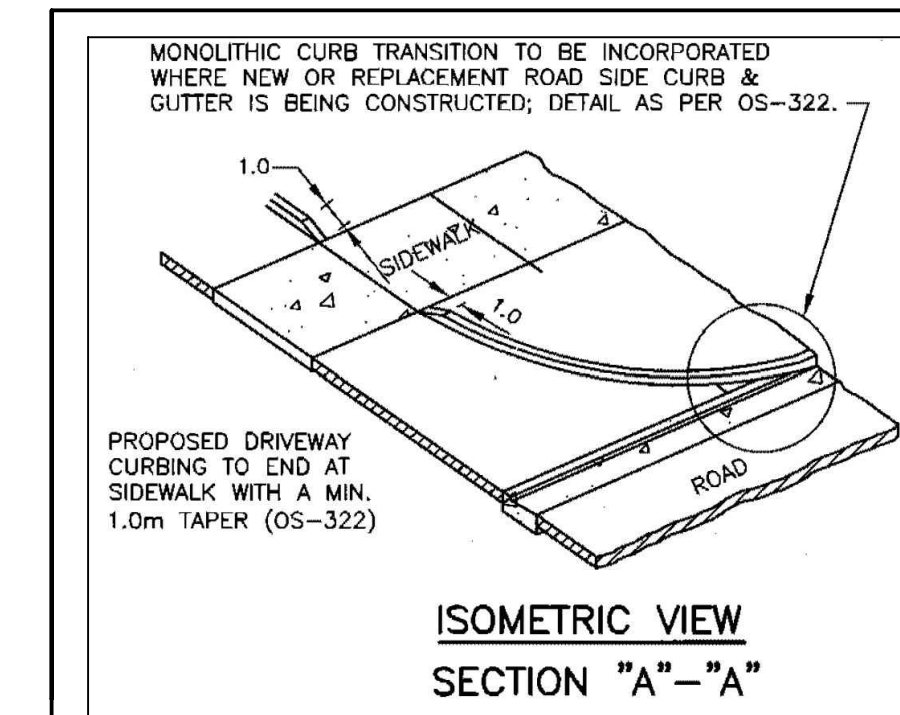
DO NOT SCALE THE DRAWINGS.  
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.  
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.



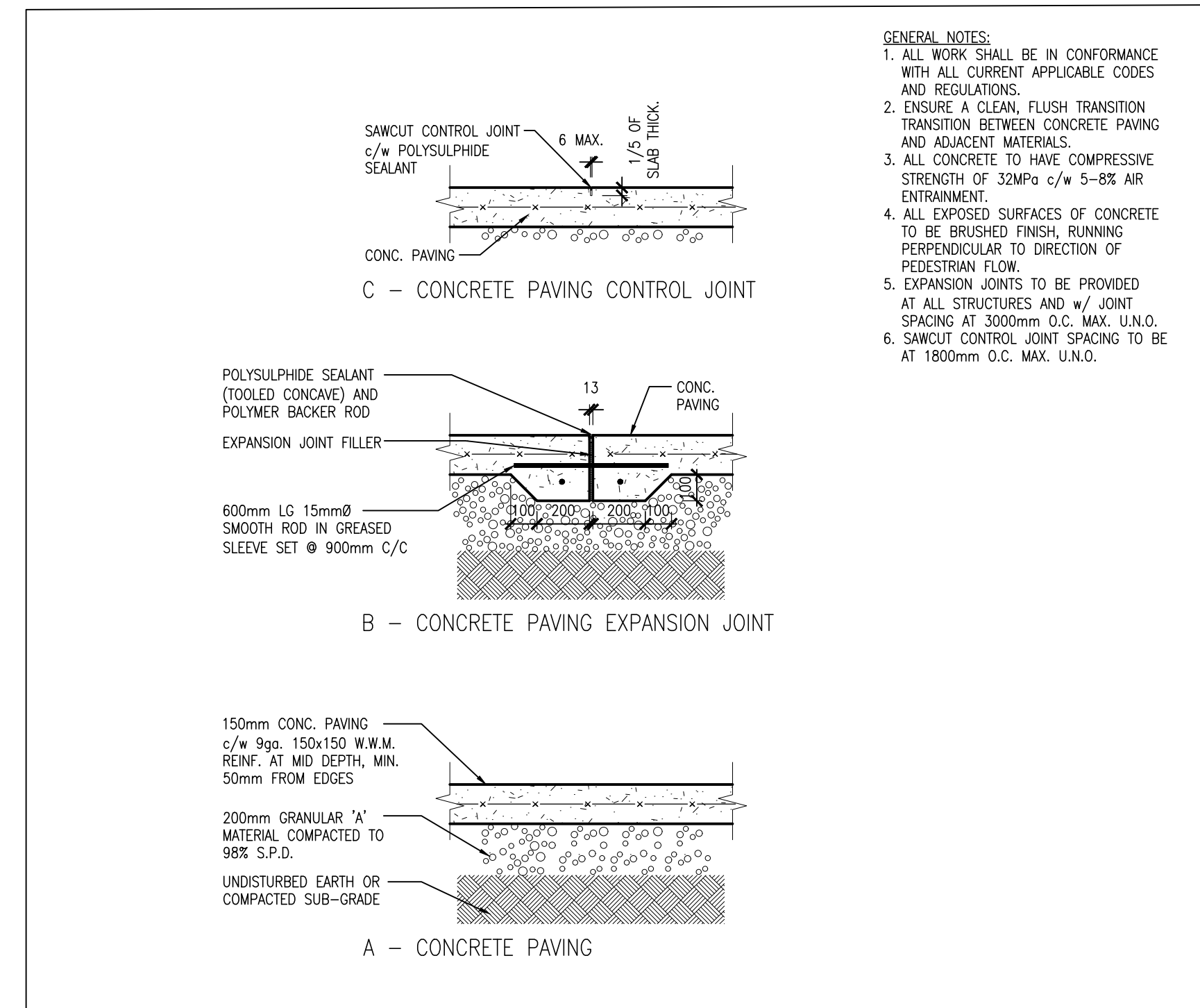
NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	MAY 21 2023	BBA
2	ISSUED FOR 90% CLIENT REVIEW	JULY 22 2023	BBA
3	ISSUED FOR TENDER & PERMIT	DEC. 06 2024	BBA



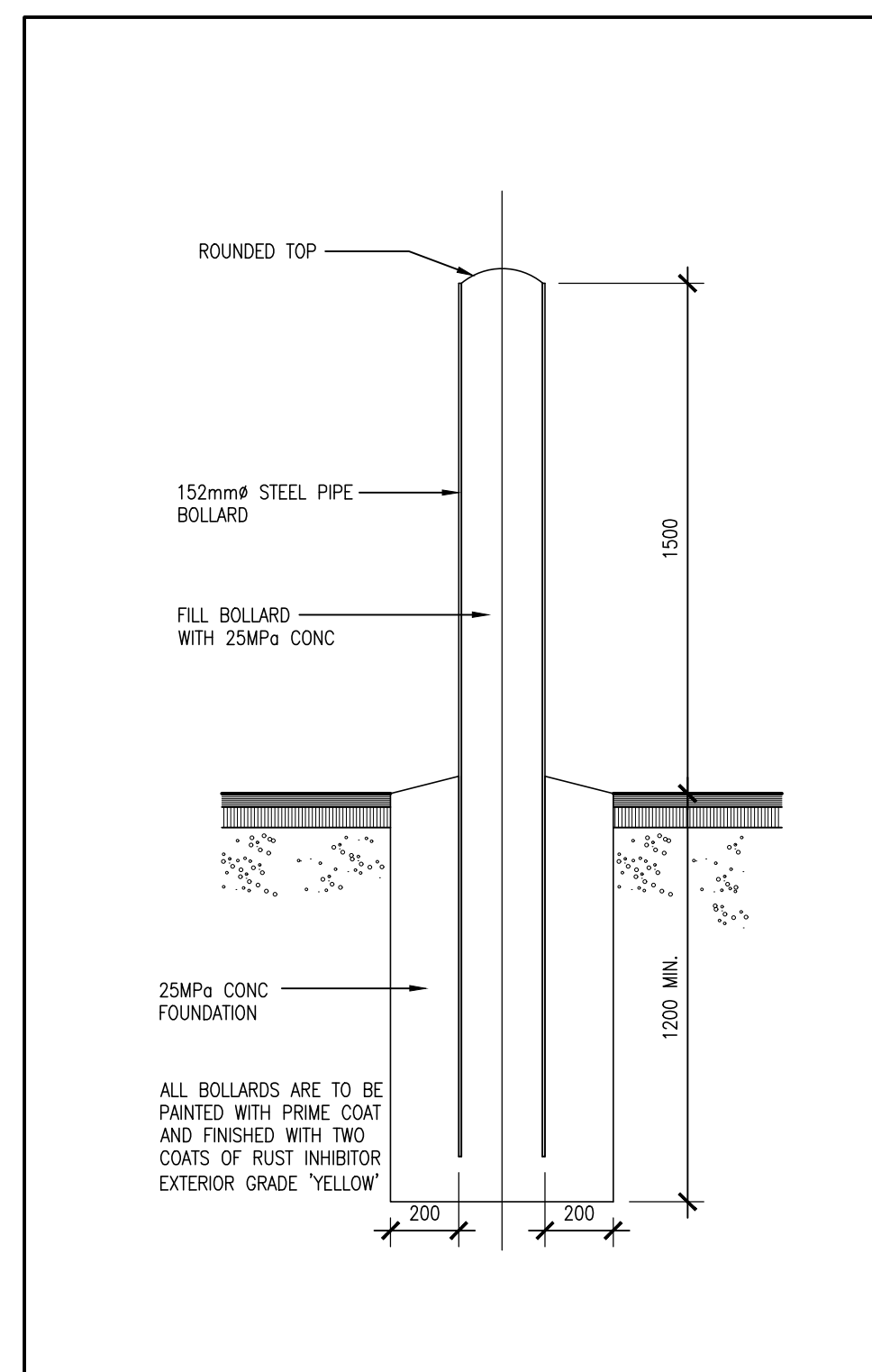
**3 ASPHALT COMPOSITION**  
1:20



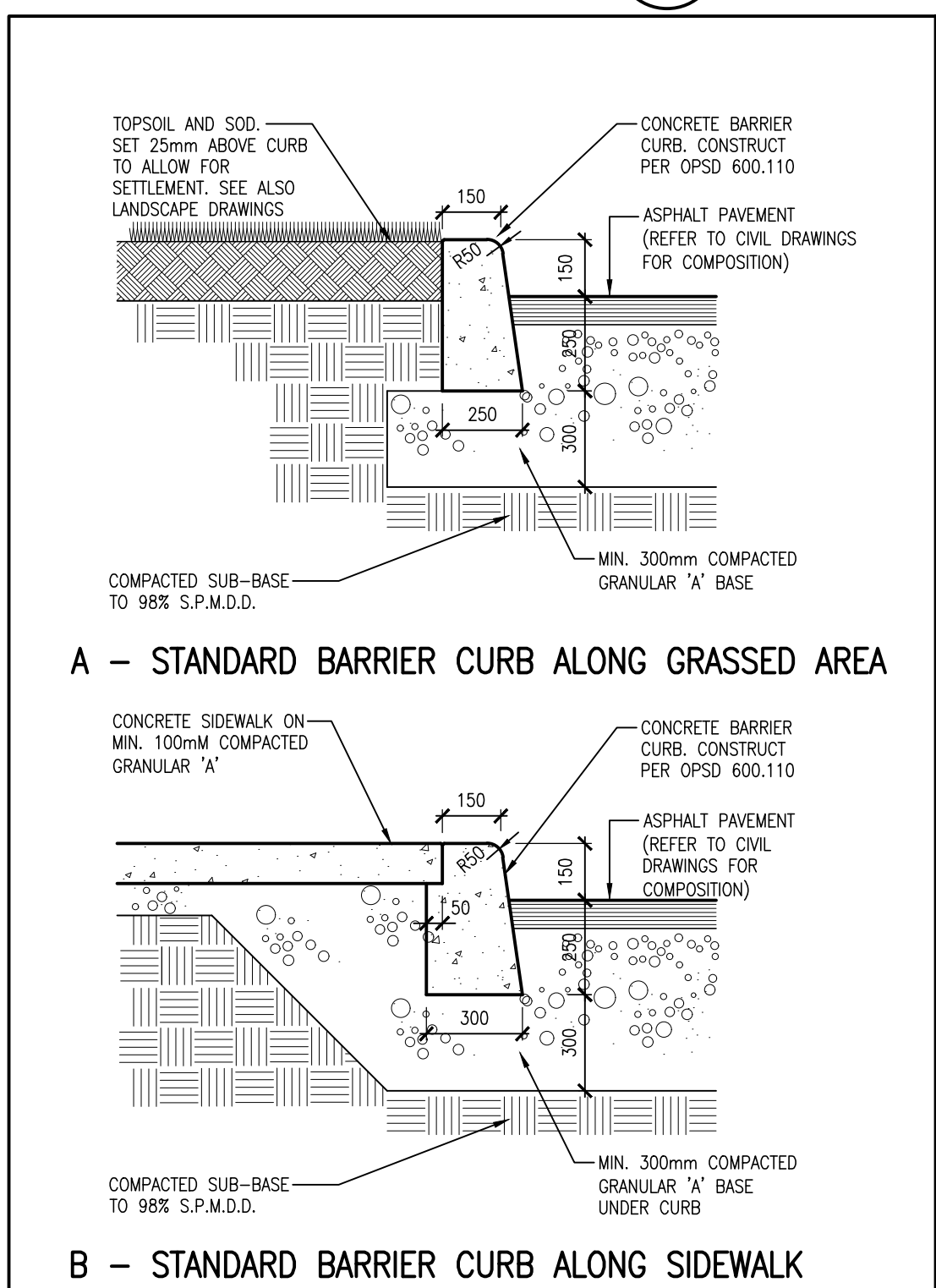
**2 BF DROPPED CURB**  
1:20



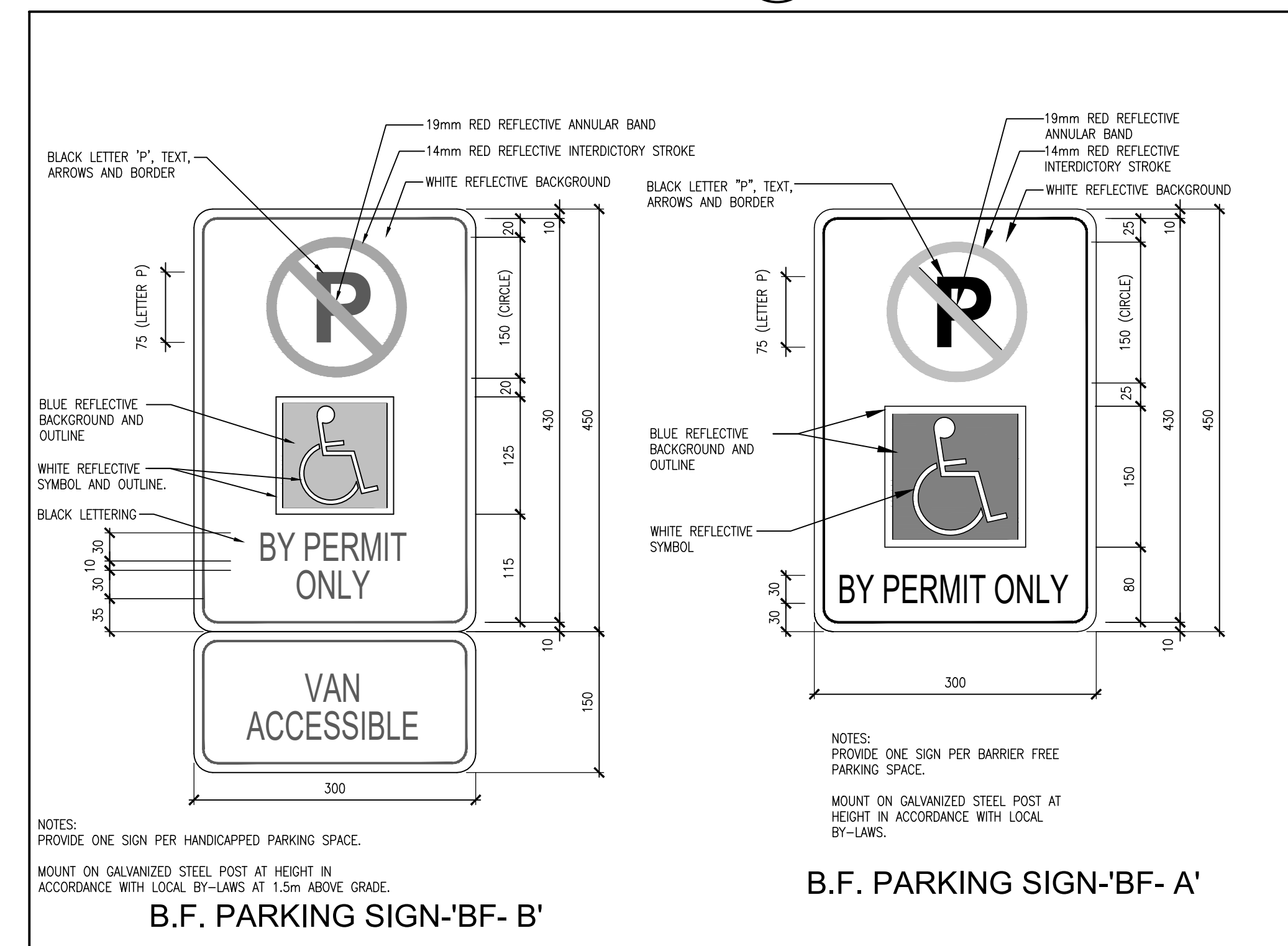
**4 TYP. CONCRETE PAVING DETAILS**  
1:20



**6 TYPICAL EXTERIOR BOLLARD**  
1:20



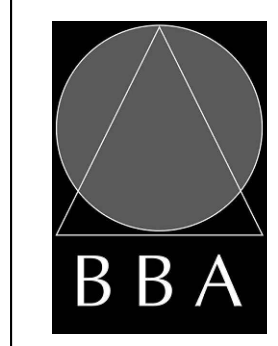
**5 TYPICAL CONCRETE CURB DETAILS**  
1:20



**1 TYPICAL SIGNS**  
N.T.S.

PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 5N6  
TOWN OF GRAND VALLEY

DRAWING:  
**SITE DETAILS**




**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5  
Tel: (905) 666-5252  
Fax: (905) 666-5256  
email: bob@bba-enteng.com

DESIGN BY: BBA  
DATE: MAY 7, 2023  
SCALE: AS NOTED  
FILE: 21171 A103  
SOC. CONTROL: S. COMPLETED: NS  
INITIAL: NS

PROJECT NO: **21171**  
DRAWING NO: **A103**

ADDITION OCCUPANT LOAD:			EXISTING OCCUPANT LOAD		NOTES	LIFE SAFETY LEGEND
ROOM NO.	ROOM NAME	PERSONS - DESIGN OF BUILDING	AREA	PERSONS - DESIGN OF BUILDING		
103	CHANGE ROOM 1	22	LEVEL 1 (ICE SURFACE)	1000	<p>1. ALL EXISTING FLOOR ASSEMBLIES SHALL BE FIRE SEPARATIONS WITH MINIMUM 1 HR. F.R.R. ALL FLOOR SEPARATIONS SHALL BE 1HR. MINIMUM (EXISTING)</p> <p>2. REFER TO WALL TYPE SCHEDULE AND PLANS FOR DESCRIPTION OF WALL ASSEMBLIES TO BE USED.</p> <p>3. ALL RATED WALLS / PARTITIONS TO BE FULL HEIGHT TO UNDERSIDE OF DECK (FLOOR / ROOF) FOR CONTINUOUS FIRE STOPPING / SMOKE SEAL INCLUDING INFILL OF DECK FLUTES. PROVIDE INFILL (OFFSET) AT TOPS OF ALL RATED ASSEMBLIES w/ SHAFTWALL DESIGNED BY THE FIRESTOPPING SUPPLIER TO MEET CODE REQUIREMENTS AND TO SUIT THE APPLICATION AND SHALL HAVE A FIRE RESISTANCE RATING EQUIVALENT TO THE RATING SHOWN FOR THE WALL ASSEMBLY WHERE WALL ASSEMBLIES ABUT TO UNDERSIDE OF STEEL STRUCTURE.</p> <p>4. ALL PENETRATIONS THROUGH RATED ASSEMBLIES TO BE FIRE STOPPED / SMOKE SEALED. FIRESTOPPING SHALL BE DESIGNED BY THE FIRESTOPPING SUPPLIER TO MEET CODE REQUIREMENTS AND TO SUIT THE APPLICATION AND SHALL HAVE A FIRE RESISTANCE RATING EQUIVALENT TO THE RATING SHOWN FOR THE WALL ASSEMBLY.</p> <p>5. EXITS MUST BE MAINTAINED IN THE OCCUPIED SPACES AT ALL TIMES AS INDICATED ON THE DRAWINGS FOR LIFE SAFETY INTERGRITY.</p> <p>6. PROVIDE ALL NECESSARY PROTECTION, INCLUDING ACCESS ROUTES FOR THE PUBLIC, TO EXISTING FACILITIES AT ALL TIMES.</p>	<p><b>PUBLIC ENTRANCE</b></p> <p><b>EXIT DOOR(S)</b></p> <p><b>EXIT PATHS/TRAVEL DISTANCE</b></p> <p><b>INDICATES ROOM OCCUPANT LOAD</b></p> <p><b>1 HOUR FIRE SEPARATION OR FIRE PROTECTION</b></p>
106	CHANGE ROOM 2	22	LEVEL 2 (GRAND RIVER HALL)	250		
109	CHANGE ROOM 3	20				
112	CHANGE ROOM 4	20				
115	CHANGE ROOM 5	20				
118	CHANGE ROOM 6	20				
121	JANITOR RM.	2			<p><b>COLUMN FIRE PROTECTION</b></p> <p>F1 - COLUMN WITH INTUMESCENT PAINT PROTECTED WITH MIN. 90mm THICK, 75% SOLID CONCRETE BLOCK TO ACHIEVE 2 HOUR FIRE RESISTANCE RATING.</p>	<p><b>TRAVEL DISTANCE COMPLIANCE</b></p> <p>IBC 3.3.1.6. TRAVEL DISTANCE (ADDITION)</p> <p>(1) THE TRAVEL DISTANCE WITHIN THE ROOM OR SUITE TO THE NEAREST EGRESS DOORWAY SHALL NOT EXCEED THE MAXIMUM TRAVEL DISTANCE OF 45M. IN THE ADDITION SPECIFIED IN CLAUSES 3.4.2.5.(1), (c) FOR EXITS.</p> <p>IBC 3.4.2.5. LOCATION OF EXITS</p> <p>(1) EXCEPT AS PERMITTED BY SENTENCES (2), 3.2.8.4.(4) AND 3.3.2.4.(13) TO (16), IF MORE THAN ONE EXIT IS REQUIRED FROM A FLOOR AREA, THE EXITS SHALL BE LOCATED SO THAT THE TRAVEL DISTANCE TO AT LEAST ONE EXIT SHALL BE NOT MORE THAN:</p> <p>(c) 45m IN A FLOOR AREA THAT CONTAINS AN OCCUPANCY OTHER THAN A HIGH HAZARD INDUSTRIAL OCCUPANCY, PROVIDED IT IS SPRINKLERED,</p>
122	MECHANICAL RM.	10				
124	REFEREE CHANGE ROOM	8				
TOTAL		144				

DO NOT SCALE THE DRAWINGS.  
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.  
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.




NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	NOV. 28, 2023	BBA
2	ISSUED FOR CLIENT REVIEW	MAY 24, 2024	BBA
3	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
4	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA

NO.	REVISIONS	DATE	BY

NO.	REVISIONS	DATE	BY

PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 5N6  
TOWN OF GRAND VALLEY

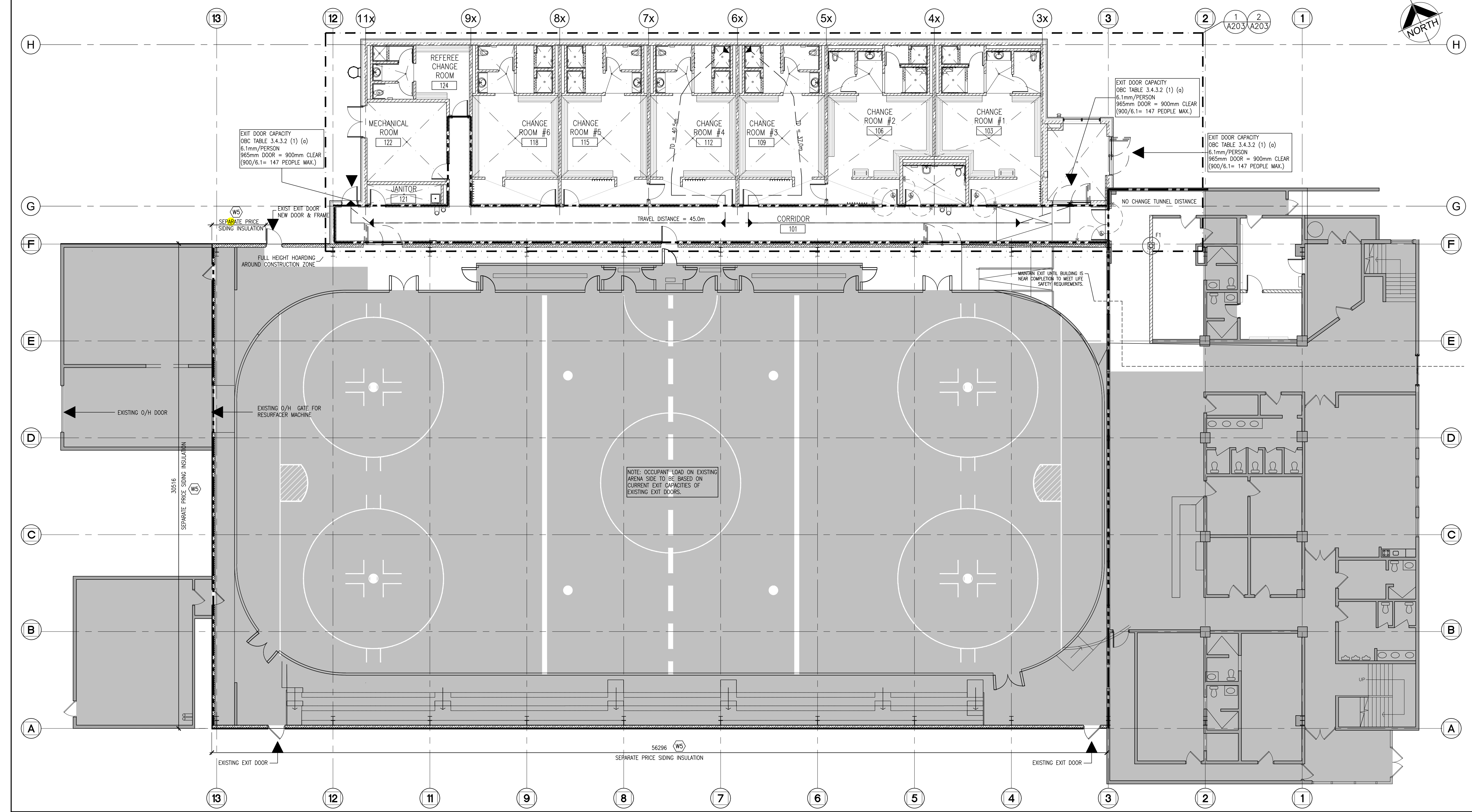
DRAWING:  
**OVERALL FLOOR PLAN**  
**LIFE SAFETY PLAN**



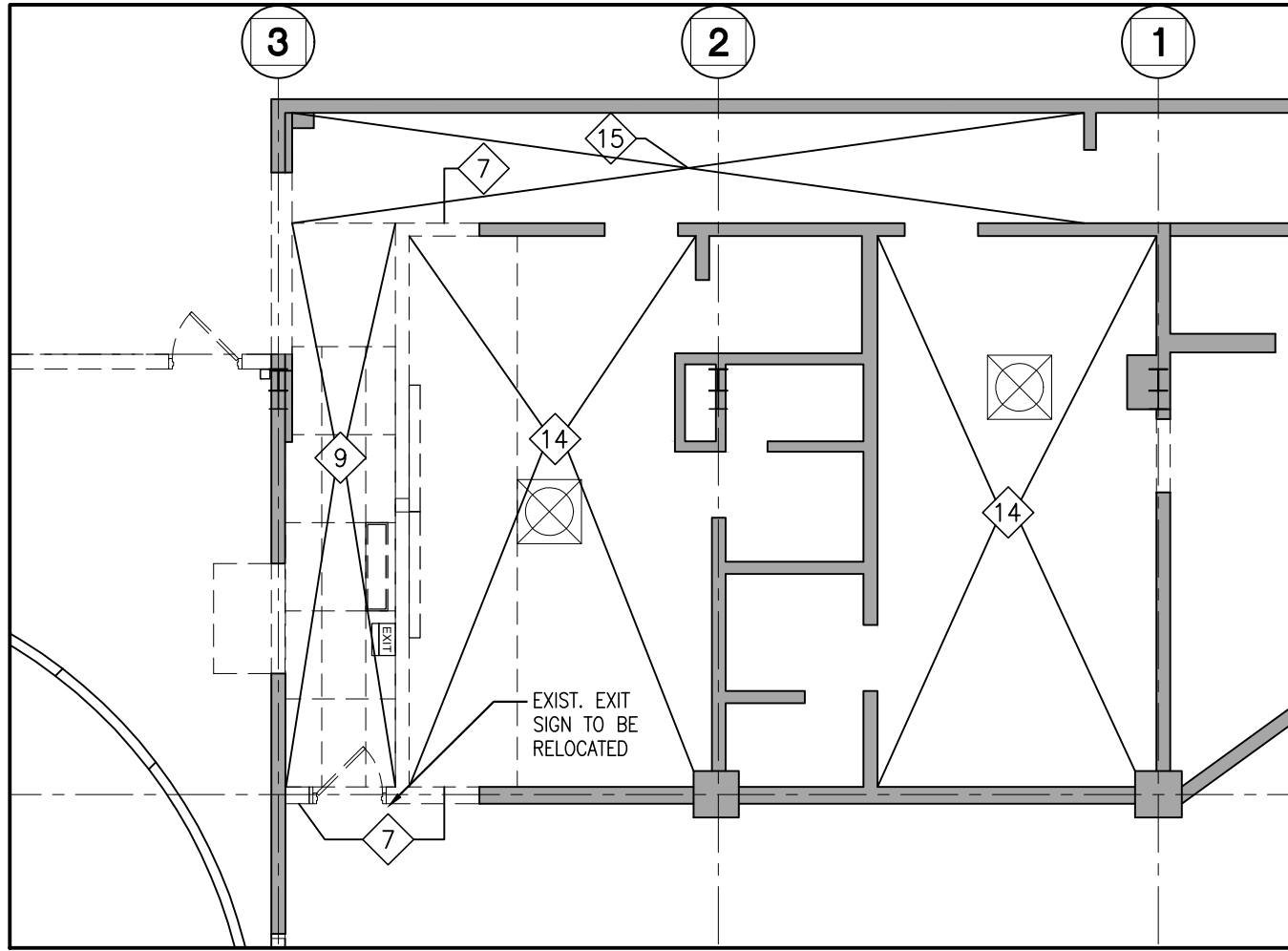
**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5  
Tel: (905) 666-6252  
Fax: (905) 666-6256  
e-mail: bba@bba-archeng.com

DESIGN BY: BBA	DOC. CONTROL: DATE:
DRAWN BY: KW/JJA	% COMPLETE:
CHECKED BY: NS	INITIAL:
DATE: NOV. 28, 2023	
SCALE: AS NOTED	
FILE: 21171_A201	

PROJECT NO: **21171**  
DRAWING NO: **A201**



**1**  
**A201**  
**OVERALL GROUND FLOOR PLAN**  
1:125



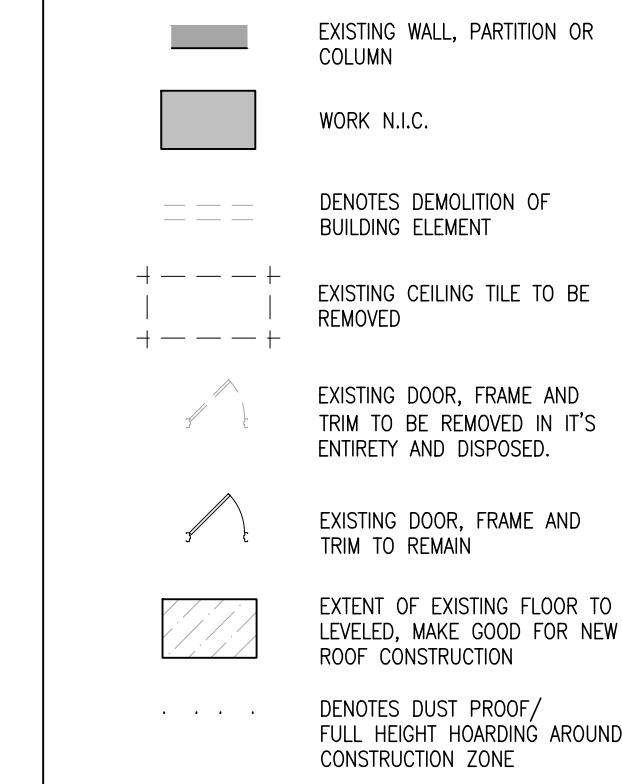
**2** DEMOLITION : PART CEILING PLAN  
A202 1:100

**DEMOLITION NOTES**

1. SITE VERIFY ALL DIMENSIONS AND CONDITIONS.
2. ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
3. COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.
4. PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE, LANDSCAPE OR PART THEREOF.
5. COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION OF BUILDING ELEMENTS INCLUDES BUT NOT LIMITED TO COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE.
6. ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS ARE COMPLEMENTARY AND SHALL BE READ TOGETHER.
7. PROVIDE ALL SHORING AS REQUIRED. SHORING SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
8. NOTIFY CONSULTANT OF LOAD BEARING MEMBERS OR ASSEMBLIES IDENTIFIED OR DISCOVERED DURING WORK AND NOT INDICATED ON DRAWINGS. DO NOT PROCEED WITH REMOVALS WITHOUT PRIOR REVIEW BY THE CONSULTANT.
9. PROVIDE TEMPORARY SUPPORT OF PIPES, DUCTS AND ELECTRICAL CHASES AS REQUIRED FOR SAFE REMOVAL. EXISTING AND PROPOSED SUPPORTS ARE TO BE REVIEWED BY THE CONSULTANT PRIOR TO THE REMOVAL OF ANY COMPONENTS WHICH MAY FALL, OR CAUSE OTHERS TO FALL.
10. MAINTAIN ALL WORK AREAS AND ALL STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES INCLUDING EXISTING AREAS THAT REMAIN IN OPERATION DURING CONSTRUCTION. DUST CONTROL MEASURES ARE TO BE IN PLACE AT ALL TIMES AND NOISY WORK SHALL BE COORDINATED AROUND PROGRAM EVENTS.
11. DISPOSE MATERIALS OFF SITE.
12. REMOVAL OF EXISTING FLOOR FINISHES IS TO INCLUDE COMPLETE REMOVAL OF BASE AND ALL MORTAR AND ADHESIVES AND PREPARATION OF EXISTING SUBSTRATES TO RECEIVE NEW FLOORING, SATISFACTORY TO THE MANUFACTURER OF NEW FLOOR FINISHES. ALLOW FOR EXCESSIVE LEVELING & PREPARATION OF SLABS.
13. DEMOLITION INCLUDES ALL ASSOCIATED MECHANICAL AND ELECTRICAL SERVICES, EQUIPMENT, FITTINGS, FIXTURES, HANGERS, BRACKETS, TRIM AND ACCESSORIES AS REQUIRED TO COMPLETE THE WORK.
14. SAWCUT, BREAK OUT AND MAKE GOOD (MATCH EXISTING U.N.O.) ALL EXISTING FLOOR SLABS WHERE REQUIRED TO INSTALL NEW UNDERGROUND PLUMBING AND OTHER BURIED SERVICES AS INDICATED AND AS REQUIRED ON MECHANICAL AND ELECTRICAL DRAWINGS.
15. REMOVAL OF DOORS AND FRAMES IS TO INCLUDE REMOVAL OF ALL HARDWARE.
16. SAWCUT, BREAKOUT, AND MAKE GOOD (MATCH EXISTING U.N.O.) ALL EXISTING ASPHALT, CONCRETE WALKWAYS / SIDEWALKS AND CURBS WHERE REQUIRED TO INSTALL NEW UNDERGROUND PLUMBING AND OTHER BURIED SERVICES AS INDICATED AND AS REQUIRED ON MECHANICAL AND ELECTRICAL DRAWINGS. THIS WORK TO INCLUDE THE EXCAVATION, LOCAL DEMOLITION AND RESTORATION OF GRASS, SOO/ SEEDED AREAS.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR /REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.

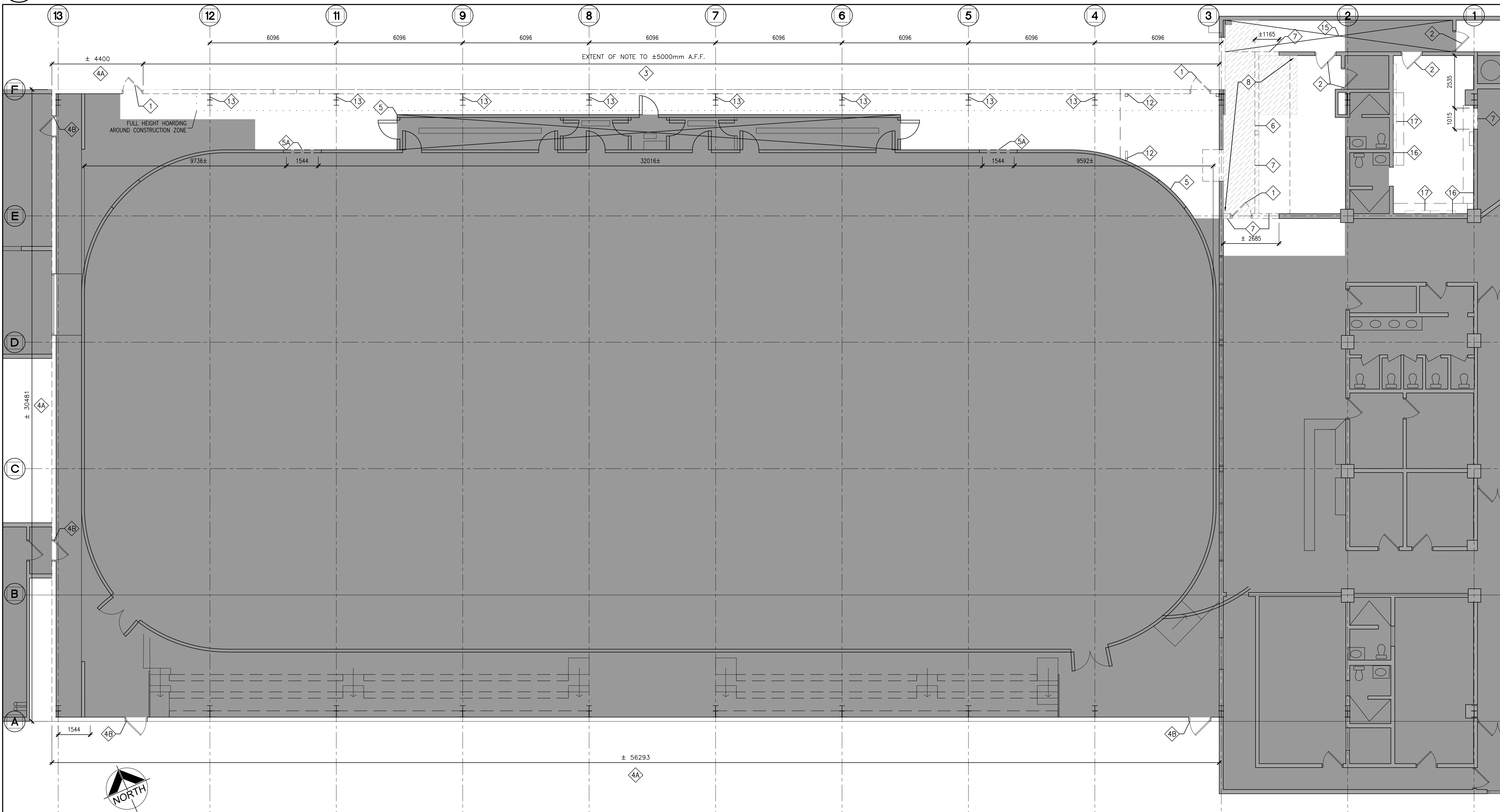
18. CLEAN, PATCH / REPAIR ALL EXISTING SURFACES TO REMAIN TO RECEIVE NEW FINISHES. ALLOW FOR REMOVAL OR SCARIFICATION OF EXISTING PAINT FINISH ON WALLS THAT ARE TO RECEIVE NEW WALL TILE FINISH. REMOVE ALL MORTAR, ADHESIVES AND RUST AS REQUIRED TO PREPARE EXISTING SUBSTRATES TO RECEIVE NEW PAINT FINISHES.

**DEMOLITION LEGEND**



**DEMOLITION LEGEND**

1. REMOVE AND DISPOSE OF EXISTING DOOR AND FRAME IN IT'S ENTIRETY. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK.
2. EXISTING DOOR AND FRAME TO BE REPAINTED.
3. REMOVE AND DISPOSE OF EXISTING LINER PANEL, INSULATION AND METAL SIDING AT EXTENT SHOWN IN IT'S ENTIRETY. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK. CONTRACTOR IS RESPONSIBLE FOR SECURING WORK TO KEEP BUILDING ENVELOPE TEMPORARILY IN PLACE.
- 4A. SEPARATE PRICING : EXISTING HOCKEY ARENA ONLY : EXTERIOR WALL (NORTH, SOUTH AND WEST - GRIDLINE A (1-3), F (101F) & 13 (A-F)) REMOVE AND DISPOSE EXISTING METAL SIDING, INSULATION AT EXTENT SHOWN IN IT'S ENTIRETY. (EXISTING LINER PANEL TO REMAIN) PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK.
- 4B. SEPARATE PRICING : (AT NOTE #4A) EXISTING DOOR AND FRAME TO REMAIN BUT REMOVE AND REPLACE TRIM. REPAIR DOOR AND FRAME TO MATCH EXISTING.
5. EXISTING RINK DASHER BOARD DOORS TO BE LOCKED IN PLACE TO ACCOMMODATE NEW RAMP. PROTECTED DURING CONSTRUCTION. CLEAN AFTER CONSTRUCTION.
- 5A. CUT INTO EX-DASHER BOARDS. PREPARE FOR DOUBLE RINK DOORS. REFER TO REFERENCE SHOP DRAWINGS FOR DASHERBOARDS. NEW GATES SHALL BE COMPLETED WITH TEMPERED GLASS AND BOARD FRAME AND PANELS TO MATCH EXISTING.
6. REMOVE AND DISPOSE OF EXISTING BENCHES, CUBBIES AND HOOKS IN IT'S ENTIRETY. PATCH, REPAIR AND MAKE GOOD ALL AFFECTED SURFACES FOR NEW WORK.
7. REMOVE EXISTING MASONRY WALL (SAWCUT TO EXTENT SHOWN) IN IT'S ENTIRETY. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK (SHORE STRUCTURE AS REQUIRED)
8. REMOVE AND DISPOSE OF EXISTING FLOORING (CONFIRM ON SITE) AT EXTENT SHOWN. LEVEL EXISTING FLOOR. PATCH, REPAIR AND MAKE GOOD ALL AFFECTED SURFACES FOR NEW WORK.
9. REMOVE AND DISPOSE PART OF CEILING TILE, GRID (INCLUDES ALL LIGHTING, DIFFUSERS, GRILLES AND ELECTRICAL DEVICES. ALL WALL ELECTRICAL - CONDUITS TO BE REMOVED AND RELOCATED. PATCH, REPAIR AND MAKE GOOD ALL AFFECTED SURFACES). REMOVE / RELOCATE EXISTING LIGHTING FOR NEW CONSTRUCTION. MAKE GOOD ALL AFFECTED AREAS.
10. COMPLETE FULL CLEAR OF EXISTING RINK AREA AFFECTED BY CONSTRUCTION INCLUDING ROOF PURLINS AND RIGID FRAME BEAMS.
11. PREPARE FOR ROOF REPLACEMENT PROGRAM. MAKE GOOD ALL AFFECTED SURFACES.
12. EXISTING UPPER DRESSING ROOM & STRUCTURAL SUPPORT TO BE REMOVED IN IT'S ENTIRETY. (CAREFULLY REMOVE STORAGE EQUIPMENT, TURN OVER TO OWNER) PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS TO CUT AND CAP SERVICES.
13. CLEAN EXISTING PRE-ENGINEERED RIGID FRAME COLUMNS TO BASE STEEL AND PREPARE FOR NEW COATING.
14. REMOVE METAL CEILING IN IT'S ENTIRETY. INCLUDES LIGHTING AND DIFFUSERS. REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK.
15. EXISTING CORRIDOR #130 EXISTING FLOOR, WALL, DOORS, EXPOSED CEILING BEAMS, ETC. MAKE GOOD ALL AFFECTED AREAS FOR NEW PAINT FINISH. REFER TO FINISH SCHEDULE.
16. REMOVE EXISTING BENCH / HOOKS IN IT'S ENTIRETY. RETURN TO OWNER. PATCH, REPAIR AND MAKE GOOD ALL AFFECTED SURFACES FOR NEW WORK.
17. REMOVE / REINSTALL EXISTING WALL LIGHT FIXTURES. NEW LOCATION TBD. PATCH, REPAIR AND MAKE GOOD ALL AFFECTED SURFACES FOR NEW WORK.



**1** DEMOLITION : FLOOR PLAN  
A202 1:100

DO NOT SCALE THE DRAWINGS.

CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.

DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.



NO.	ISSUES	DATE	BY
1	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
2	ISSUED FOR TENDER & PERMIT	DEC. 05, 2024	BBA

NO.	REVISIONS	DATE	BY

**PROJECT:**  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
 DISTRICT COMMUNITY CENTRE  
 90 MAIN ST. N  
 GRAND VALLEY, ONTARIO, L0N 5N6  
 TOWN OF GRAND VALLEY

**DRAWING:**  
 DEMOLITION :  
 FLOOR PLAN AND  
 PART CEILING PLAN

**BARRY BRYAN ASSOCIATES**  
 Architects  
 Engineers  
 Project Managers  
 250 Water Street  
 Suite 201  
 Whitby, Ontario  
 L1N 0G5  
 Tel: (905) 666-6252  
 Fax: (905) 666-6256  
 e-mail: bba@bba-archeng.com

DESIGN BY: BBA	DOC. CONTROL: DATE:
DRAWN BY: JJA	% COMPLETE:
CHECKED BY: NS	INTAL:
DATE: DEC. 05, 2023	
SCALE: AS NOTED	
FILE: 21171_A202-A203	

PROJECT NO: **21171** DRAWING NO: **A202**


DO NOT SCALE THE DRAWINGS.  
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.  
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.



NO.	ISSUES	DATE	BY
1	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
2	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA
NO.	REVISIONS	DATE	BY

PROJECT:  
**GRAND VALLEY ARENA  
RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 5N6  
TOWN OF GRAND VALLEY

DRAWING:  
**DEMOLITION SECOND  
FLOOR & DEMOLITION  
PHOTOS**

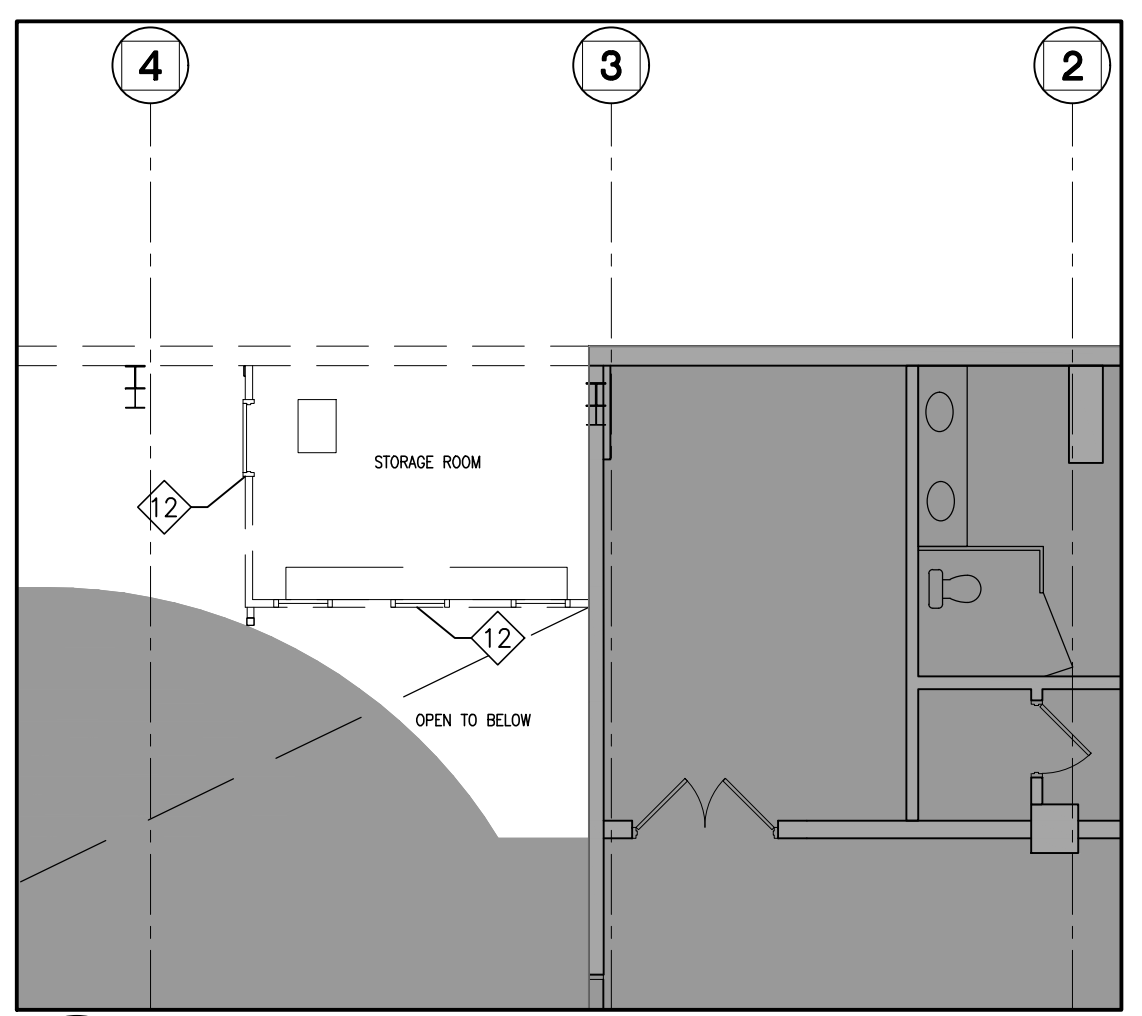
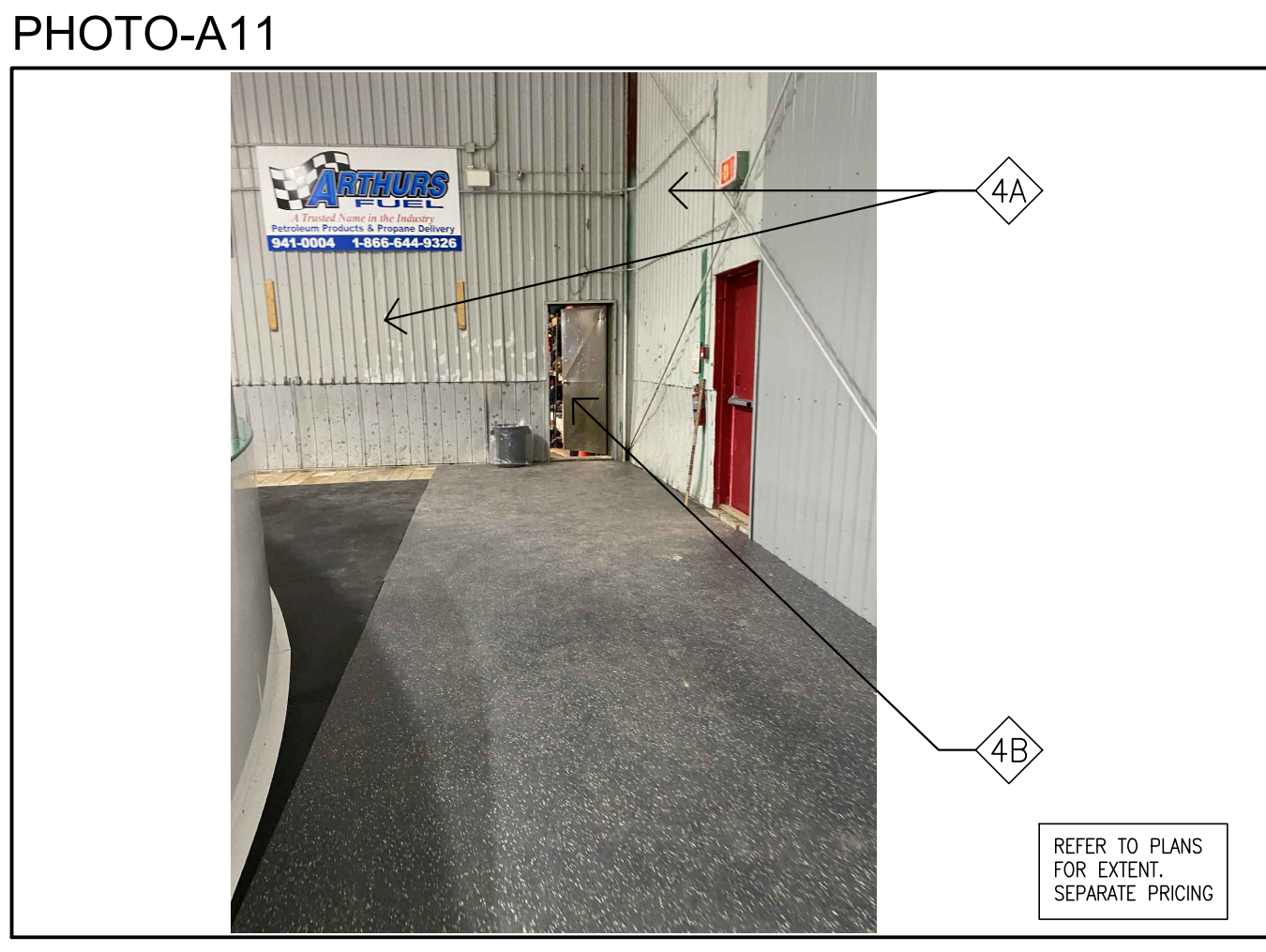
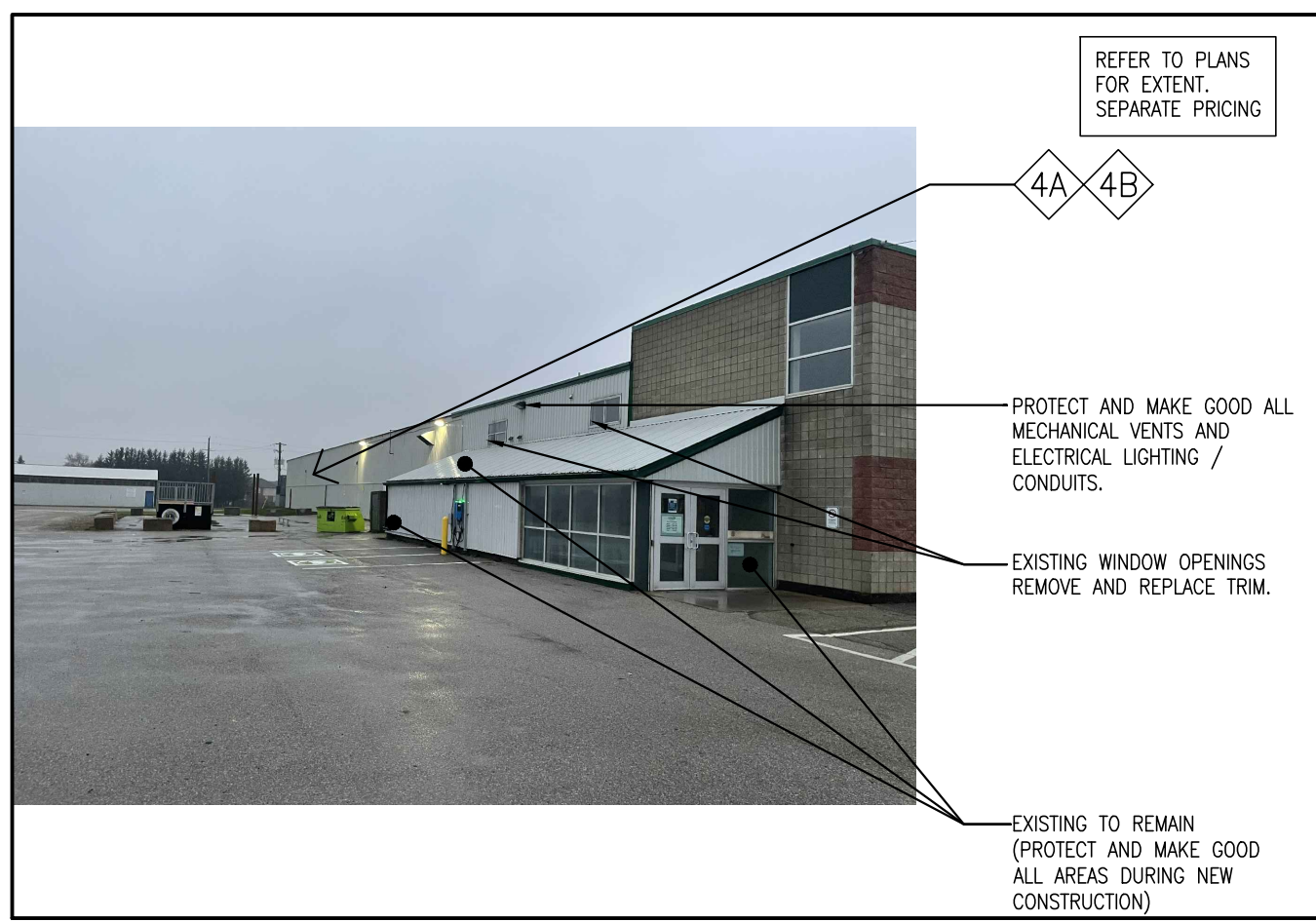
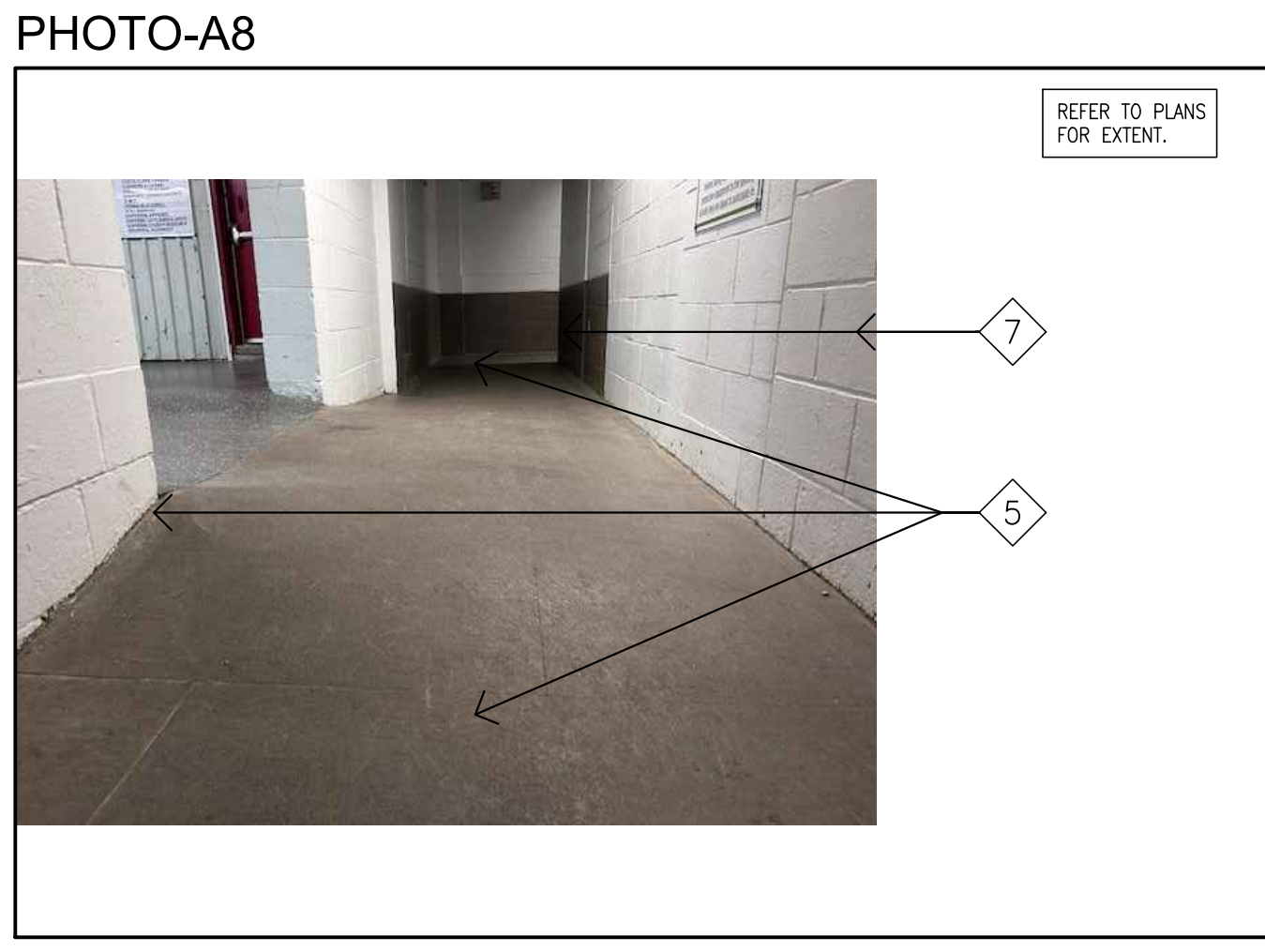
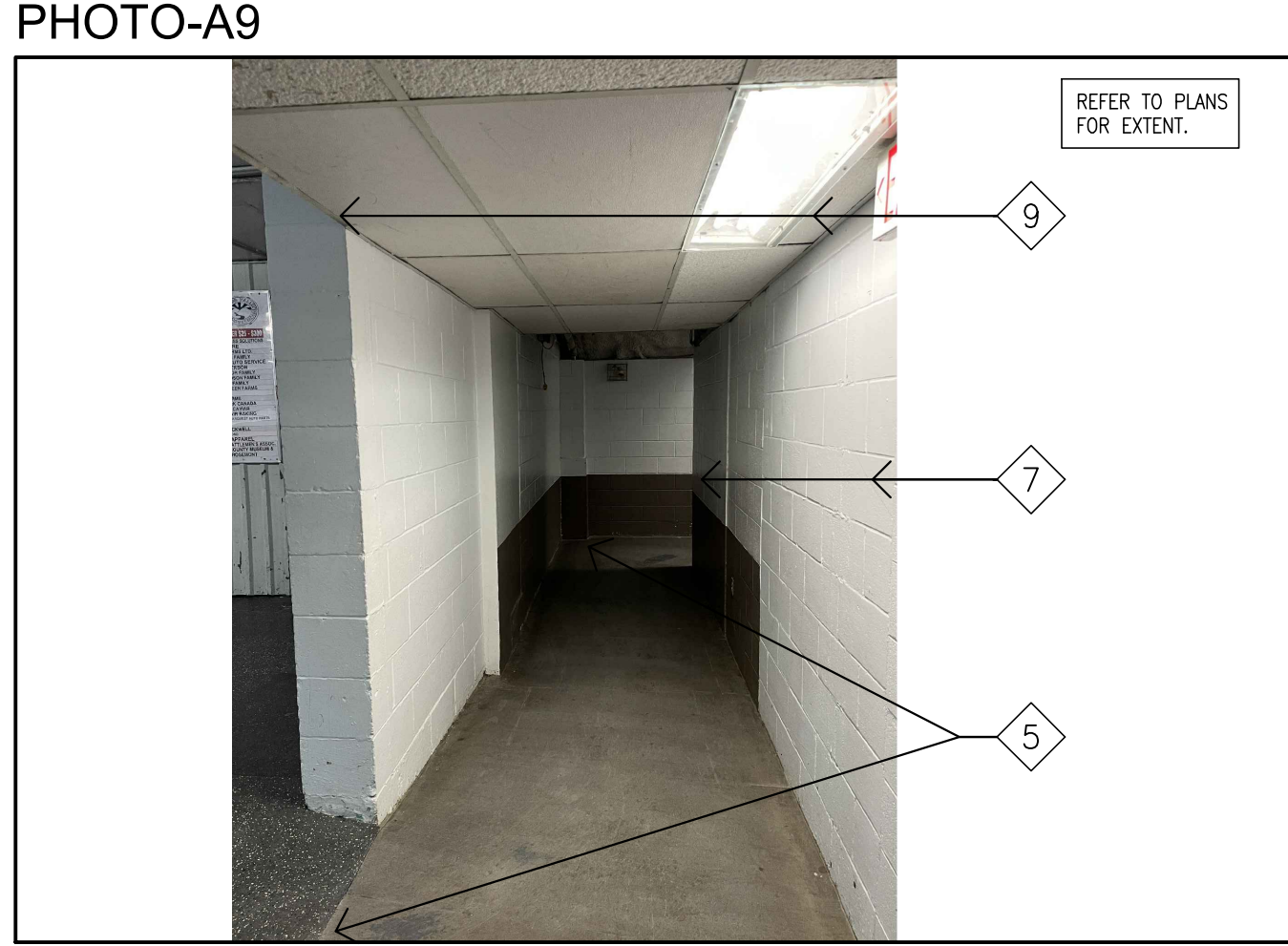
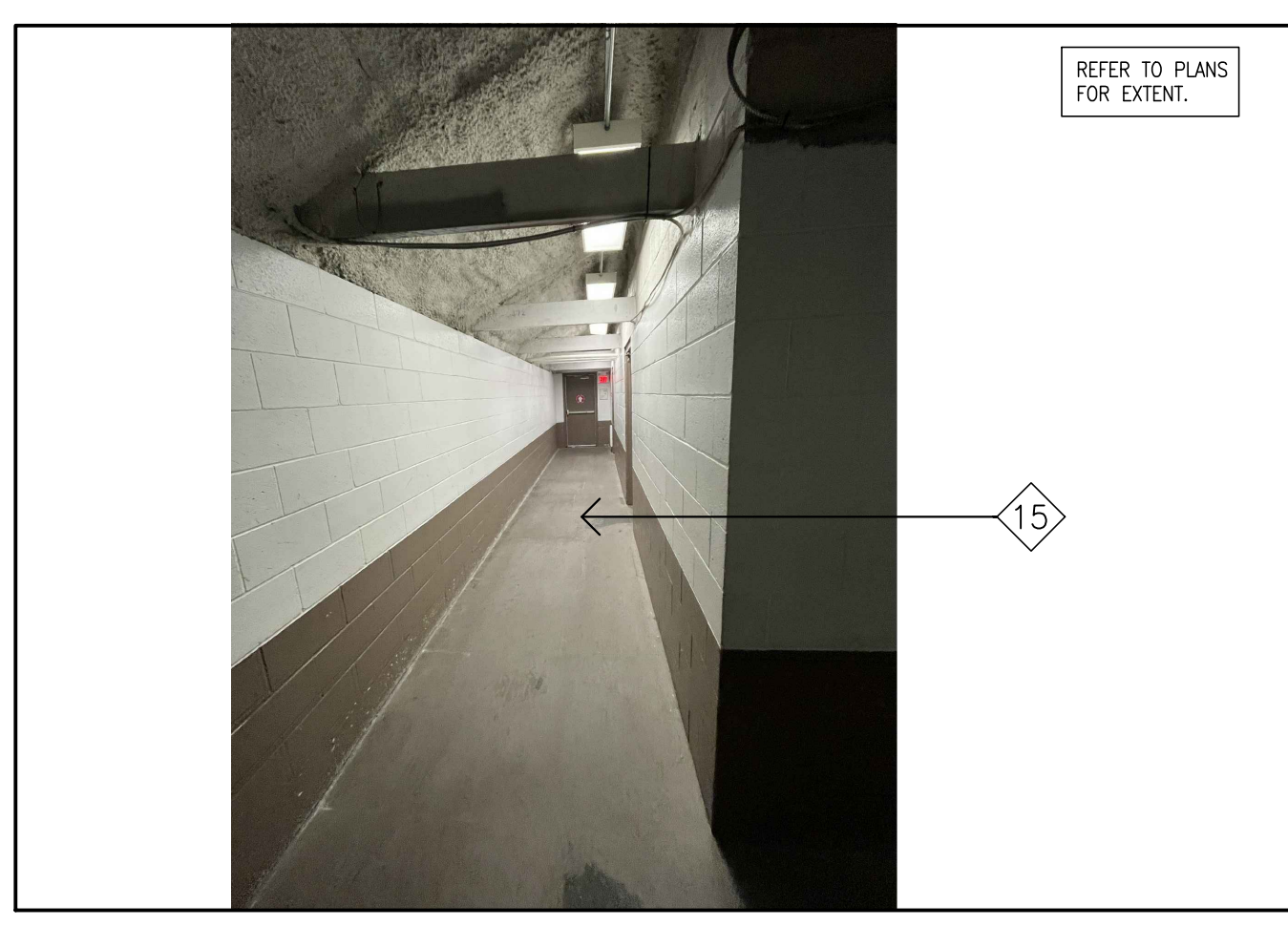
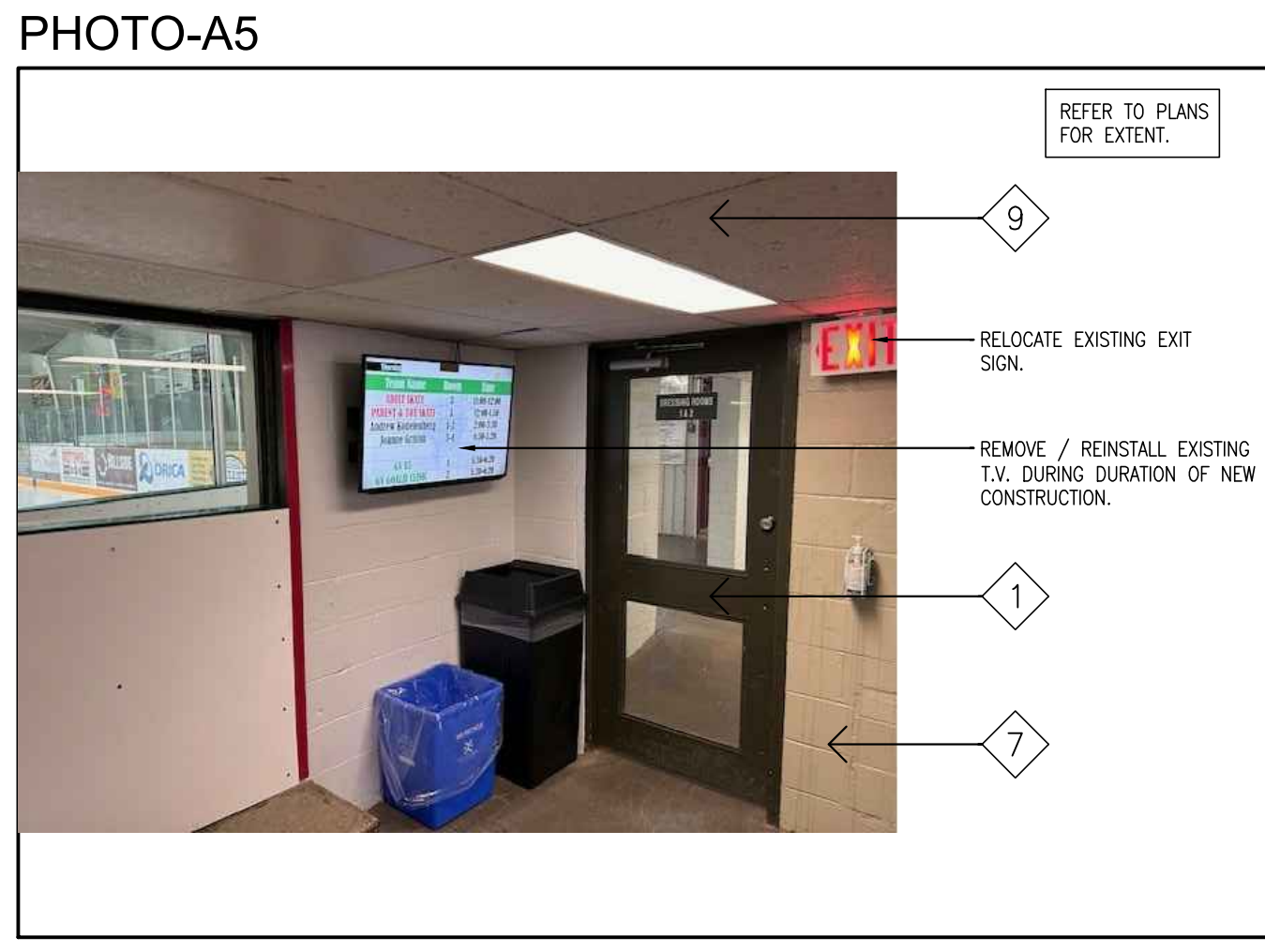
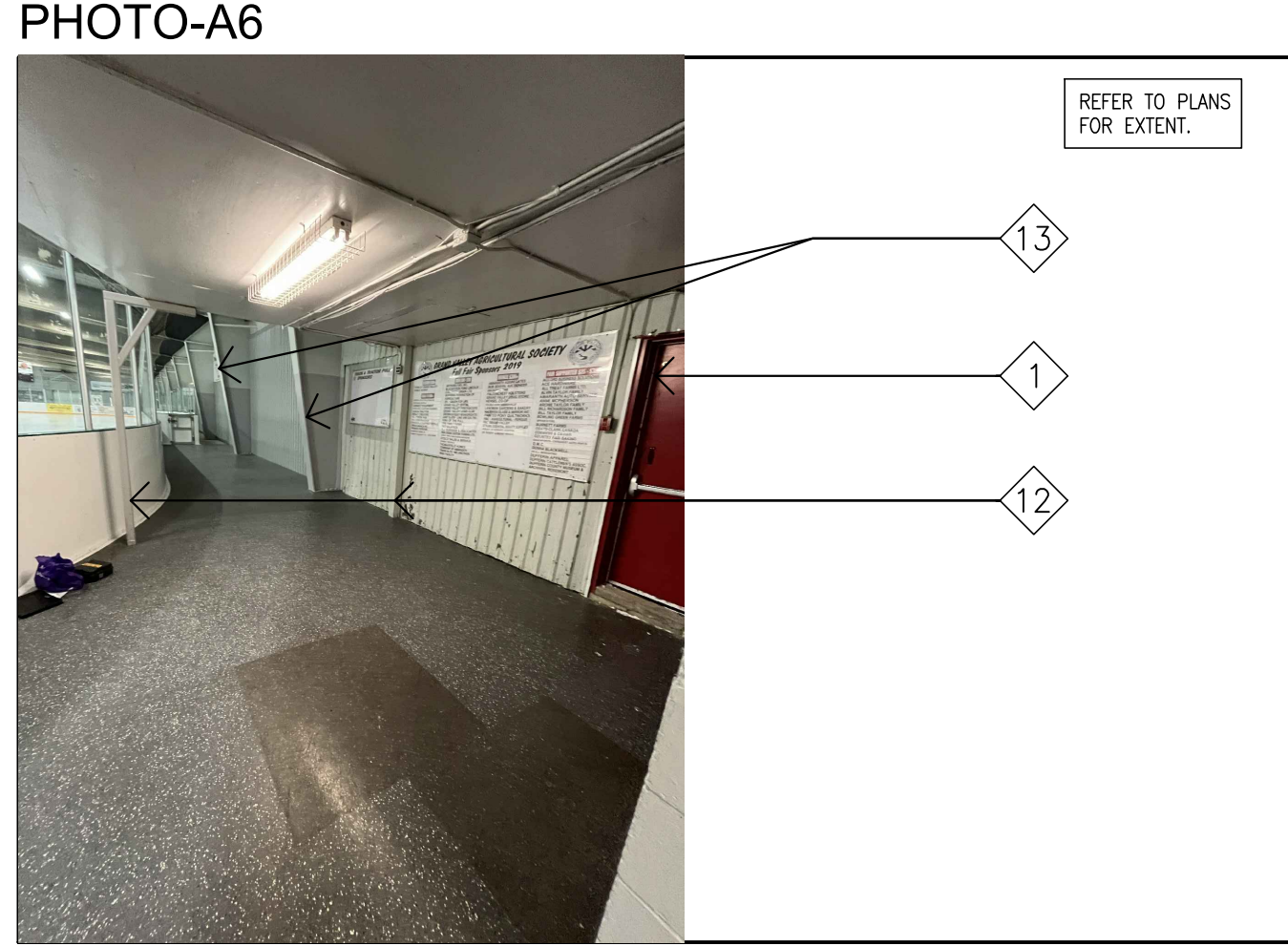
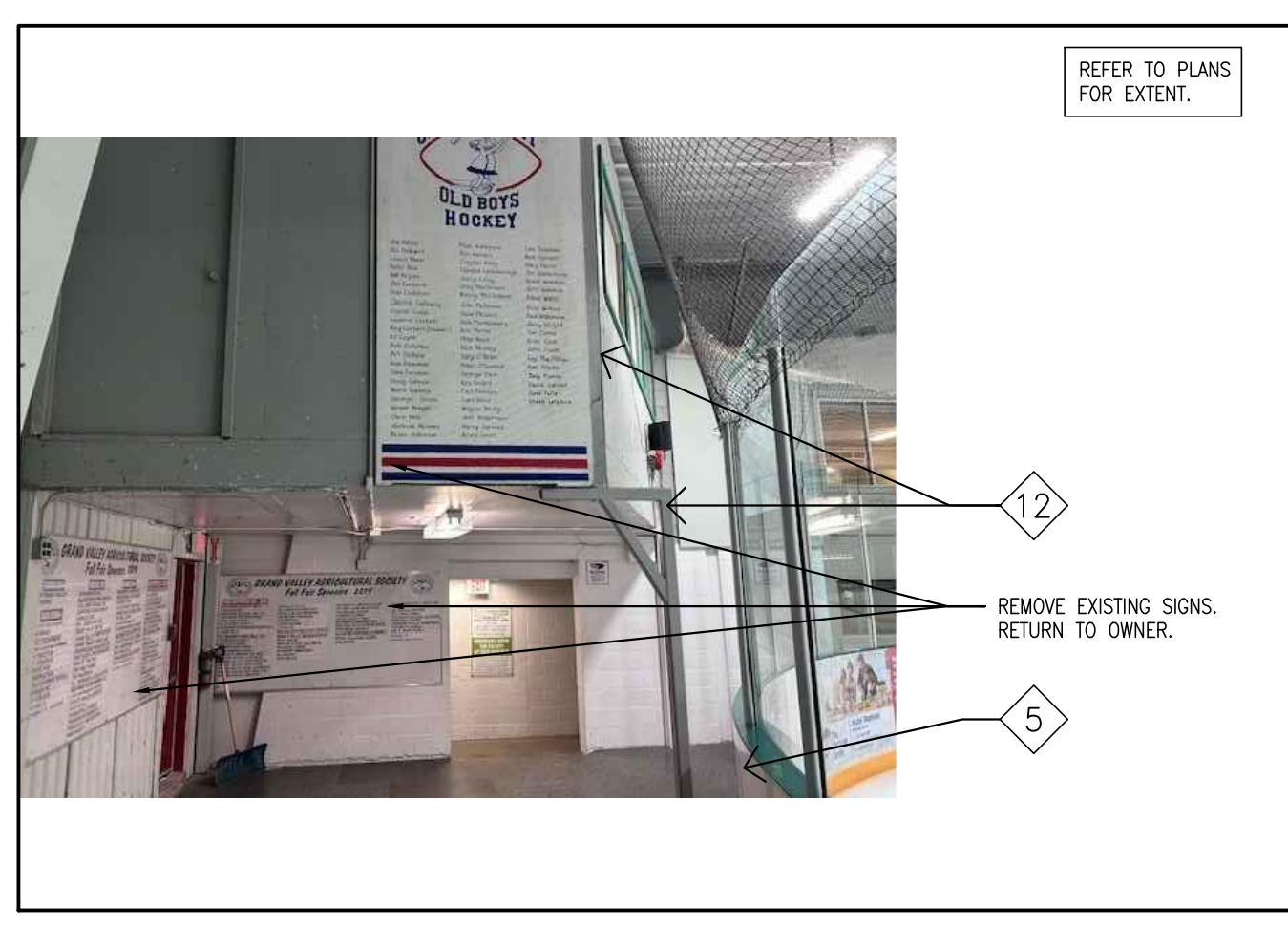
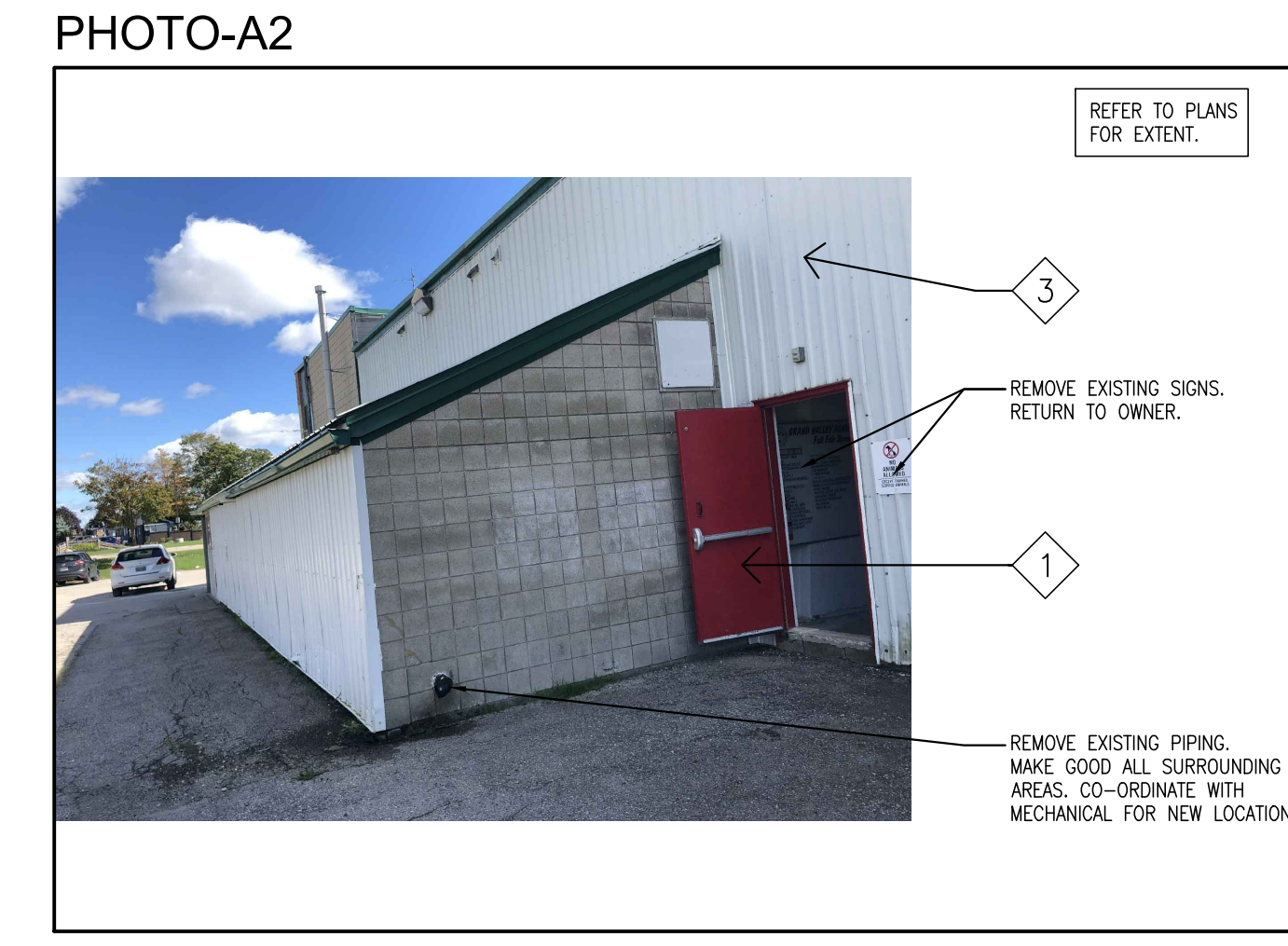
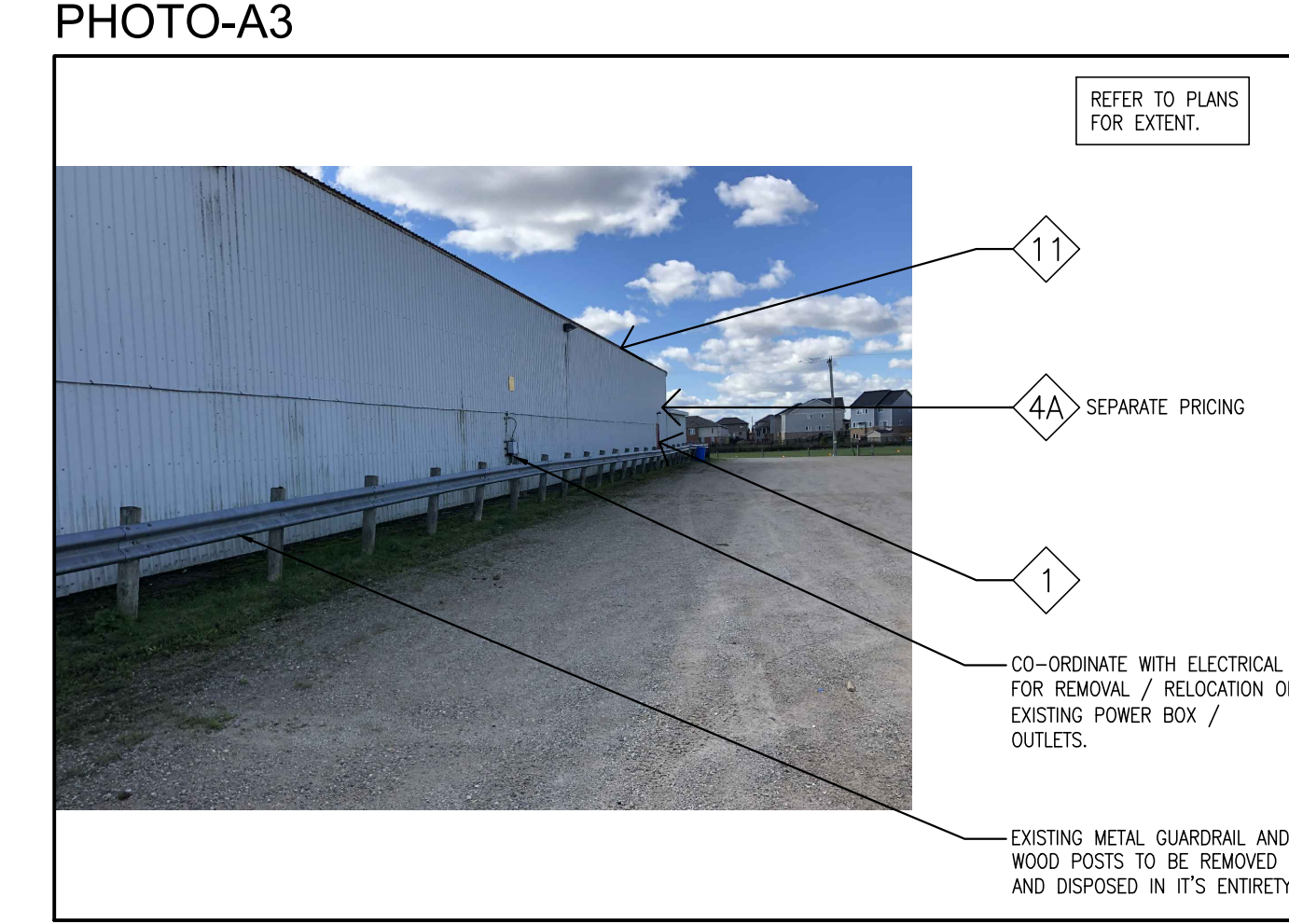
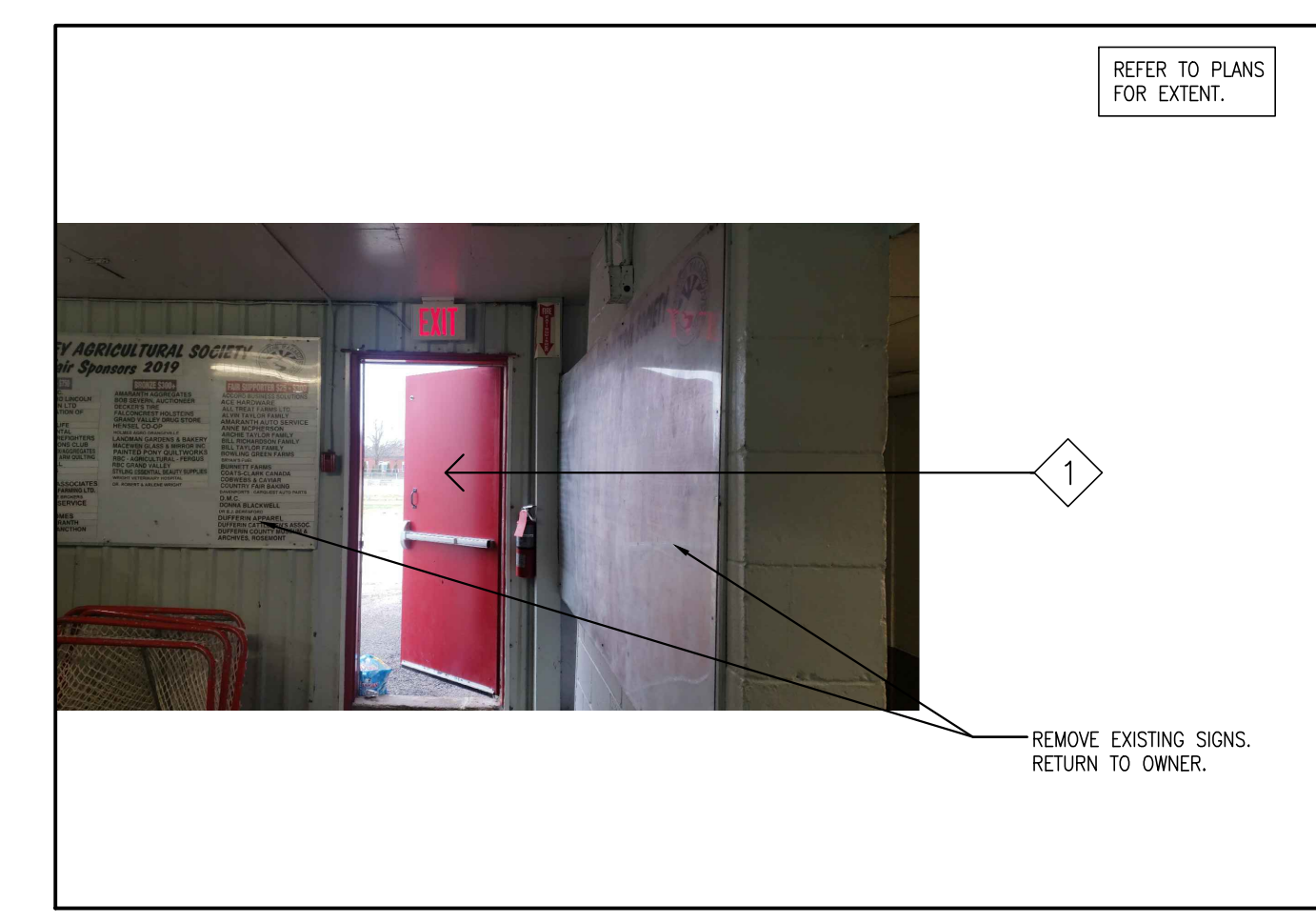


**BARRY BRYAN  
ASSOCIATES**  
Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 6G5  
Tel: (905) 666-5262  
Fax: (905) 666-5256  
e-mail: bba@bba-archeng.com

DESIGN BY: BBA  
DRAWN BY: JJA/KW  
CHECKED BY: NS  
DATE: MAY 31, 2024  
SCALE: AS NOTED  
FILE: 21171 A202-A203

DOC. CONTROL:  
DATE:      % COMPLETE:  
INITIAL:

PROJECT NO:  
**21171**  
DRAWING NO:  
**A203**



1  
A203  
DEMOLITION SECOND FLOOR STORAGE  
1:100

**DEMOLITION LEGEND**

1	REMOVE AND DISPOSE OF EXISTING DOOR AND FRAME IN ITS ENTIRETY. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK.	8	REMOVE AND DISPOSE OF EXISTING FLOORING (CONFIRM ON SITE) AT EXTENT SHOWN. LEVEL EXISTING FLOOR. PATCH, REPAIR AND MAKE GOOD ALL AFFECTED SURFACES FOR NEW WORK.
2	EXISTING DOOR AND FRAME TO BE REPAINTED.	9	REMOVE AND DISPOSE PART OF CEILING TILE, GRID (INCLUDES ALL LIGHTING, DIFFUSERS, GRILLES AND ELECTRICAL DEVICES. ALL WALL ELECTRICAL, CONDUITS TO BE REMOVED AND RELOCATED. PATCH REPAIR AND MAKE GOOD ALL AFFECTED SURFACES). REMOVE / RELOCATE EXISTING LIGHTING FOR NEW CONSTRUCTION. MAKE GOOD ALL AFFECTED AREAS.
3	REMOVE AND DISPOSE OF EXISTING LINER PANEL, INSULATION AND METAL SIDING AT EXTENT SHOWN IN ITS ENTIRETY. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK. CONTRACTOR IS RESPONSIBLE FOR SECURING WORK TO KEEP BUILDING ENVELOPE TEMPORARILY IN PLACE.	10	COMPLETE FULL CLEAR OF EXISTING RINK AREA AFFECTED BY CONSTRUCTION INCLUDING ROOF FURLINS AND RIGID FRAME BEAMS.
4	SEPARATE PRICING : EXISTING HOCKEY ARENA ONLY : EXTERIOR WALL (NORTH, SOUTH AND WEST - GRIDLINE A (13'-3"), F (1011") & 13 (A-F) REMOVE AND DISPOSE EXISTING METAL SIDING, INSULATION AT EXTENT SHOWN IN ITS ENTIRETY. (EXISTING LINER PANEL TO REMAIN) PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK.	11	PREPARE FOR ROOF REPLACEMENT PROGRAM. MAKE GOOD ALL AFFECTED SURFACES.
4A	SEPARATE PRICING : (AT NOTE #4A) EXISTING DOOR AND FRAME TO REMAIN BUT REMOVE AND REPLACE TRIM. REPAINT DOOR AND FRAME TO MATCH EXISTING.	12	EXISTING UPPER DRESSING ROOM & STRUCTURAL SUPPORT TO BE REMOVED IN ITS ENTIRETY. (CAREFULLY REMOVE STORAGE EQUIPMENT, TURN OVER TO OWNER) PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS TO CUT AND CAP SERVICES.
4B	SEPARATE PRICING : (AT NOTE #4A) EXISTING DOOR AND FRAME TO REMAIN BUT REMOVE AND REPLACE TRIM. REPAINT DOOR AND FRAME TO MATCH EXISTING.	13	CLEAN EXISTING PRE-ENGINEERED RIGID FRAME COLUMNS TO BASE STEEL AND PREPARE FOR NEW COATING.
5	EXISTING RINK DASHER BOARDS/DOORS TO BE PROTECTED DURING CONSTRUCTION. CLEAN AFTER CONSTRUCTION.	14	REMOVE METAL CEILING IN ITS ENTIRETY. INCLUDES LIGHTING AND DIFFUSERS. REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK.
5A	REMOVE EXISTING DASHER BOARDS. PREPARE FOR NEW RINK DOORS. PROTECT DURING CONSTRUCTION.	15	EXISTING CORRIDOR #130 EXISTING FLOOR, WALL, DOORS, EXPOSED CEILING BEAMS, ETC. MAKE GOOD ALL AFFECTED AREAS FOR NEW PAINT FINISH. REFER TO FINISH SCHEDULE.
6	REMOVE AND DISPOSE OF EXISTING BENCHES, CUBBIES AND HOOKS IN ITS ENTIRETY. PATCH, REPAIR AND MAKE GOOD ALL AFFECTED SURFACES FOR NEW WORK.	16	REMOVE EXISTING BENCH / HOOKS IN ITS ENTIRETY. RETURN TO OWNER. PATCH, REPAIR AND MAKE GOOD ALL AFFECTED SURFACES FOR NEW WORK.
7	REMOVE EXISTING MASONRY WALL (SACRIFICED TO EXTENT SHOWN) IN ITS ENTIRETY. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK (SHORE STRUCTURE AS REQUIRED)	17	REMOVE / REINSTALL EXISTING WALL LIGHT FIXTURES. NEW LOCATION TBD. PATCH, REPAIR AND MAKE GOOD ALL AFFECTED SURFACES FOR NEW WORK.



DO NOT SCALE THE DRAWINGS.  
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.  
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

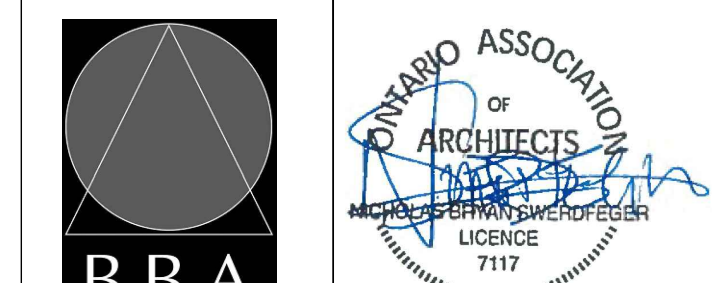


NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	NOV. 28, 2023	BBA
2	ISSUED FOR CLIENT REVIEW	JAN. 10, 2024	BBA
3	ISSUED FOR CLIENT REVIEW	FEB. 06, 2024	BBA
4	ISSUED FOR CLIENT REVIEW	MAY 15, 2024	BBA
5	ISSUED FOR CLIENT REVIEW	MAY 24, 2024	BBA
6	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
7	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA

NO.	REVISIONS	DATE	BY

PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 5N6  
TOWN OF GRAND VALLEY

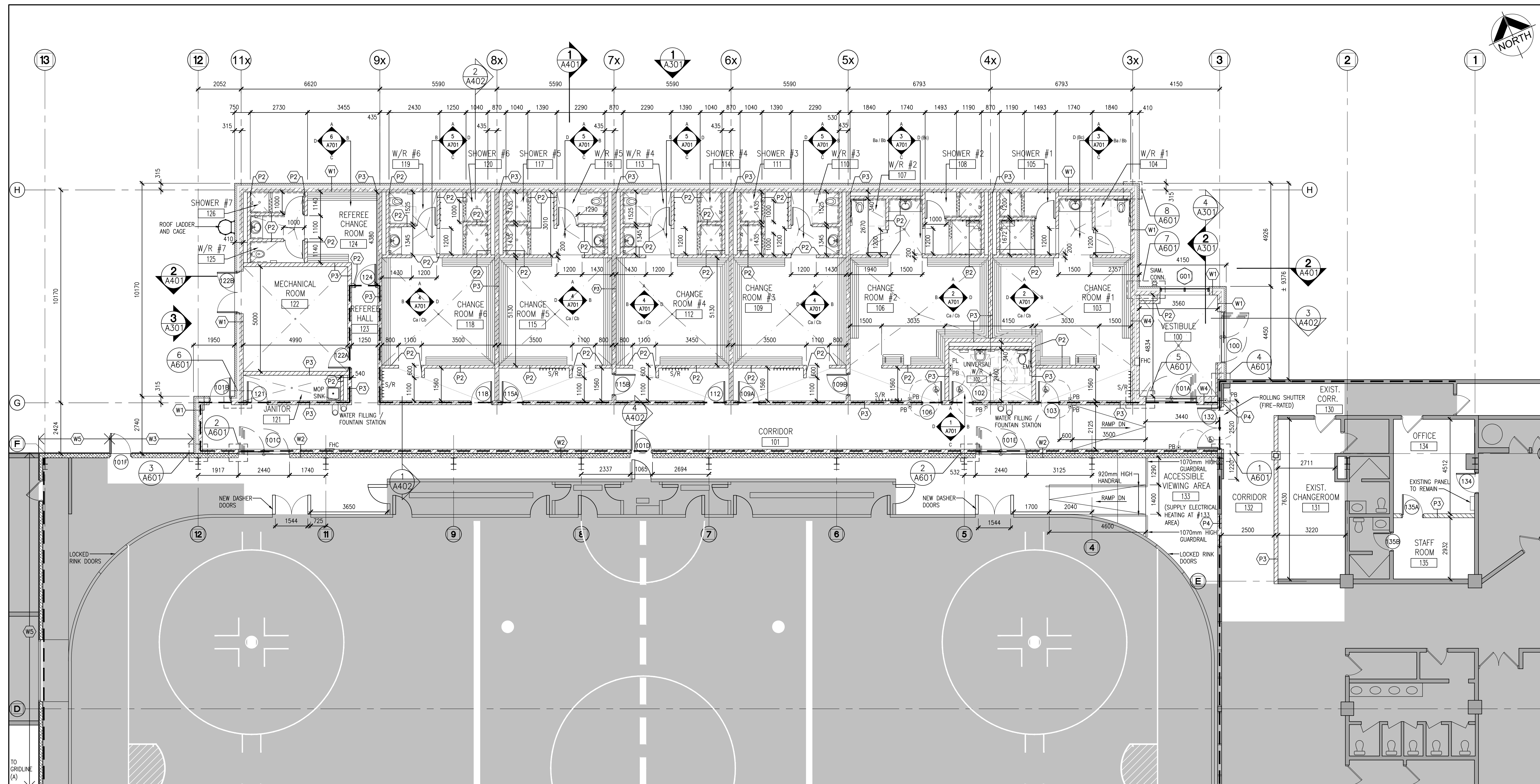
DRAWING:  
**ENLARGED FLOOR PLAN**



**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5  
Tel: (905) 666-6252  
Fax: (905) 666-6256  
e-mail: bba@bba-archeng.com

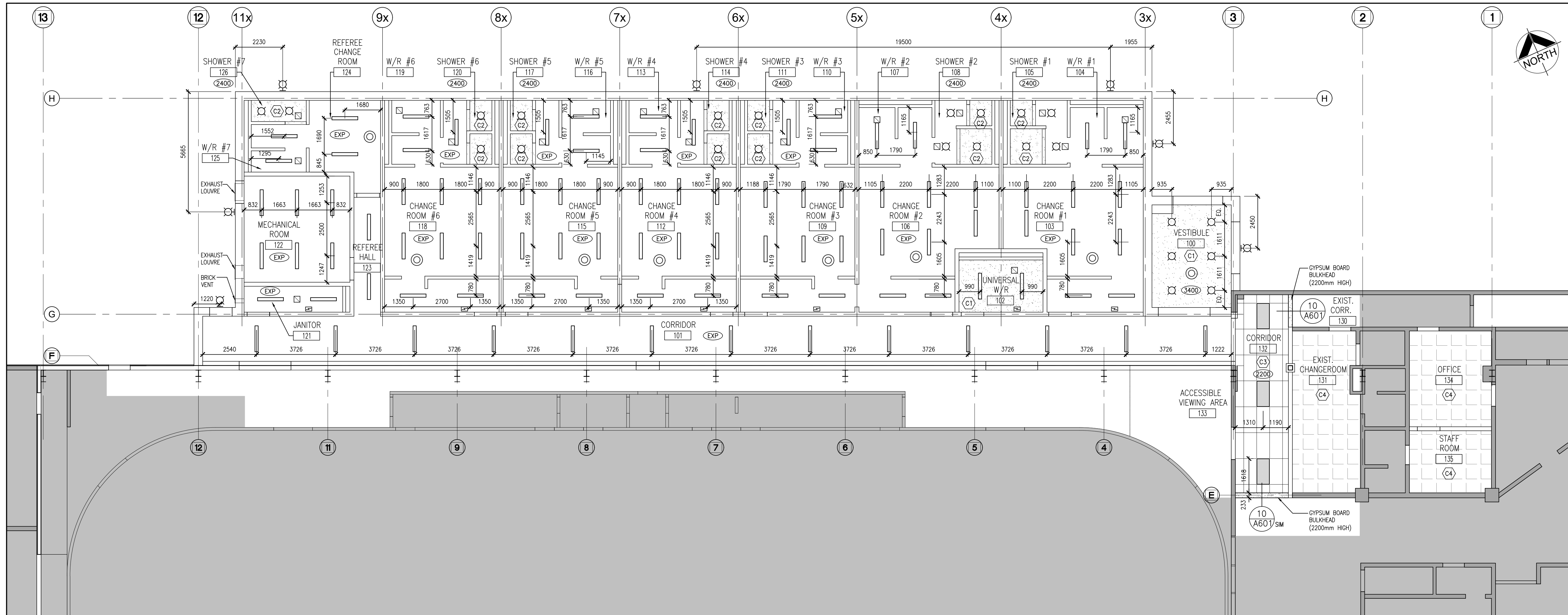
DESIGN BY:  
BBA  
DRAWN BY:  
JJA/KW  
CHECKED BY:  
NS  
DATE:  
NOV. 29, 2023  
SCALE:  
AS NOTED  
FILE:  
21171.A204

PROJECT NO.: **21171**  
DRAWING NO.: **A204**



**1** ENLARGED FLOOR PLAN  
A204 1:100

PARTITION & FURRING NOTES	PARTITION / WALL TYPES SCHEDULE	PARTITION / WALL TYPES SCHEDULE	FLOOR PLAN NOTATION LEGEND	LEGEND
<ol style="list-style-type: none"> <li>ALL RAIN WATER LEADERS (RW) AND PLUMBING RISERS SHALL BE FURRED IN WITH 'F1' FURRING TYPE TO 200mm ABOVE THE FINISHED CEILING UNLESS OTHERWISE INDICATED.</li> <li>UNLESS OTHERWISE NOTED, ALL PARTITIONS TERMINATE AT UNDERSIDE OF PRECAST ABOVE.</li> <li>PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS.</li> <li>ALL GYPSUM BOARD BULKHEADS / PARTITIONS ABOVE WALL OPENINGS OR SCREENS TO BE BRACED AS REQUIRED.</li> <li>ALL OUTSIDE AND EXPOSED CORNER BLOCK WALLS TO BE BULLNOSED.</li> <li>PROVIDE FIRE STOPPING / SMOKE SEAL AT TOPS OF ALL RATED PARTITIONS/ FURRING</li> </ol>	<p><b>W1</b> MASONRY CAVITY WALL 90mm MASONRY VENEER 30mm AIR SPACE 100mm RIGID INSULATION (R20) CONTINUOUS SELF ADHERED AIR/ VAPOUR BARRIER 180mm CONCRETE BLOCK (REFER TO EXTERIOR ELEVATIONS FOR FINISH)</p> <p><b>W2</b> 190mm CONCRETE BLOCK 15mm AIR SPACE GALVANIZED STEEL SHEET LINER PANEL AS CONTINUOUS A/V BARRIER 203mm HORIZONTAL Z-GIRTS C/W SPRAYED INSULATION. PROVIDE SELF ADHERED A/V BARRIER AT ALL TRANSITIONS AND OPENING PENETRATIONS. GALVANIZED STEEL SHEET LINER PANEL AS CONTINUOUS A/V BARRIER</p> <p><b>W3</b> VERTICAL V-GROOVE SIDING (TO MATCH EXISTING) ON 203mm HORIZONTAL Z-GIRTS C/W SPRAYED INSULATION. PROVIDE SELF ADHERED A/V BARRIER AT ALL TRANSITIONS AND OPENING PENETRATIONS. GALVANIZED STEEL SHEET LINER PANEL AS CONTINUOUS A/V BARRIER</p> <p><b>W4</b> 190mm CONCRETE BLOCK 50mm INSULATION AIR SPACE 140mm CONCRETE BLOCK</p>	<p><b>W5</b> SEPARATE FRICING : ARENA EXTERIOR WALL (NORTH, SOUTH WEST - GRIDLINE A (13-3), F (101F) &amp; 13 (A-F)) VERTICAL V-GROOVE SIDING (TO MATCH EXISTING) AIR SPACE, SELF ADHERED A/V BARRIER AT ALL TRANSITIONS AND OPENING PENETRATIONS. 76mm SPRAYED FOAM INSULATION 25mm RIGID POLYISO EXISTING GALVANIZED STEEL SHEET LINER PANEL AS CONTINUOUS A/V BARRIER</p> <p><b>P1</b> 90mm CONCRETE BLOCK (NOT USED)</p> <p><b>P2</b> 140mm CONCRETE BLOCK</p> <p><b>P3</b> 190mm CONCRETE BLOCK</p> <p><b>P4</b> CONCRETE BLOCK TO MATCH EXISTING (1 HR. F.R.R.)</p> <p><b>P5</b> 13mm GYPSUM BOARD ON 92mm METAL STUD FURRING</p>	<p><b>CORRIDOR</b> CA ROOM NAME &amp; NUMBER WX EXTERIOR WALL TYPE FX INTERIOR PARTITION OR FURRING TYPE G01 EXTERIOR GLAZING NUMBER SC01 INTERIOR GLAZED SCREEN NUMBER 101 DOOR NUMBER MW-1 MILLWORK NUMBER</p> <p><b>1 A200</b> WALL SECTION REFERENCE <b>1 A200</b> BUILDING SECTION/ EXTERIOR ELEVATION REFERENCE <b>1 A701</b> INTERIOR ELEVATION REFERENCE NUMBER <b>FIN 2 FIN 1</b> FLOOR FINISH TYPE (SEE ALSO ROOM FINISH SCHEDULE)</p> <p><b>1 A200</b> CERAMIC WALL TILE (REFER TO INTERIOR ELEVATIONS FOR LOCATION HEIGHT / LENGTH) <b>1 A200</b> 1 HOUR FIRE SEPARATION OR FIRE PROTECTION <b>1 A701</b> BARRIER FREE DOOR OPERATOR PUSH BUTTON <b>1 A701</b> PUSH TO LOCK PUSH BUTTON <b>1 A701</b> EMERGENCY ASSISTANCE CALL BUTTON <b>1 A701</b> DOOR WITH DOOR OPERATOR <b>1 A701</b> WATER FILLING / FOUNTAIN STATION</p>	<p><b>LEGEND</b> EXISTING N.I.C. (UNLESS OTHERWISE NOTED) EXISTING WALL, PARTITION OR COLUMN EXISTING DOOR, FRAME AND TRIM TO REMAIN STICK RACK (REFER TO A700 SERIES)</p>



**1**  
A205  
ENLARGED REFLECTED CEILING PLAN  
1:100

CEILING NOTATION LEGEND	
(C1)	CEILING TYPE (REFER TO CEILING TYPE SCHEDULE AND ROOM FINISH SCHEDULE)
(2400)	CEILING LEVEL ABOVE FINISHED FLOOR (SEE ALSO ROOM FINISH SCHEDULE)
(EXP)	EXPOSED STRUCTURE
(XC)	EXISTING GYPSUM BOARD CEILING
(C)	EXPOSED ROUND DIFFUSER (REFER TO MECHANICAL DRAWINGS)
(F)	EXHAUST FAN (REFER TO MECHANICAL DRAWINGS)
(S)	SIDEWALL SUPPLY GRILLE C/W DAMPER (REFER TO MECHANICAL DRAWINGS)
(S)	SPRINKLER (REFER TO MECHANICAL DRAWINGS)

CEILING LIGHTS LEGEND	
[Symbol]	610mmx1220mm RECESSED LIGHT FIXTURE
[Symbol]	152mmx1220mm SURFACE LIGHT FIXTURE
[Symbol]	100mm ø RECESSED LIGHT FIXTURE
[Symbol]	WALL MOUNTED / WALL PACK LIGHT FIXTURE

CEILING TYPE SCHEDULE		
(C1)	GYPSUM BOARD CEILING	[Symbol]
(C2)	GYPSUM BOARD PLUS 12mm MOLD RESISTANT GYPSUM BOARD ON METAL STUD FRAMING (INCLUDES BULKHEAD)	[Symbol]
(C3)	NEW T-BAR GRID & ACOUSTIC CEILING TILE (610x1220)	[Symbol]
(C4)	FRP PANEL ON GYPSUM BOARD (PAINTED) ON METAL STUD FRAMING (HEIGHT TO MATCH EXISTING)	[Symbol]

DO NOT SCALE THE DRAWINGS.  
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.  
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.



NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	NOV. 28, 2023	BBA
2	ISSUED FOR CLIENT REVIEW	JAN. 10, 2024	BBA
3	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
4	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA

NO.	REVISIONS	DATE	BY
-----	-----------	------	----

**PROJECT:**  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 5N6  
TOWN OF GRAND VALLEY

**DRAWING:**  
**ENLARGED REFLECTED CEILING PLAN**

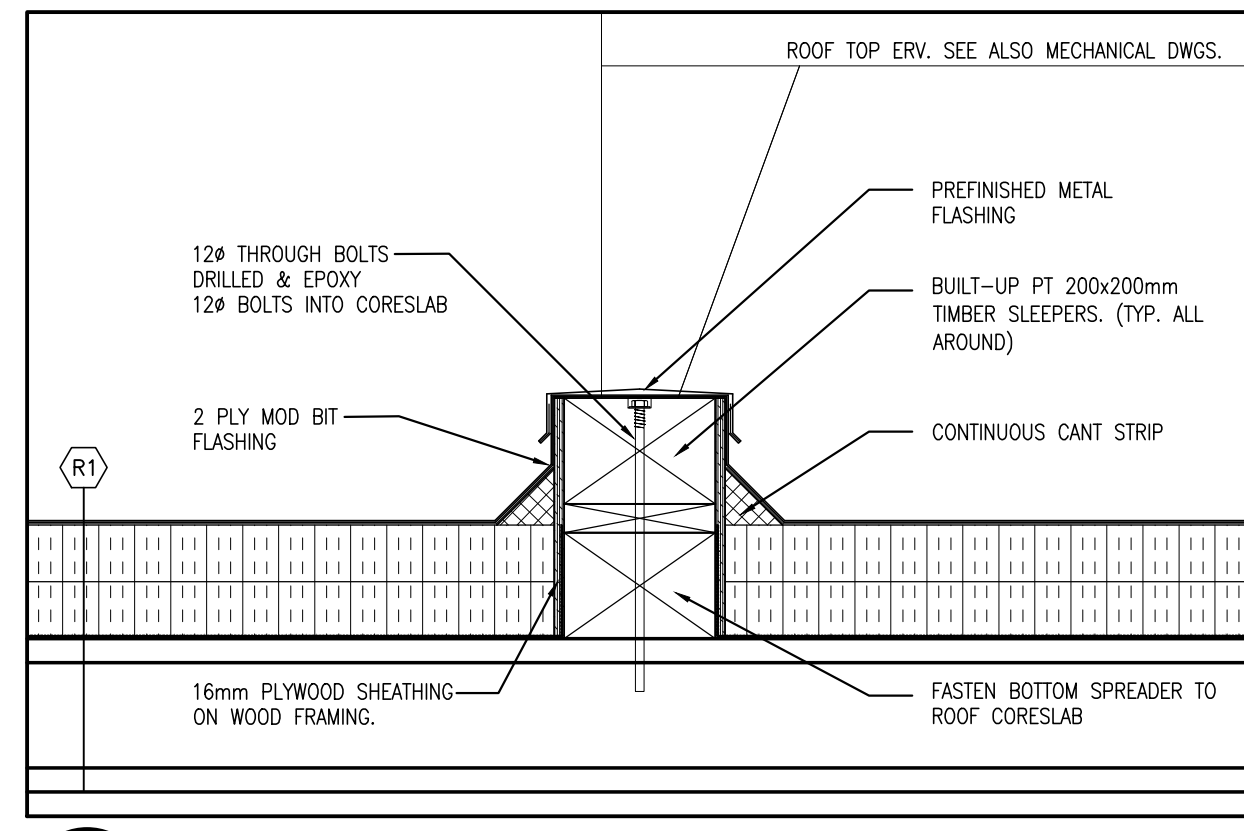
 <b>BARRY BRYAN ASSOCIATES</b> Architects Engineers Project Managers 250 Water Street Suite 201 Whitby, Ontario L1N 1G5 Tel: (905) 666-5252 Fax: (905) 666-5256 e-mail: bba@bba-archeng.com	DESIGN BY: <b>BBA</b>	DOC. CONTROL: DATE:
	DRAWN BY: JJA/KW	% COMPLETE:
	CHECKED BY: NS	INITIAL:
	DATE: NOV. 28, 2023	
	SCALE: <b>AS NOTED</b>	
	FILE: 21171 A204	

PROJECT NO: **21171**  
DRAWING NO: **A205**

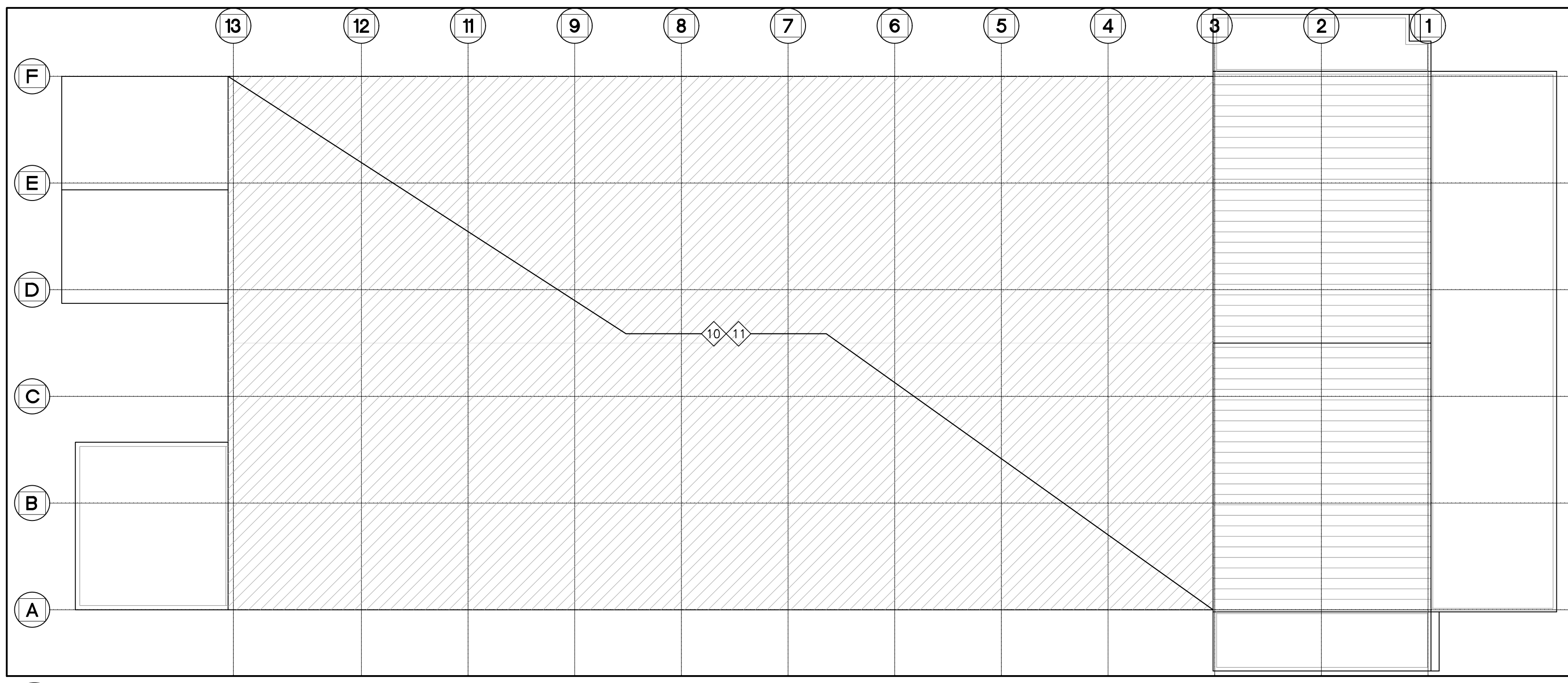
DO NOT SCALE THE DRAWINGS.  
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.  
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.



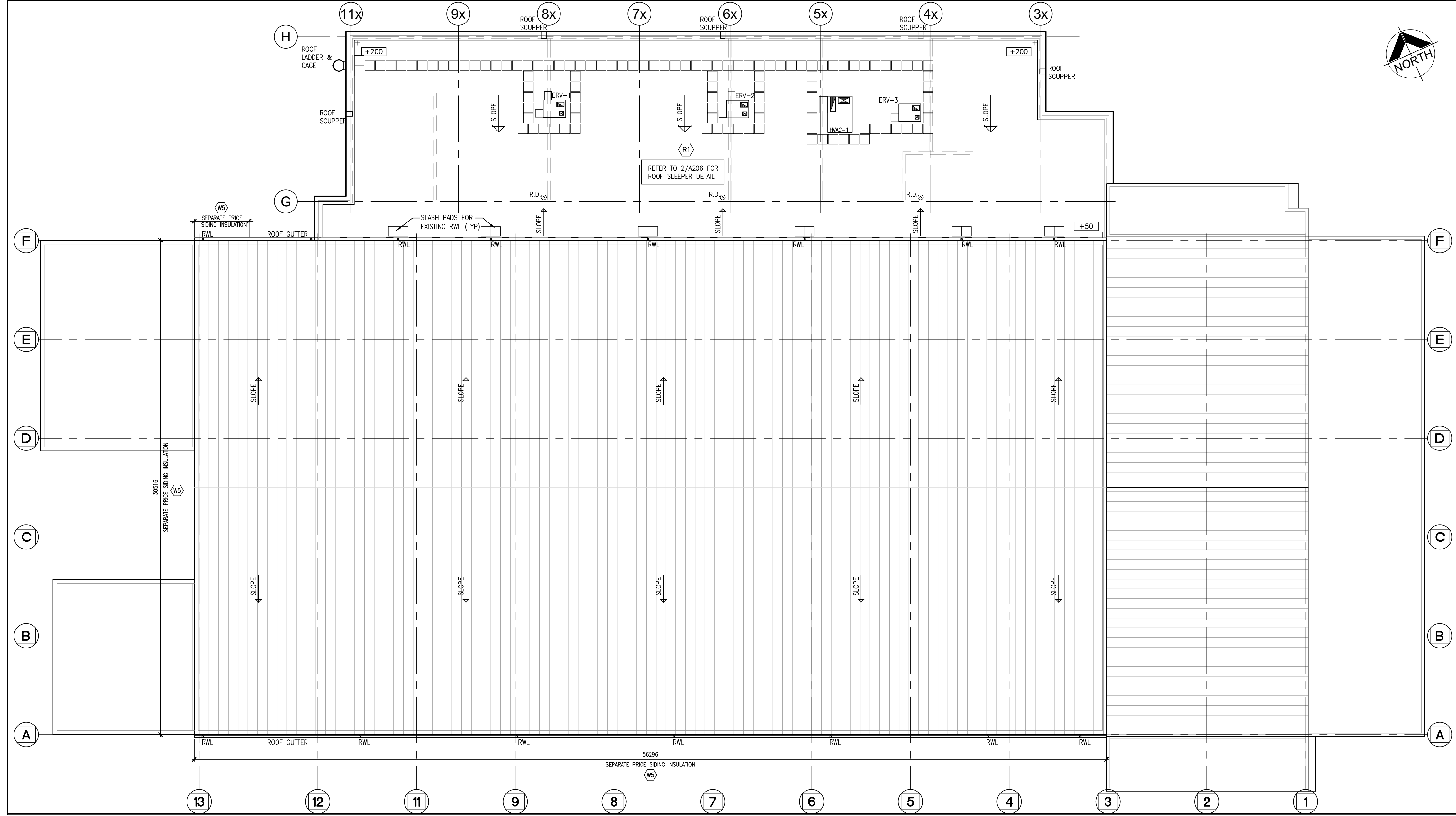
NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	NOV. 28, 2023	BBA
2	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
3	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA



**3**  
**A206** EVR SLEEPER SECTION  
1:10



**2**  
**A206** OVERALL ROOF PLAN (DEMOLITION)  
1:200



**1**  
**A206** OVERALL ROOF PLAN (RENO)  
1:150

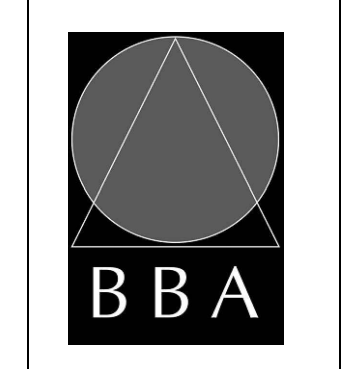
ROOF SCHEDULE	
(10)	COMPLETE FULL CLEAR OF EXISTING RINK AREA AFFECTED BY CONSTRUCTION INCLUDING ROOF PURLINS AND RIGID FRAME BEAMS.
(11)	PREPARE FOR ROOF REPLACEMENT PROGRAM. MAKE GOOD ALL AFFECTED SURFACES.
(R1)	EPDM ROOF MEMBRANE MECHANICALLY FASTENED ON SLOPING TAPERED INSULATION TO ACHIEVE (2% MIN.) ON 2 LAYERS 76mm RIGID INSULATION VAPOUR RETARDER ON PRECAST CONCRETE CORESLAB

ROOF NOTATION LEGEND	
(R1)	ROOF TYPE (REFER TO ROOF TYPE LEGEND & SPECIFICATION)
+200	SPOT ELEVATION TOP OF ROOF CORESLAB RELATIVE TO ROOF DATUM
R.D.	ROOF DRAIN
RWL	RAIN WATER LEADER (CUT AND RE-ROUTE FOR POSITIVE DRAINAGE ON ROOF)
[ ]	600x600x64 THICK PRECAST CONCRETE ROOF PAVERS C/W LEVELING/SETTING PADS
→	INDICATE DIRECTION OF ROOF DRAINAGE (MIN. 2% SLOPE)

PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 5N6  
TOWN OF GRAND VALLEY

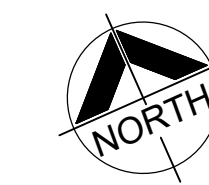
DRAWING:  
**OVERALL ROOF PLAN : DEMO. / RENO.**



**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 1G5  
Tel: (905) 666-5252  
Fax: (905) 666-5256  
e-mail: bba@bba-archeng.com

DESIGN BY: <b>BBA</b>	DOC. CONTROL DATE:
DRAWN BY: <b>JJA</b>	% COMPLETE:
CHECKED BY: <b>NS</b>	INITIAL:
DATE: <b>NOV. 28, 2023</b>	
SCALE: <b>AS NOTED</b>	
FILE: <b>21171 A206</b>	

PROJECT NO:  
**21171**  
DRAWING NO:  
**A206**

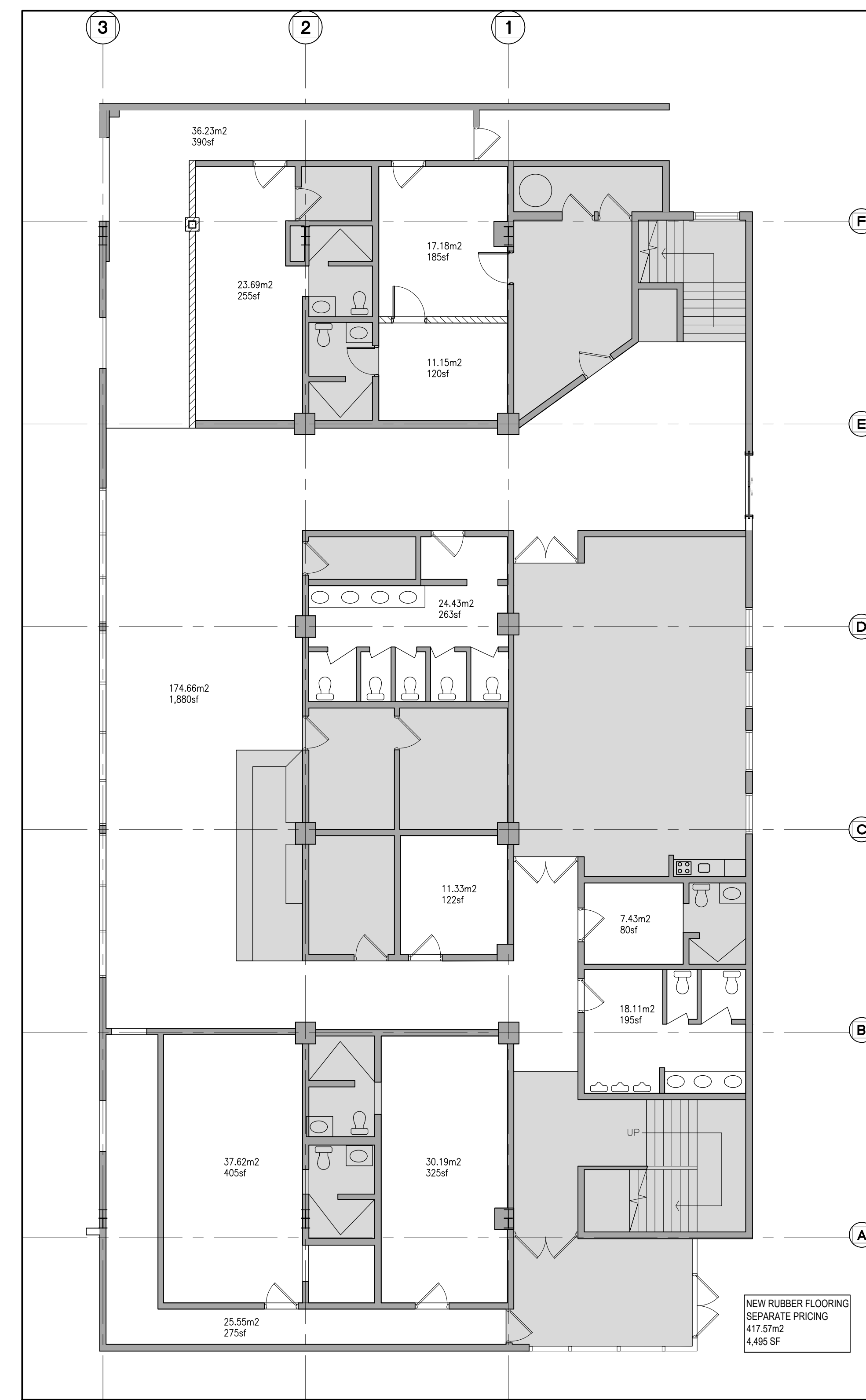


DO NOT SCALE THE DRAWINGS.  
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.  
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

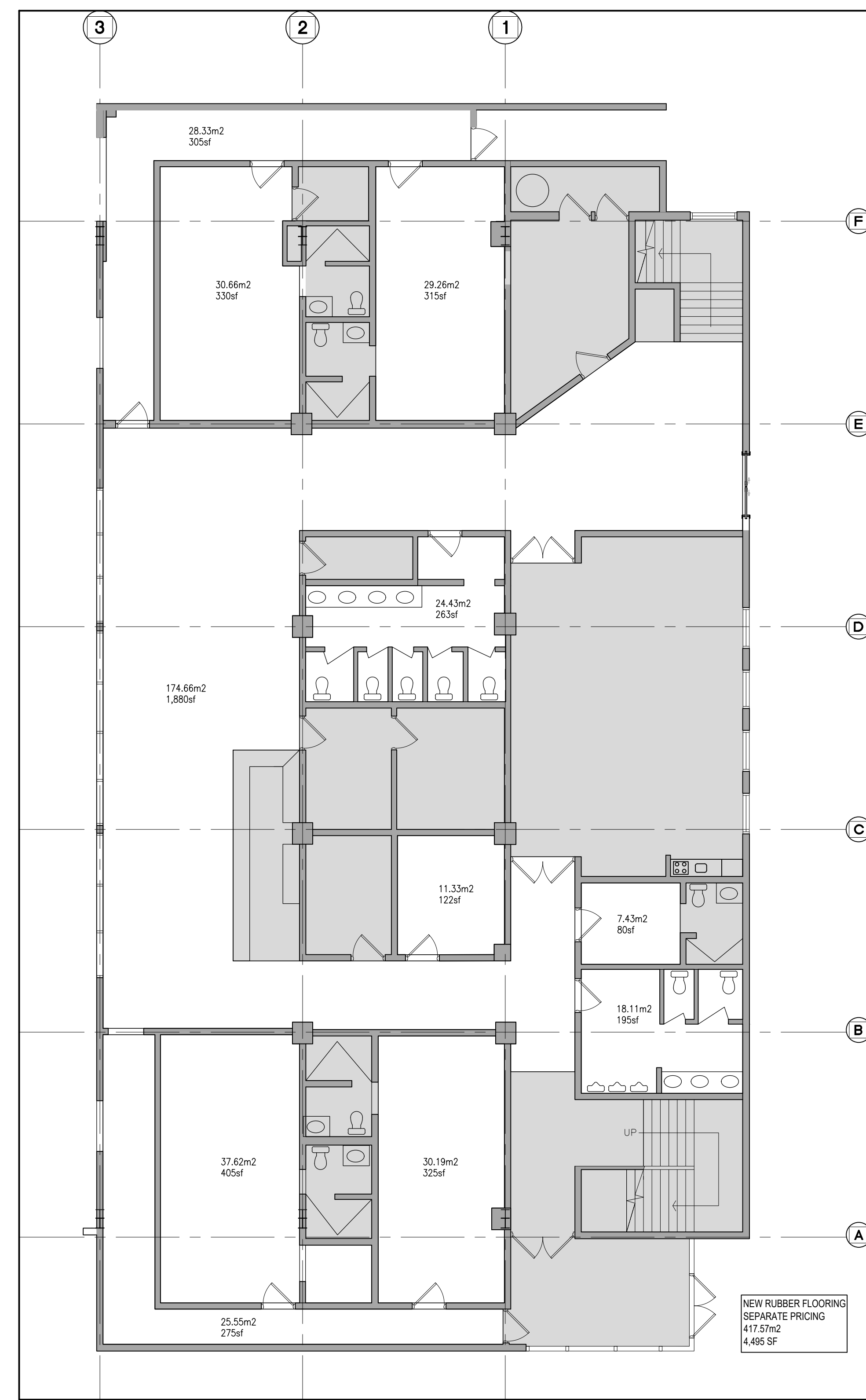


**LEGEND**

	EXISTING N.I.C. (UNLESS OTHERWISE NOTED)
	EXISTING WALL, PARTITION OR COLUMN
	EXISTING DOOR, FRAME AND TRIM TO REMAIN



**2** RENOVED OFFICE FLOOR AREAS (SEPARATE PRICING)  
1:100



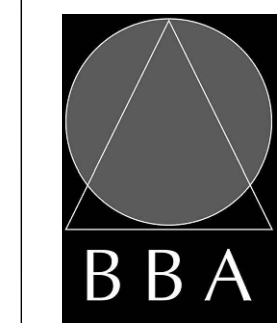
**1** EXISTING OFFICE FLOOR AREAS (SEPARATE PRICING)  
1:100

NO.	ISSUES	DATE	BY
1	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA

NO.	REVISIONS	DATE	BY

PROJECT:  
**GRAND VALLEY ARENA  
RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 5N6  
TOWN OF GRAND VALLEY

DRAWING:  
**EXISTING OFFICE  
FLOOR AREAS  
NEW RUBBER FLOORING**



**BARRY BRYAN  
ASSOCIATES**  
Architects  
Engineers  
Project Managers  
  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5  
Tel: (905) 866-6252  
Fax: (905) 866-6256  
e-mail: bba@bba-archeng.com



DESIGN BY:  
BBA  
  
DRAWN BY:  
JJA/KW  
  
CHECKED BY:  
NS  
  
DATE:  
NOV. 29, 2023  
  
SCALE:  
AS NOTED  
  
FILE:  
21171\_A207

PROJECT NO:  
**21171**  
  
DRAWING NO:  
**A207**

DO NOT SCALE THE DRAWINGS.  
 CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.  
 ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE  
 COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED  
 UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE  
 WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.  
 DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED  
 AND SEALED BY THE CONSULTANT.



NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	NOV. 28, 2023	BBA
2	ISSUED FOR CLIENT REVIEW	MAY 24, 2024	BBA
3	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
4	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA

NO.	REVISIONS	DATE	BY
-----	-----------	------	----

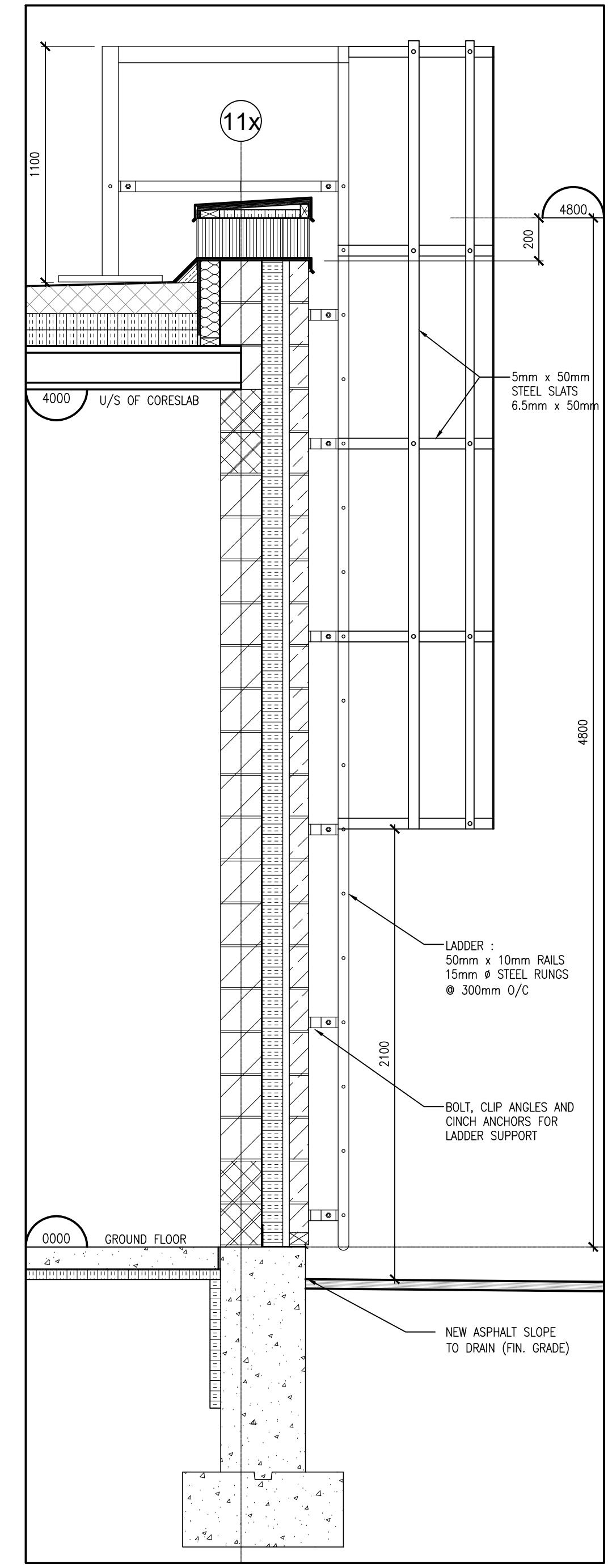
PROJECT:  
**GRAND VALLEY ARENA  
 RENOVATION & ADDITION**  
 DISTRICT COMMUNITY CENTRE  
 90 MAIN ST. N  
 GRAND VALLEY, ONTARIO, L0N 5N6  
 TOWN OF GRAND VALLEY

DRAWING:  
**ENLARGED PART  
 ELEVATIONS  
 WALL SECTIONS**

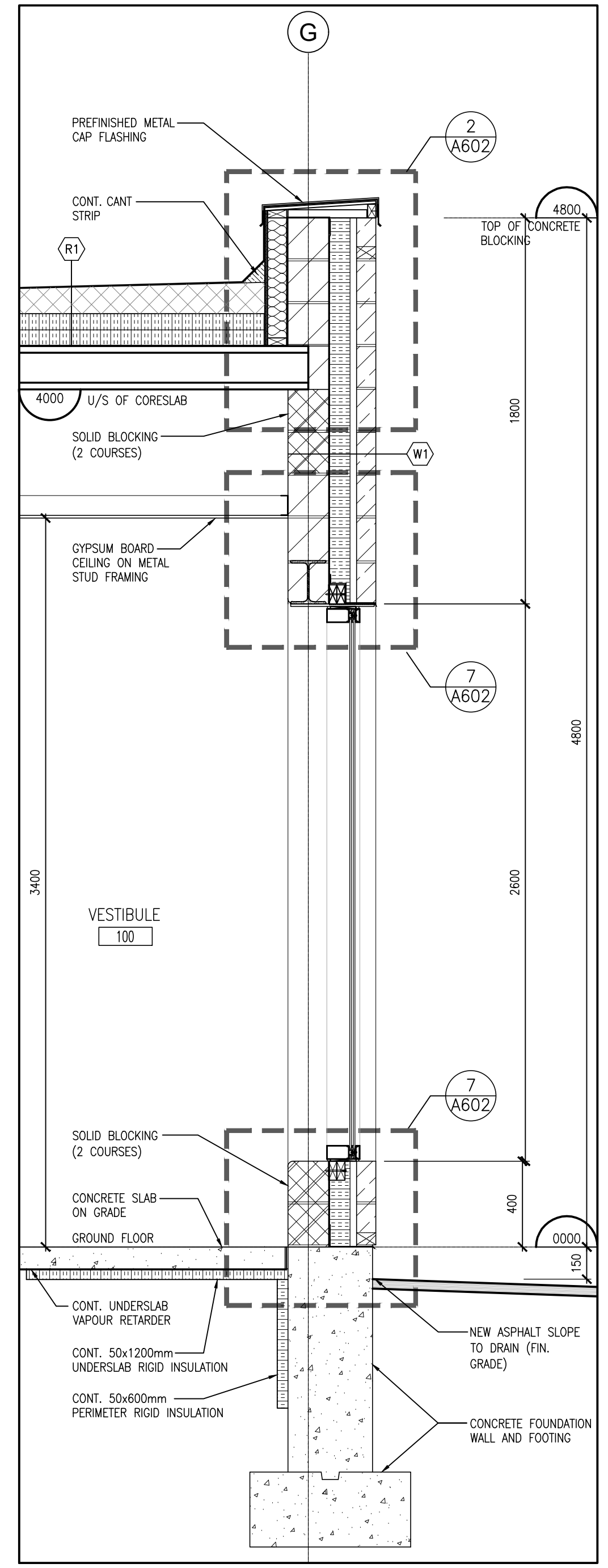
**BBA**  
**BARRY BRYAN ASSOCIATES**  
 Architects  
 Engineers  
 Project Managers  
 250 Water Street  
 Suite 201  
 Whitby, Ontario  
 L1N 1K5  
 Tel: (905) 666-5252  
 Fax: (905) 666-5256  
 e-mail: bba@bba-arch.com

DESIGN BY: BBA	DOC CONTROL: DATE:
DRAWN BY: JJA	% COMPLETE:
CHECKED BY: NS	INITIAL:
DATE: NOV. 28, 2023	
SCALE: <b>AS NOTED</b>	
FILE: 21171 A301	

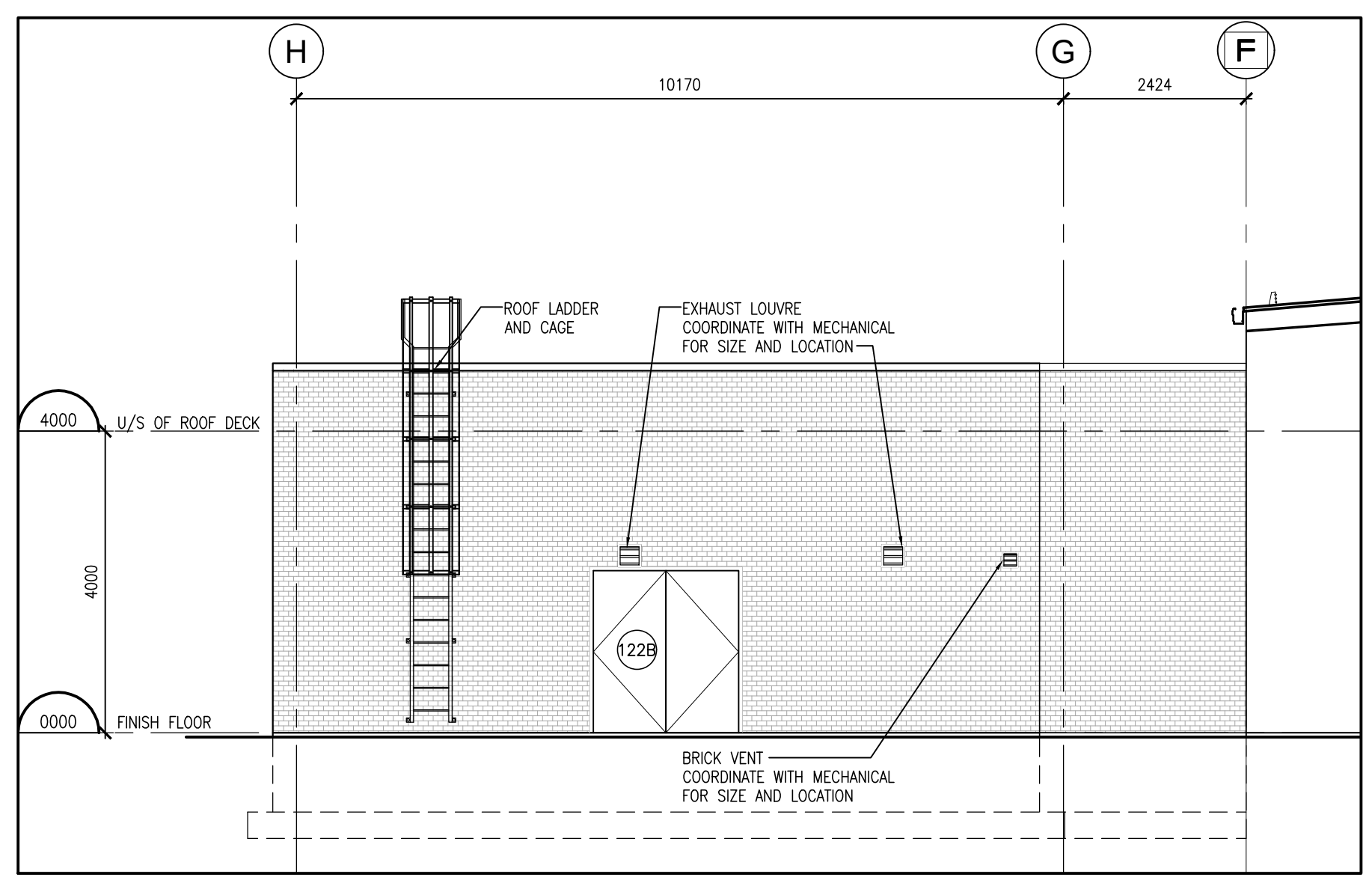
PROJECT NO:  
**21171**  
 DRAWING NO:  
**A301**



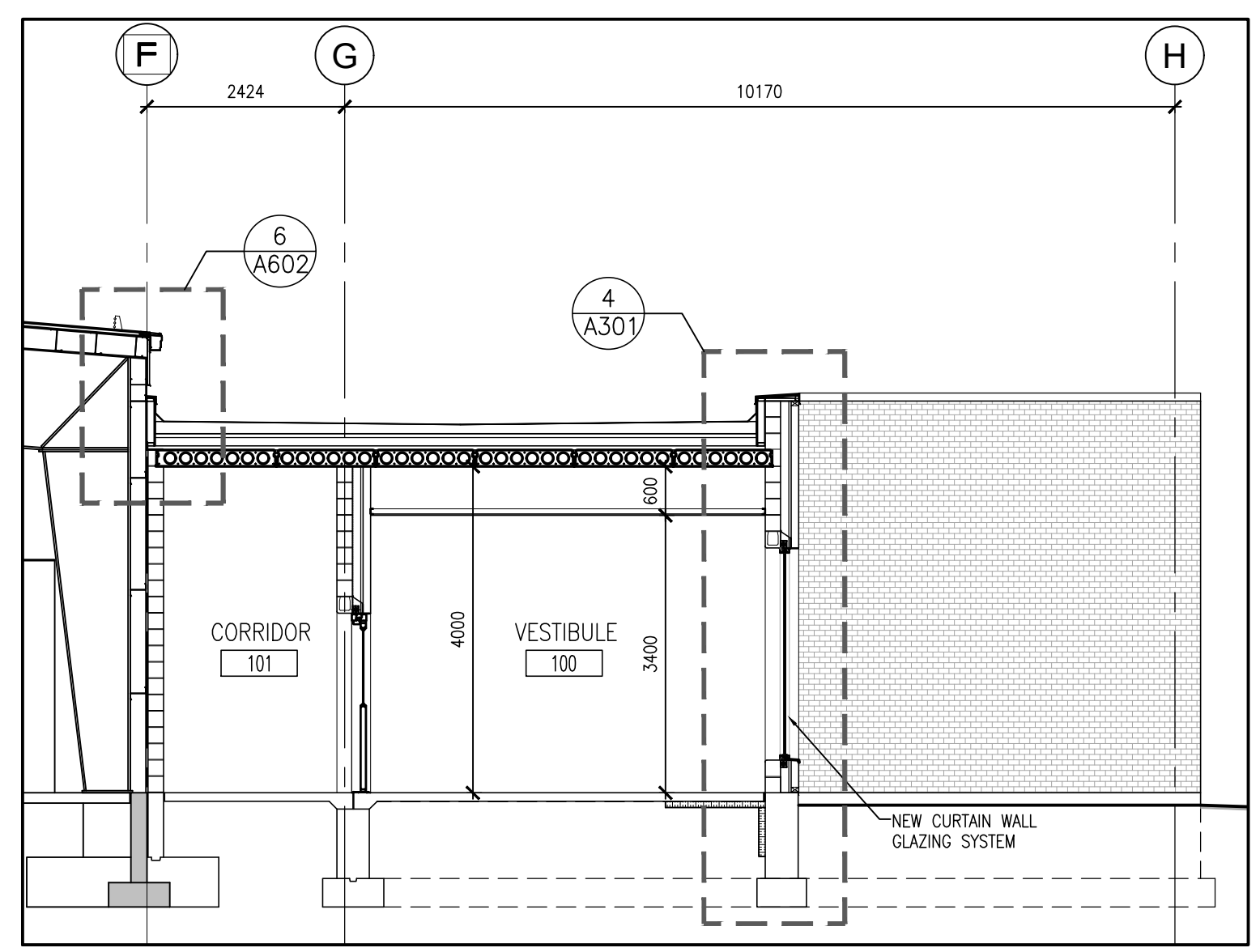
5 WALL SECTION  
 A301 1:20



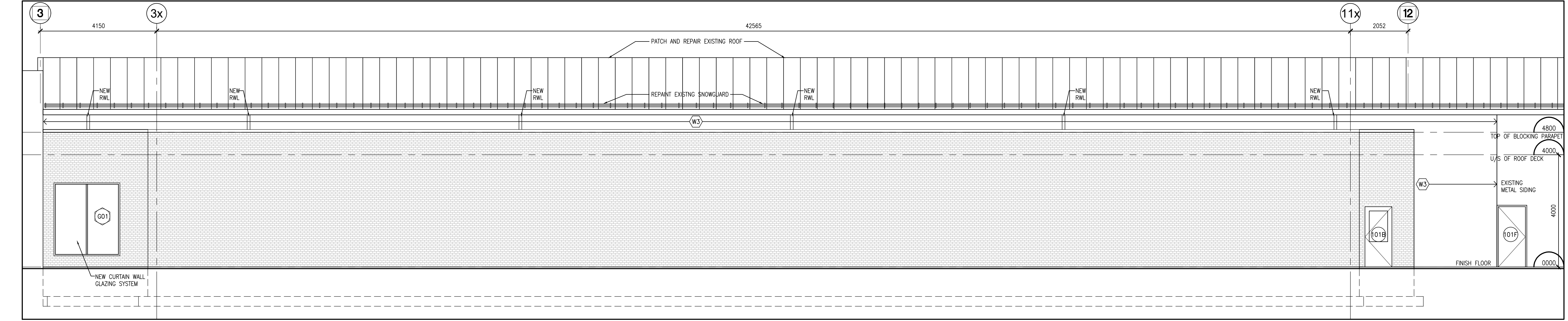
4 WALL SECTION  
 A301 1:20



3 NEW ADDITION : WEST ELEVATION  
 A301 1:75



2 NEW ADDITION : EAST ELEVATION  
 A301 1:75

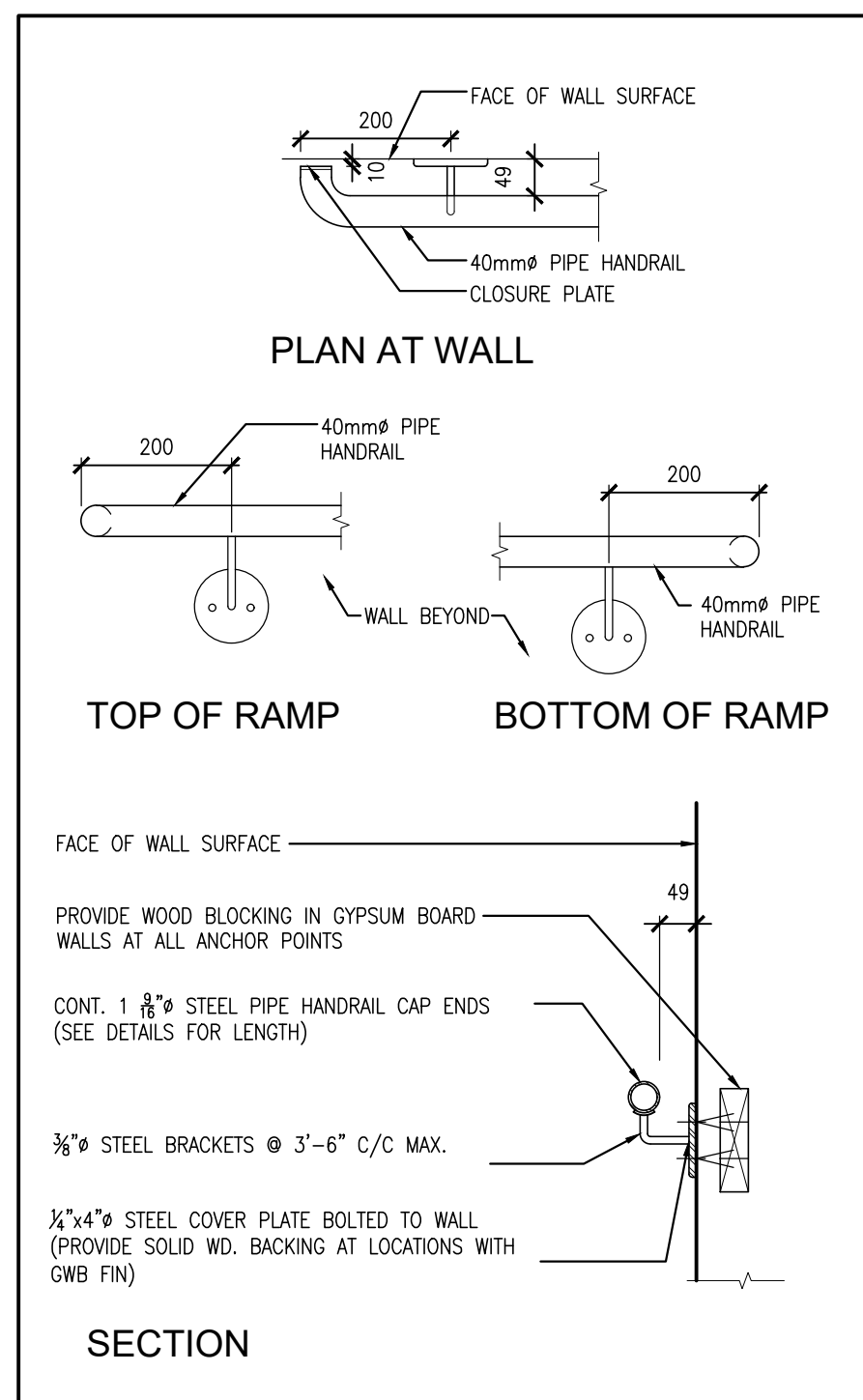


1 NEW ADDITION : NORTH ELEVATION  
 A301 1:75

DO NOT SCALE THE DRAWINGS.  
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.  
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

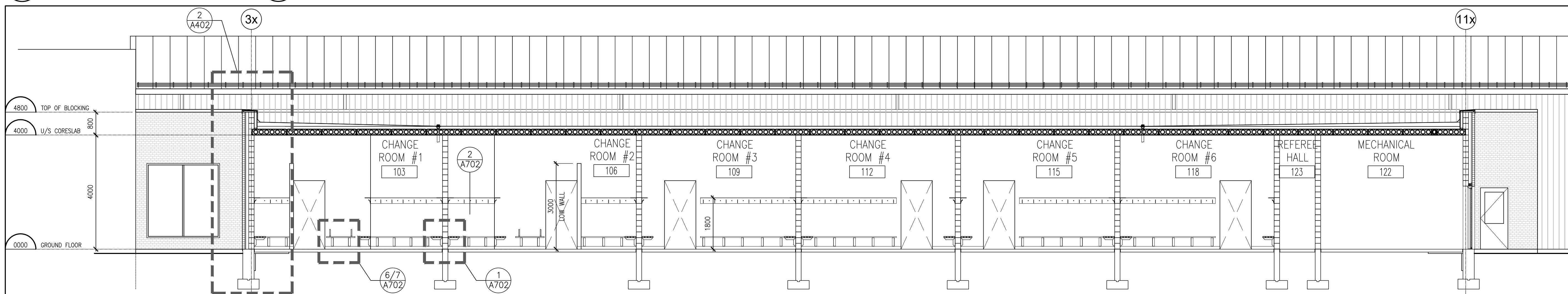


NO.	ISSUES	DATE	BY
1	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
2	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA

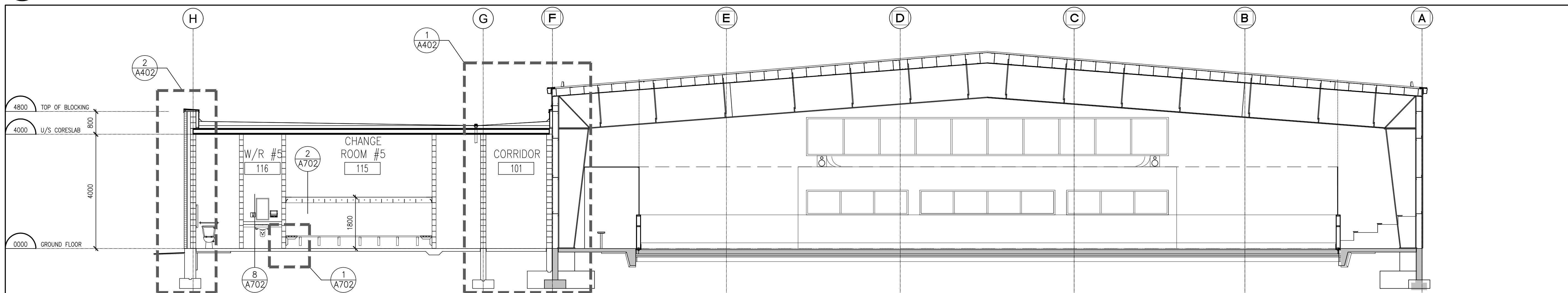


4 HANDRAIL DETAILS  
A401 1:10

3 GUARDRAIL / HANDRAIL AT RAMPS  
A401 1:20



2 BUILDING SECTION  
A401 1:75

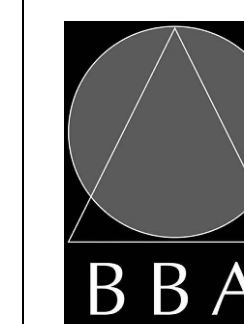


1 BUILDING SECTION  
A401 1:75

NO.	REVISIONS	DATE	BY
-----	-----------	------	----

PROJECT:  
**GRAND VALLEY ARENA  
RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 5N6  
TOWN OF GRAND VALLEY

DRAWING:  
**BUILDING SECTIONS**



**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5  
Tel: (905) 666-5252  
Fax: (905) 666-5256  
e-mail: bba@bb-arch.com

DESIGN BY: BBA	DOC. CONTROL DATE:
DRAWN BY: JJA	% COMPLETE:
CHECKED BY: NS	INITIAL:
DATE: DEC. 05, 2023	
SCALE: AS NOTED	
FILE: 21171 A401	

PROJECT NO:  
**21171**

DRAWING NO:  
**A401**

DO NOT SCALE THE DRAWINGS.  
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.  
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.



NO.	ISSUES	DATE	BY
1	ISSUED FOR 90% CLIENT REVIEW	JULY 22 2023	BBA
2	ISSUED FOR TENDER & PERMIT	DEC. 06 2024	BBA

NO.	REVISIONS	DATE	BY

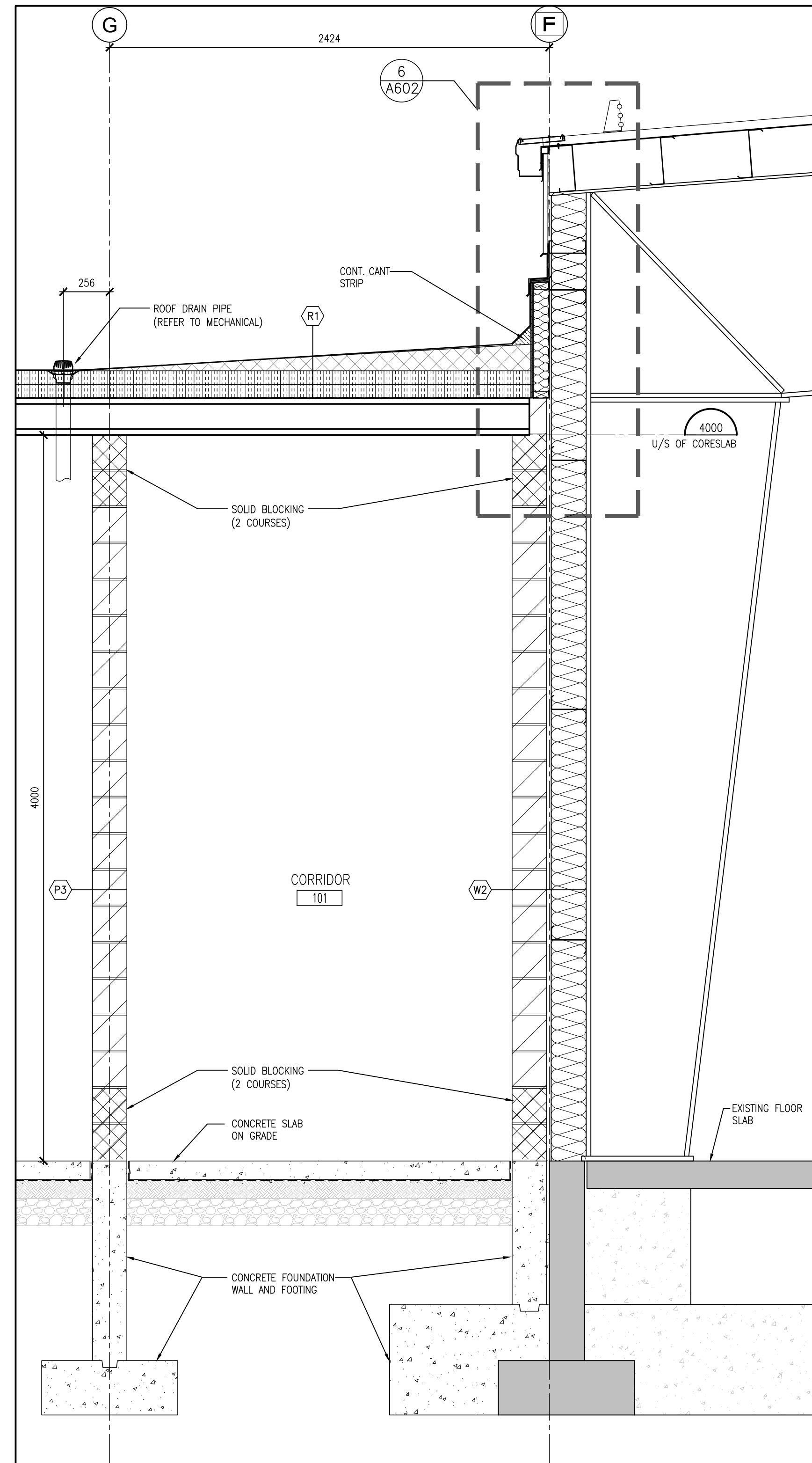
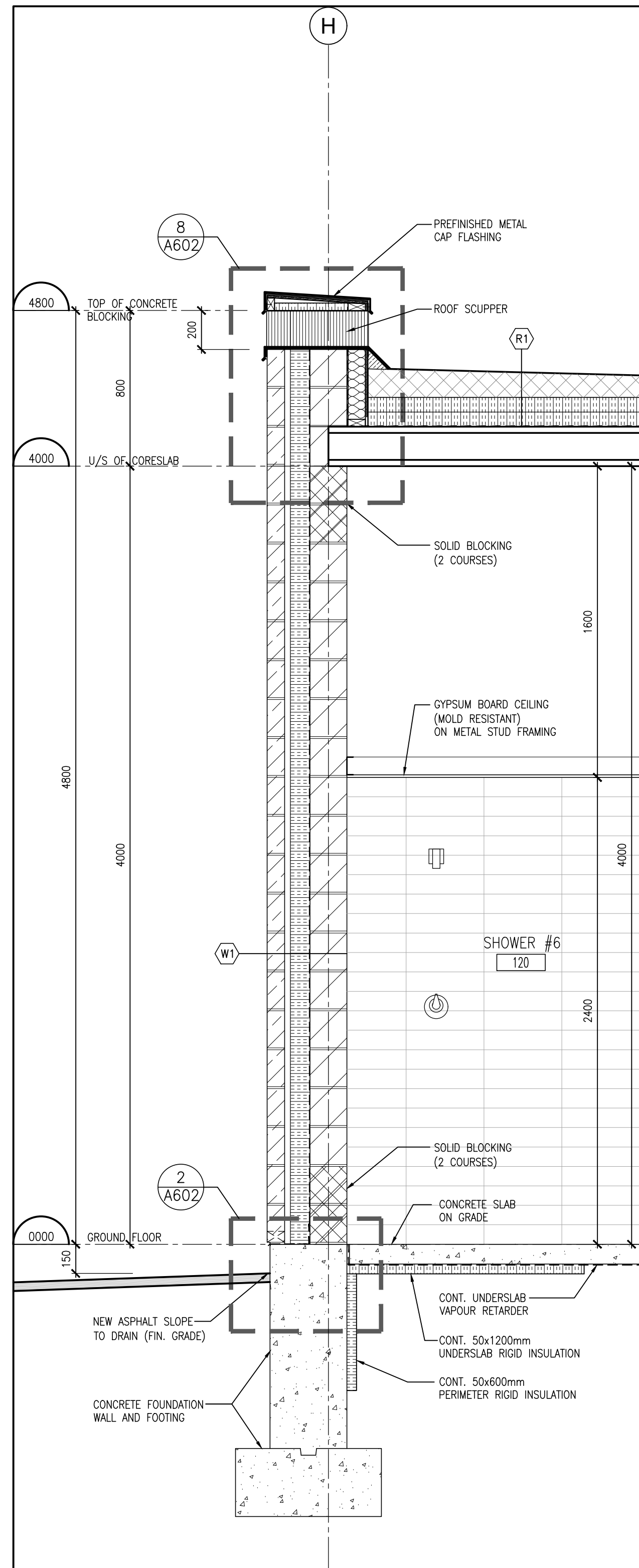
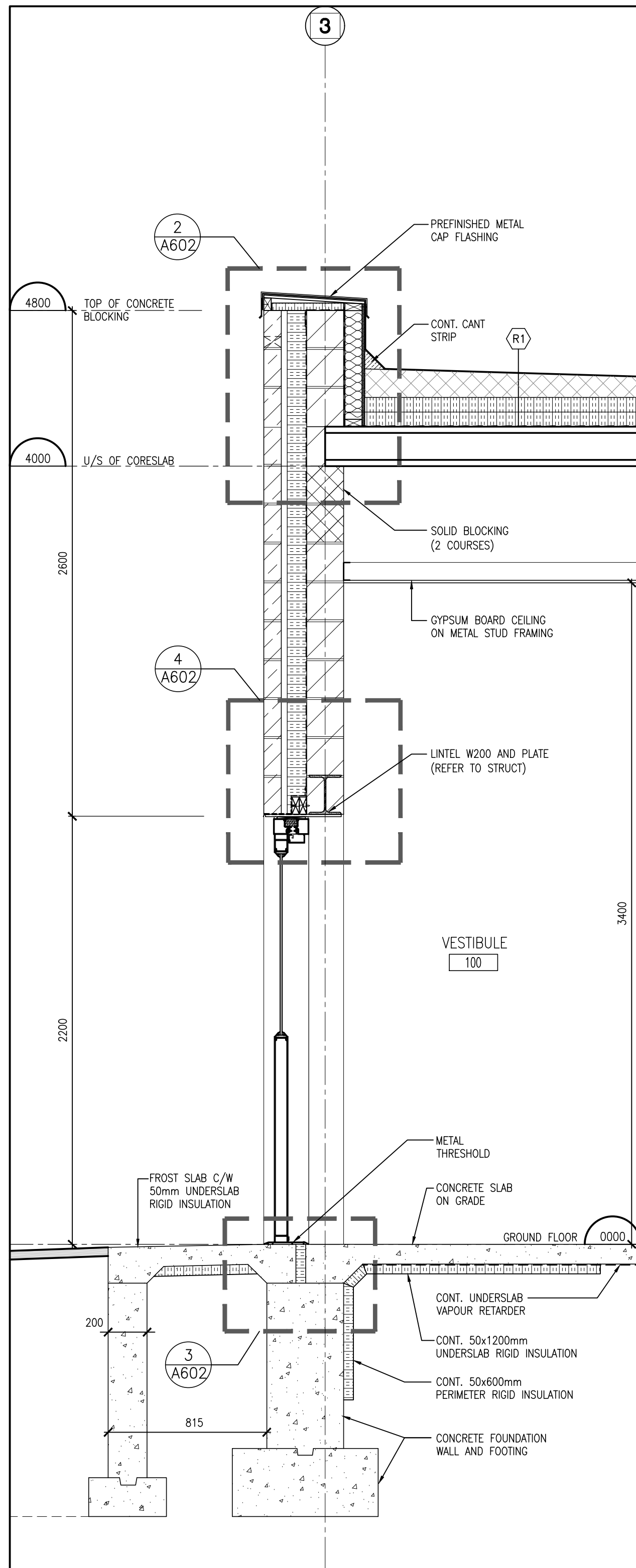
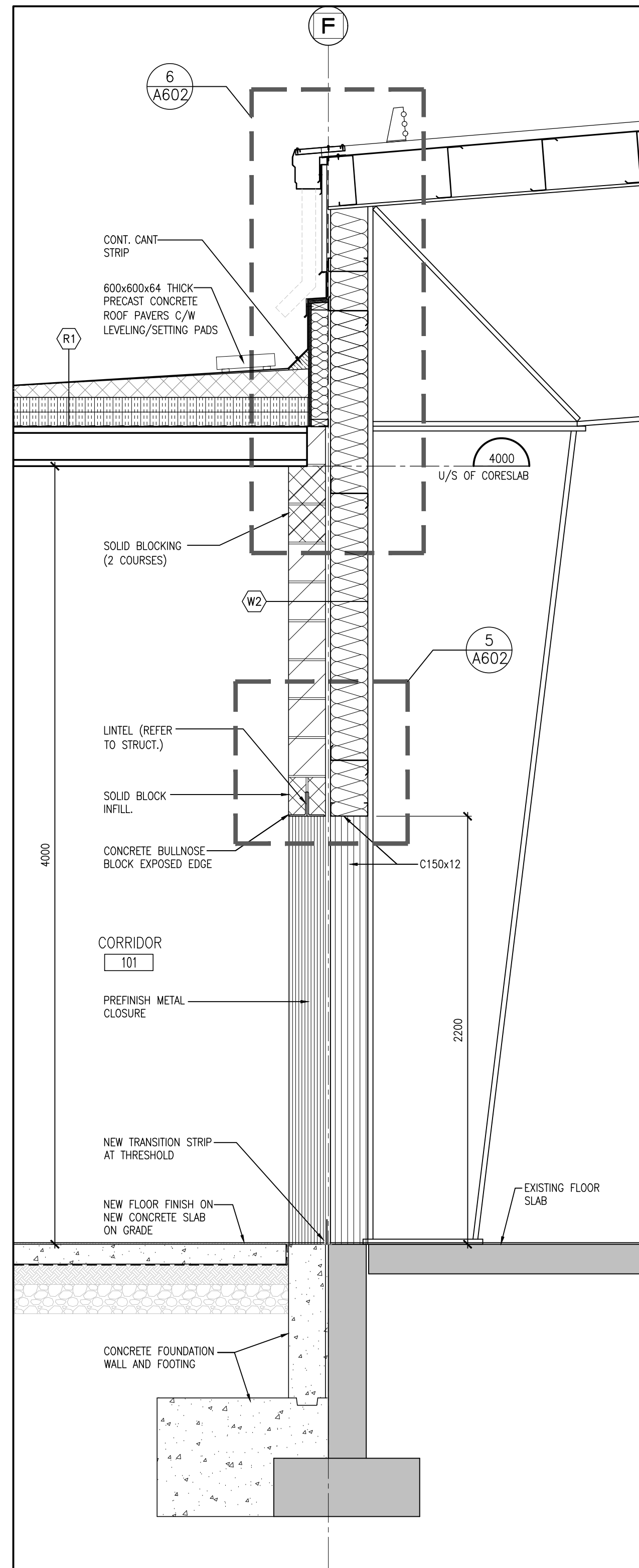
PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 5N6  
TOWN OF GRAND VALLEY

DRAWING:  
**WALL SECTIONS**

**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5  
Tel: (905) 666-5252  
Fax: (905) 666-5256  
e-mail: bba@bba-arch.com

DESIGN BY: BBA    DOC CONTROL DATE:     
DRAWN BY: JJA    % COMPLETE:     
CHECKED BY: NS    INITIAL:     
DATE: NOV. 28, 2023  
SCALE: AS NOTED  
FILE: 22119A-A402-A403

PROJECT NO: **21171**  
DRAWING NO: **A402**



**4** WALL SECTION  
**A402** 1:20

**3** WALL SECTION  
**A402** 1:20

**2** WALL SECTION  
**A402** 1:20

**1** WALL SECTION  
**A402** 1:20

DO NOT SCALE THE DRAWINGS.  
 CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.  
 ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE  
 COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED  
 UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE  
 WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.  
 DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED  
 AND SEALED BY THE CONSULTANT.



NO.	ISSUES	DATE	BY
1	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA

NO.	REVISIONS	DATE	BY

NO.	REVISIONS	DATE	BY

PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
 DISTRICT COMMUNITY CENTRE  
 90 MAIN ST. N  
 GRAND VALLEY, ONTARIO, L0N 5N6  
 TOWN OF GRAND VALLEY

DRAWING:  
**WALL SECTIONS EXTERIOR WALL (ARENA) (SEPARATE PRICING)**

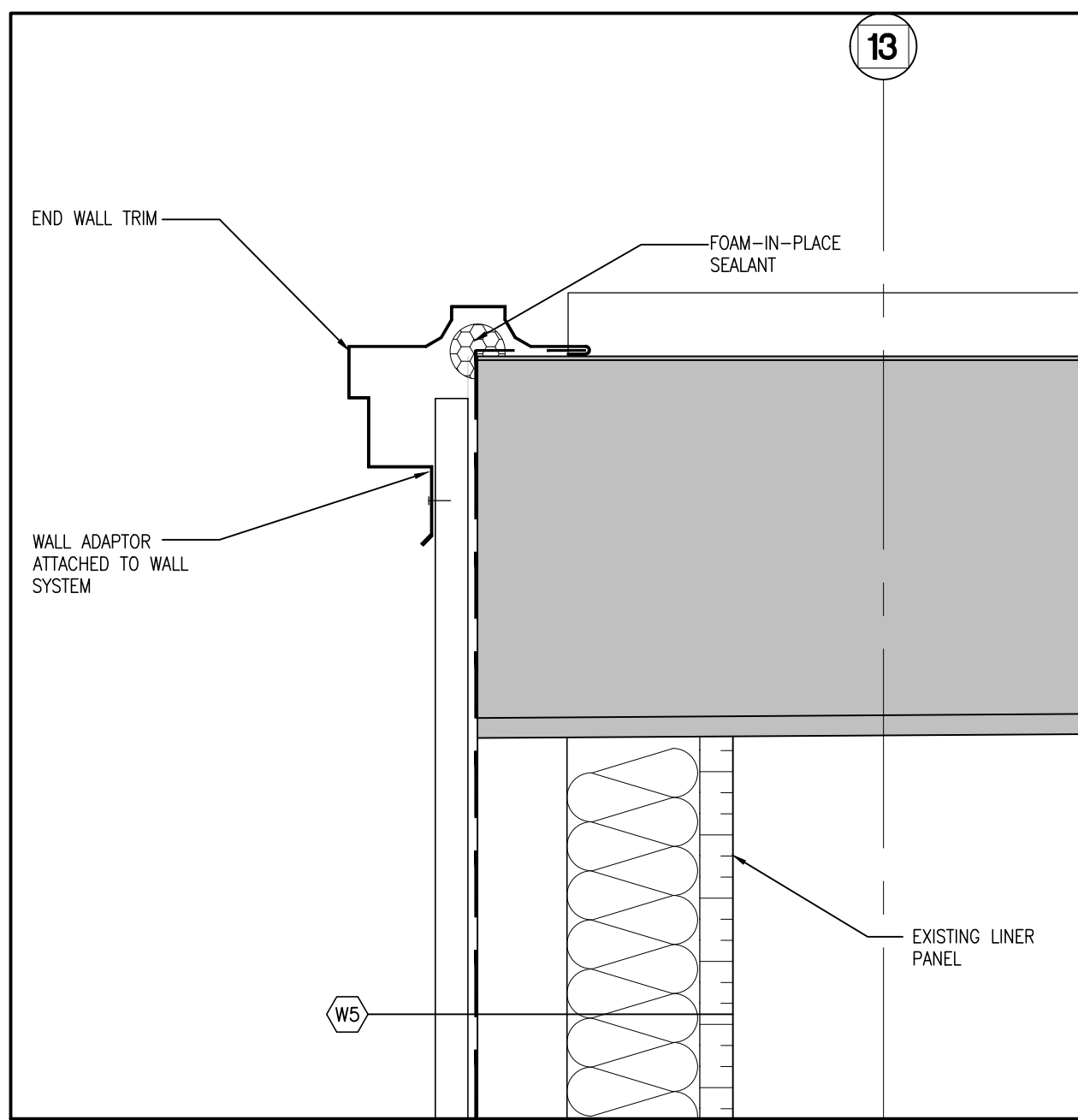


**BARRY BRYAN ASSOCIATES**  
 Architects  
 Engineers  
 Project Managers  
 250 Water Street  
 Suite 201  
 Whitby, Ontario  
 L1N 0G5  
 Tel: (905) 666-5252  
 Fax: (905) 666-5256  
 e-mail: bba@bbe-archwg.com

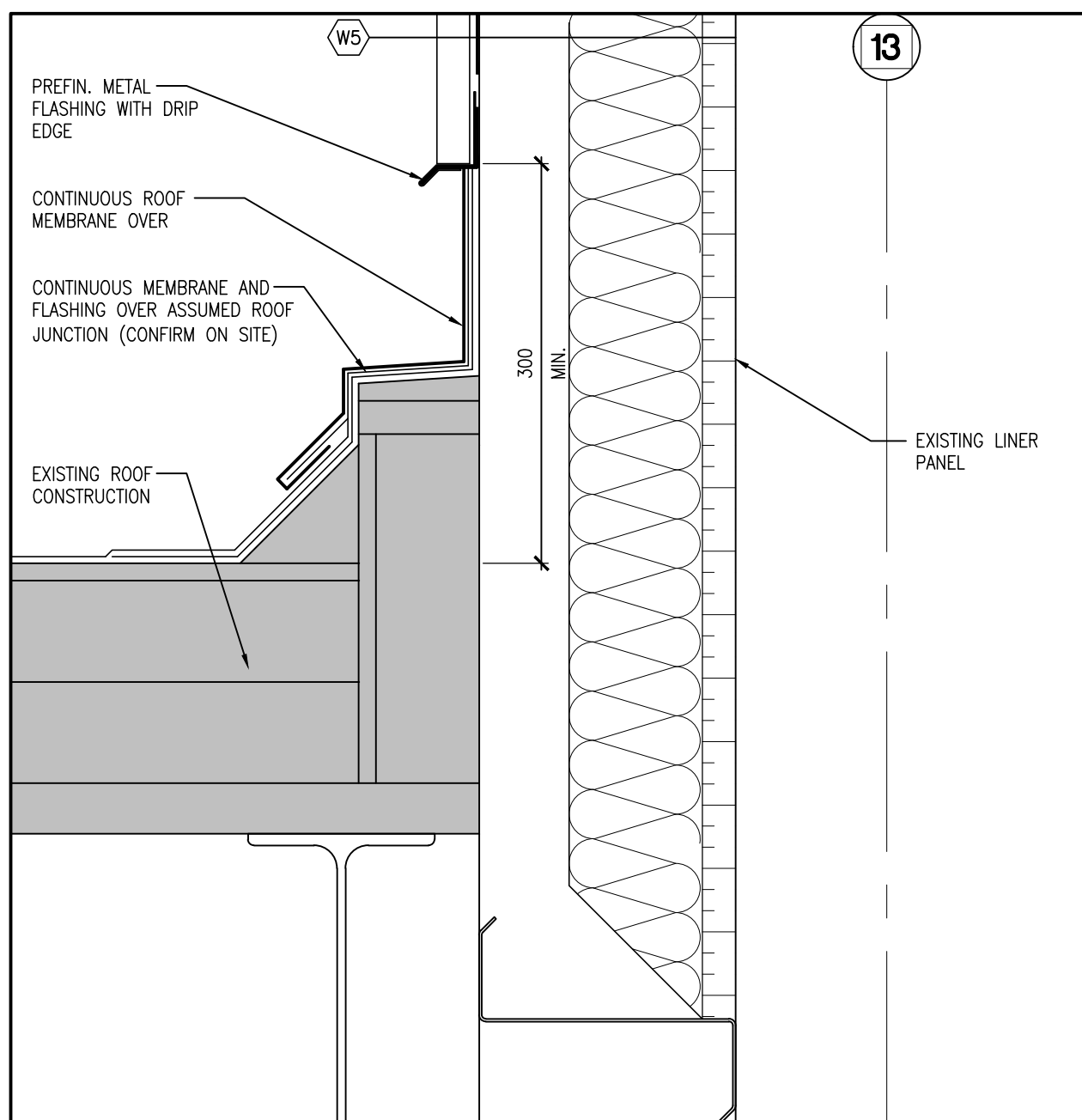
DESIGN BY: BBA	DOC. CONTROL: DATE:
DRAWN BY: JJA	% COMPLETE:
CHECKED BY: NS	INITIAL:
DATE: MAY 31, 2024	
SCALE: AS NOTED	
FILE: 22119A-A402-A403	

PROJECT NO:  
**21171**

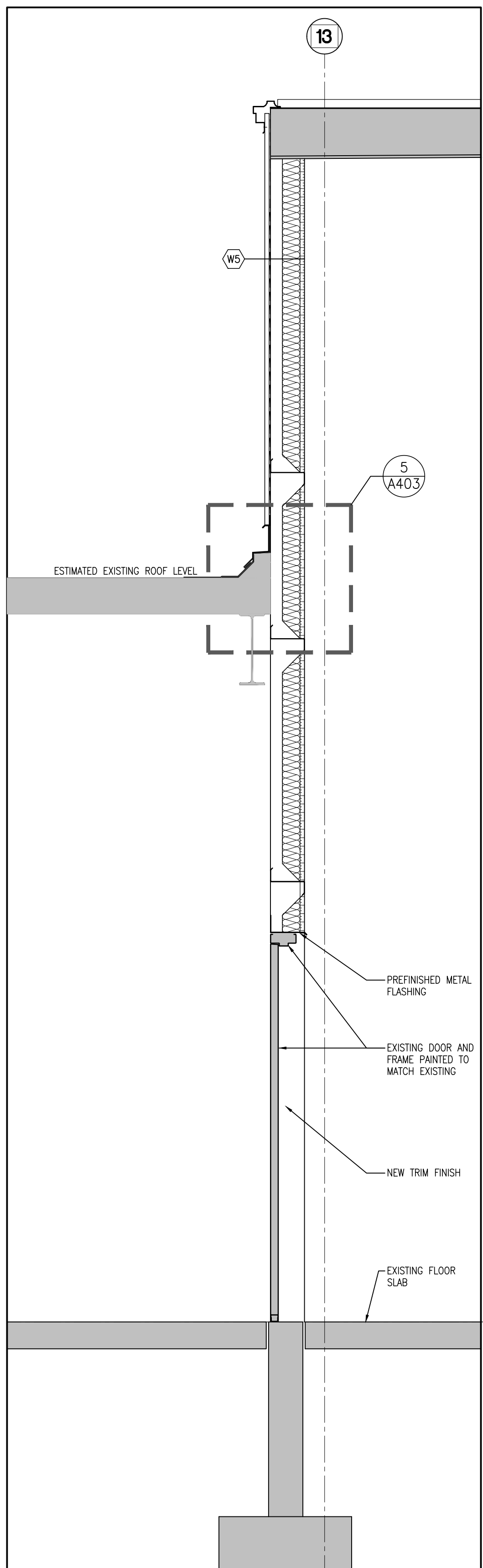
DRAWING NO:  
**A403**



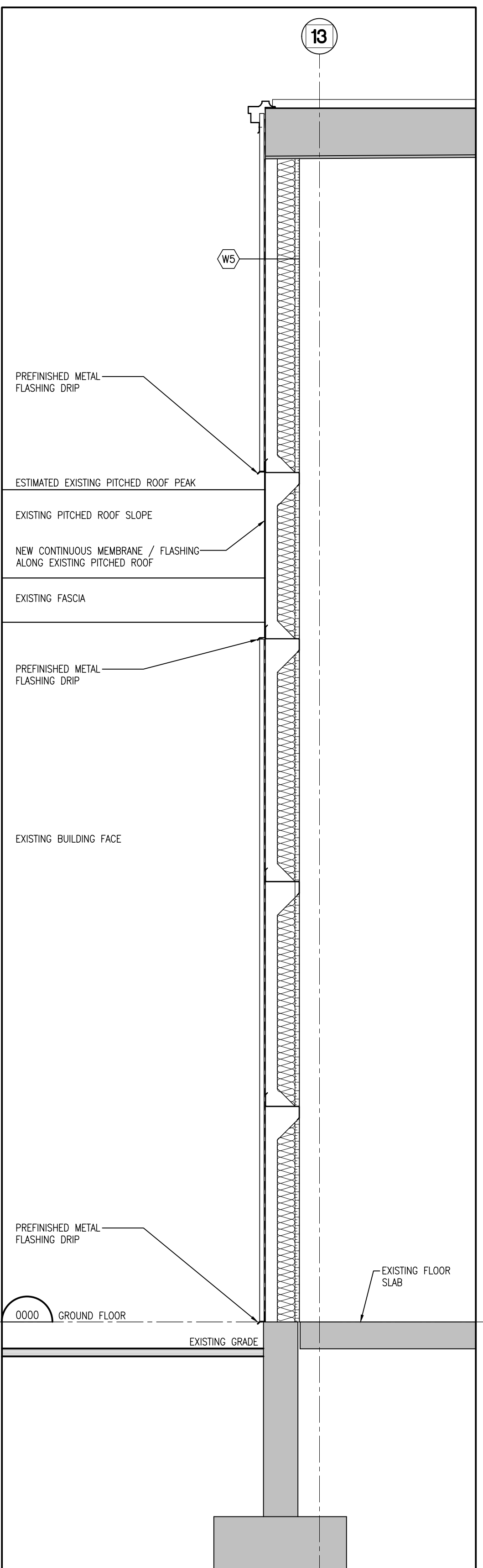
**6 SECTION DETAIL**  
 1:5



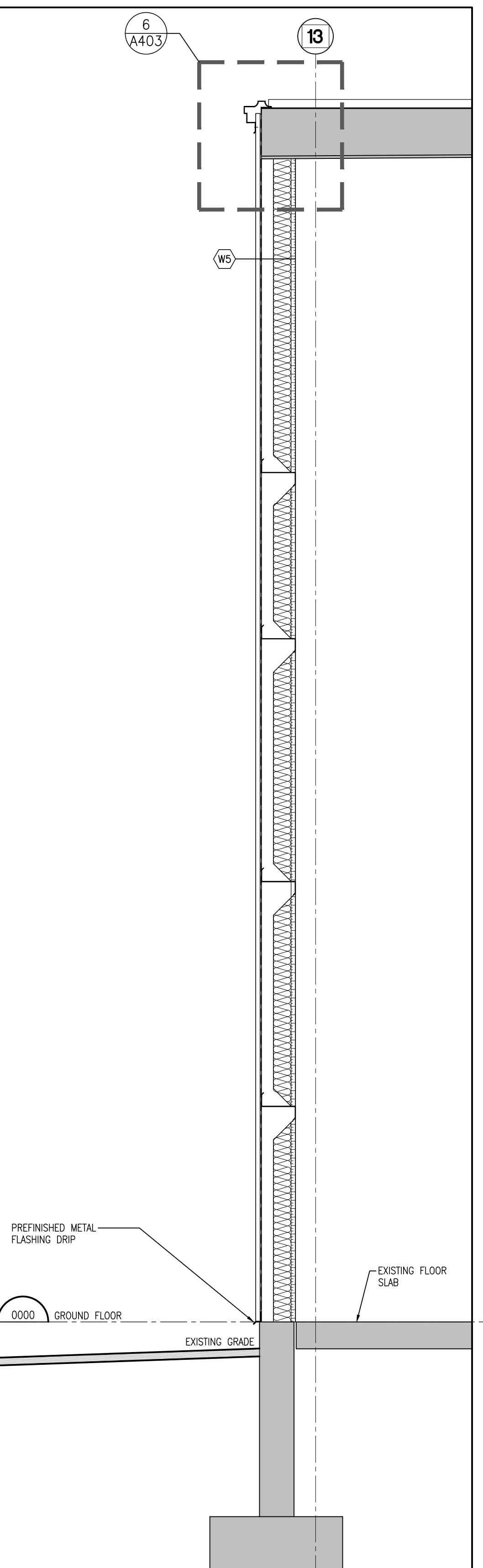
**5 SECTION DETAIL**  
 1:5



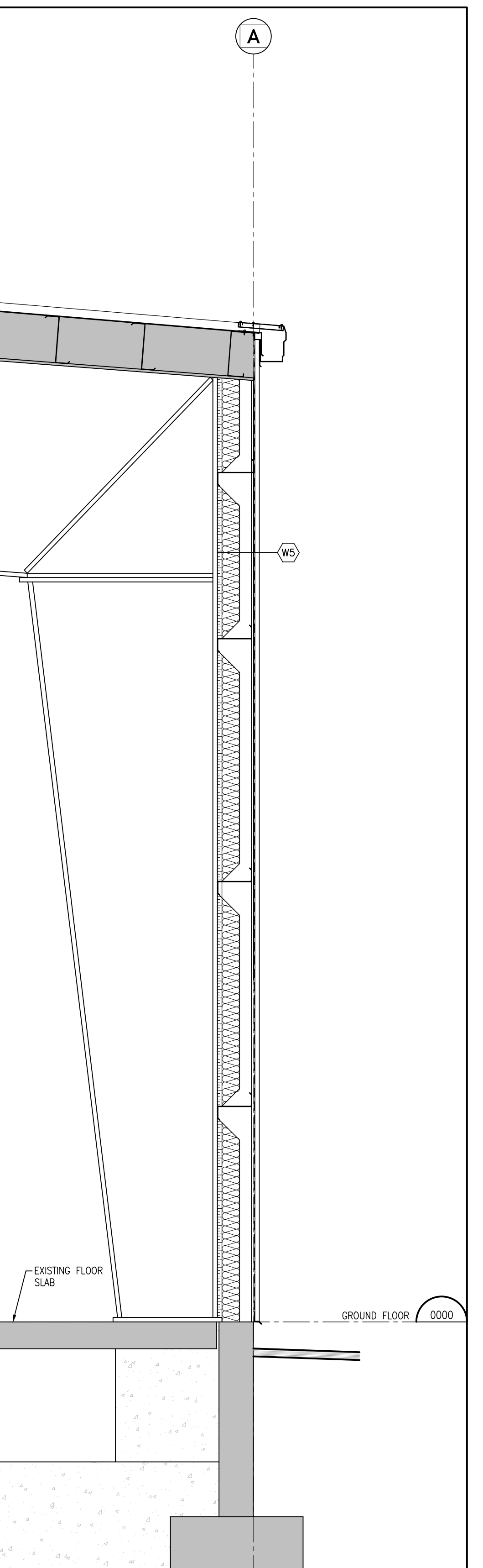
**4 WALL SECTION**  
 1:20



**3 WALL SECTION**  
 1:20



**2 WALL SECTION**  
 1:20



**1 WALL SECTION**  
 1:20



DO NOT SCALE THE DRAWINGS.

CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.

DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.



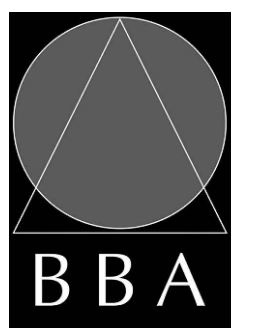
NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	NOV. 28, 2023	BBA
2	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
3	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA

NO.	REVISIONS	DATE	BY
-----	-----------	------	----

PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE

90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 5N6  
TOWN OF GRAND VALLEY

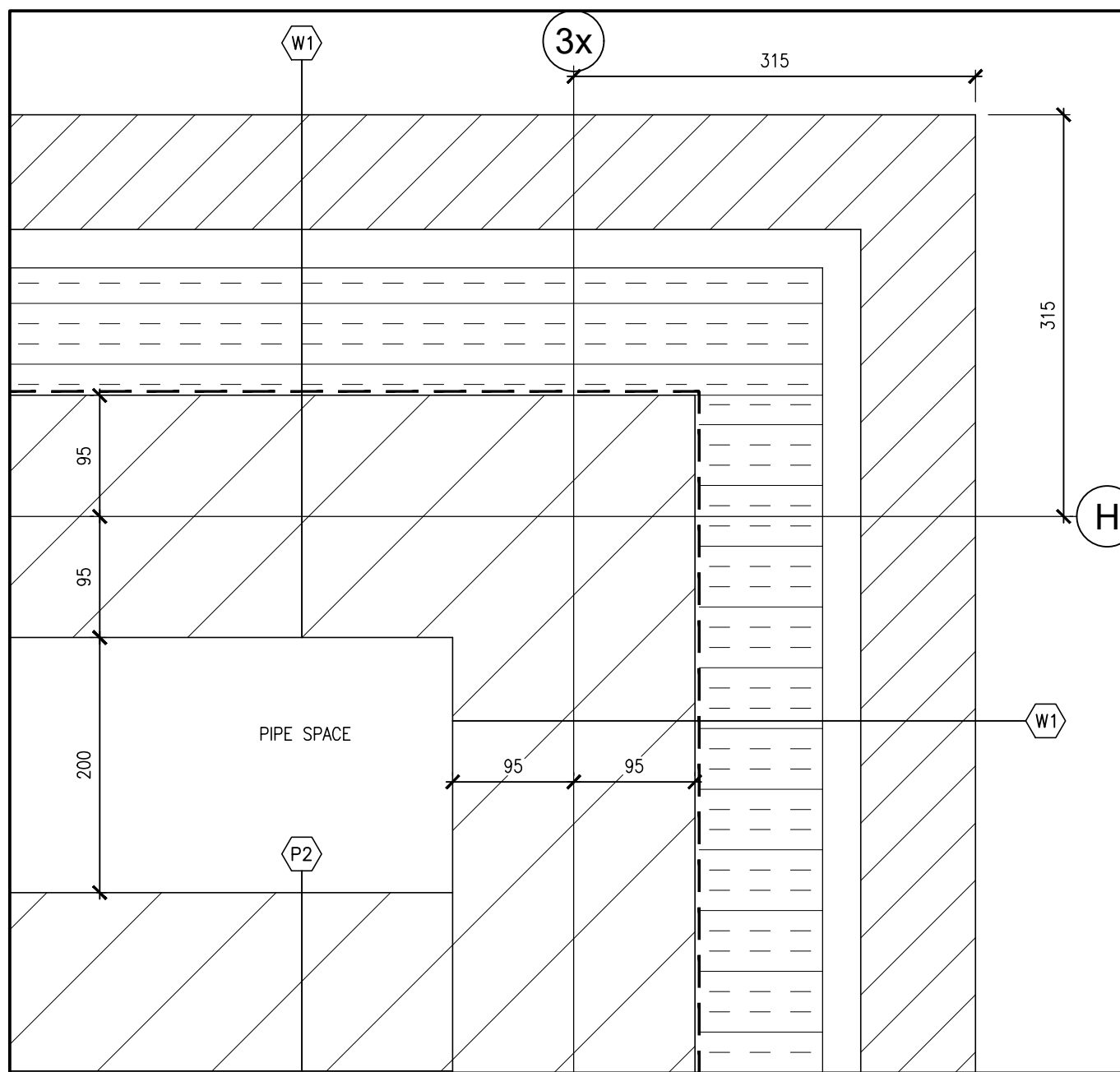
DRAWING:  
**PLAN DETAILS**



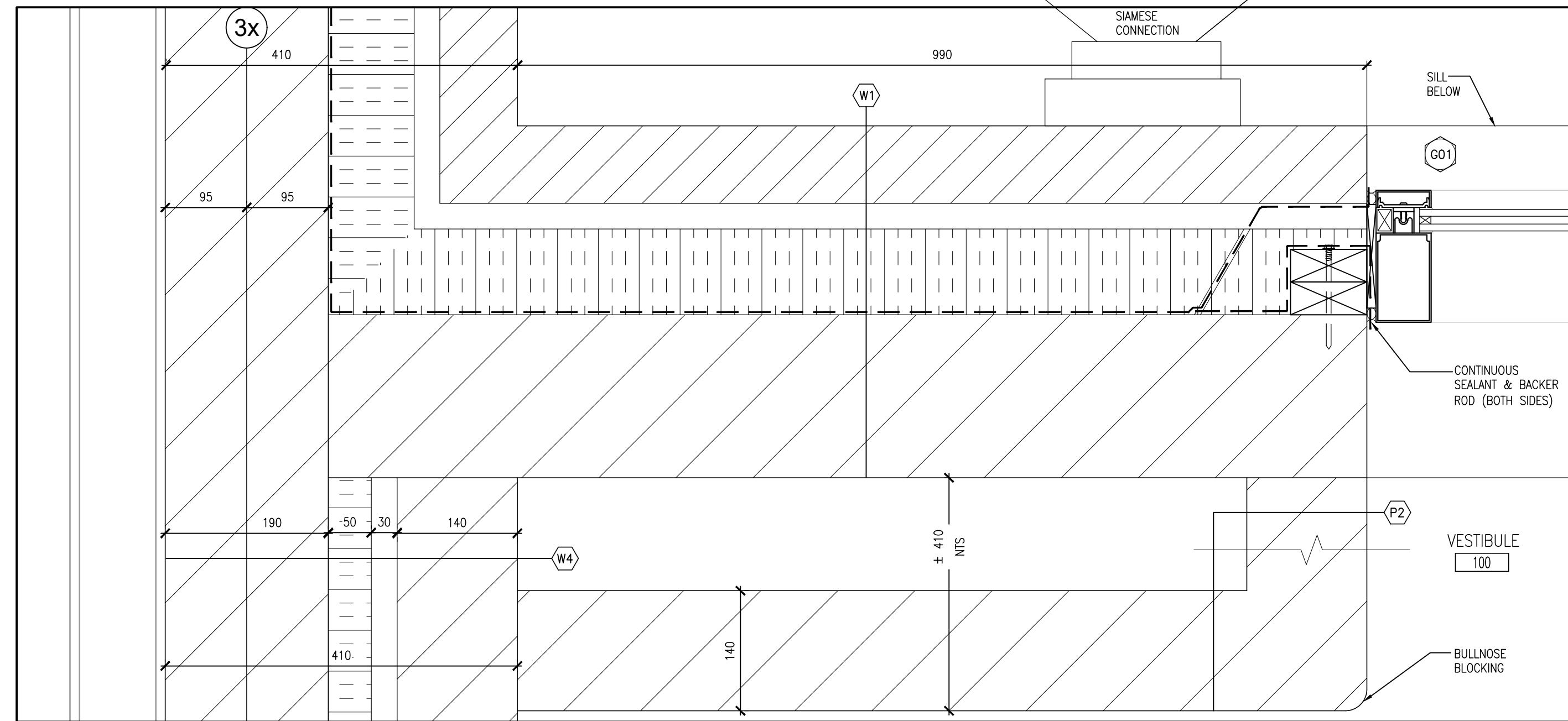
**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5  
Tel: (905) 666-5252  
Fax: (905) 666-5256  
e-mail: bba@bba-archwng.com

DESIGN BY: BBA	DOC. CONTROL DATE:
DRAWN BY: JJA	% COMPLETE:
CHECKED BY: NS	INITIAL:
DATE: NOV. 28, 2023	
SCALE: AS NOTED	
FILE: 22119A A601	

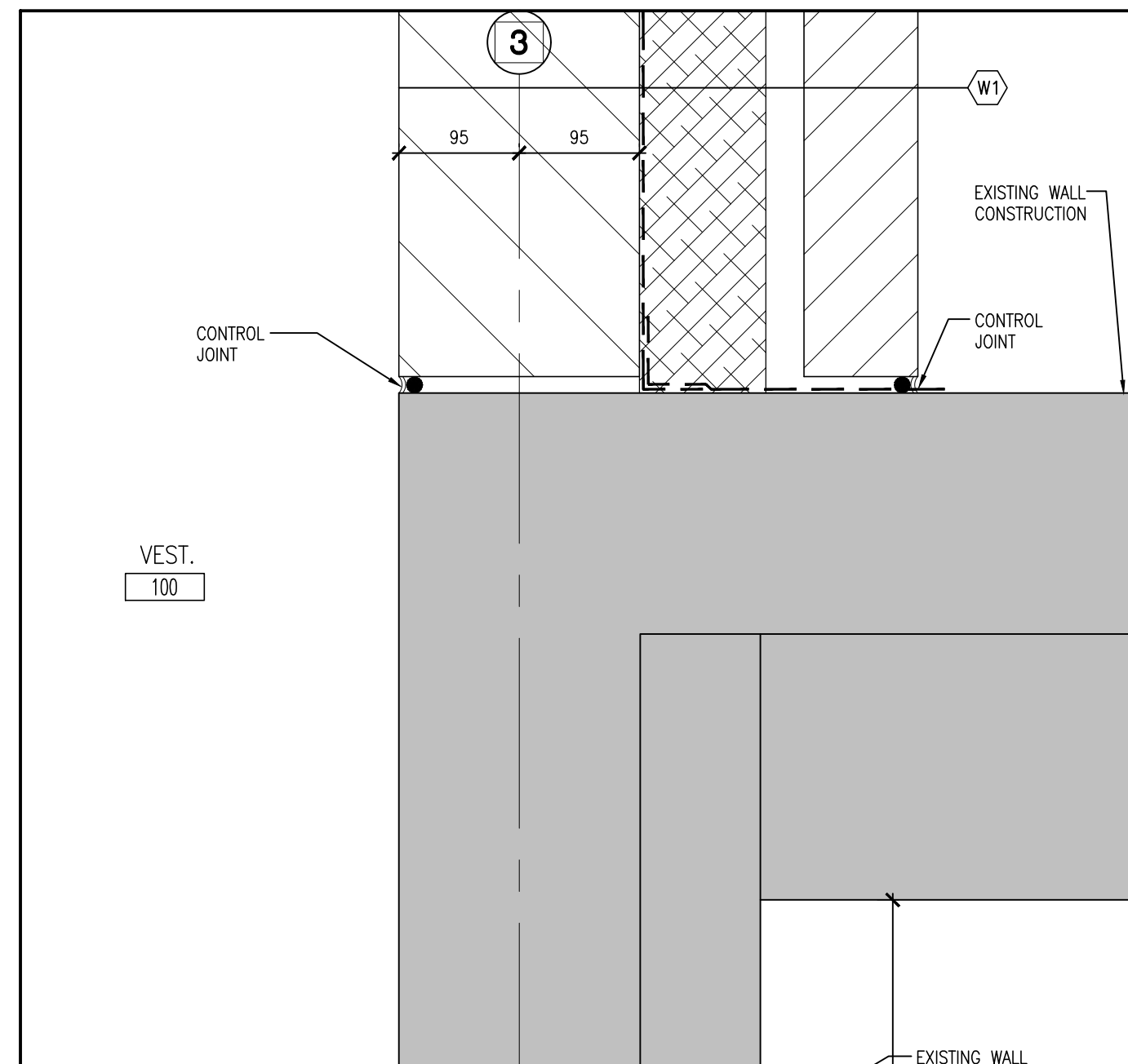
PROJECT NO: **21171**  
DRAWING NO: **A601**



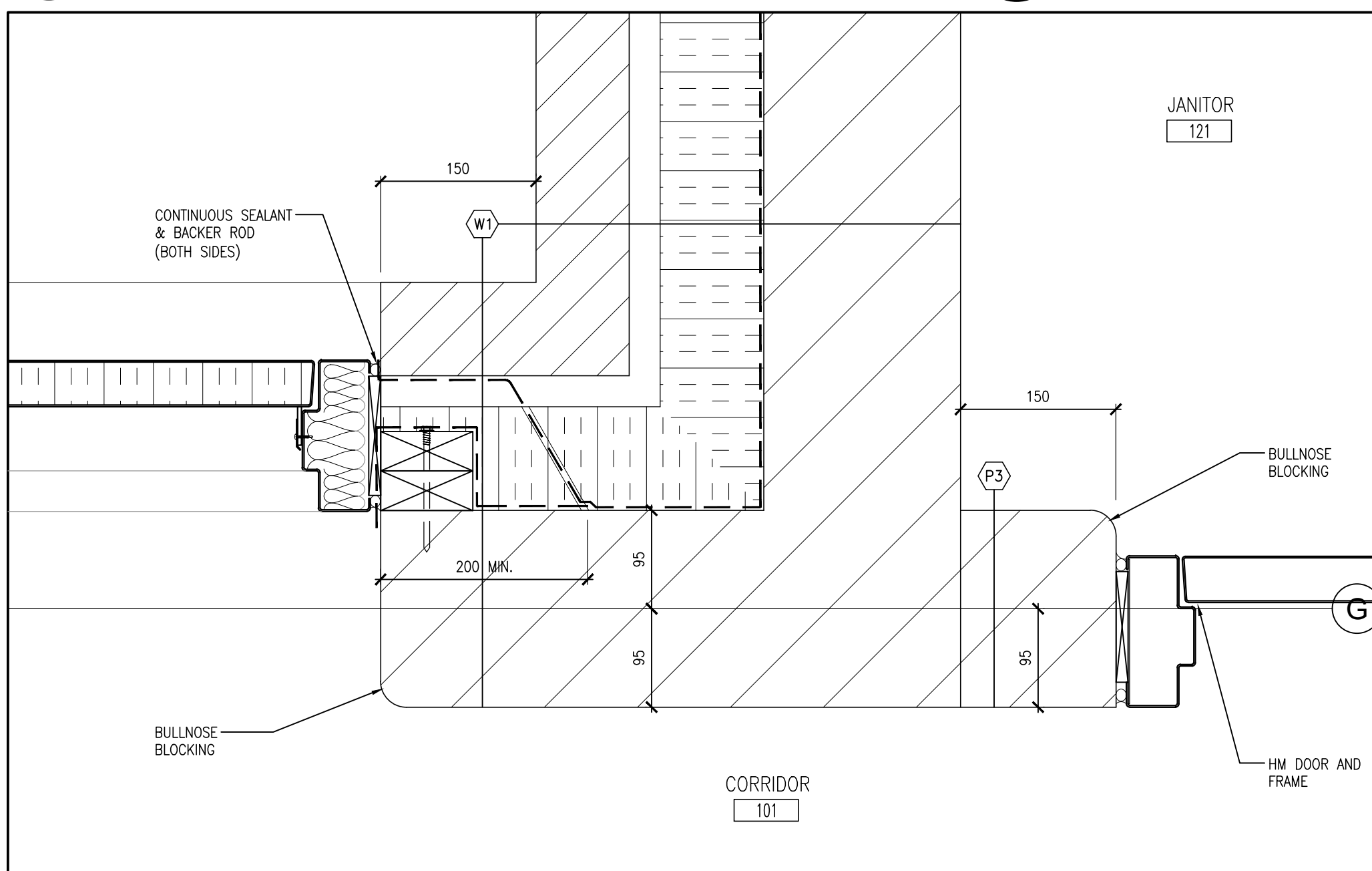
8 PLAN DETAIL  
A601 1:5



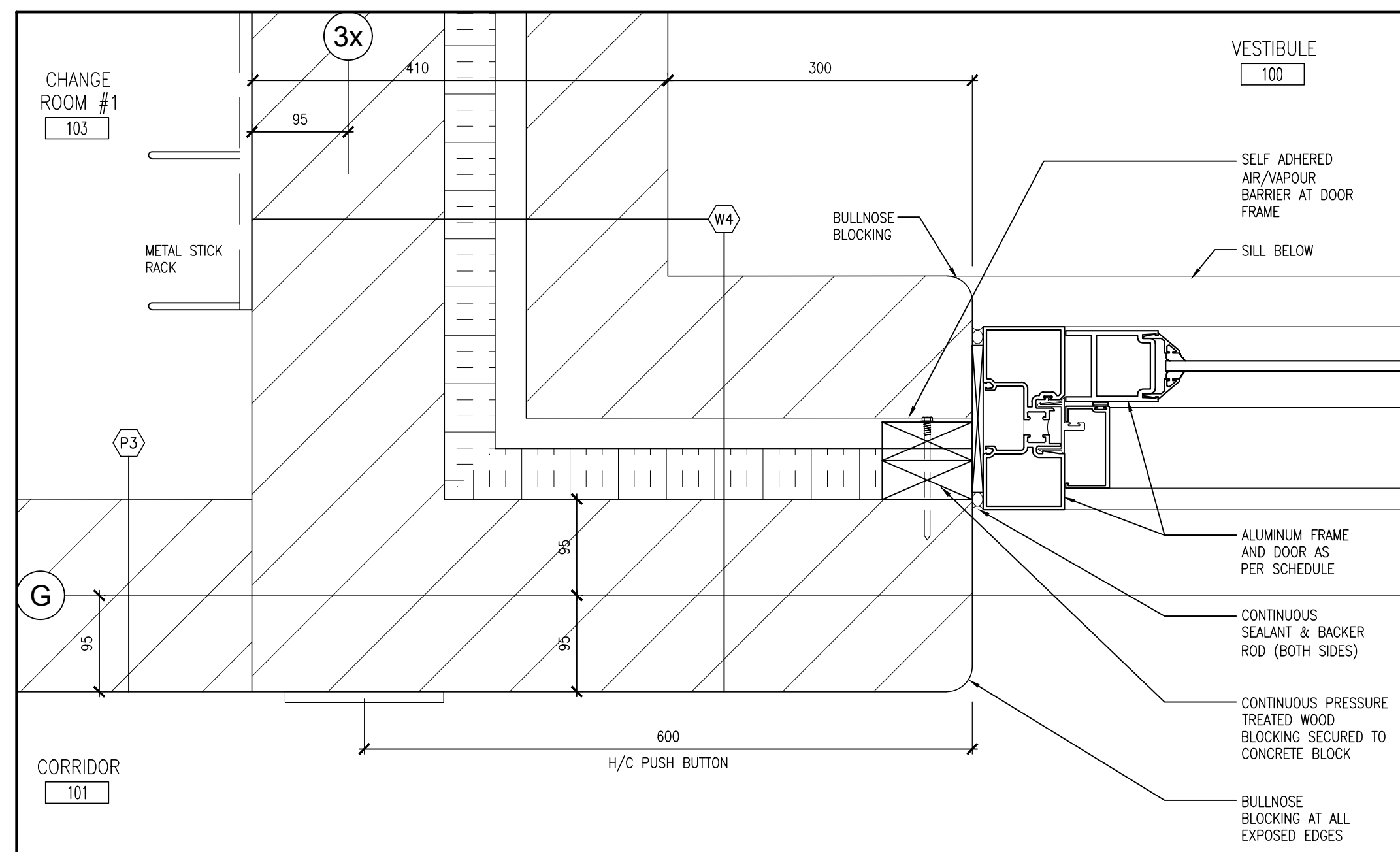
7 PLAN DETAIL  
A601 1:5



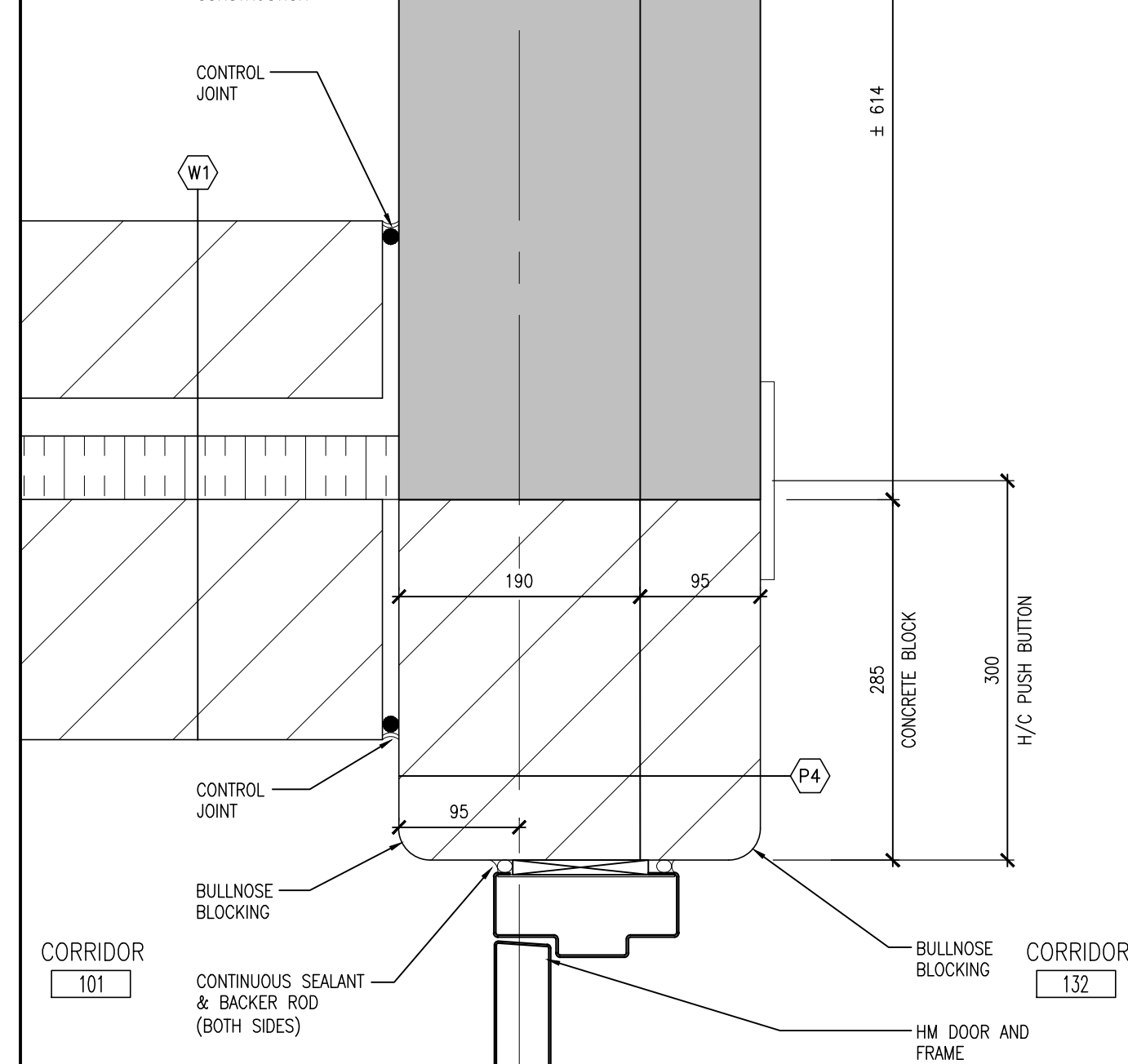
3 PLAN DETAIL  
A601 1:5



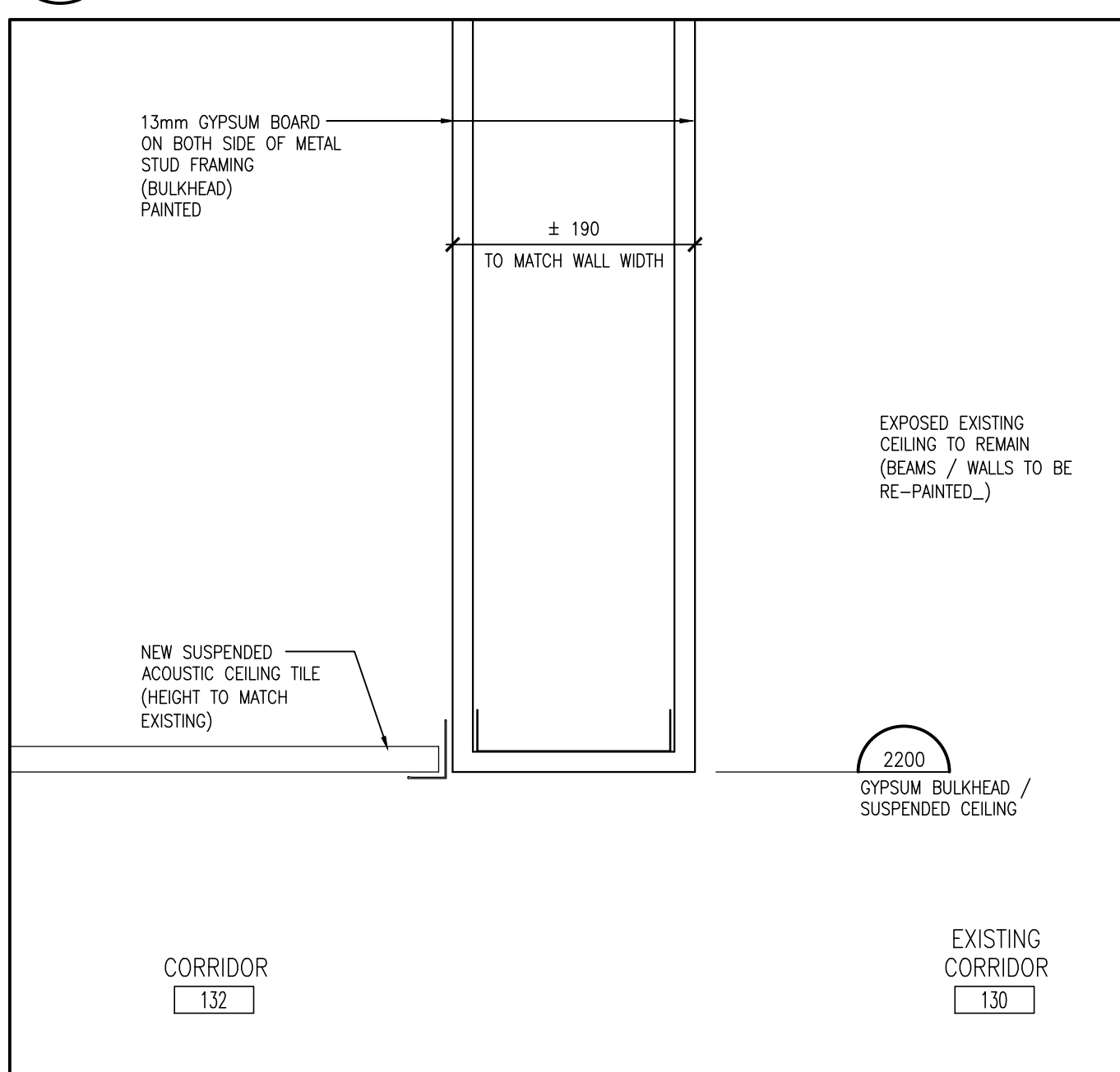
6 PLAN DETAIL  
A601 1:5



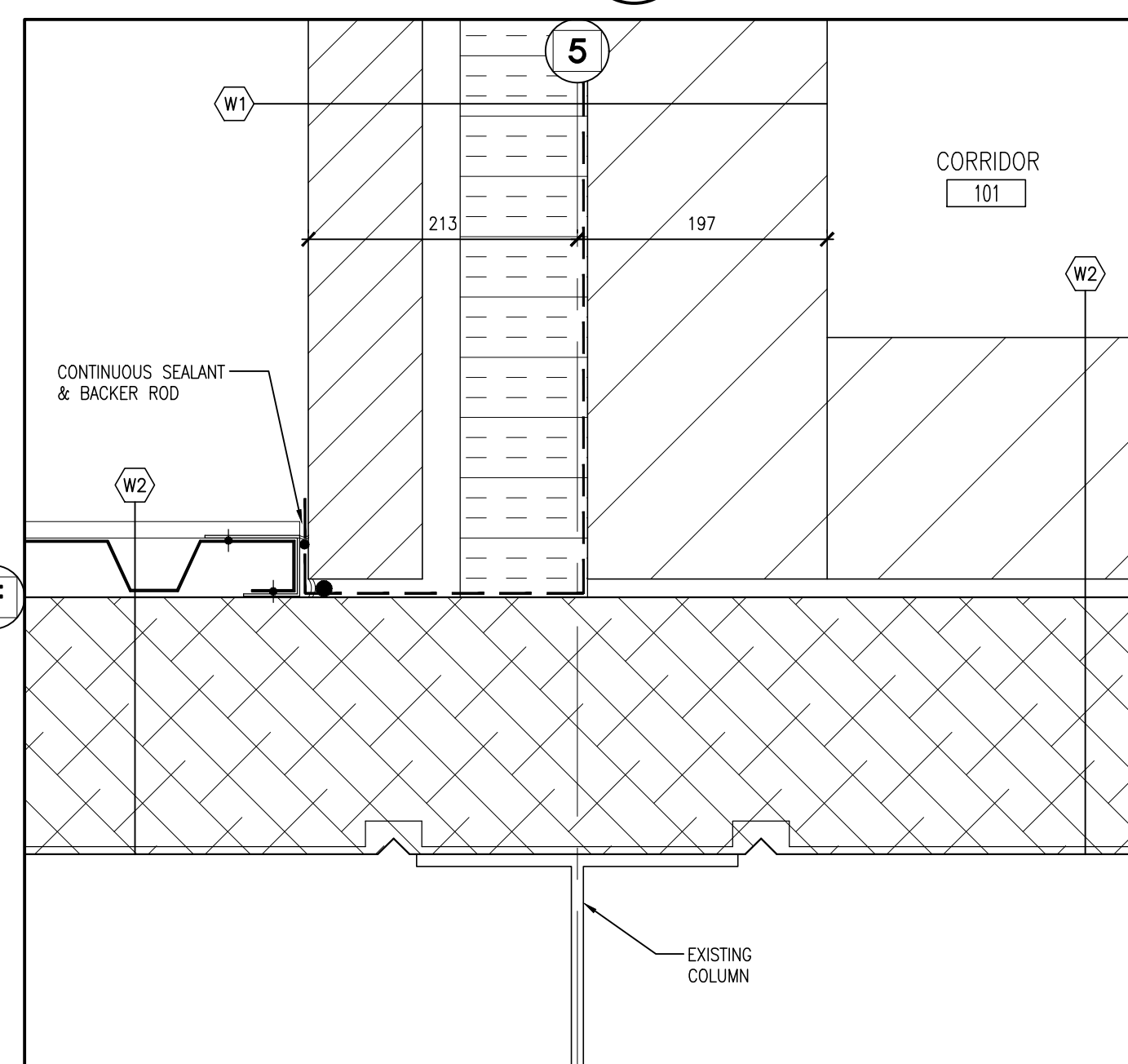
5 PLAN DETAIL  
A601 1:5



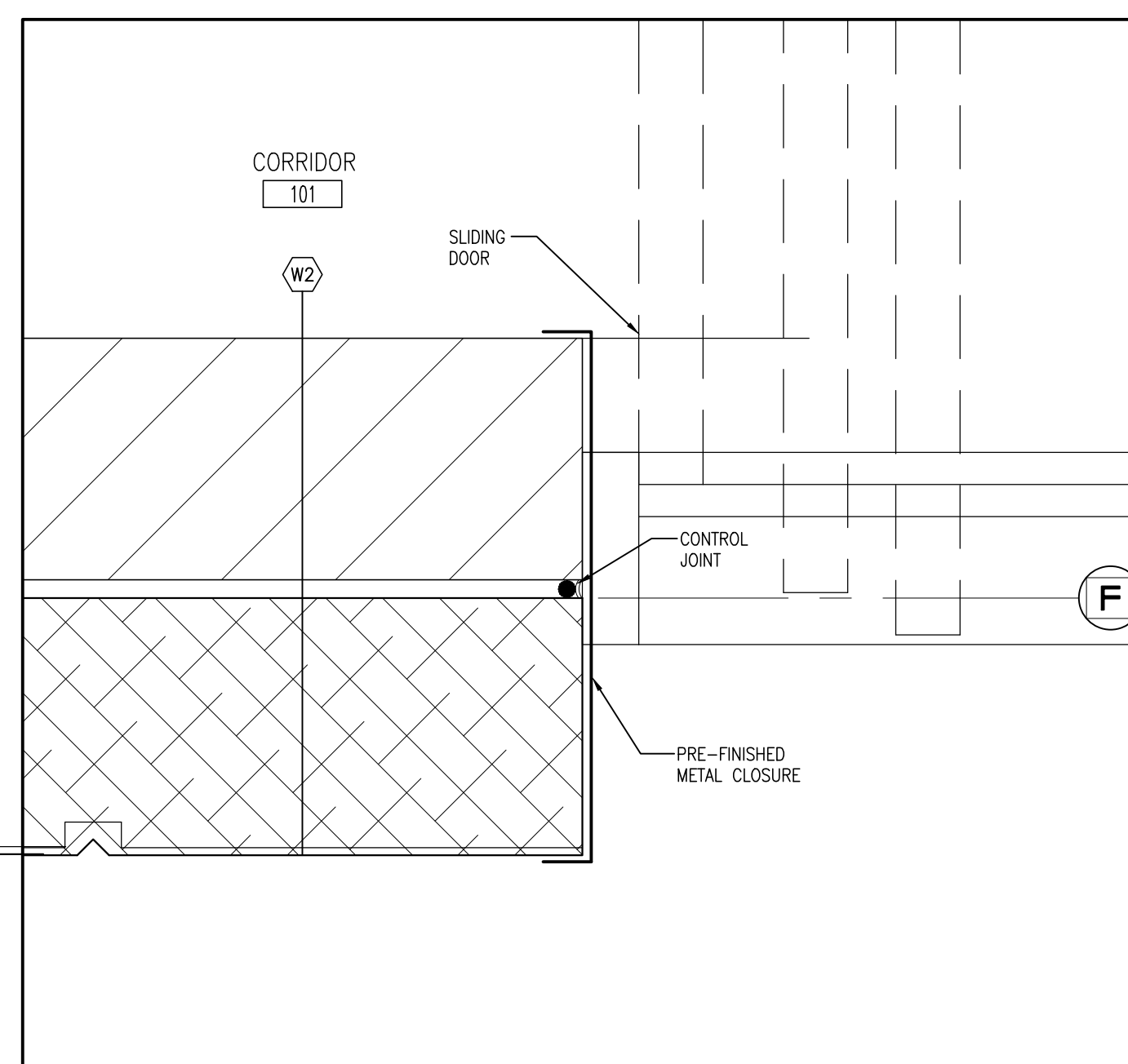
4 PLAN DETAIL  
A601 1:5



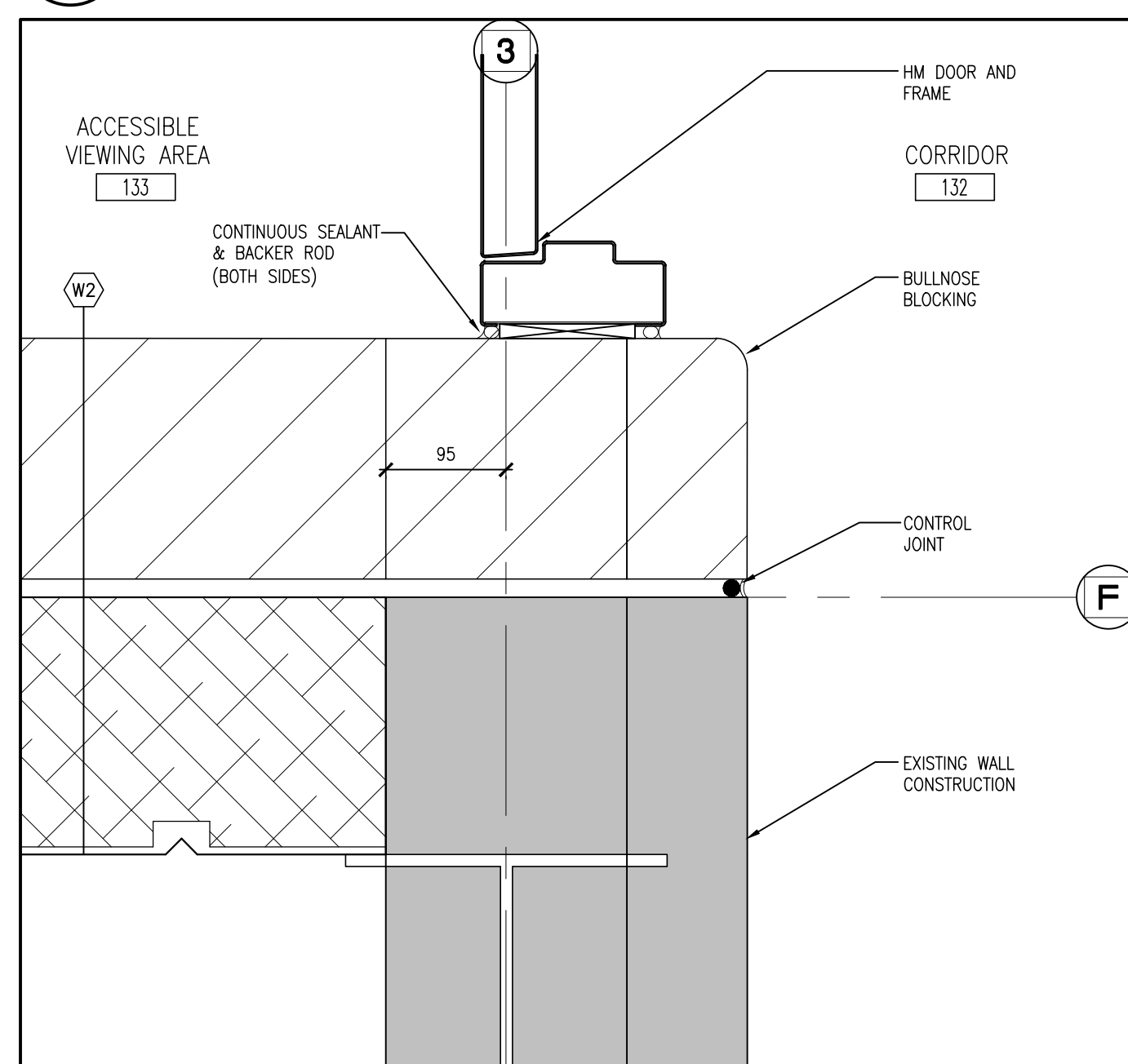
10 SECTION DETAIL (BULKHEAD)  
A601 1:5



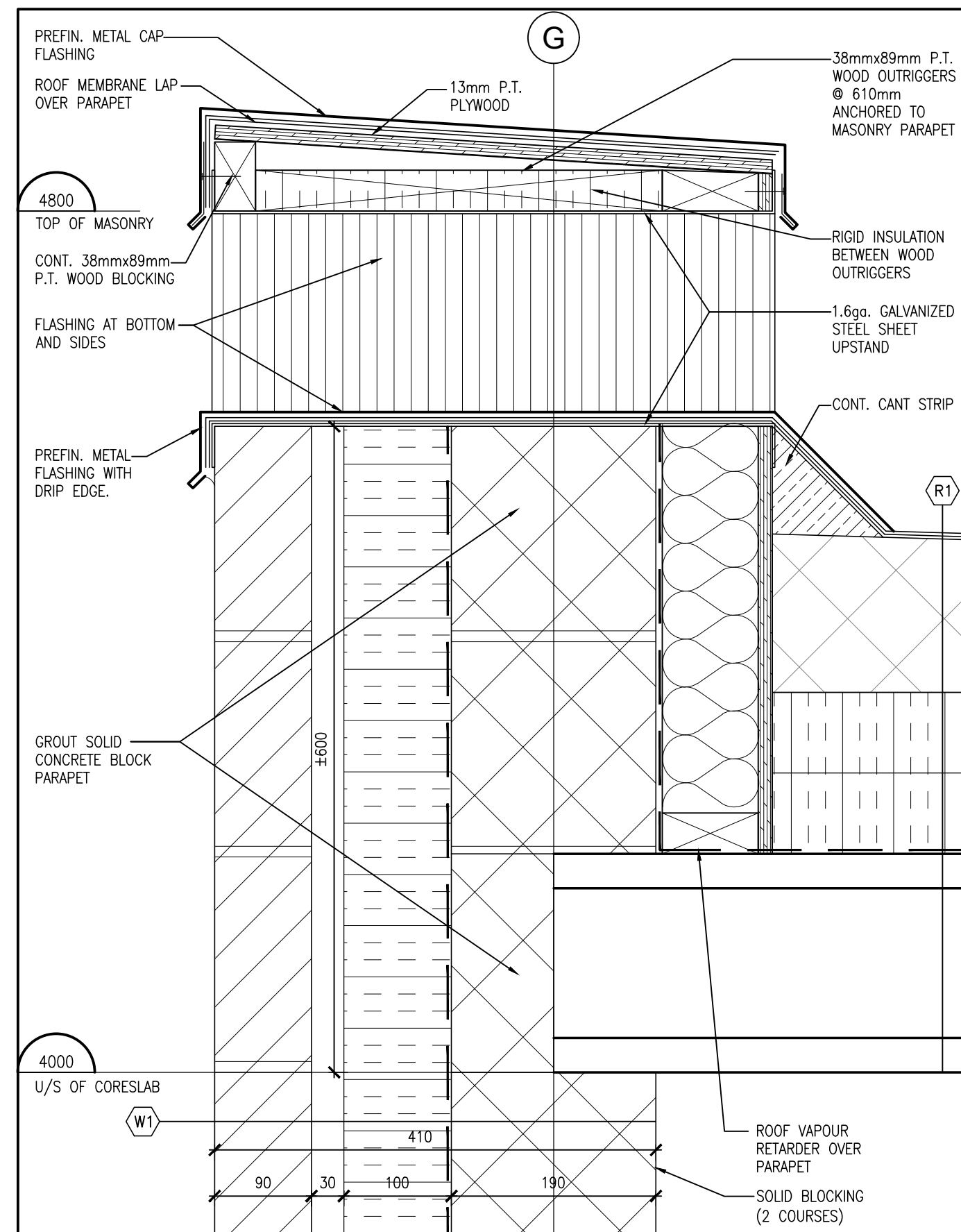
3 PLAN DETAIL  
A601 1:5



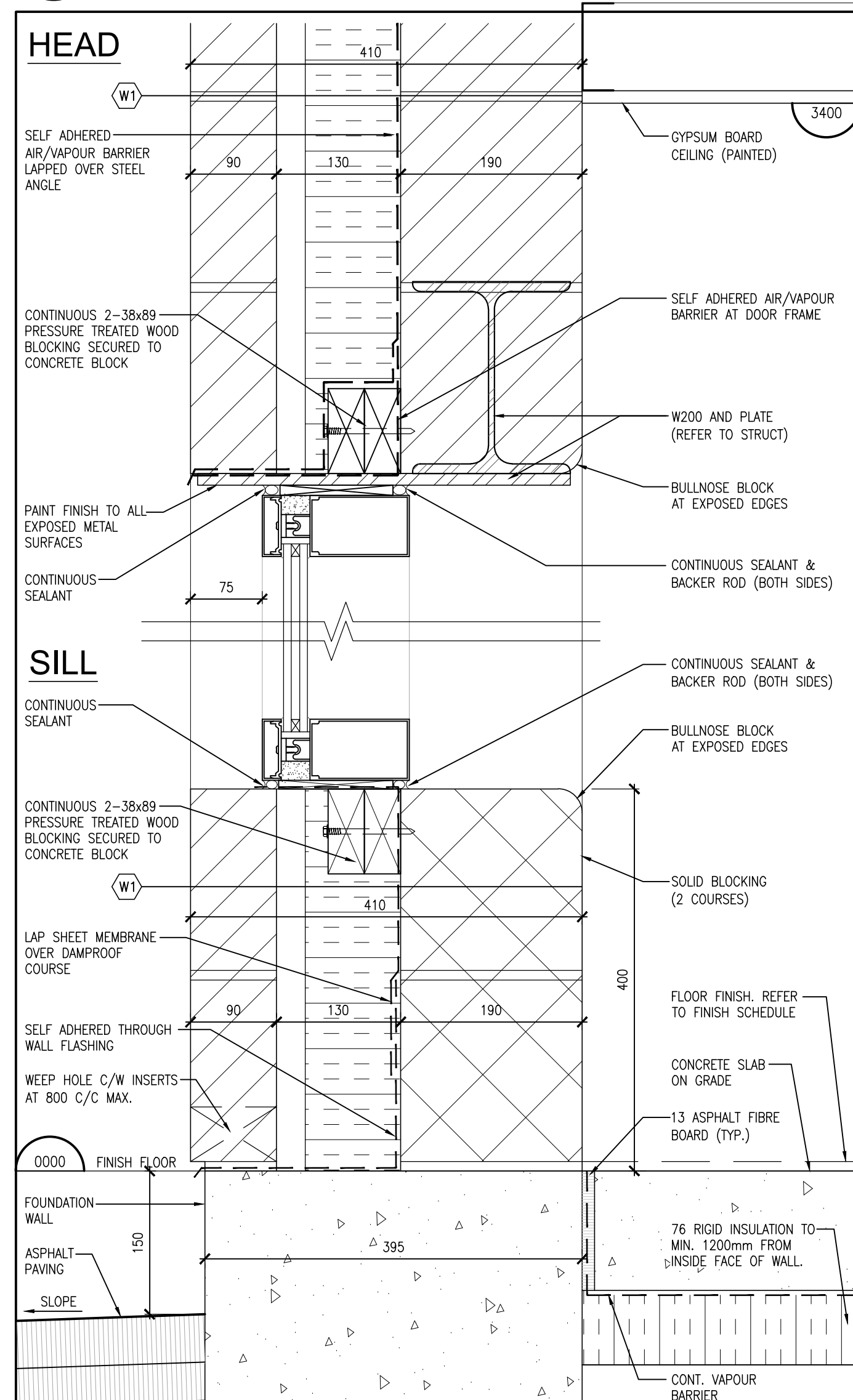
2 PLAN DETAIL  
A601 1:5



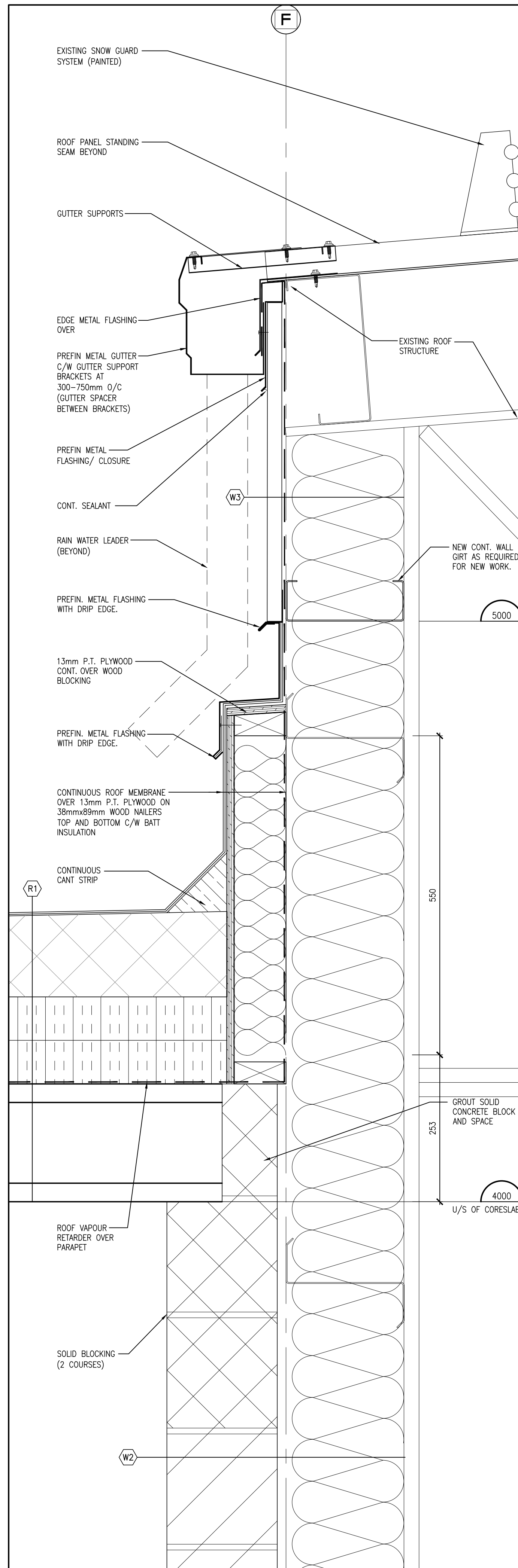
1 PLAN DETAIL  
A601 1:5



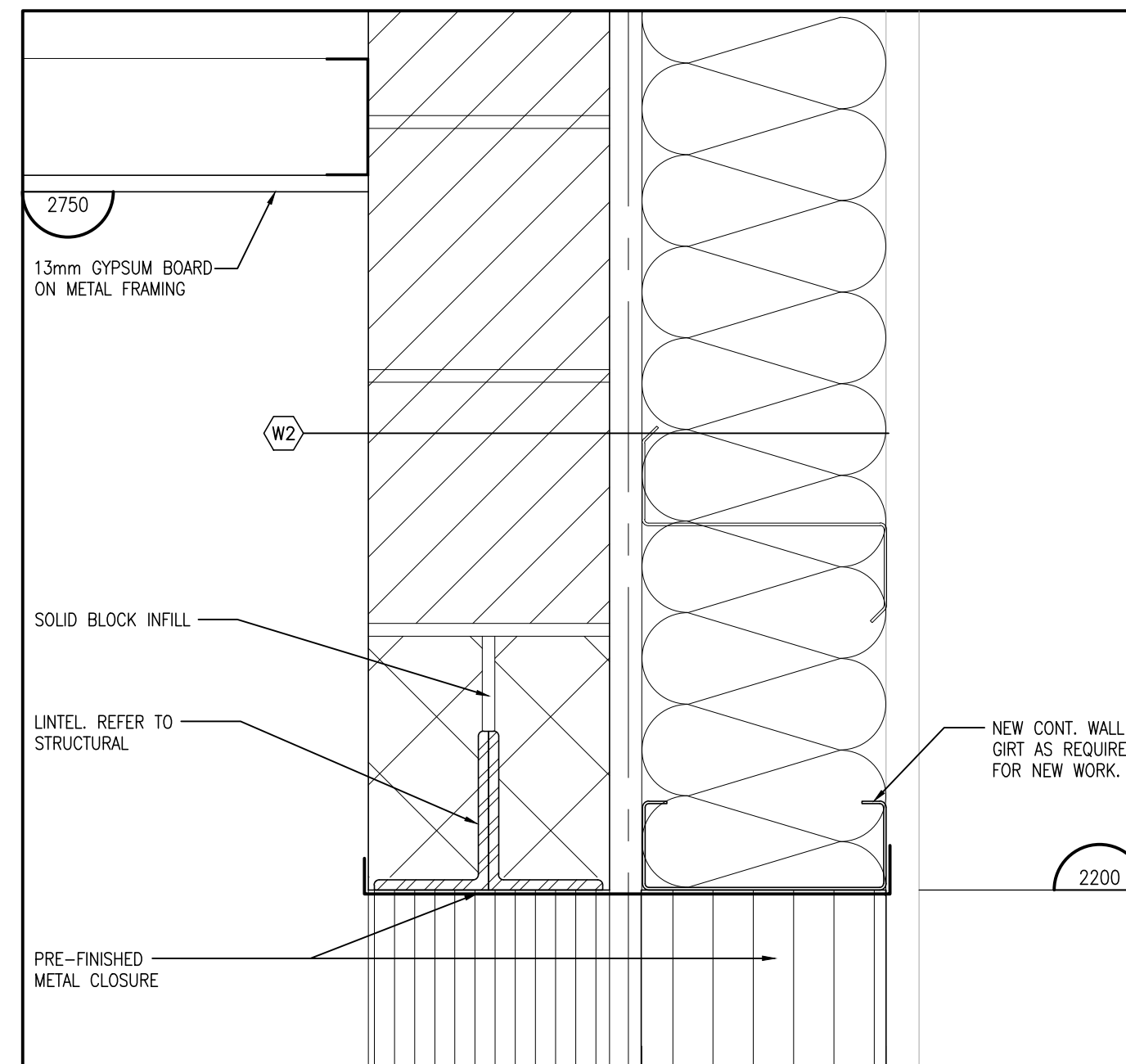
**8 SECTION DETAIL (ROOF SCUPPER)**  
1:5  
A602



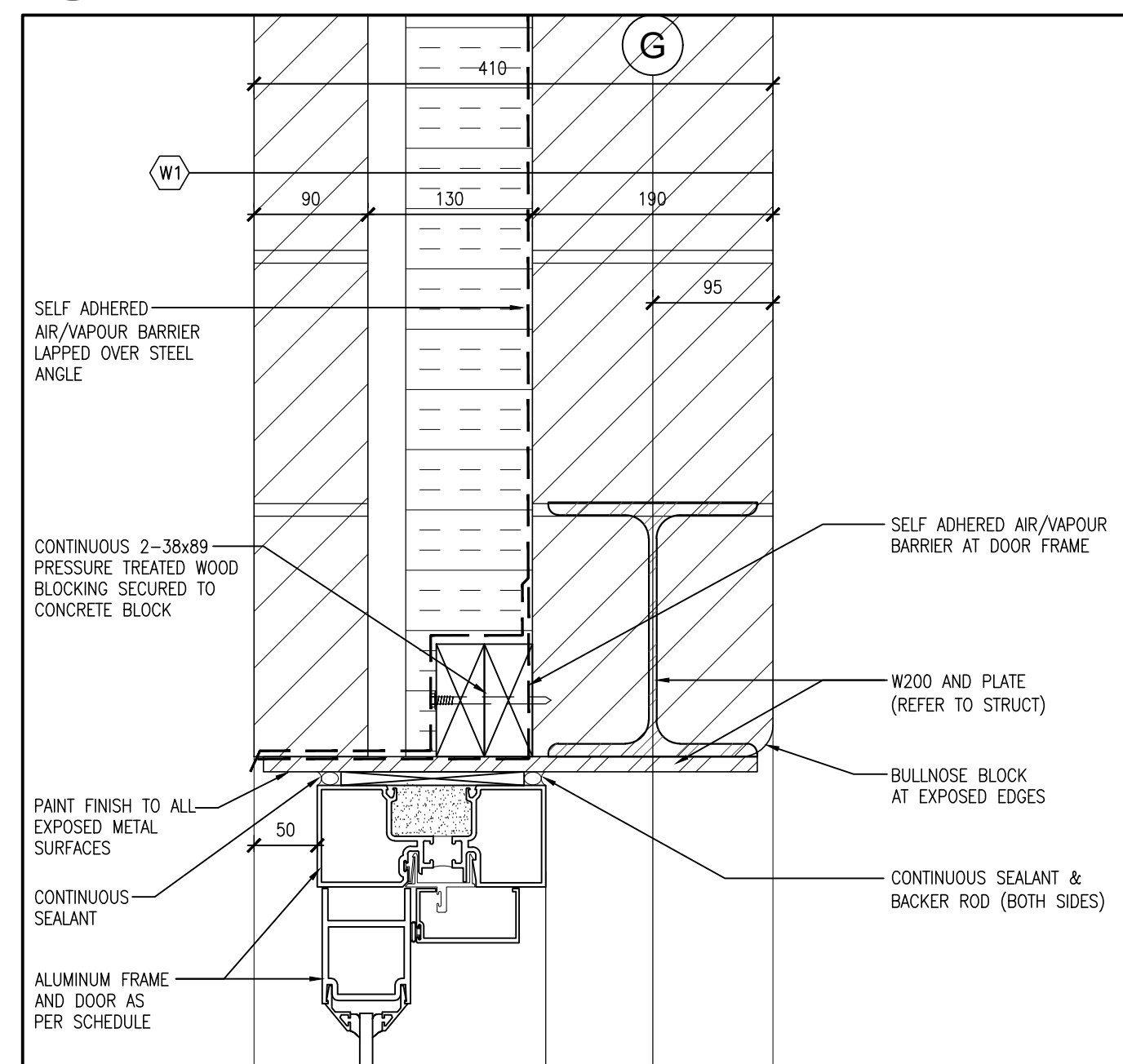
**7 SECTION DETAIL**  
1:5  
A602



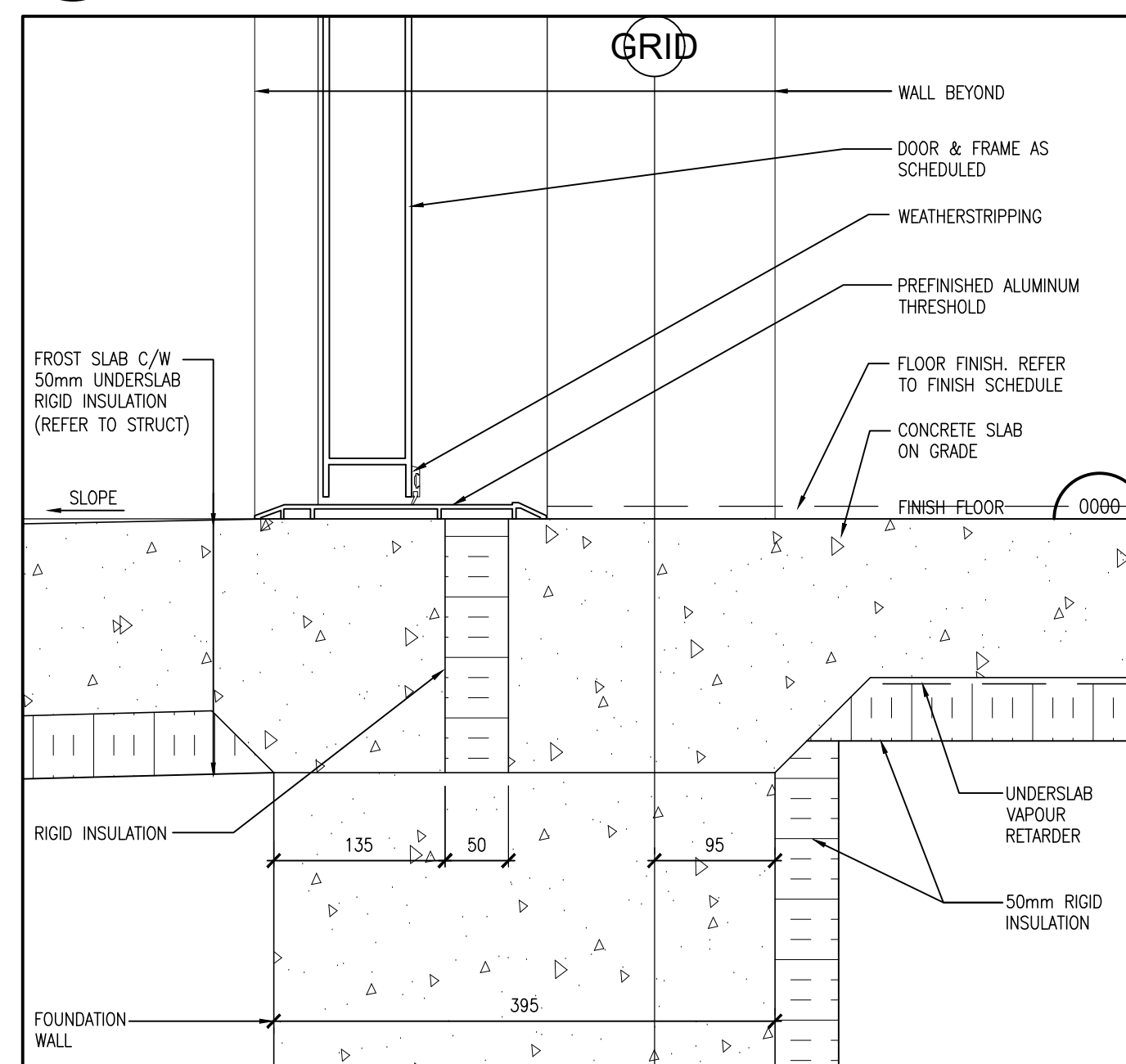
**6 SECTION DETAIL**  
1:5  
A602



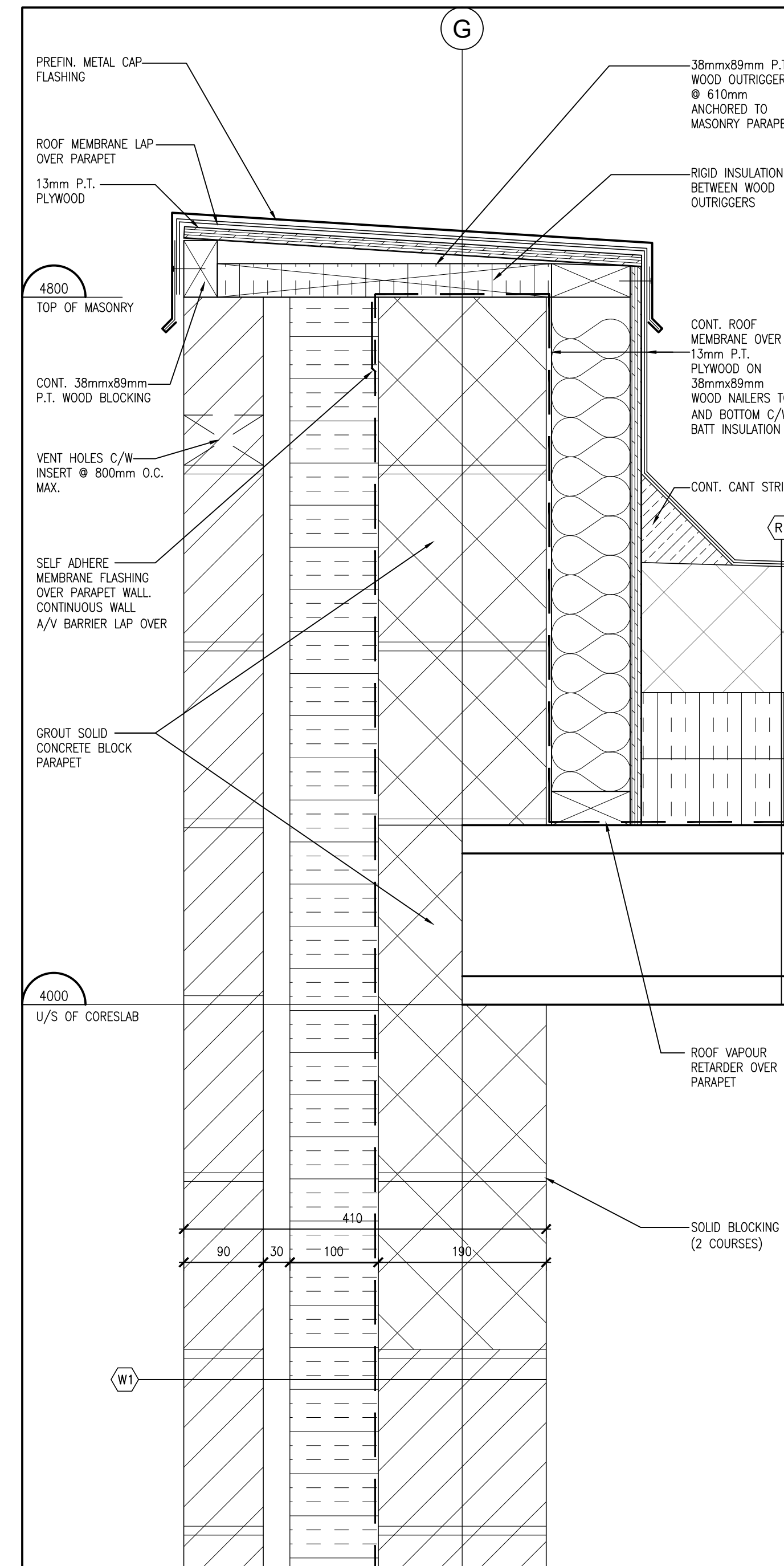
**5 SECTION DETAIL**  
1:5  
A602



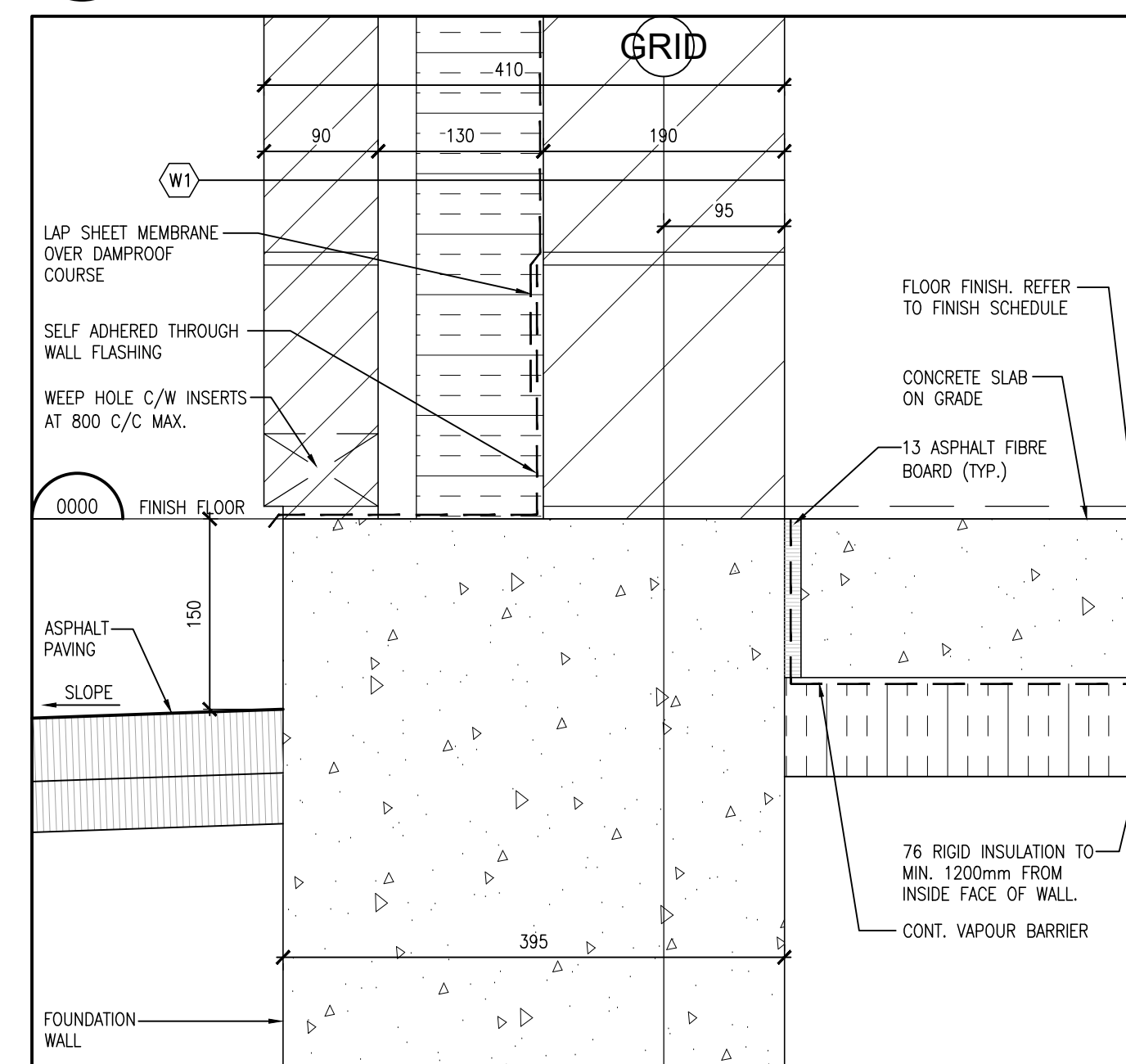
**4 SECTION DETAIL**  
1:5  
A602



**3 SECTION DETAIL**  
1:5  
A602



**2 SECTION DETAIL**  
1:5  
A602



**1 SECTION DETAIL**  
1:5  
A602

DO NOT SCALE THE DRAWINGS.  
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.  
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

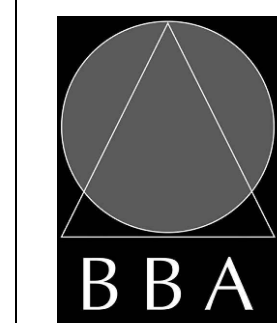


NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	NOV. 28, 2023	BBA
2	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
3	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA

NO.	REVISIONS	DATE	BY

**PROJECT:**  
**GRAND VALLEY ARENA  
RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 5N6  
TOWN OF GRAND VALLEY

**DRAWING:**  
**SECTION DETAILS**



**BARRY BRYAN  
ASSOCIATES**  
Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5  
Tel: (905) 666-5252  
Fax: (905) 666-5256  
e-mail: bba@bba-erchwg.com

DESIGN BY: BBA	DOC CONTROL DATE:
DRAWN BY: JJA	% COMPLETE:
CHECKED BY: NS	INITIAL:
DATE: NOV. 28, 2023	SCALE: AS NOTED
FILE: 22119A A602	

**PROJECT NO:**  
**21171**  
**DRAWING NO:**  
**A602**

DO NOT SCALE THE DRAWINGS.

CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.

ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.

DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

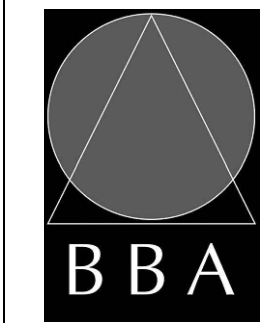


NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	NOV. 28, 2023	BBA
2	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
3	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA

NO.	REVISIONS	DATE	BY

PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
 DISTRICT COMMUNITY CENTRE  
 90 MAIN ST. N  
 GRAND VALLEY, ONTARIO, L0N 5N6  
 TOWN OF GRAND VALLEY

DRAWING:  
**INTERIOR ELEVATIONS**

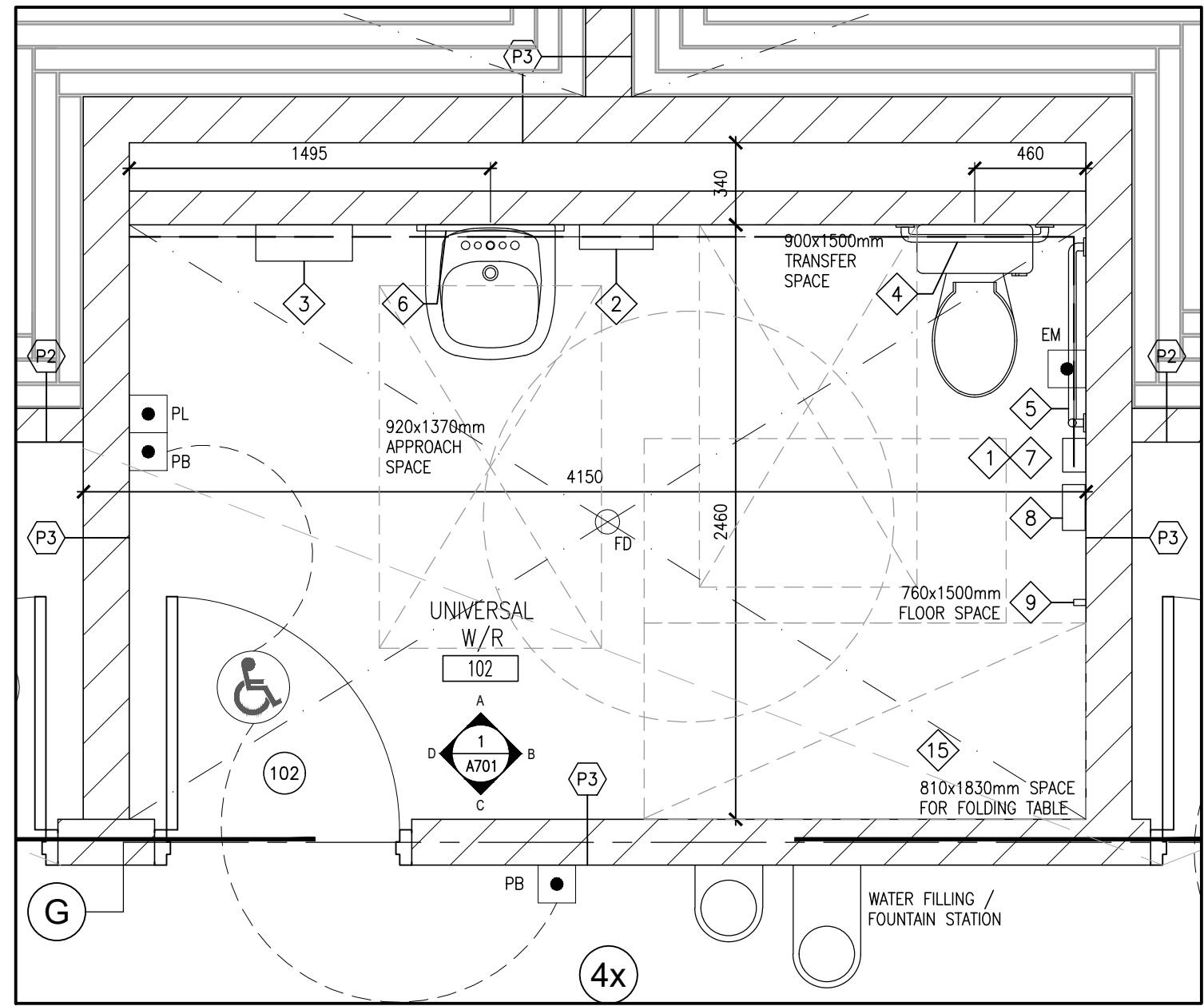


**BARRY BRYAN ASSOCIATES**  
 Architects  
 Engineers  
 Project Managers  
 250 Water Street  
 Suite 201  
 Whitby, Ontario  
 L1N 0G5  
 Tel: (905) 666-5252  
 Fax: (905) 666-5256  
 e-mail: bba@bbasrchng.com

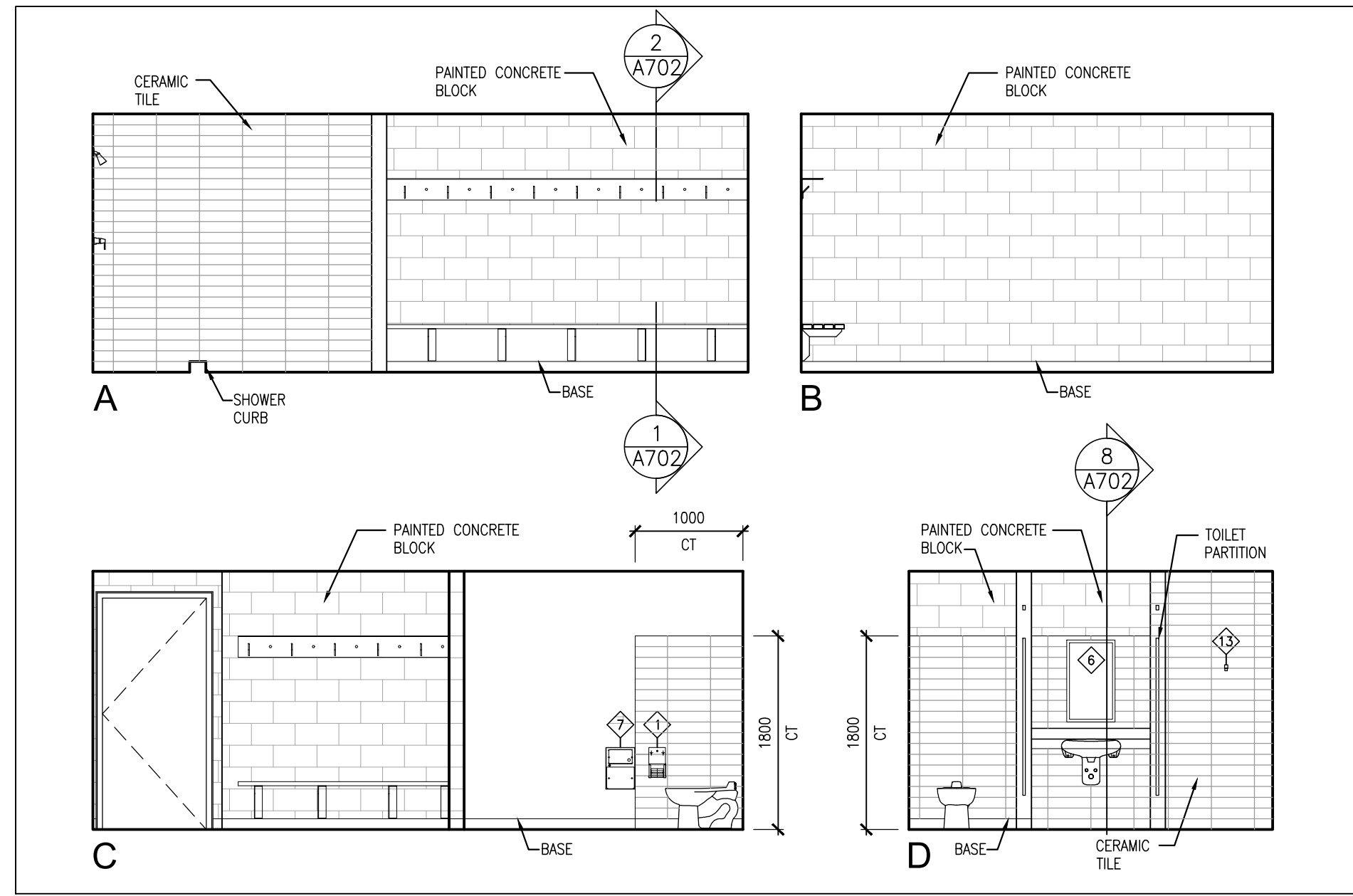
DESIGN BY:	BBA	DOC. CONTROL:	DATE:
DRAWN BY:	JJA	% COMPLETE:	
CHECKED BY:	NS	INITIAL:	
DATE:	NOV. 28, 2023		
SCALE:	AS NOTED		
FILE:	21171 A701-A702		

PROJECT NO:  
**21171**

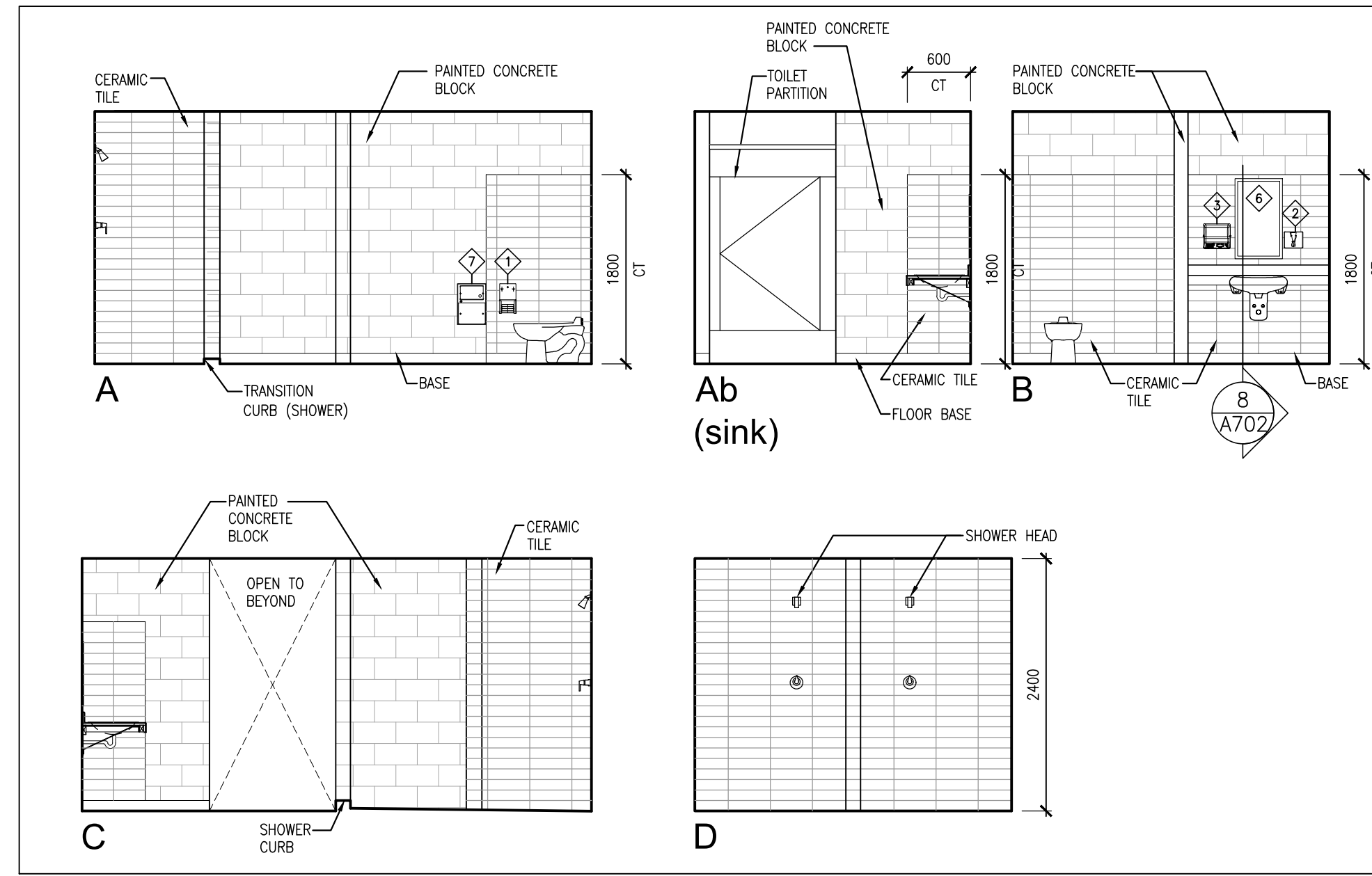
DRAWING NO:  
**A701**



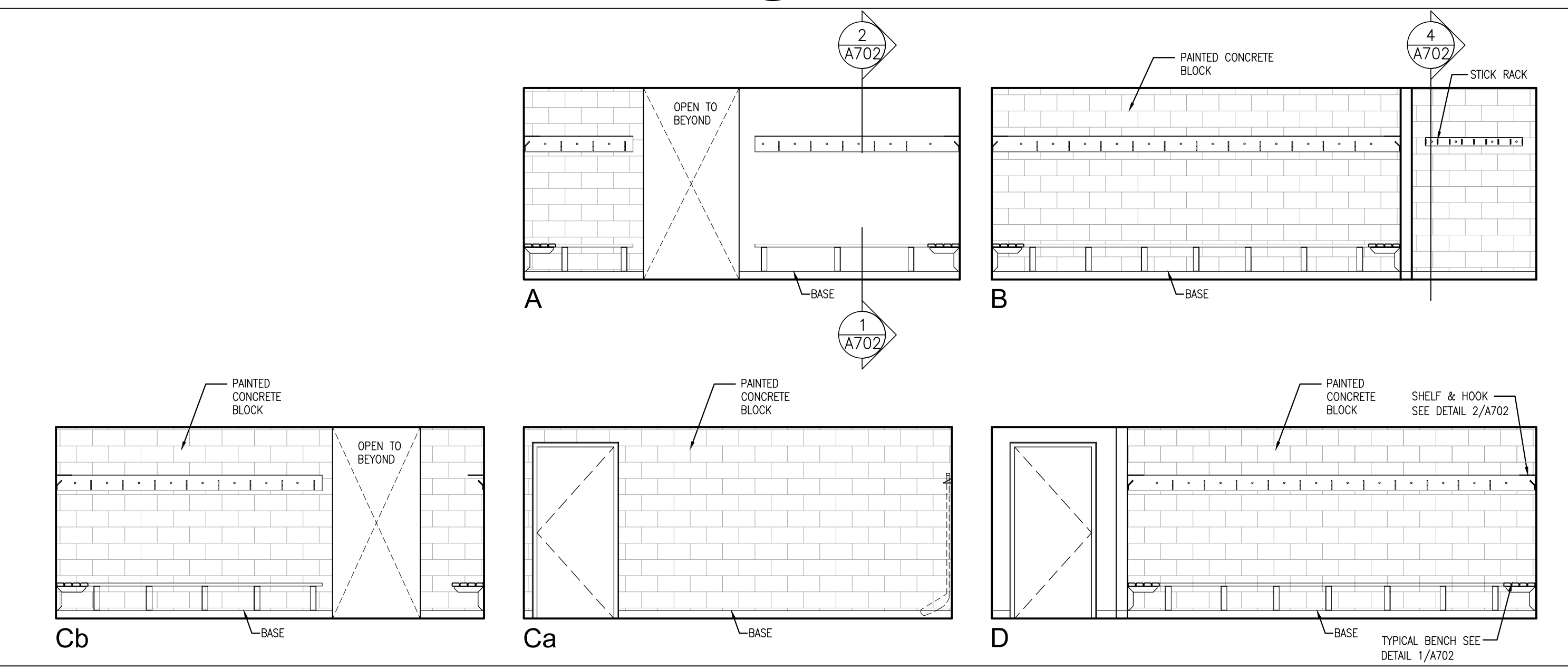
**7 UNIVERSAL WASHROOM 102 : PLAN**  
 1:25



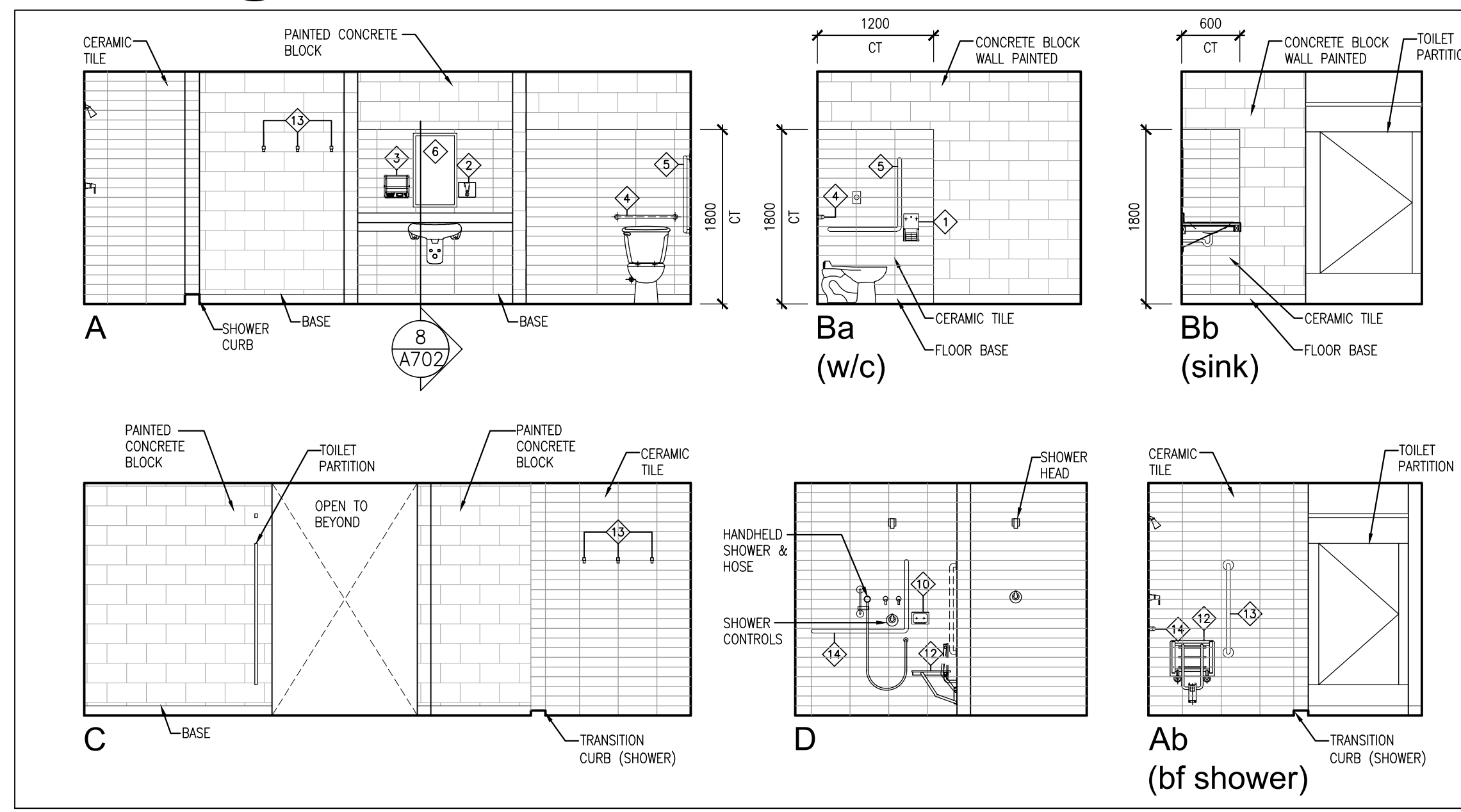
**6 REFEREE CHANGE ROOM : W/R & SHOWER**  
 1:50



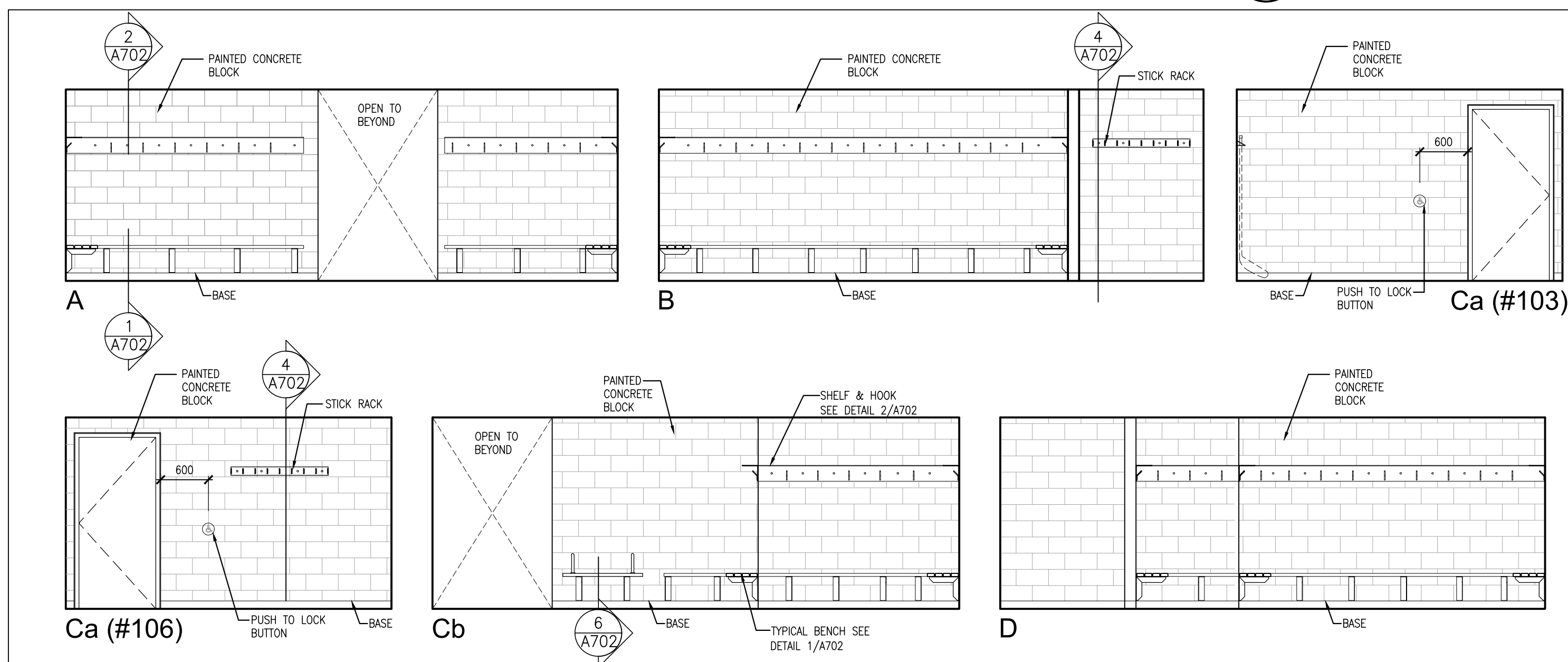
**5 SHOWER & W/R #3 & #5 - SHR/W/R #4 & #6 (MIRR)**  
 1:50



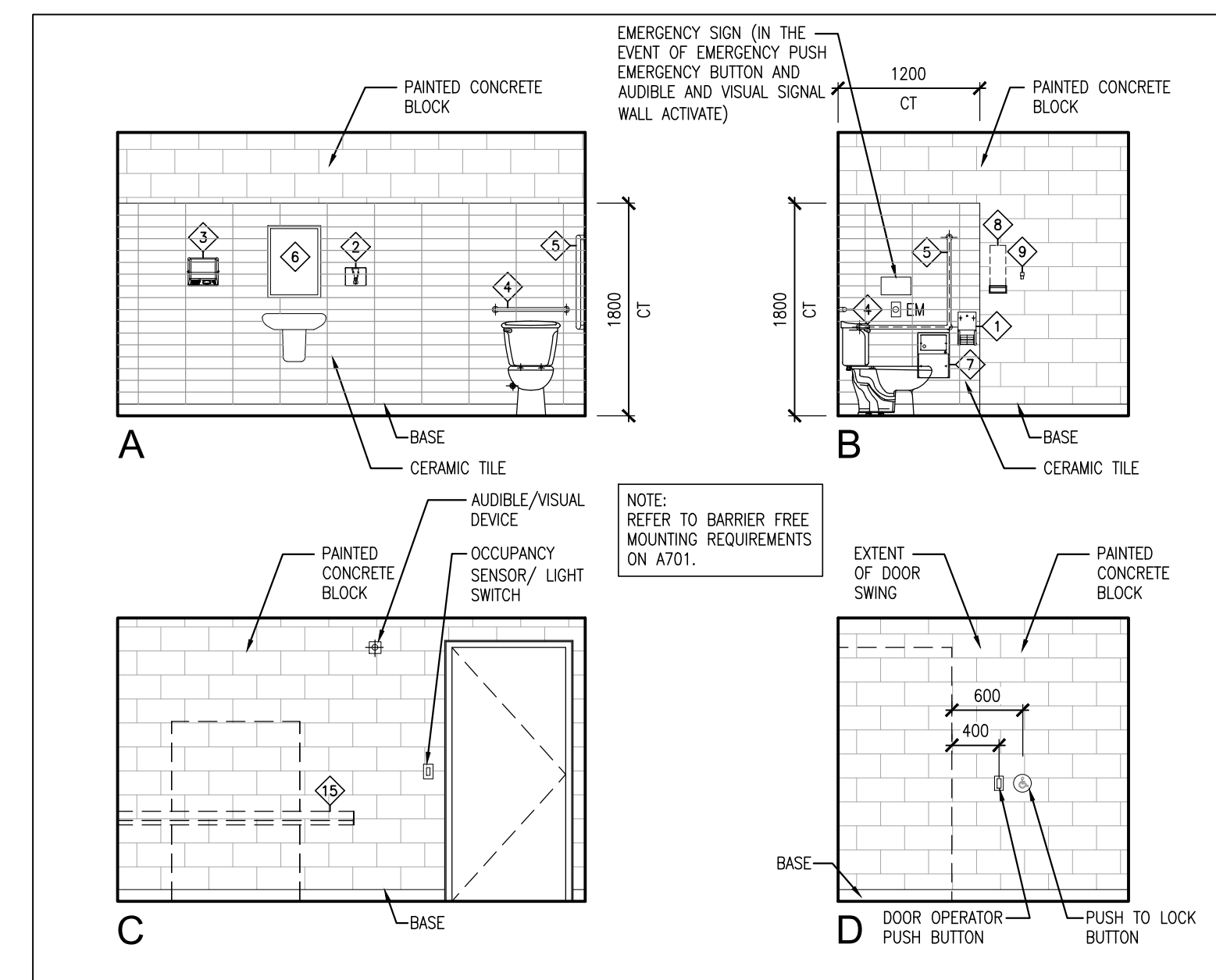
**4 CHANGE ROOM #3 & #5 / CHANGE ROOM #4 & #6 (MIRR)**  
 1:50



**3 SHOWER #1 (105) / W/R #1 (104) - SHR #2/W/R#2 (MIRR)**  
 1:50

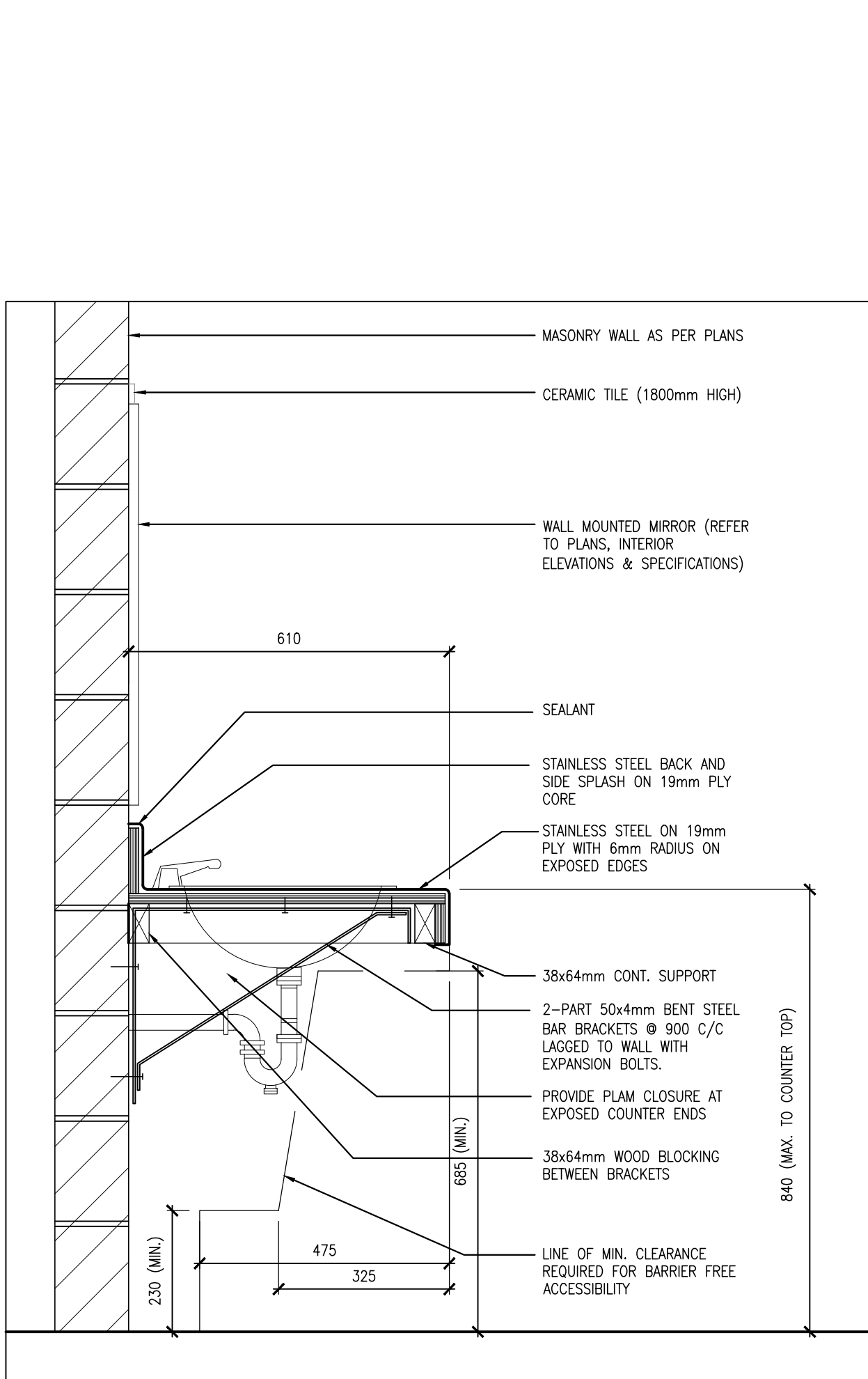
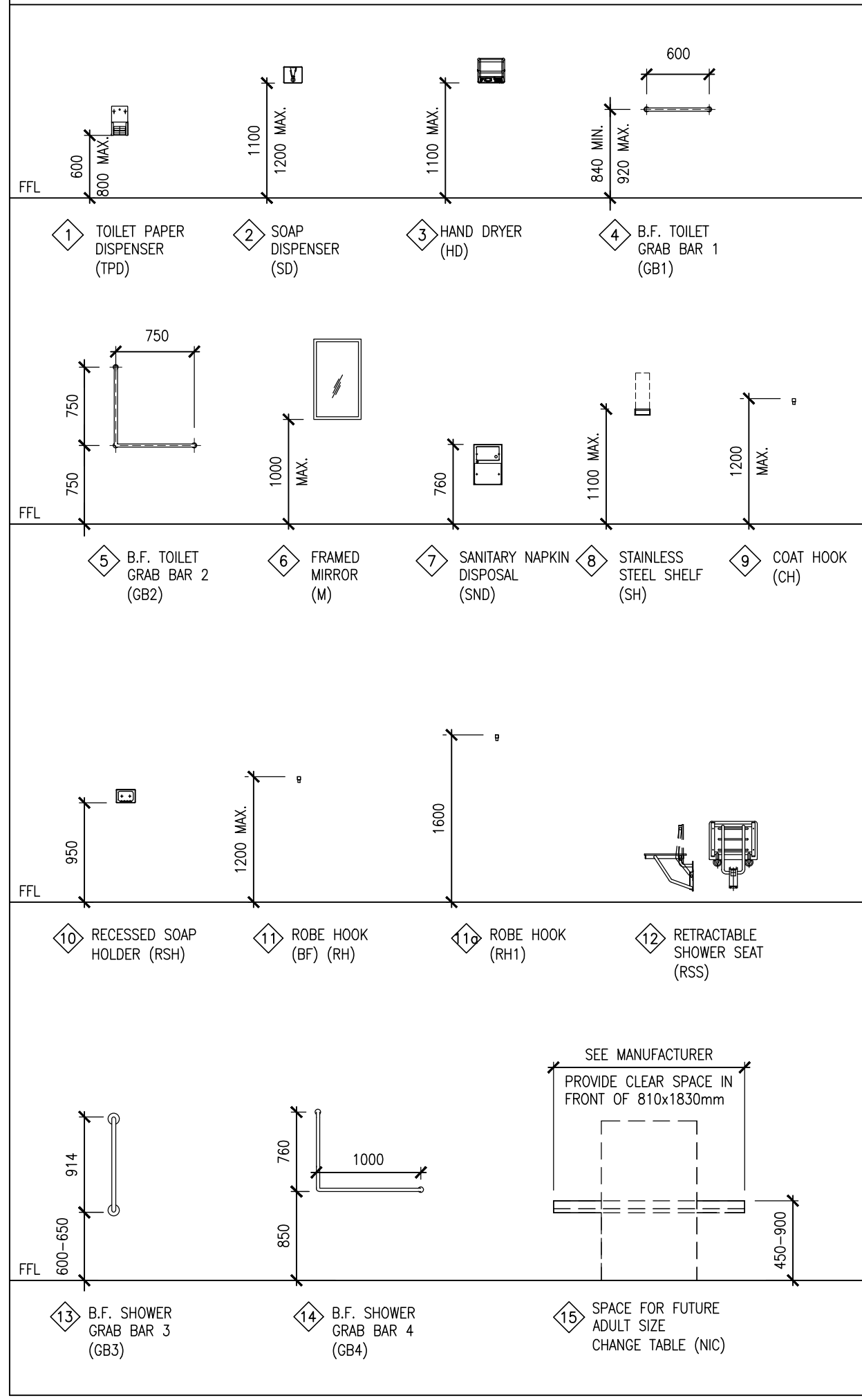


**2 CHANGE ROOM #1 / CHANGE ROOM #2 (MIRR)**  
 1:50



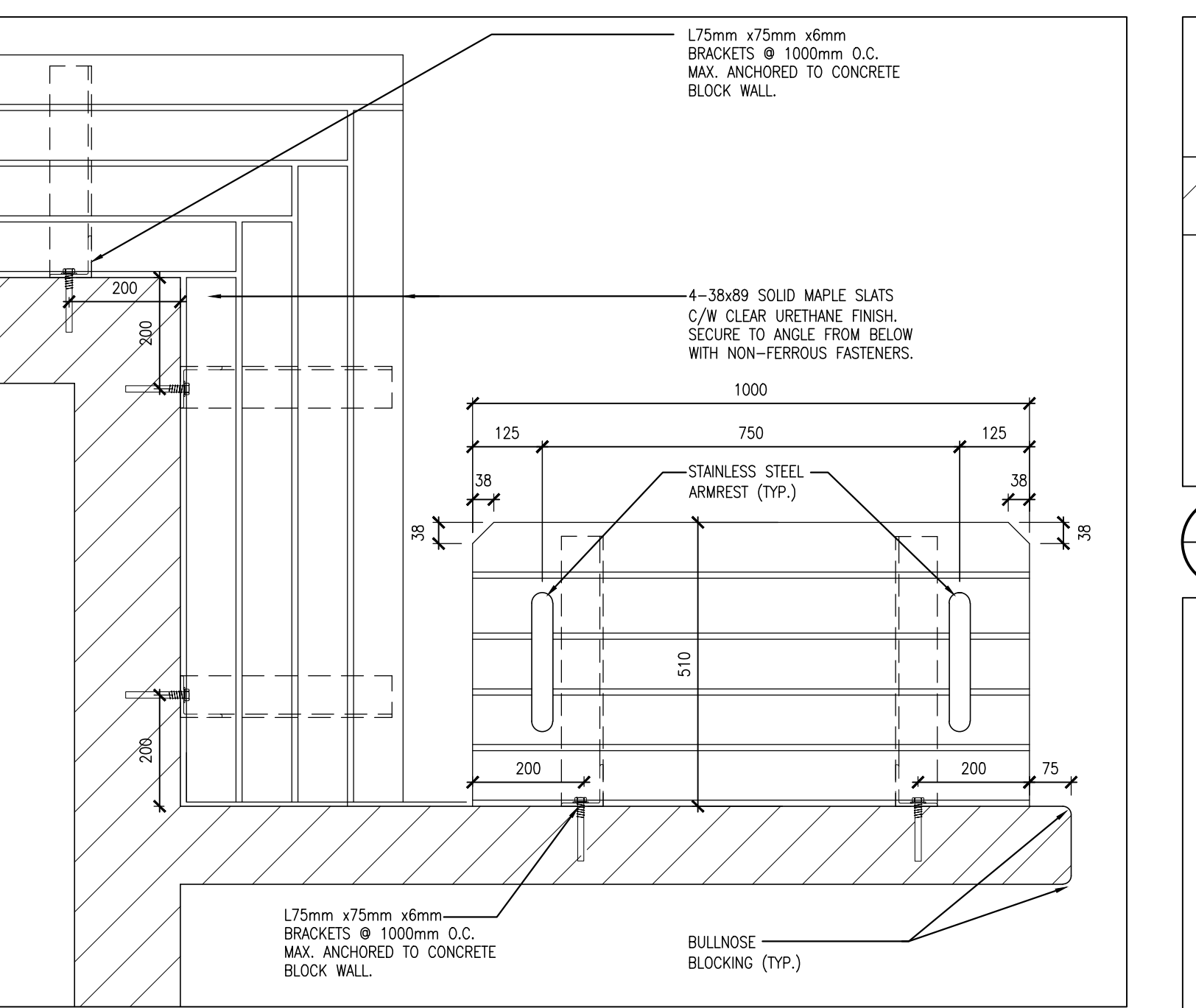
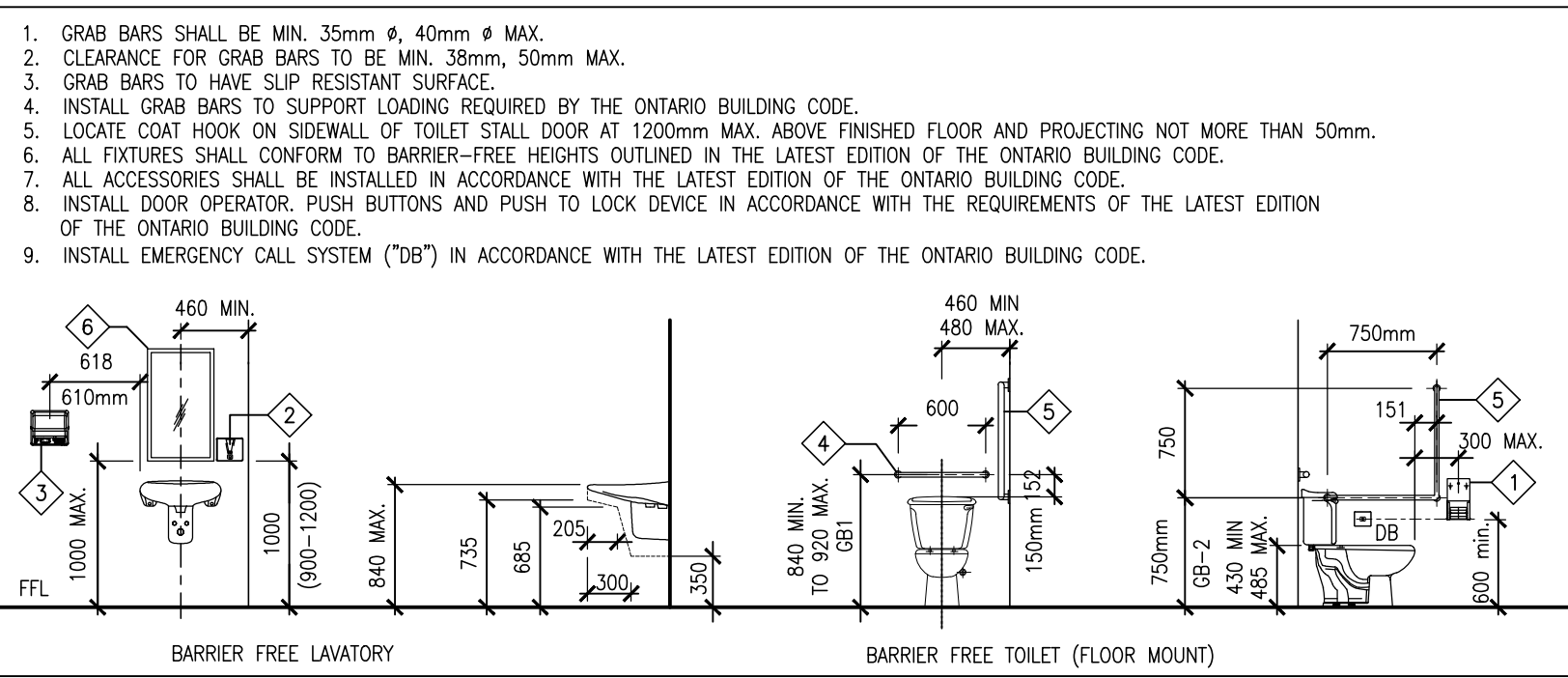
**1 UNIVERSAL WASHROOM 102**  
 1:50

**WASHROOM ACCESSORIES MOUNTING HEIGHTS**



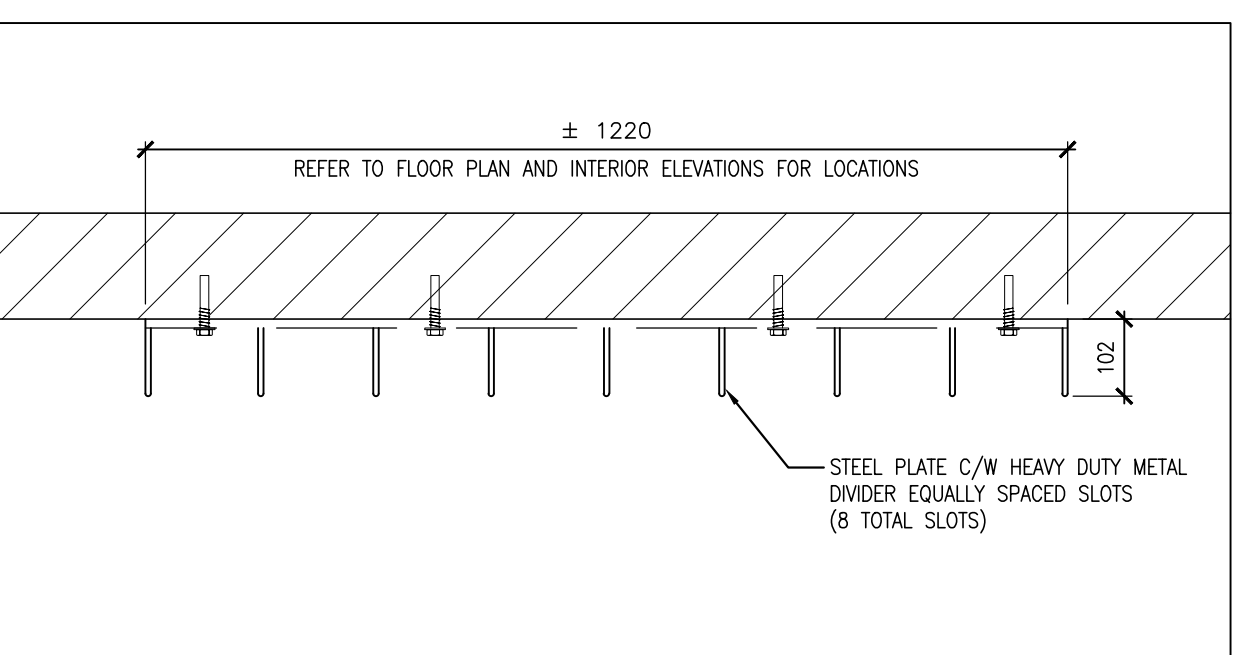
**8 VANITY DETAIL @ CHANGE ROOM**  
1:10

**BARRIER FREE MOUNTING HEIGHT REQUIREMENTS**



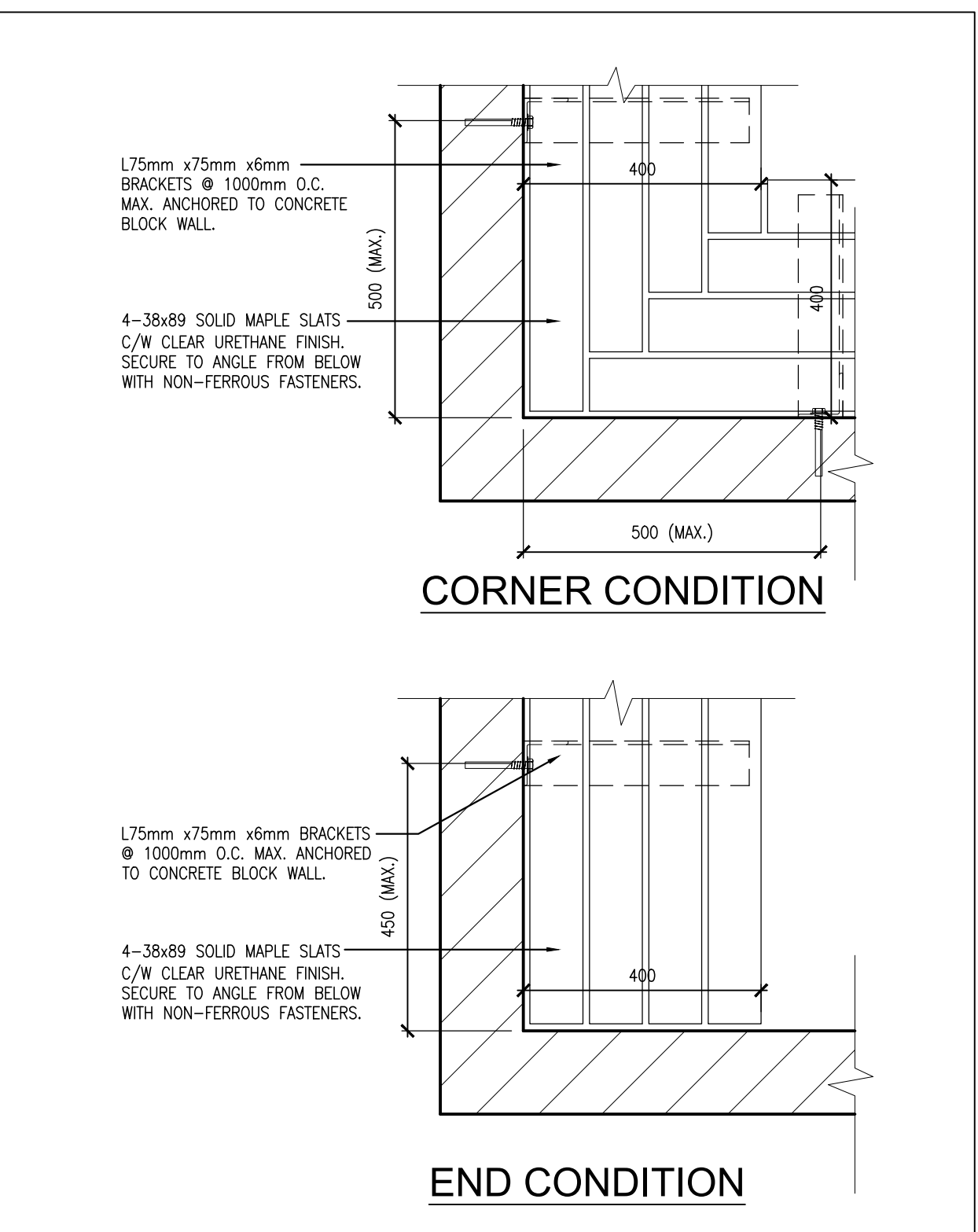
**7 BARRIER FREE BENCH PLAN**  
1:10

**6 BARRIER FREE BENCH W/ ARMREST**  
1:10

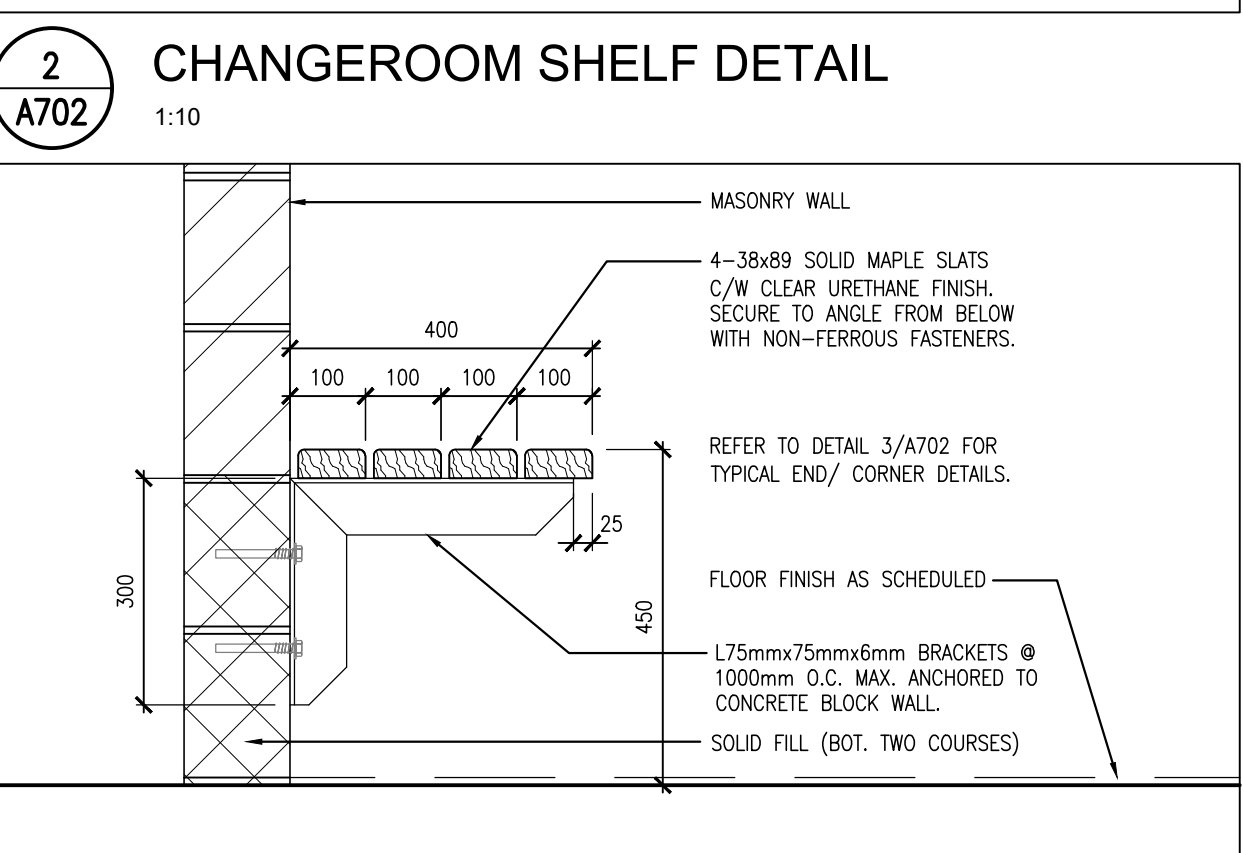


**5 STICK METAL RACK PLAN DETAIL**  
1:10

**4 STICK RACK SECTION DETAIL**  
1:10



**3 TYPICAL WOOD BENCH DETAILS**  
1:10



**2 CHANGEROOM SHELF DETAIL**  
1:10

**1 BENCH DETAIL @ CHANGEROOMS**  
1:10

DO NOT SCALE THE DRAWINGS.  
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.  
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.



NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	NOV. 28, 2023	BBA
2	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
3	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA

NO.	REVISIONS	DATE	BY

PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 5N6  
TOWN OF GRAND VALLEY

DRAWING:  
**CHANGE ROOM DETAILS AND W/R ACCESSORIES**

**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers

250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 6G5  
Tel: (905) 666-5252  
Fax: (905) 666-5256  
e-mail: bbas@bba-arching.com

DESIGN BY: BBA	DOC CONTROL DATE:
DRAWN BY: JJA	% COMPLETE:
CHECKED BY: NS	INITIAL:
DATE: NOV. 28, 2023	SCALE: AS NOTED
FILE: 21171 A701-A702	

PROJECT NO:  
**21171**

DRAWING NO:  
**A702**

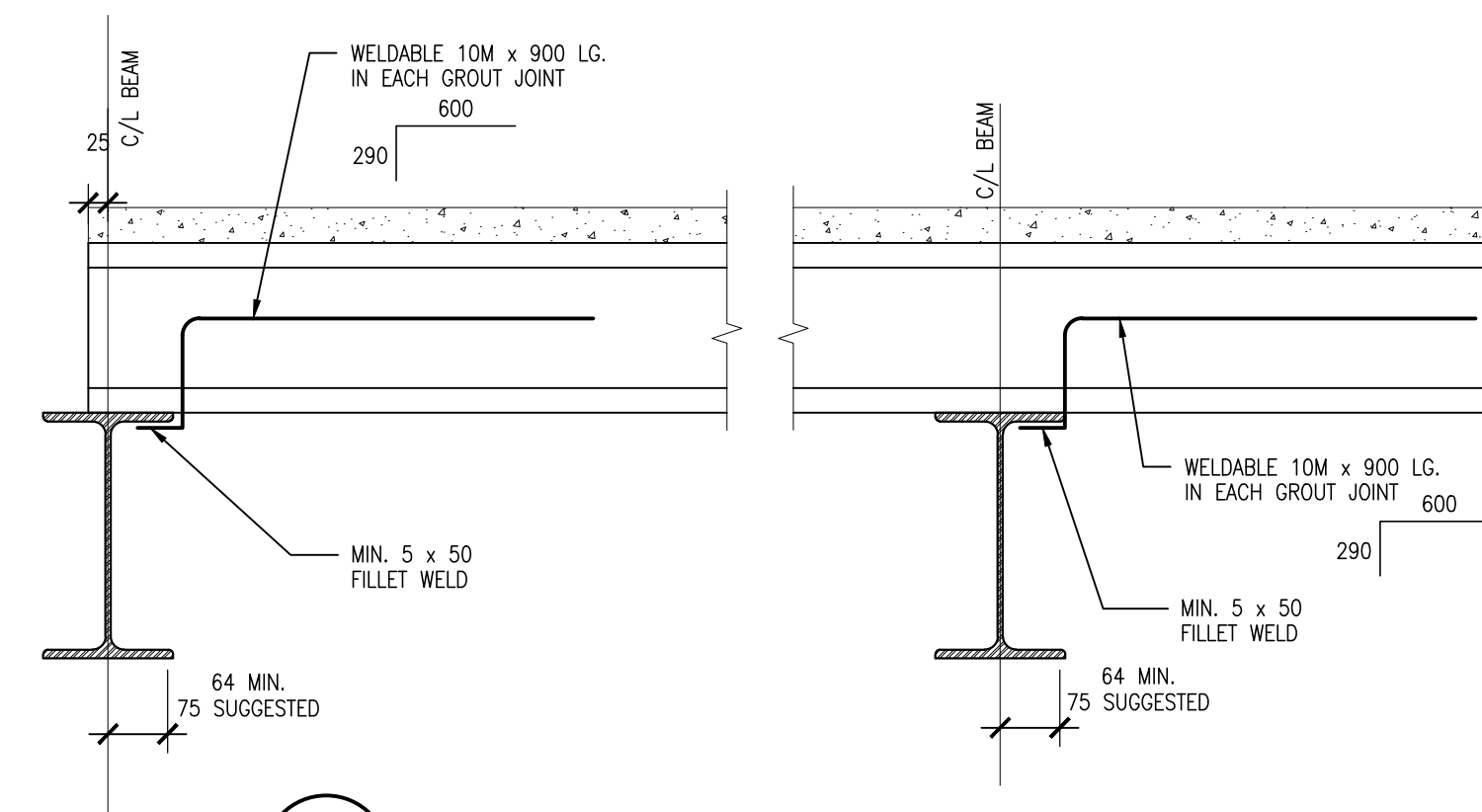




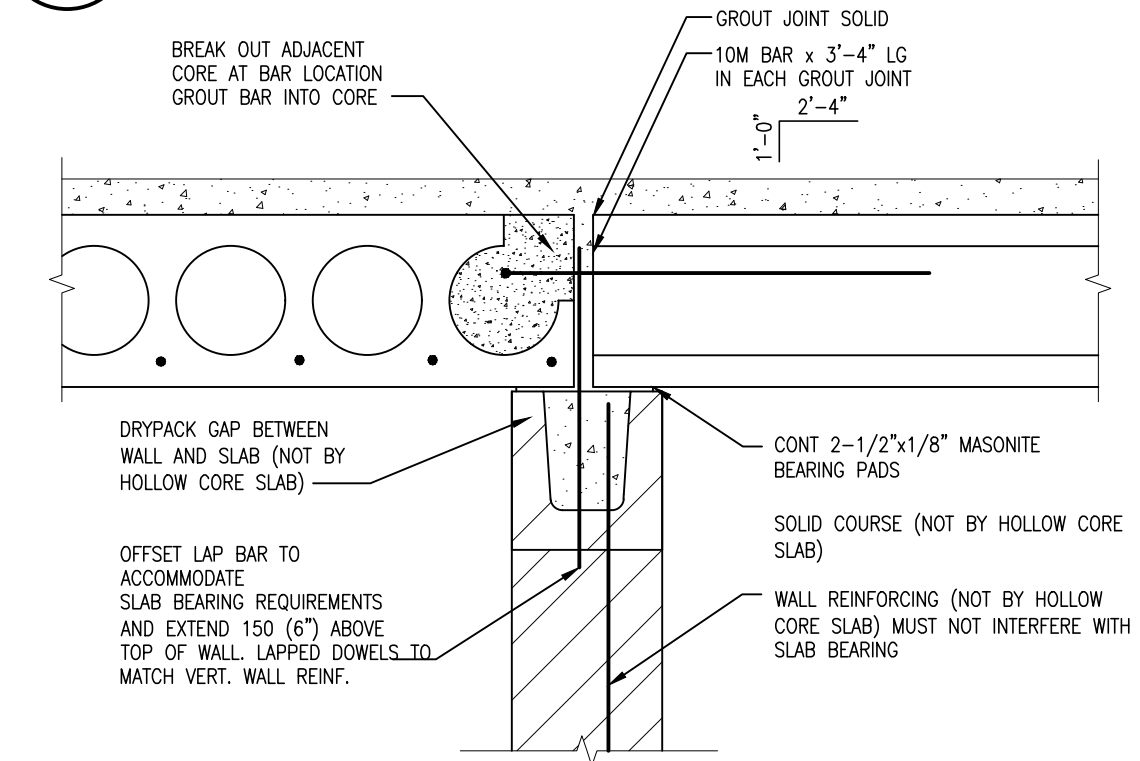
MASONRY WALL SCHEDULE			
MARK	DESCRIPTION	VERTICAL REINFORCEMENT	REMARKS
F1	190mm BLOCK	15M @ 800	GROUT AT REINFORCED CORE

NON-LOAD BEARING STEEL LINTELS FOR MASONRY WALLS				
WALL THICKNESS	CLEAR SPAN			DETAIL
	UP TO 1200	1200 TO 1800	1800 TO 2400	
90 VENEER	1-L89x89x6.4	1-L127x89x6.4 (LLV)	1-L127x89x7.9 (LLV)	L
140	2-L64x64x6.4	2-L89x64x6.4	2-L89x64x7.9	64 LEGS HORIZ.
190	2-L89x76x6	2-L89x89x6	2-L100x89x8	89 LEGS HORIZ.

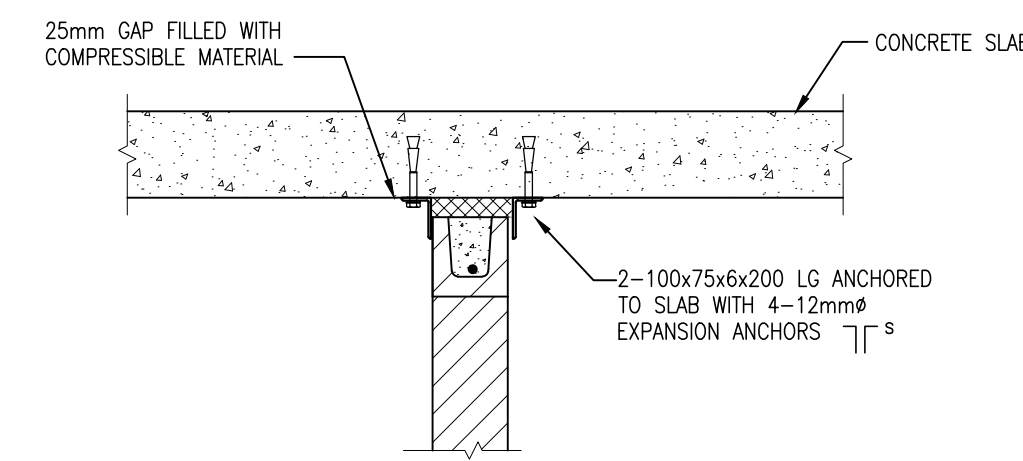
- NOTES:
- CONNECT ANGLES AT 600 C/C BY WELDING OR BOLTING FOR ANGLES WITH A TOTAL LENGTH OF 1800 OR MORE. USE 16# BOLTS OR 6x50 LONG WELDS.
  - USE SCHEDULES FOR LINTELS OVER MECH. OPENINGS IN ALL MASONRY WALLS UNLESS NOTED OTHERWISE ON PLAN. REFER TO MECH. DWGS. FOR LOCATIONS.
  - OPENINGS TO BE LOCATED MIN. 3 COURSES BELOW UNDERSIDE OF SLAB UNLESS APPROVED BY STRUCTURAL ENGINEER.
  - FOR DOUBLE WYTHE WALLS PROVIDE 10mm GUSSETS @ 800 C/C STEEL LINTEL SUPPORT BLOCK ABOVE PLUS CONT. 320x10mm BOT. PLATE.



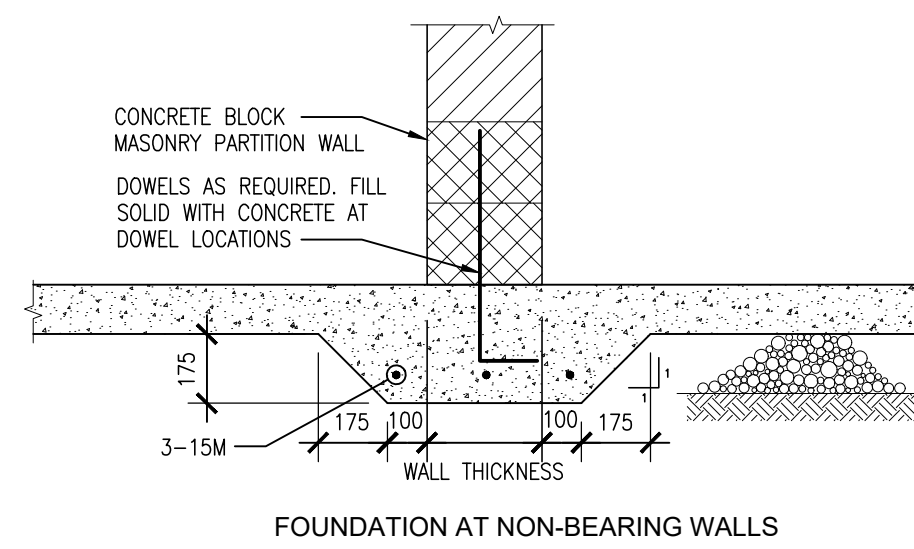
**5**  
**S102** HOLLOW CORE SLAB AT STEEL SUPPORTS  
N.T.S.



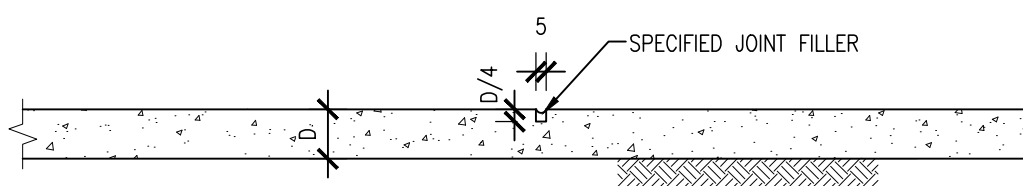
**4**  
**S102** HOLLOW CORE SLAB BEARING ON BLOCK  
N.T.S.



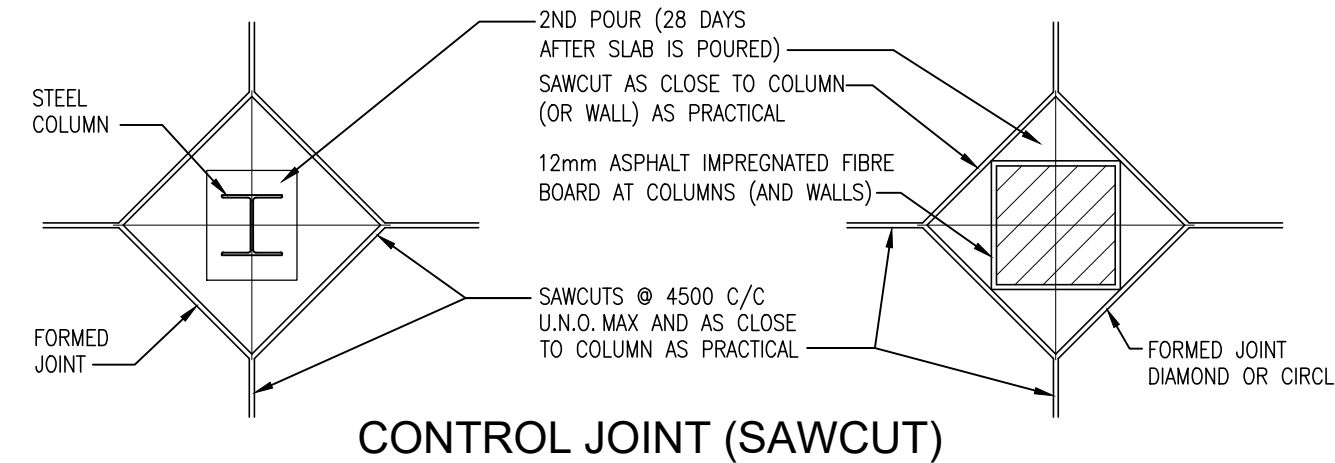
**8**  
**S102** LATERAL WALL SUPPORT  
N.T.S.



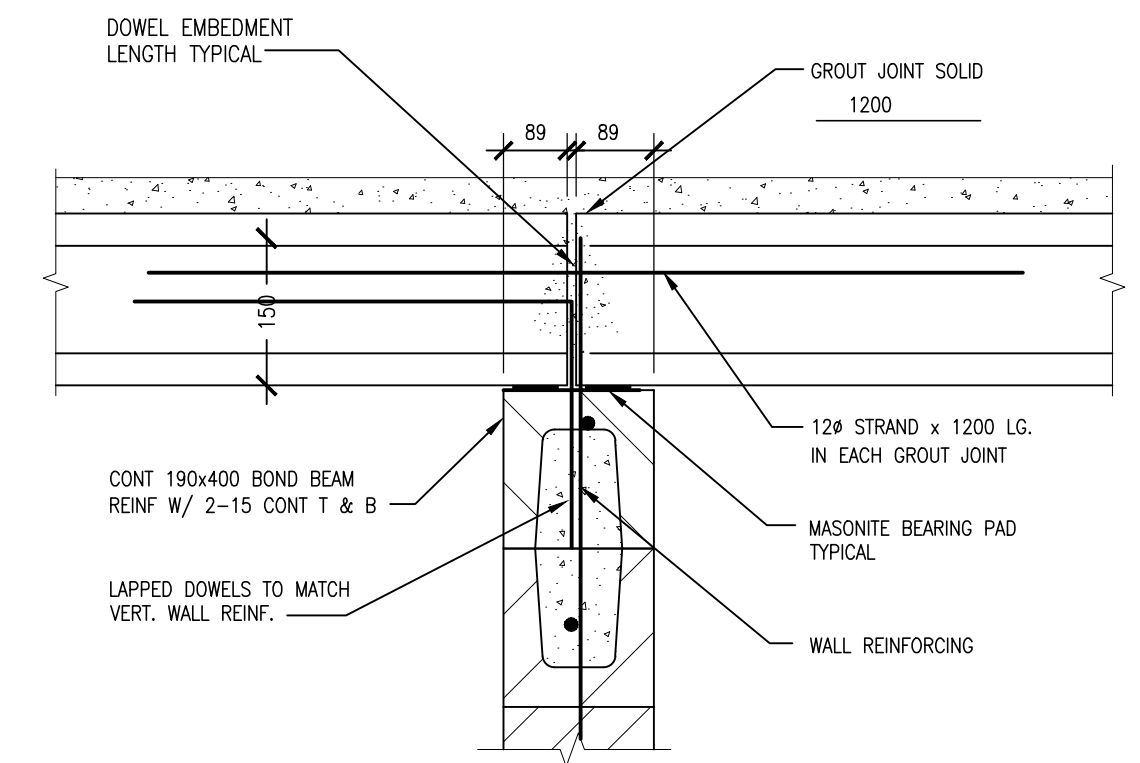
**7**  
**S102** SLAB THICKENING  
N.T.S.



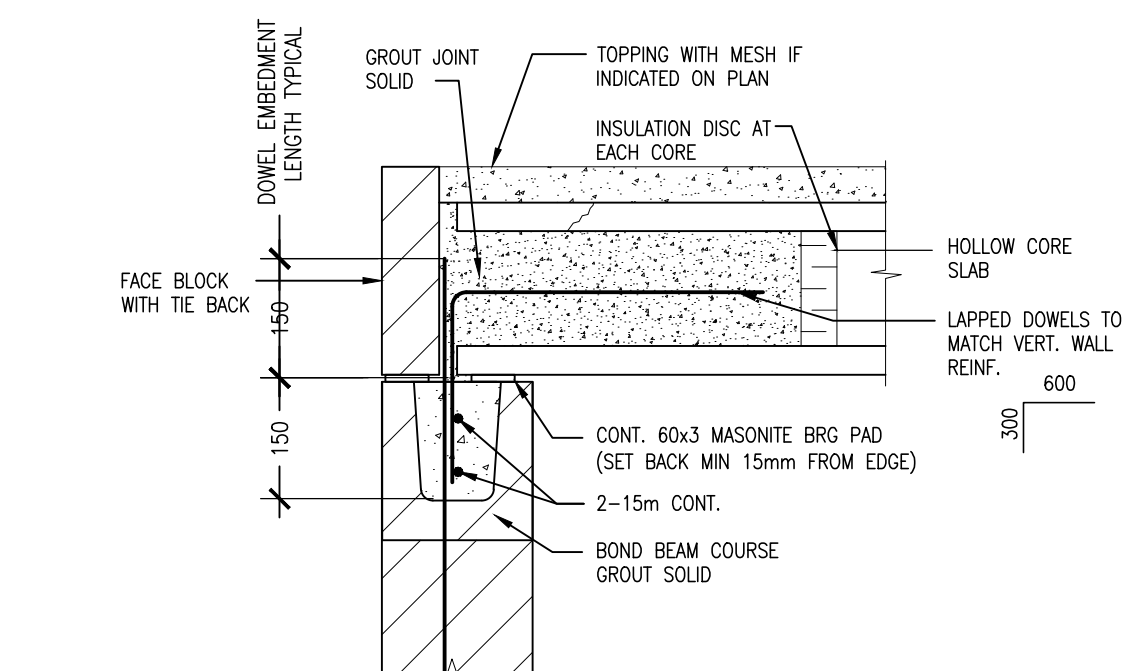
- NOTES:
- SAWCUTTING SHALL BE CARRIED OUT WITHIN 6 TO 18 HOURS OF PLACING CONCRETE.
  - AFTER THE SLAB IS 30 DAYS OLD, REMOVE ALL DEBRIS FROM THE SAWCUTS AND FILL WITH MORTAR CONTAINING CEMENT, SAND AND LATEX BONDING AGENT, OR AS NOTED IN SPECIFICATIONS.
  - SPACE SAWCUTS AT 4500mm MAX U.N.O. ON PLAN



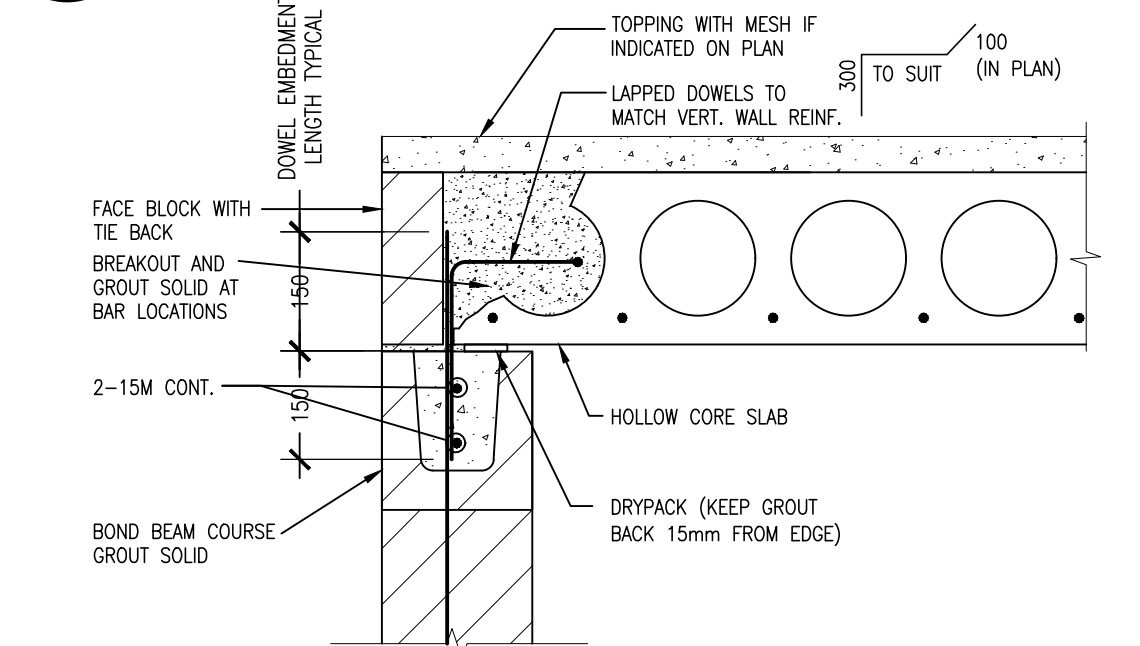
**6**  
**S102** SLAB SAWCUTS  
N.T.S.



**3**  
**S102** HOLLOW CORE SLAB BEARING ON BLOCK  
N.T.S.



**2**  
**S102** HOLLOW CORE SLAB BEARING ON BLOCK  
N.T.S.



**1**  
**S102** HOLLOW CORE SLAB BEARING ON BLOCK  
N.T.S.

DO NOT SCALE THE DRAWINGS.  
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.  
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.



NO.	ISSUES	DATE	BY
1	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
2	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA
NO.	REVISIONS	DATE	BY

PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 5N6  
TOWN OF GRAND VALLEY

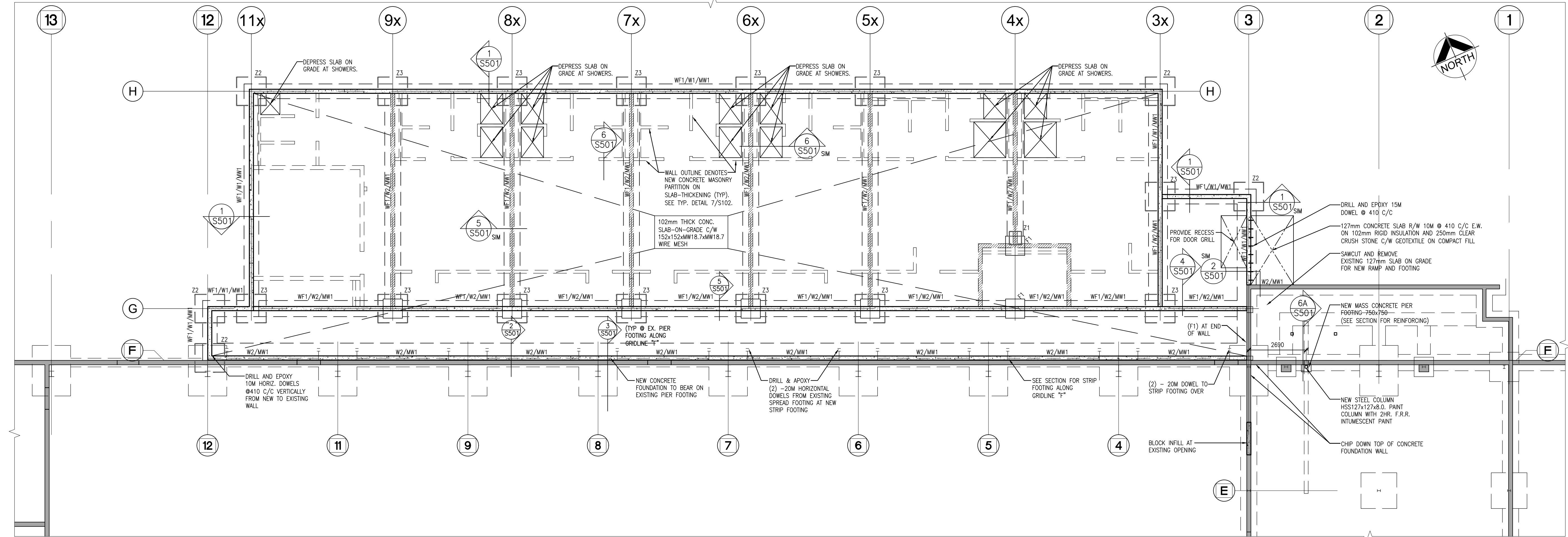
DRAWING:  
TYPICAL DETAILS

**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5  
Tel: (905) 866-5252  
Fax: (905) 866-5256  
e-mail: bba@bbe-archeng.com

DESIGN BY: <b>BBA</b>	DOC CONTROL DATE:
DRAWN BY:	% COMPLETE:
CHECKED BY: <b>DM</b>	INITIAL:
DATE: DEC. 01, 2023	
SCALE: AS NOTED	
FILE: 21171 S101	

PROJECT NO:  
**21171**

DRAWING NO:  
**S102**



**1**  
S201

**ENLARGED FOUNDATION PLAN**  
1:100

**ZONE REINFORCING SCHEDULE**

MARK	REINFORCING	DETAIL	REMARKS
Z1	2-15M VERT.		GROUT SOLID REINFORCED CELLS
Z2	3-15M VERT.		GROUT SOLID REINFORCED CELLS
Z3	4-15M VERT.		GROUT SOLID REINFORCED CELLS

NOTES:  
 1. PROVIDE Z1 AT ENDS OF ALL OPENINGS, U.N.O.  
 2. PROVIDE Z2 AT CORNERS OF LOAD BEARING WALLS, U.N.O.  
 3. PROVIDE Z3 AT CORNERS OF LOAD BEARING WALLS, U.N.O.

**LOAD BEARING MASONRY WALL SCH.**

MARK	DESCRIPTION	VERTICAL REINFORCEMENT	REMARKS
MW1	190mm BLOCK	15M @ 800	GROUT AT REINFORCED CORES CONT. BOND BEAM AT U/S PRECAST BEARING

**CONCRETE FOOTING SCHEDULE**

MARK	WIDTH	DEPTH	REINFORCING
F1	900x900	350	(5) - 15M BEW
F2	600x600	----	-----

**CONCRETE STRIP FOOTING SCHEDULE**

MARK	WIDTH	FOOTING THICKNESS	REINFORCING
WF1	750	300	(3) - 15M CONT. BOTTOM

**BEARING PLATE SCHEDULE**

MARK	DESCRIPTION	ANCHORAGE	REMARKS
BP1	180x12x200	(1)-15mm#x250mmLG + 16mm HOOK ANCHOR	GROUT SOLID BEARING POCKET

**CONCRETE FOUNDATION SCHEDULE**

MARK	THICKNESS	HORIZONTAL REINFORCING	VERTICAL REINFORCING
W1	200	10M @ 300 C/C H&V EF	(2)-15M CONT. TOP & BOTTOM
W2	200	15M @ 300 C/C H&V SINGLE MAT	(2)-15M CONT. TOP & BOTTOM

**FOUNDATION PLAN:**

- FINISHED GROUND FLOOR IS AT ELEVATION +000mm (255.89 GEODETIC) EXCEPT AS CROSSED AND NOTED. ELEVATIONS FOR AREAS CROSSED AND NOTED ARE TO BE READ FROM FINISHED FLOOR ELEVATION 0000mm.
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED NATIVE SOIL APPROVED BY THE GEOTECHNICAL CONSULTANT. REPORT ANY DOUBTFUL BEARING CONDITIONS TO THE STRUCTURAL ENGINEER BEFORE PLACING FOOTINGS. REFER TO SOILS REPORT FOR EXCAVATION, BACKFILLING AND DEWATERING PROCEDURES. SOIL CAPACITY ASSUMED AS: ULS=190KPa; SLS=140KPa. SHALL BE CONFIRMED BY GEOTECHNICAL ENGINEER ON SITE AT TIME OF EXCAVATION.
- VERIFY SITE SERVICES PRIOR TO PROCEEDING WITH WORK. NOTIFY CONSULTANTS OF ANY DISCREPANCIES. REFER TO MECHANICAL AND ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- LOWER FOOTINGS TO ACCOMMODATE NEW FOOTINGS, MECHANICAL, ELECTRICAL OR CIVIL SERVICES. SEE MECHANICAL, ELECTRICAL AND CIVIL DRAWINGS FOR ELEVATIONS OF SAME. FOOTINGS ARE NOT TO BE UNDERMINED BY EXCAVATION FOR SERVICES, PITS, ETC.
- PROTECT ALL EXISTING SUB GRADE SERVICES DURING INSTALLATION OF FOUNDATIONS.
- REFER TO GENERAL NOTES AND TYPICAL DETAILS ON DRAWINGS S100 SERIES FOR ADDITIONAL INFORMATION.
- ALL FOOTINGS TO BE CENTERED UNDER WALLS EXCEPT AS NOTED ON PLAN. PROVIDE SLAB THICKENING AS PER DETAIL 10/S102 FOR ALL INTERIOR NON LOAD BEARING WALLS EXCEPT
- PROVIDE DOWELS IN FOOTINGS TO MATCH ALL VERTICAL WALL REINFORCEMENT.
- SDF DENOTES STEP DOWN FOOTING. REFER TO TYPICAL DETAILS 2/S102 FOR ADDITIONAL INFORMATION.
- PLACE ALL CONCRETE SLAB ON GRADE ON 150mm COMPACTED GRANULAR "A" SUB BASE COMPACTED TO 100% SPMD.
- CONTRACTOR TO PROVIDE PROPOSED SAWCUT LAYOUT IN CONFORMANCE WITH THE TYPICAL DETAIL AND LIMITATIONS FOR REVIEW.
- ALL EXTERIOR FOOTINGS TO BE MINIMUM 1200mm BELOW FINISHED GRADE AS SHOWN ON DRAWINGS.
- STEP DOWN ALL INTERIOR FOOTINGS TO SUIT LOWER FOOTING/SLAB ELEVATIONS.
- REMOVE ALL TOP SOIL, LOOSE AND WET SOILS, ORGANICS AND FILL TO SUITABLE NATIVE SUBGRADE MATERIAL AS APPROVED BY GEOTECHNICAL ENGINEER THROUGHOUT PROJECT AREAS WITHIN THE EXTENTS DEFINED BY THE PROJECT GEOTECHNICAL REPORT. THE EXISTING SUBGRADE MUST BE PROOF-ROLLED AND COMPACTED PRIOR TO BACKFILLING. REFER TO GEOTECHNICAL REPORT FOR REQUIREMENTS.

DO NOT SCALE THE DRAWINGS.  
 CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.  
 ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.  
 DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.



NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	NOV. 28, 2023	BBA
2	ISSUED FOR CLIENT REVIEW	JAN. 10, 2024	BBA
3	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
4	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA

NO.	REVISIONS	DATE	BY

**PROJECT:**  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
 DISTRICT COMMUNITY CENTRE  
 90 MAIN ST. N  
 GRAND VALLEY, ONTARIO, L0N 5N6  
 TOWN OF GRAND VALLEY

**DRAWING:**  
 ENLARGED FOUNDATION PLAN



**BARRY BRYAN ASSOCIATES**  
 Architects  
 Engineers  
 Project Managers  
 250 Water Street  
 Suite 201  
 Whitby, Ontario  
 L1N 3G5  
 Tel: (905) 666-5252  
 Fax: (905) 666-5256  
 e-mail: bba@bba-archeng.com

DESIGN BY: <b>BBA</b>	DOC. CONTROL DATE:
DRAWN BY: <b>JJA</b>	% COMPLETE:
CHECKED BY: <b>DM</b>	INITIAL:
DATE: <b>NOV. 28, 2023</b>	
SCALE: <b>AS NOTED</b>	
FILE: <b>21171 S201</b>	

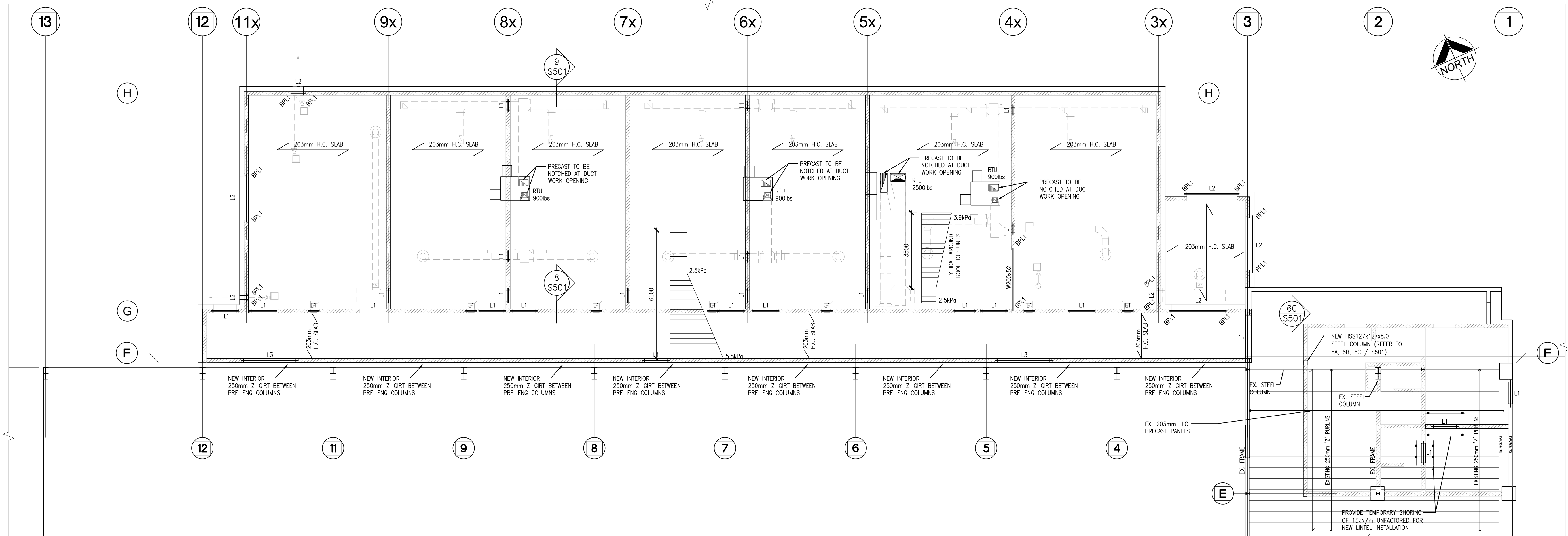
**PROJECT NO: 21171**  
**DRAWING NO: S201**



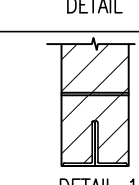
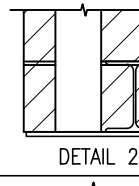

DO NOT SCALE THE DRAWINGS.  
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.  
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.



NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	NOV. 28, 2023	BBA
2	ISSUED FOR CLIENT REVIEW	JAN. 10, 2024	BBA
3	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
4	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA



**1 ENLARGED ROOF FRAMING PLAN**  
1:100

LINTEL SCHEDULE			
MARK	SIZE	DETAIL	REMARKS
L1	(2) - L127x89x9.5 LLV		200mm MIN. END BEARING
L2	W200x36 + 12mm CONT BOT PL 390mm WIDE FOR VENEER		BEARING PLATE E/S
L3	(2) - L152x89x9.5 LLL		150mm MIN. END BEARING

BEARING PLATE SCHEDULE			
MARK	DESCRIPTION	ANCHORAGE	REMARKS
BP1	180x12x200	(1)-15mmx250mmLG + 15mm HOOK ANCHOR	GROUT SOLID BEARING POCKET

CONCRETE FOUNDATION SCHEDULE			
MARK	THICKNESS	HORIZONTAL REINFORCING	VERTICAL REINFORCING
W1	400	10M Ø 300 C/C H&V EF	(2)-15M CONT. TOP & BOTTOM
W2	200	15M Ø 300 C/C H&V SINGLE MAT	(2)-15M CONT. TOP & BOTTOM

**ROOF FRAMING NOTES:**

- UNDERSIDE OF STEEL DECK (HIGH POINT) IS AT ELEVATION +4000mm EXCEPT AS CROSSED AND NOTED. ELEVATIONS FOR AREAS NOTED ARE TO BE READ FROM ELEVATION +4000mm.
- TOP OF STRUCTURAL STEEL BEAMS ARE AT ELEVATION +3900mm AND ARE TO BE READ FROM ELEVATION +3900mm.
- ELEVATIONS TO TOP OF STEEL JOISTS ARE BASED ON AN ASSUMED JOIST SHOE DEPTH OF 100mm.
- ROOF FRAMING DESIGN LOADS:  
 DEAD LOAD:  
 ROOFING = 0.35kPa  
 STEEL DECK = 0.10kPa  
 INSULATION = 0.10kPa  
 MECH/ELEC = 0.25kPa  
 CEILING = 0.10kPa  
 0.90kPa  
 GROUND SNOW LOAD: S<sub>s</sub> = 2.7 kPa; S<sub>r</sub> = 0.4 kPa  
 S = 2.94 kPa (INCLUDING I<sub>s</sub>)  
 SNOW ACCUMULATION LOAD: SEE PLAN.  
 WIND LOAD: q<sub>w</sub>(z) = 0.39 kPa  
 RTU WEIGHTS: SEE PLAN  
 IMPORTANCE CATEGORY FOR THIS BUILDING IS HIGH AS OBC TABLE 4.1.2.1 (3)  
 ULS IMPORTANCE FACTOR:  
 I<sub>s</sub> = 1.15 FOR SNOW  
 I<sub>e</sub> = 1.30 FOR EARTHQUAKE LOAD  
 I<sub>w</sub> = 1.15 FOR WIND LOAD
- REFER TO WALL PLATE SCHEDULE ON SHEET S101 FOR SIZE AND DIMENSIONS.  
 WP'x' DENOTES EMBEDDED WALL PLATE.
- "R.D." DENOTES ROOF DRAIN. PROVIDE FRAMING AROUND DRAIN PENETRATION IN ACCORDANCE WITH TYPICAL DETAILS. NOT SHOWN ON PLAN FOR CLARITY.
- COORDINATE WITH MECHANICAL FOR LOCATIONS OF ROOF TOP UNITS / OPENINGS.
- SEE NON LOAD BEARING LINTEL SCHEDULE FOR BRICK VENEER LINTEL SIZES U.N.O.

PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 5N6  
TOWN OF GRAND VALLEY

DRAWING:  
**ENLARGED ROOF FRAMING PLAN SCHEDULES**



**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 9G5  
Tel: (905) 666-5252  
Fax: (905) 666-5256  
e-mail: bba@bba-archeng.com

DESIGN BY: <b>BBA</b>	DOC. CONTROL: DATE:
DRAWN BY: <b>JJA</b>	% COMPLETE:
CHECKED BY: <b>DM</b>	INITIAL:
DATE: <b>NOV. 28, 2023</b>	
SCALE: <b>AS NOTED</b>	
FILE: <b>21171 S202</b>	

PROJECT NO:  
**21171**  
DRAWING NO:  
**S202**

DO NOT SCALE THE DRAWINGS.  
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.  
ALL DRAWINGS, SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT AND MUST BE RETURNED UPON REQUEST. REPRODUCTION OF DRAWINGS IN PART OR WHOLE WITHOUT THE PERMISSION OF THE CONSULTANT IS FORBIDDEN.  
DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.

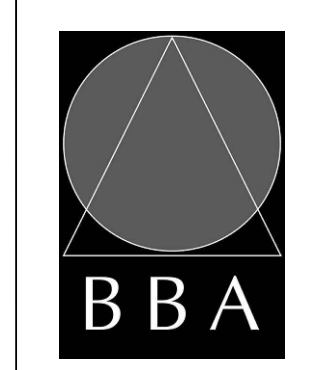


NO.	ISSUES	DATE	BY
1	ISSUED FOR 90% CLIENT REVIEW	JULY 22, 2023	BBA
2	ISSUED FOR TENDER & PERMIT	DEC. 06, 2024	BBA

NO.	REVISIONS	DATE	BY
-----	-----------	------	----

**PROJECT:**  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 5N6  
TOWN OF GRAND VALLEY

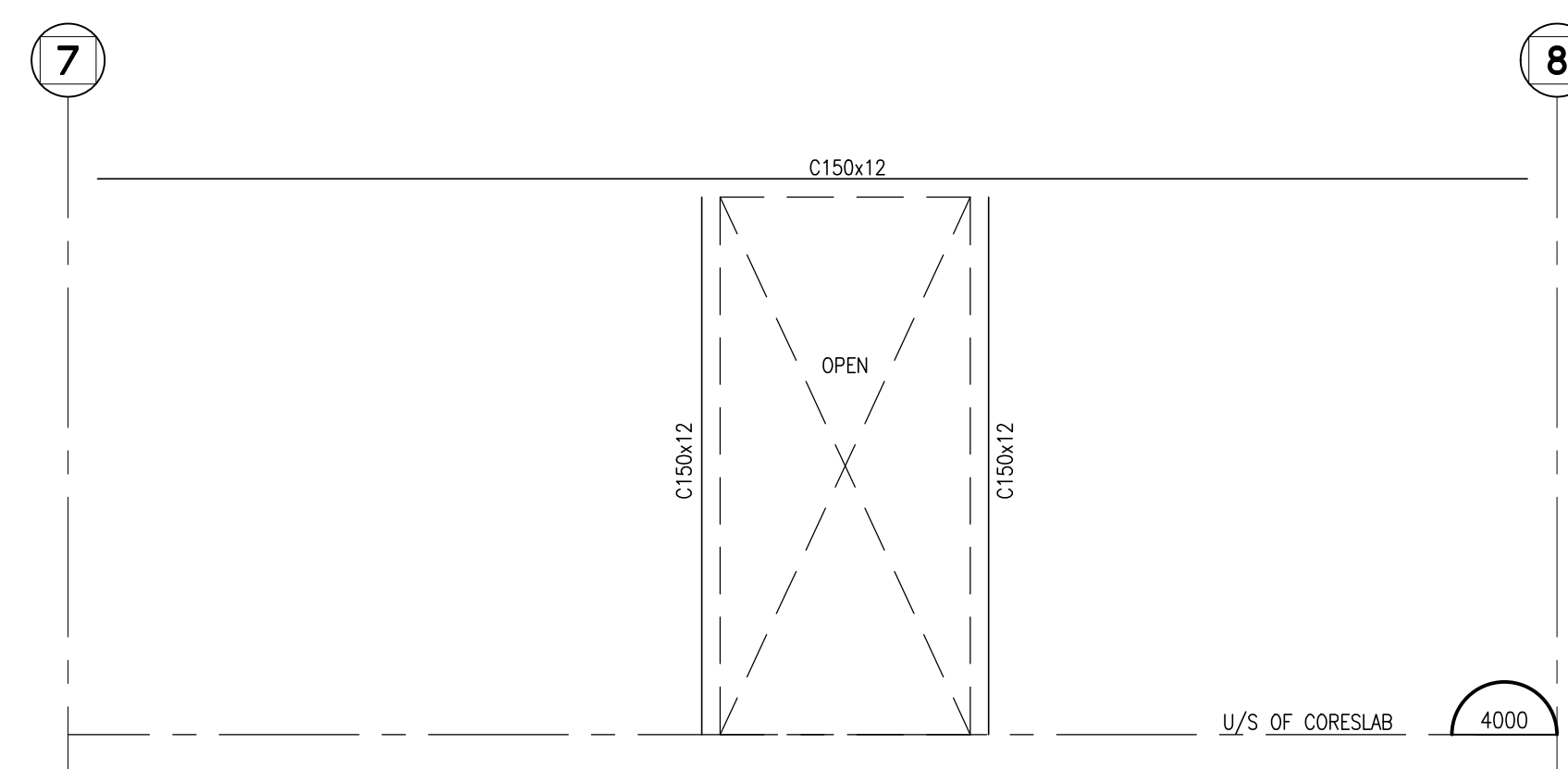
**DRAWING:**  
**SECTIONS**



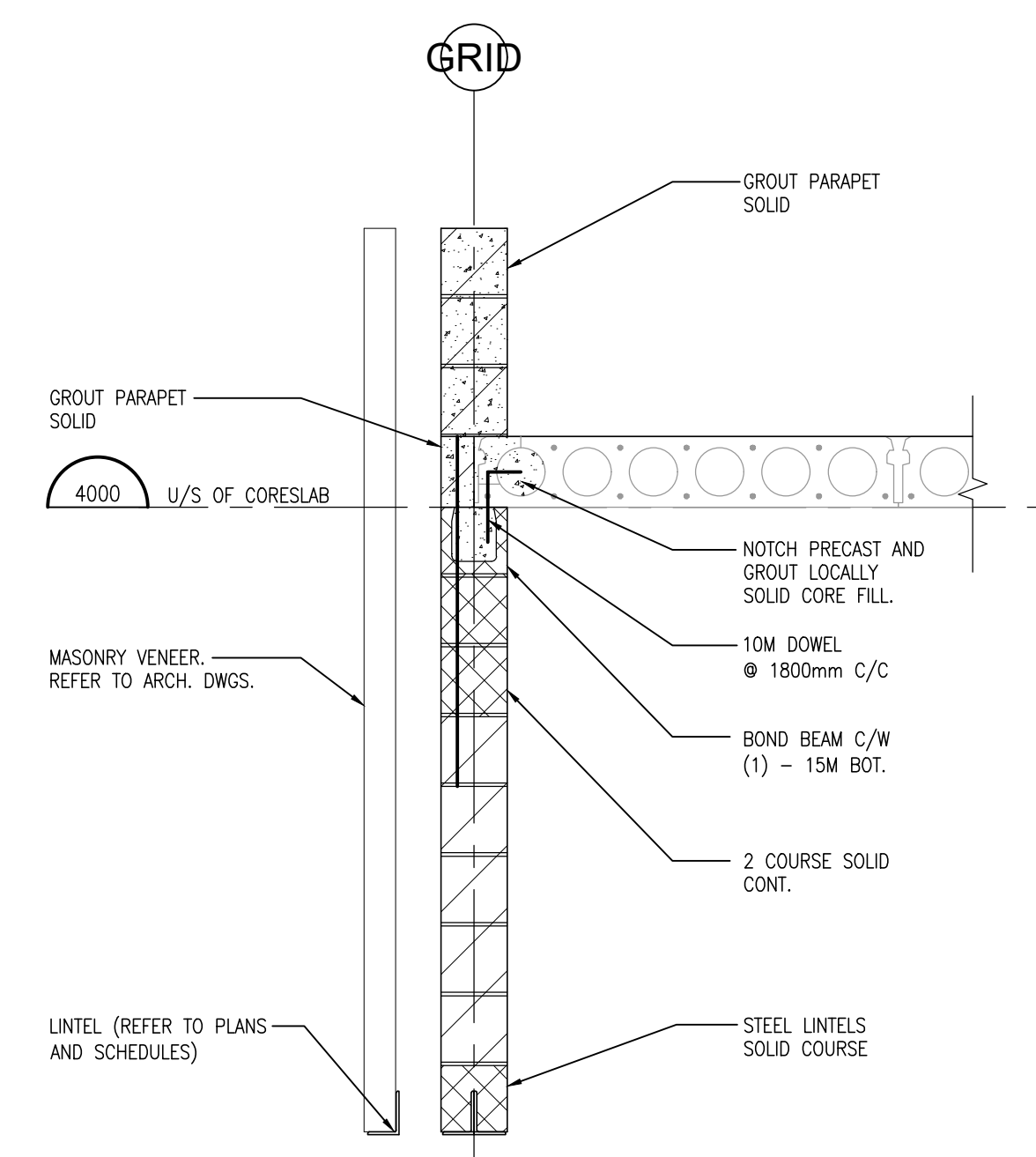
**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5  
Tel: (905) 666-5256  
Fax: (905) 666-5256  
e-mail: bba@bbe-archeng.com

DESIGN BY: BBA	DOC CONTROL DATE:
DRAWN BY: DM	% COMPLETE:
CHECKED BY: DM	INITIAL:
DATE: DEC. 01, 2023	
SCALE: AS NOTED	
FILE: 21171 S501	

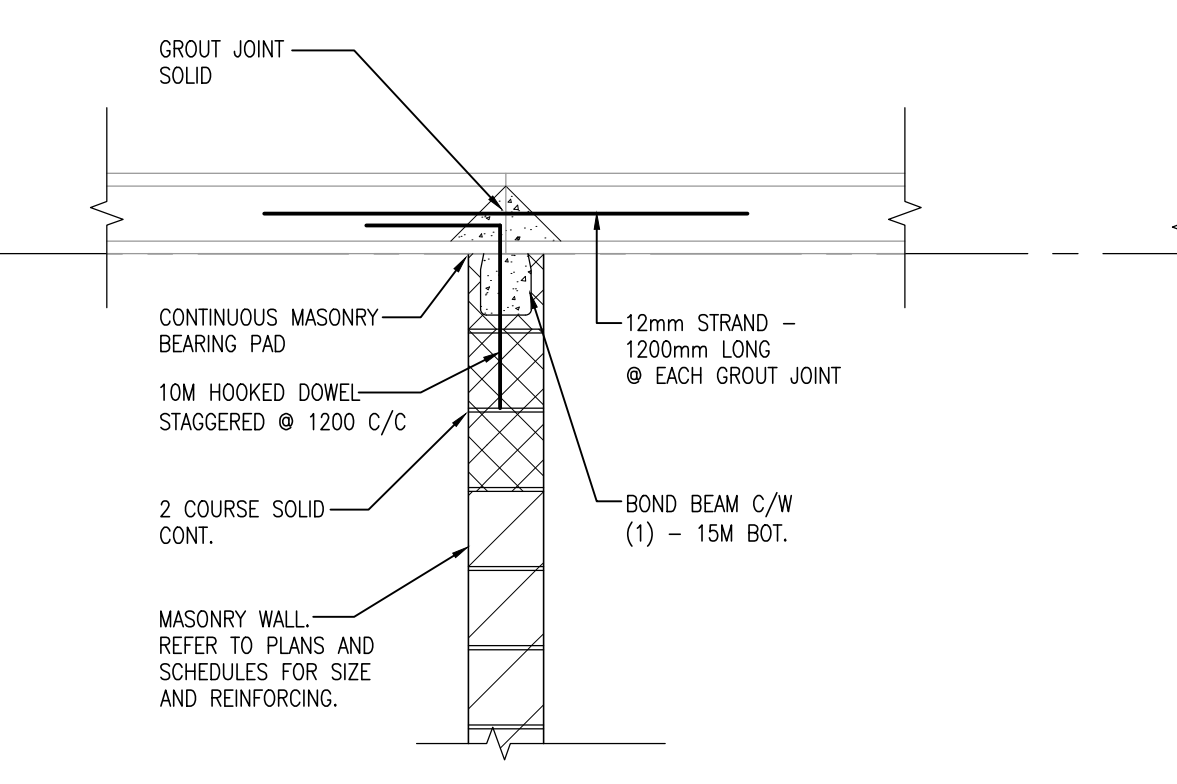
PROJECT NO: **21171**  
DRAWING NO: **S501**



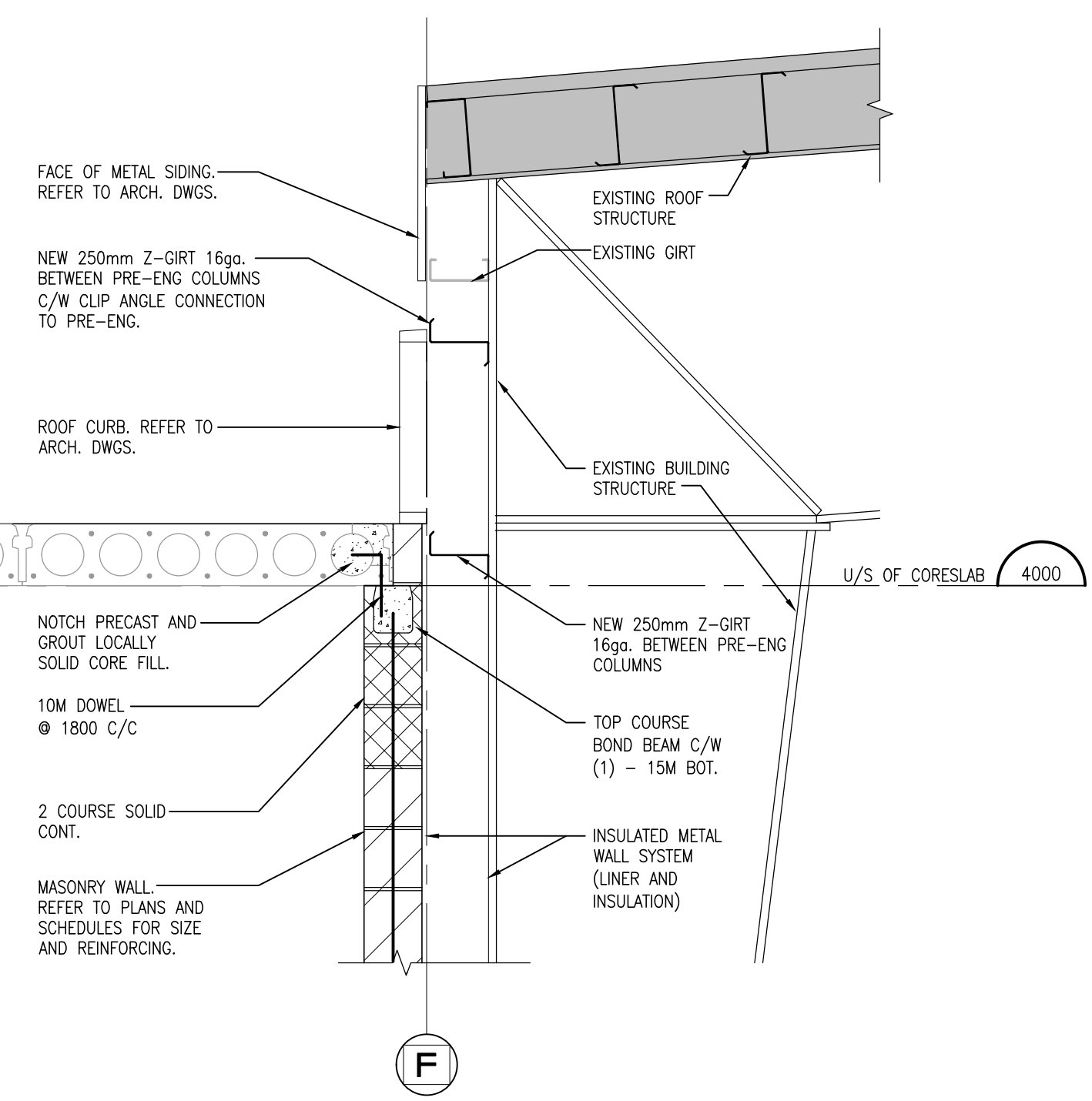
**10 S501** FRAMING ELEVATION AT GRID F (NEW OPENING)  
1:30



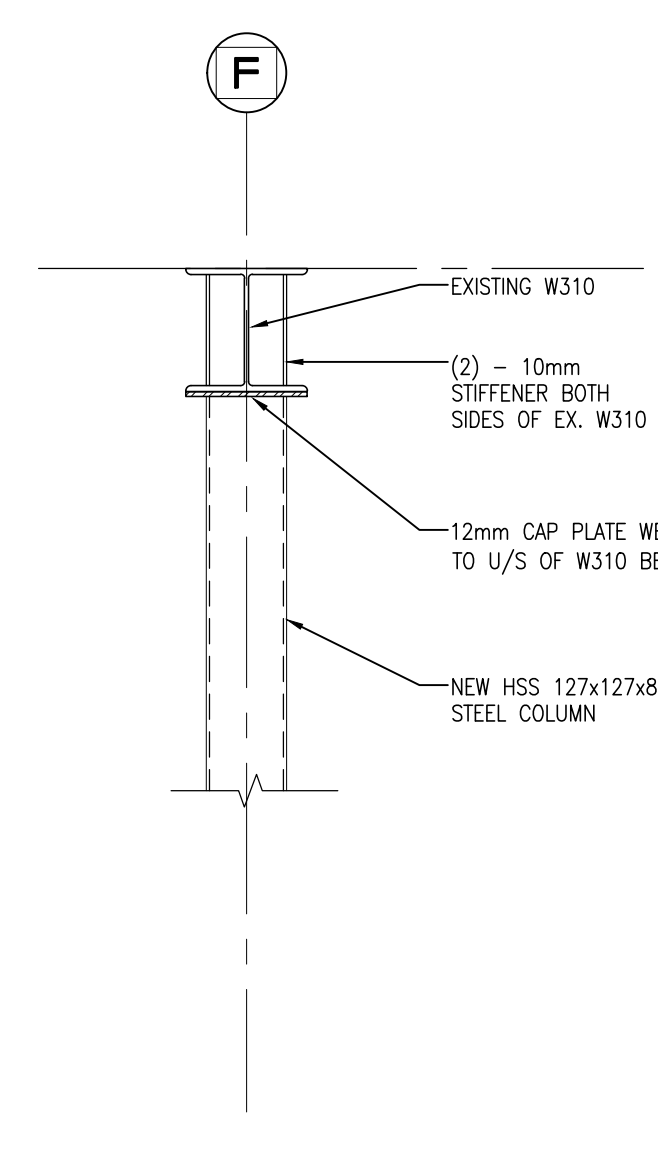
**9 S501** SECTION  
1:20



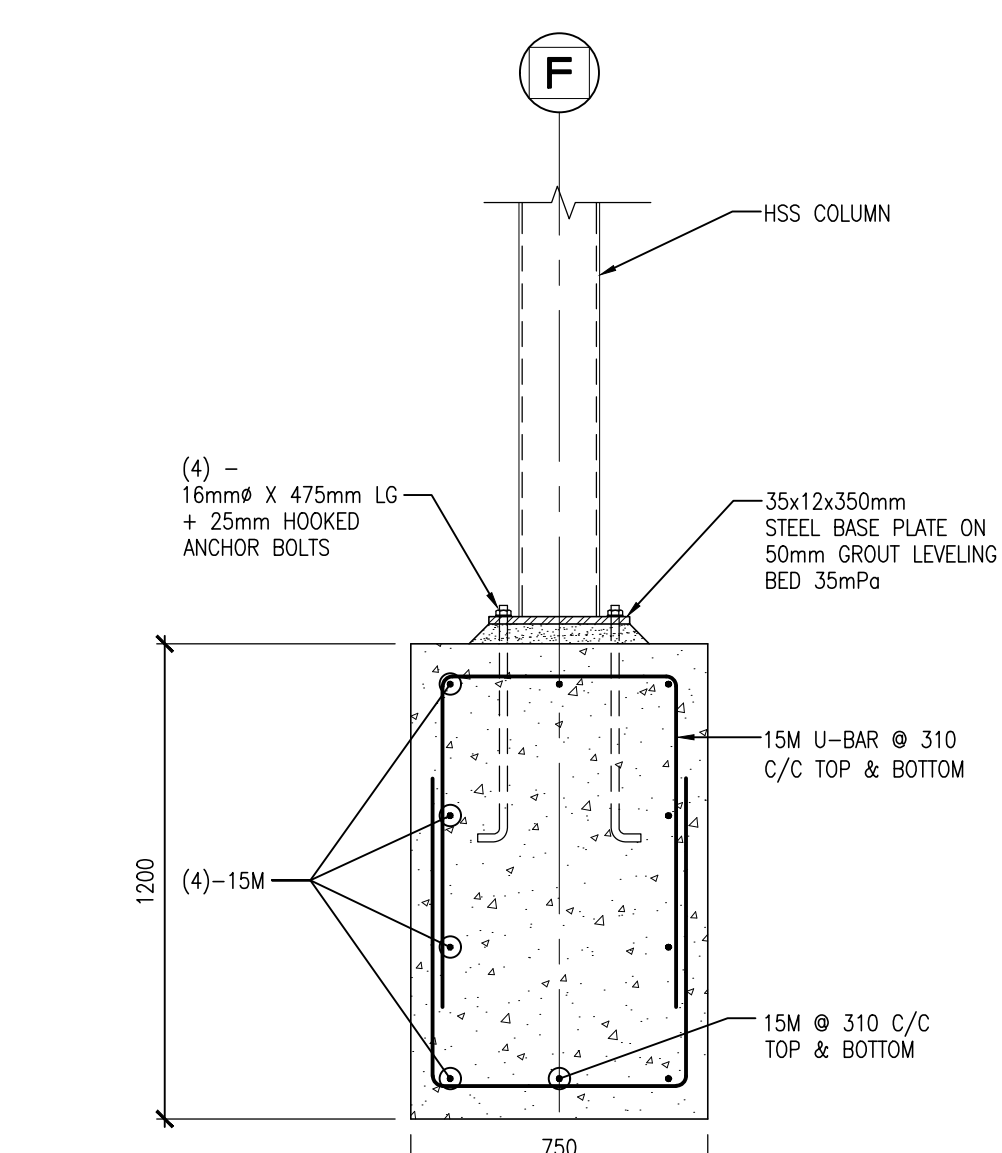
**8 S501** SECTION  
1:20



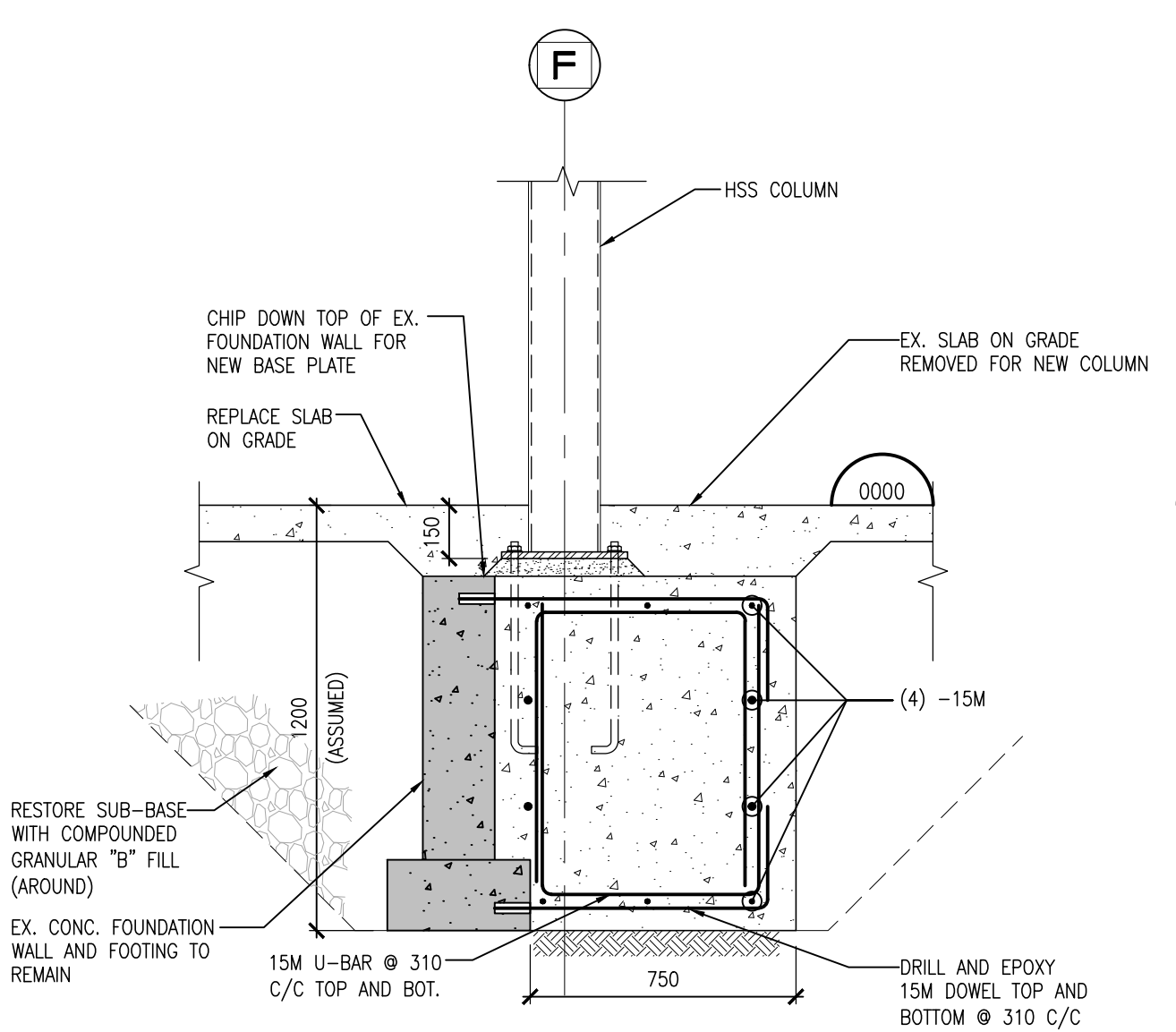
**7 S501** SECTION  
1:20



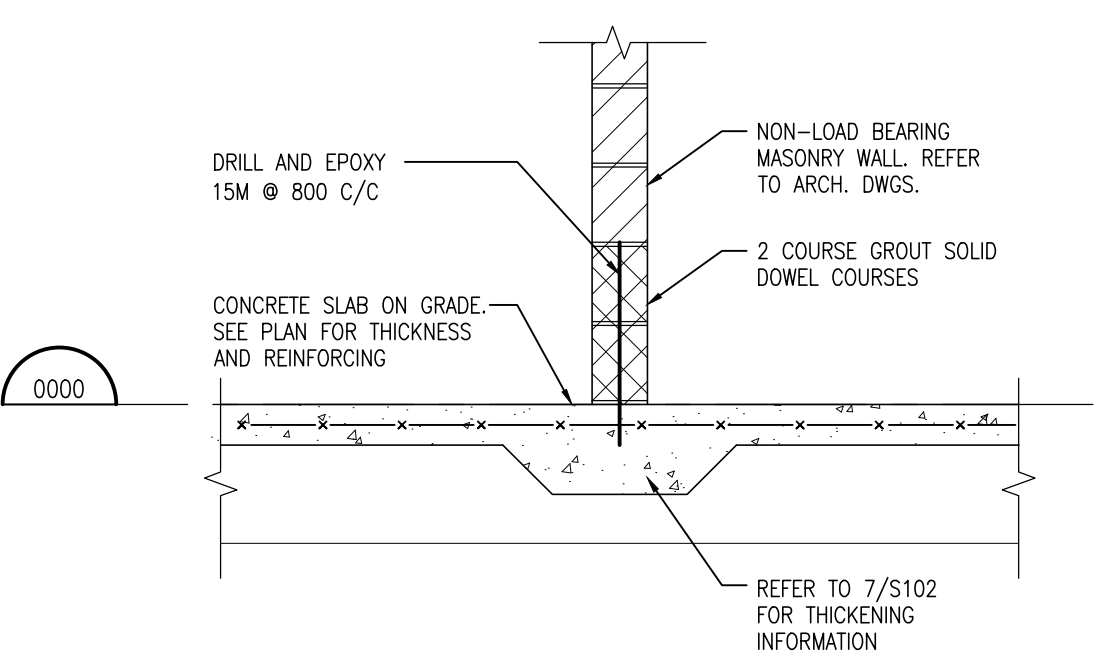
**6C S501** NEW HSS AT GRID "F"  
1:20



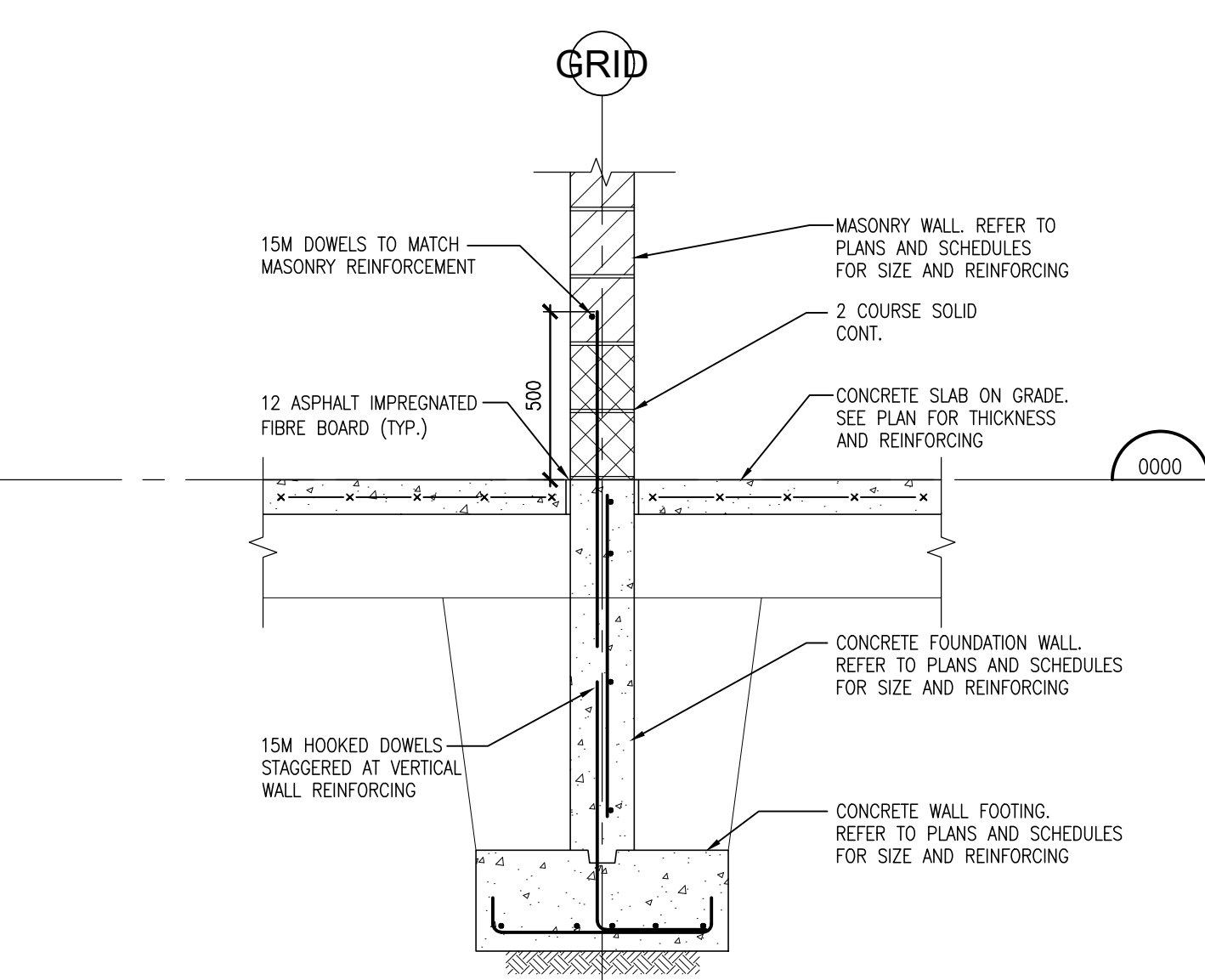
**6B S501** NEW HSS AT GRID "F"  
1:20



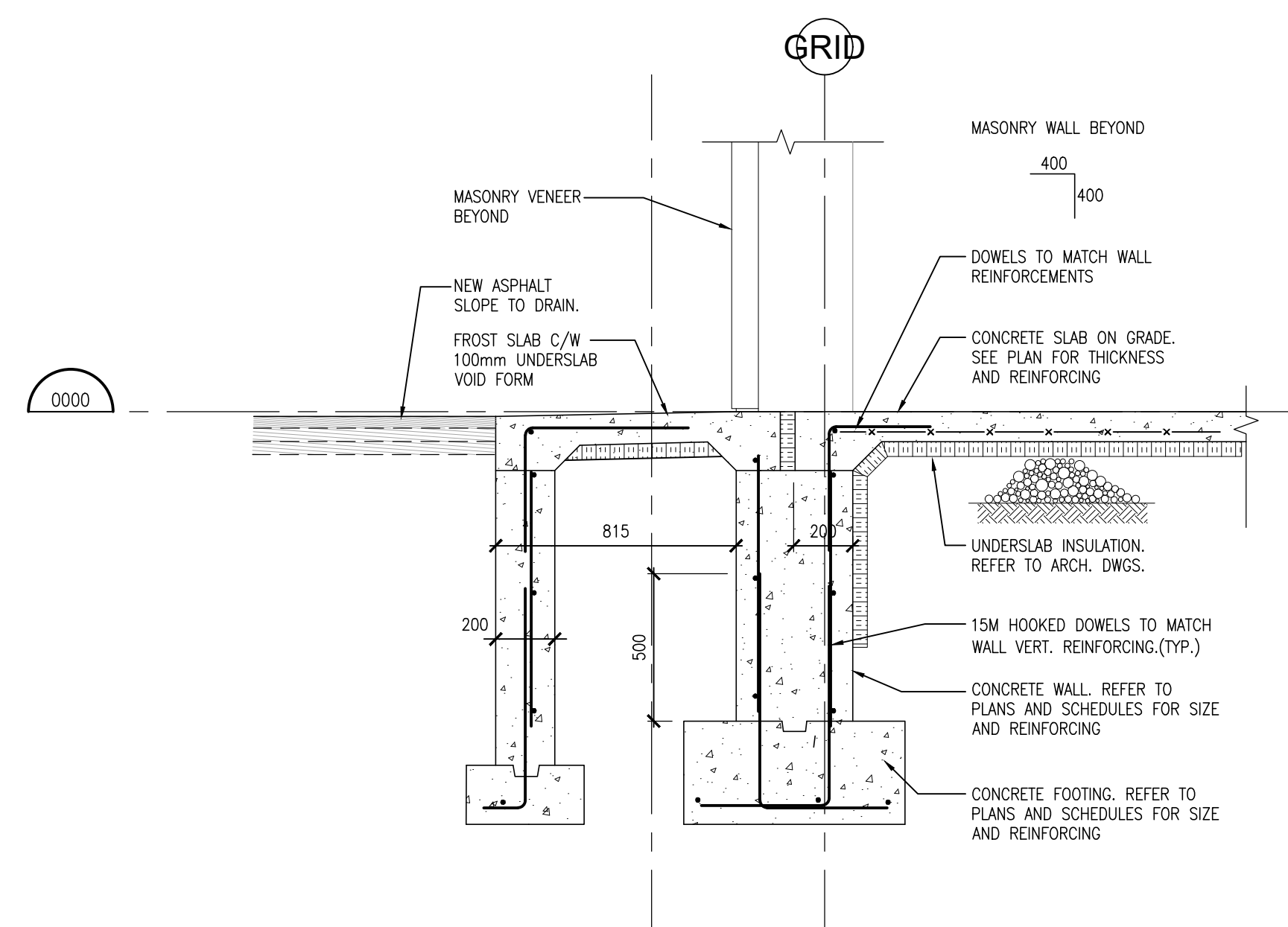
**6A S501** NEW HSS AT GRID "F"  
1:20



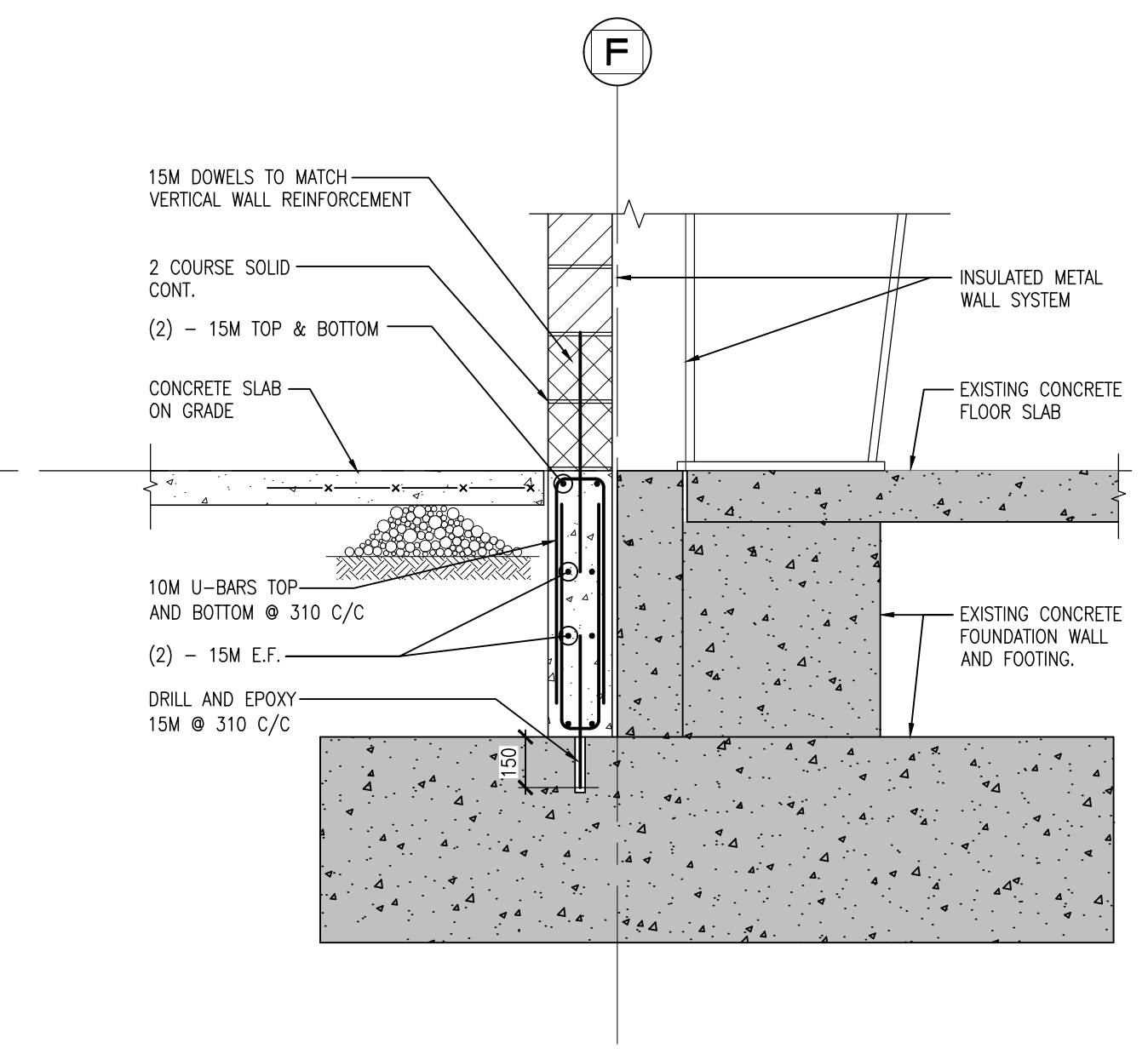
**6 S501** FOUNDATION SECTION  
1:20



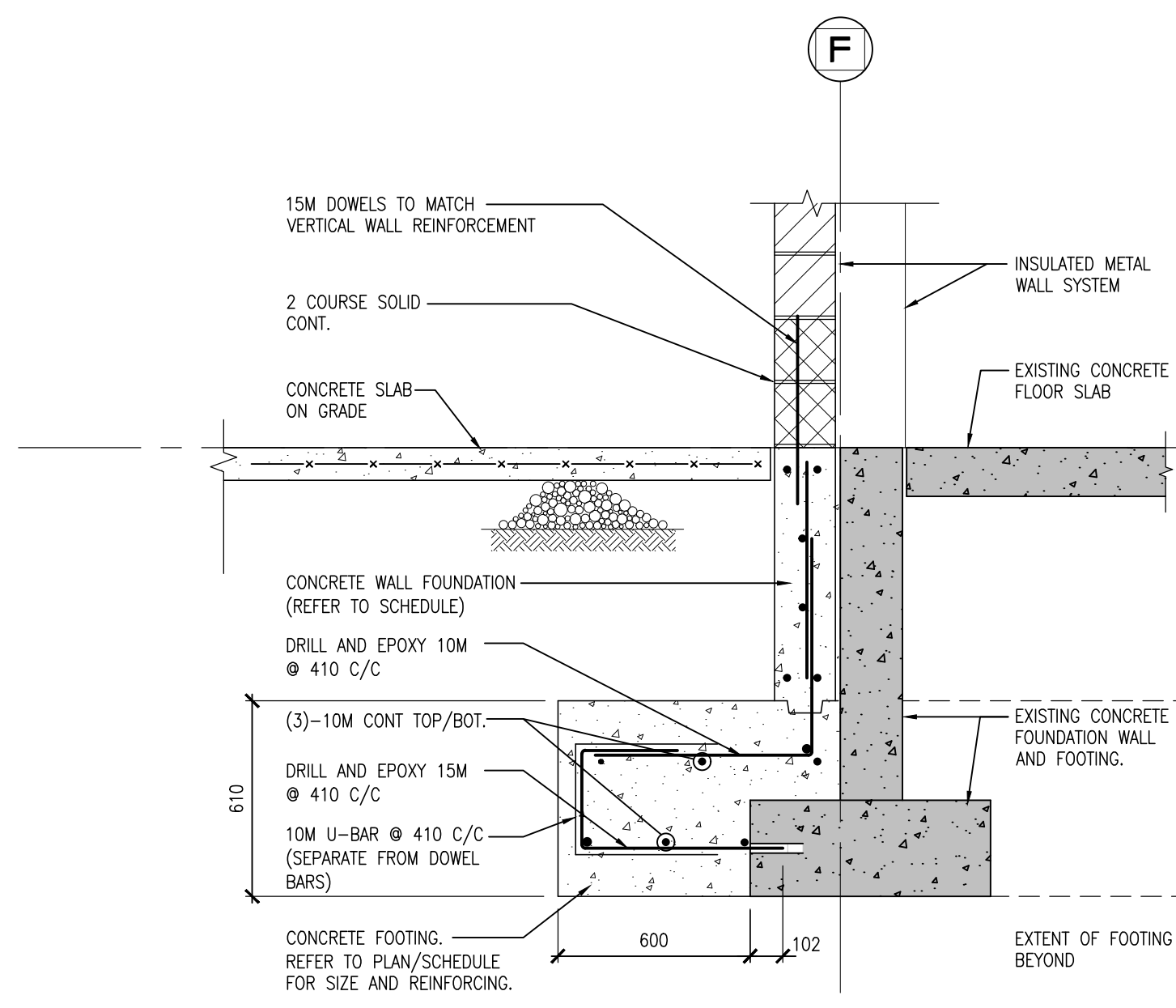
**5 S501** FOUNDATION SECTION  
1:20



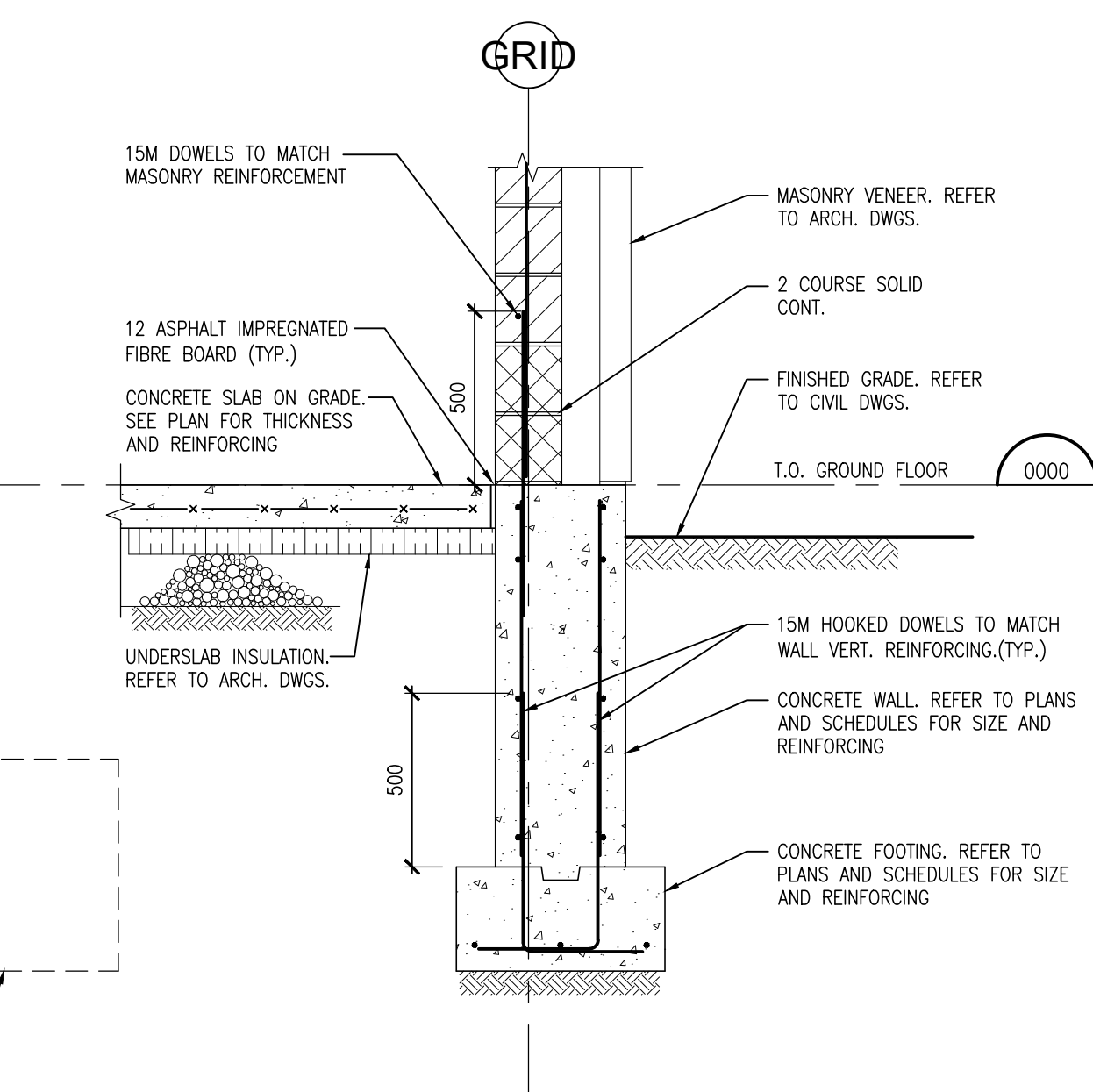
**4 S501** FOUNDATION SECTION  
1:20



**3 S501** FOUNDATION SECTION  
1:20



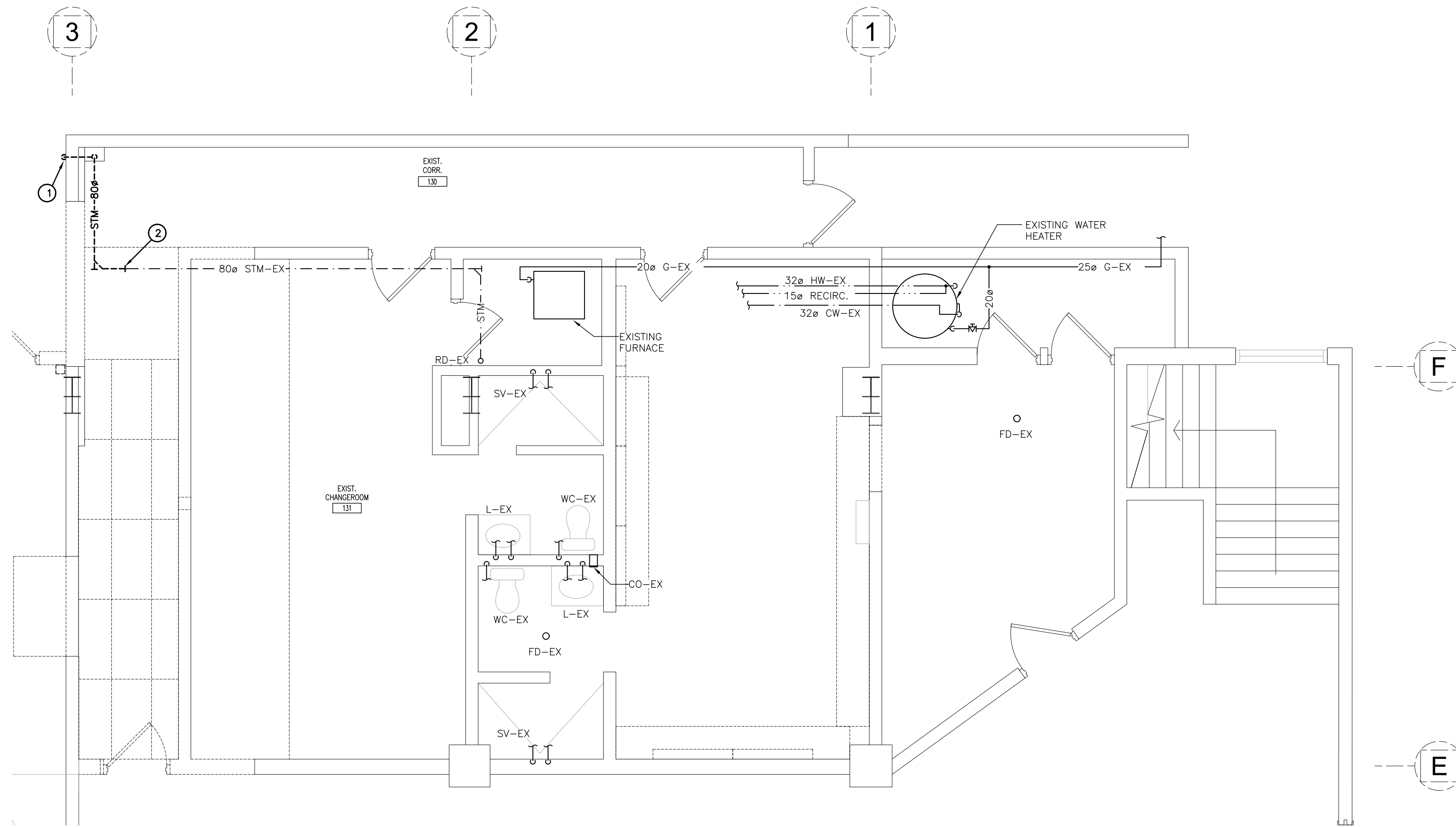
**2 S501** FOUNDATION SECTION  
1:20



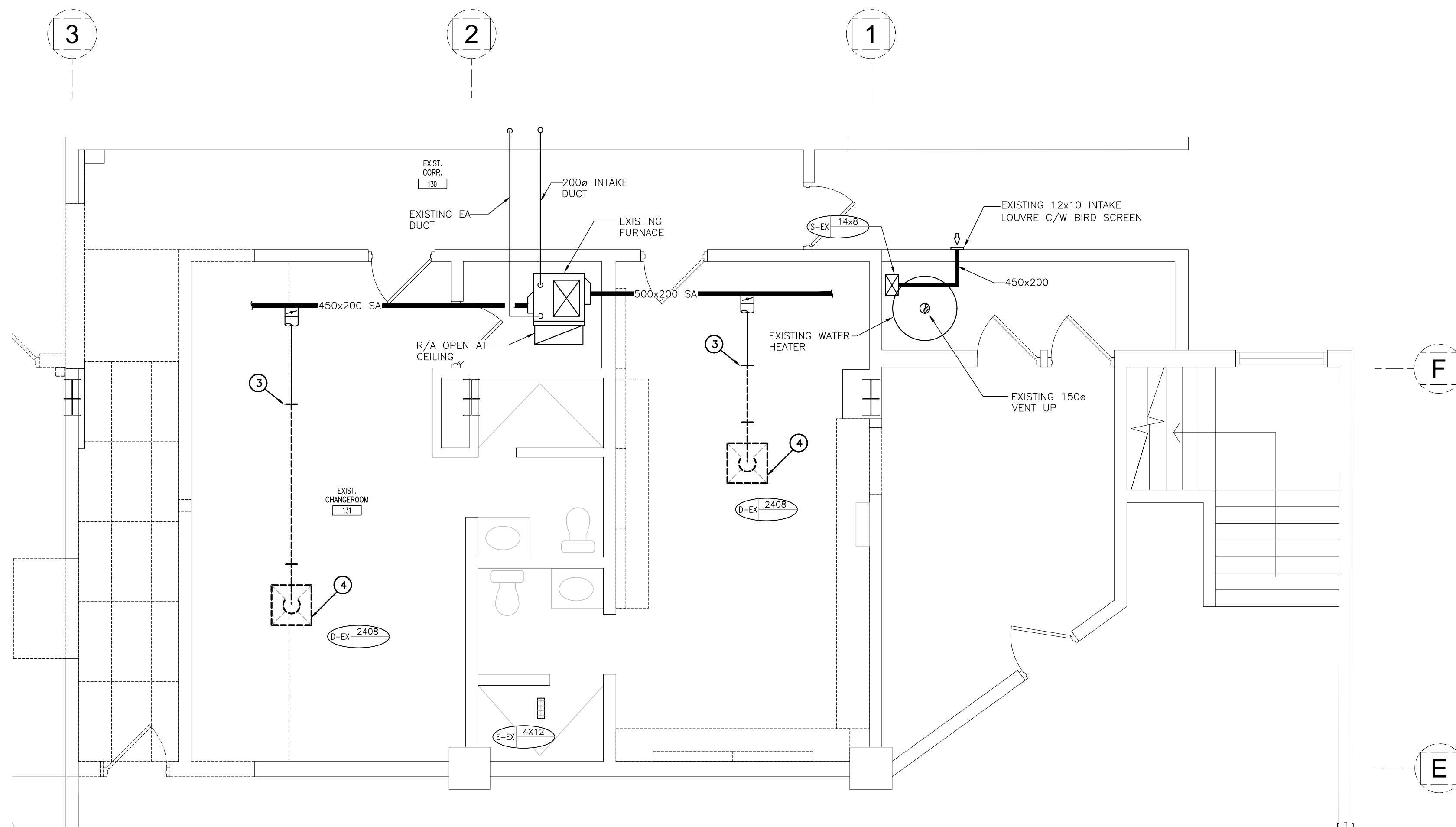
**1 S501** FOUNDATION SECTION  
1:20







**GROUND FLOOR PART PLAN – P&D – DEMOLITION**  
SCALE: 1:50



**GROUND FLOOR PART PLAN – HVAC – DEMOLITION**  
SCALE: 1:50

**GENERAL DEMOLITION NOTES**

- A. EXISTING MECHANICAL ITEMS NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- B. EXISTING MECHANICAL ITEMS SHOWN BUT NOT NOTED AS BEING REMOVED OR RENOVATED SHALL REMAIN AS PRESENTLY INSTALLED AND OPERATING.
- C. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ON SITE ALL LOCATIONS AND SIZES OF ALL SERVICES & EQUIPMENT PRIOR TO THE COMMENCEMENT OF WORK.
- D. ALL OPENINGS THAT RESULT FROM THE REMOVAL OF EQUIPMENT OR SERVICES SHALL BE NEATLY PATCHED WITH SUITABLE NEW MATERIALS TO SUIT EXISTING CONSTRUCTION.
- E. PLUMBING VENTS ARE NOT INDICATED OR IDENTIFIED. REMOVE ALL REDUNDANT VENTS WHILE MAINTAINING INTEGRITY OF EXISTING SYSTEMS TO REMAIN.
- F. REMOVAL OF EXISTING PIPING, OR DUCT SYSTEMS INCLUDES REMOVAL OF ALL HANGERS, INSULATION, FITTINGS, ETC.
- G. MAINTAIN INTEGRITY OF EXISTING SYSTEMS THAT ARE TO REMAIN OR BE MODIFIED.
- H. INSTALL NEW SYSTEMS OR SERVICES WHERE REQUIRED TO MAINTAIN SYSTEM OPERATION PRIOR TO DEMOLITION OF EXISTING SERVICES.
- I. THIS CONTRACTOR IS TO REMOVE & REPLACE CEILING AS REQUIRED FOR REMOVAL/REPLACEMENT OF SERVICES.

**SPECIFIC DEMOLITION NOTES**

1. EXISTING 80a RWL TO BE RELOCATED COMPLETE.
2. CUT EXISTING STORM/SANITARY PIPING AND PREPARE FOR NEW CONNECTION.
3. CUT EXISTING DUCTWORK AND PREPARE FOR NEW CONNECTION.
4. EXISTING GRILLE/DIFFUSER TO BE REMOVED COMPLETE.

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.  
The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.  
The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.  
Drawings and specifications, etc., prepared and issued by the Consultant are the property of the Consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant.  
Do not scale this drawing.  
© 2025 DEI Consulting Engineers



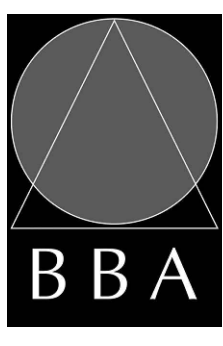
NO.	ISSUES	DATE	BY
1	ISSUED FOR 75% REVIEW	JULY 22 2024	MP
2	ISSUED FOR 100% REVIEW	NOV 14 2024	MP
3	ISSUED FOR PERMIT/TENDER	DEC 5 2024	MP

NO.	REVISIONS	DATE	BY



**PROJECT:**  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 1G0  
TOWN OF GRAND VALLEY

**DRAWING:**  
**EXISTING GROUND FLOOR PART PLANS - DEMOLITION**

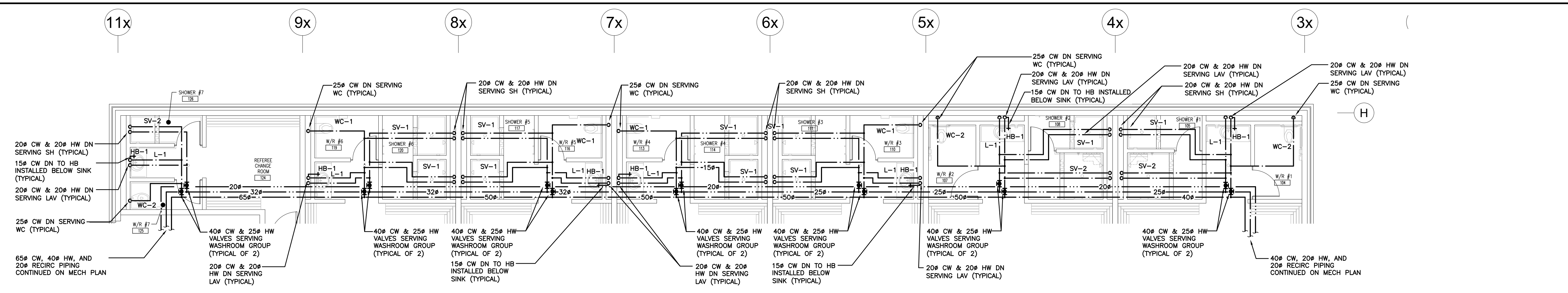


**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5  
Tel: (905) 666-5252  
Fax: (905) 666-5256  
e-mail: bba@bba-archeng.com

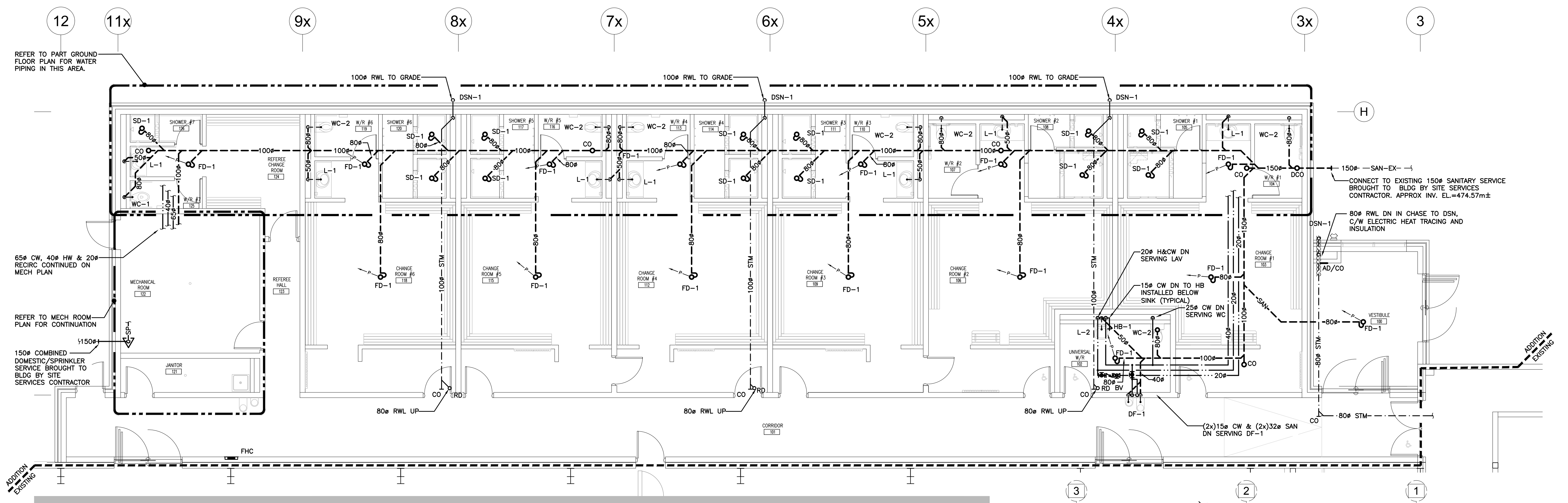


DESIGN BY:	DOC CONTROL:
DRAWN BY:	% COMPLETE:
CHECKED BY:	INITIAL:
DATE:	SCALE:
FILE:	AS NOTED

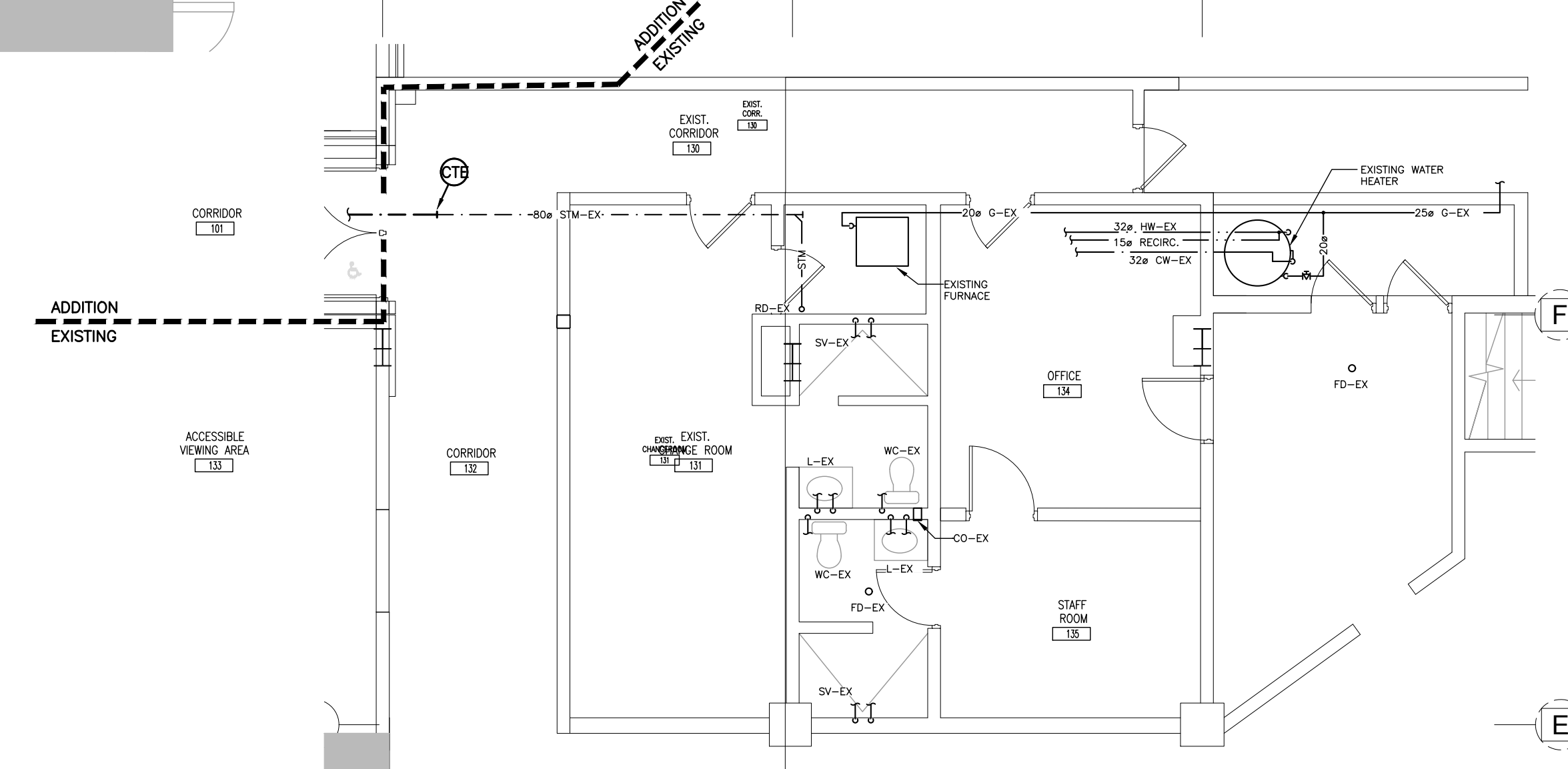
PROJECT NO: **21171**      DRAWING NO: **M201**



CHANGE ROOM PART PLAN – PLUMBING  
SCALE: 1:75



PART GROUND FLOOR PLAN P&D – RENOVATION  
SCALE: 1:75  
F.F.E. = 476.40m±



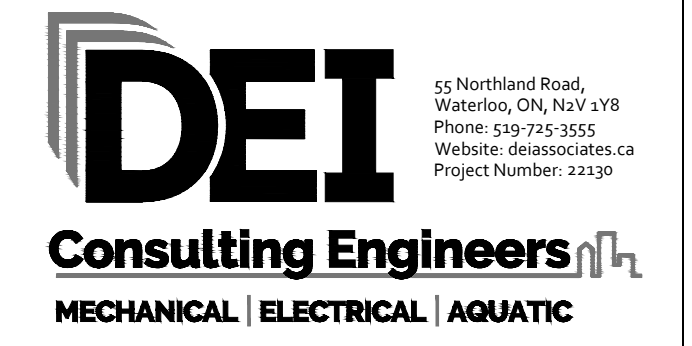
PART GROUND FLOOR PLAN P&D – RENOVATION  
SCALE: 1:75  
F.F.E. = 476.40m±

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work. The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions. Drawings and specifications, etc., prepared and issued by the Consultant are the property of the Consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant. Do not scale this drawing.  
© 2025 DEI Consulting Engineers



NO.	ISSUES	DATE	BY
1	ISSUED FOR 75% REVIEW	JULY 22 2024	MP
2	ISSUED FOR 100% REVIEW	NOV 14 2024	MP
3	ISSUED FOR PERMIT/TENDER	DEC 5 2024	MP

NO.	REVISIONS	DATE	BY



PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 1G0  
TOWN OF GRAND VALLEY

DRAWING:  
**GROUND FLOOR PLAN PLUMBING & DRAINAGE RENOVATION**



**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5  
Tel: (905) 666-6252  
Fax: (905) 666-6256  
e-mail: bba@bba-archeng.com

DESIGN BY: SS	DOC CONTROL: DATE:
DRAWN BY: SS	% COMPLETE:
CHECKED BY: MP	INITIAL:
DATE: 2025-01-13	SCALE: AS NOTED
FILE:	

PROJECT NO: **21171**  
DRAWING NO: **M301**

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work. The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions. Drawings and specifications, etc., prepared and issued by the Consultant are the property of the Consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant. Do not scale this drawing. © 2025 DEI Consulting Engineers



NO.	ISSUES	DATE	BY
1	ISSUED FOR 75% REVIEW	JULY 22 2024	MP
2	ISSUED FOR 100% REVIEW	NOV 14 2024	MP
3	ISSUED FOR PERMIT/TENDER	DEC 5 2024	MP

NO.	REVISIONS	DATE	BY

**DEI**  
Consulting Engineers  
MECHANICAL | ELECTRICAL | AQUATIC

55 Northland Road,  
Waterloo, ON, N2V 1Y8  
Phone: 519 725 3555  
Website: deiassociates.ca  
Project Number: 22130

PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE

90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 1G0  
TOWN OF GRAND VALLEY

DRAWING:  
**GROUND FLOOR PLAN - FIRE PROTECTION**

**BBA**

6 Dec 24  
M.S. PACE  
12/25/24  
12/25/24  
BARRY BRYAN ASSOCIATES

**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers

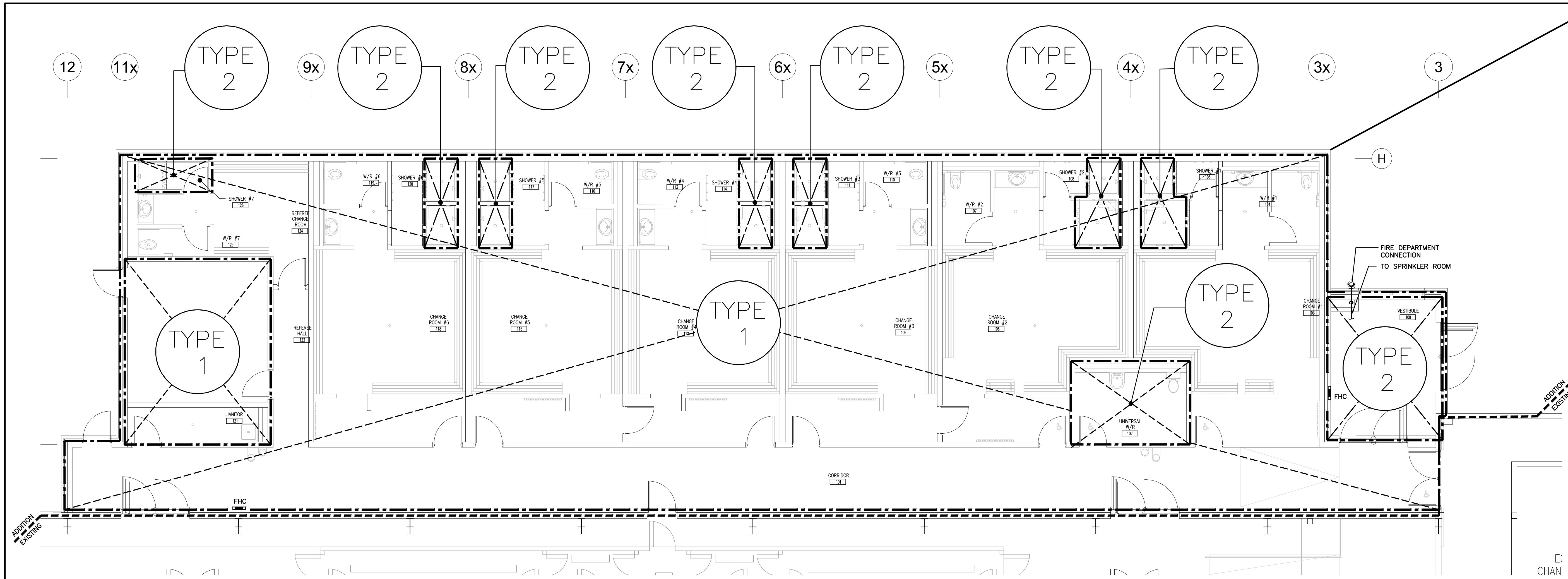
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5

Tel: (905) 696-5252  
Fax: (905) 696-5250  
e-mail: bba@bba-archeng.com

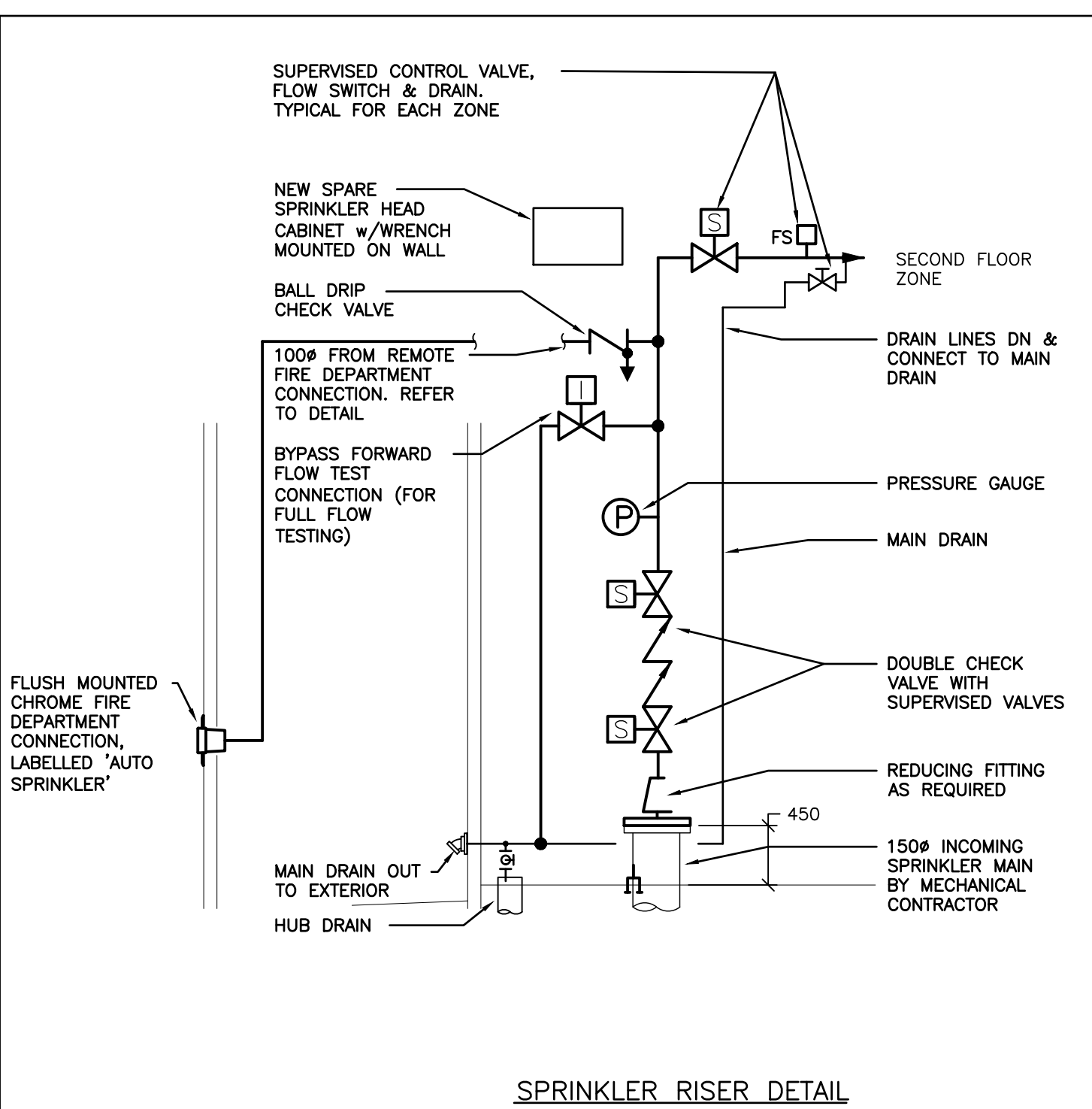
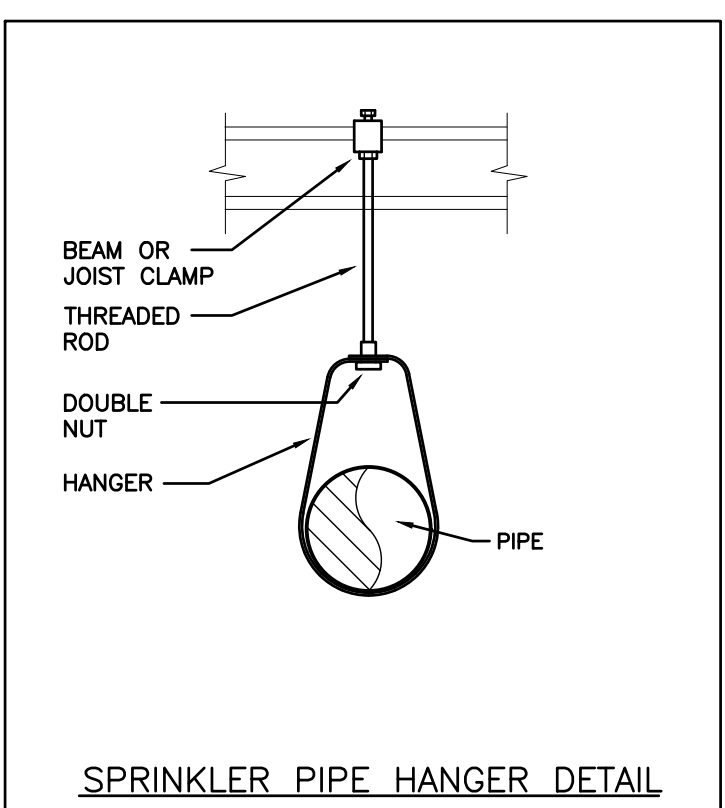
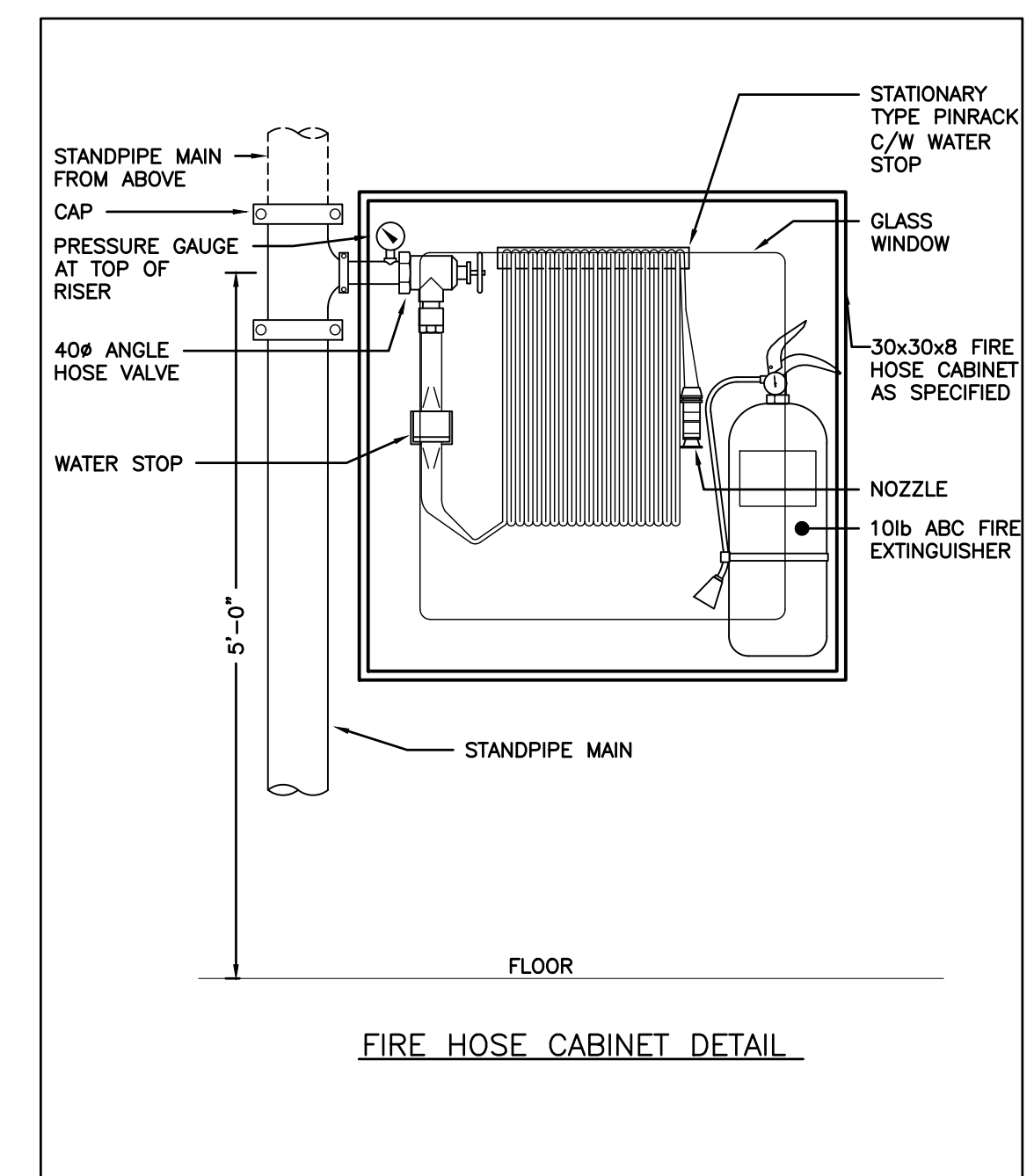
DESIGN BY: SS  
DRAWN BY: SS  
CHECKED BY: MP  
DATE: 2025-01-13  
SCALE: AS NOTED  
FILE:

DOC CONTROL DATE: \_\_\_\_\_  
% COMPLETE: \_\_\_\_\_  
INITIAL: \_\_\_\_\_

PROJECT NO: **21171**  
DRAWING NO: **M401**



GROUND FLOOR PLAN – FIRE PROTECTION  
SCALE: 1:75

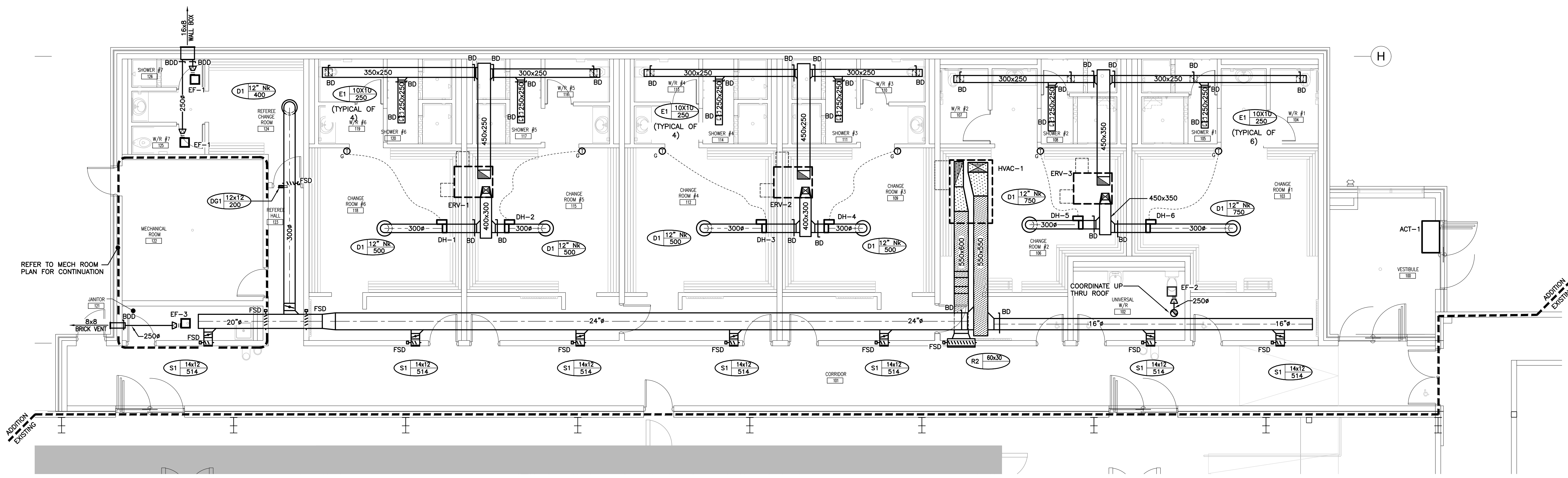


- GENERAL SPRINKLER NOTES**
- SUBMIT PRELIMINARY DESIGN & HYDRAULIC CALCULATIONS STAMPED BY A PROFESSIONAL ENGINEER, AND MANUFACTURERS' PRODUCT SHEETS FOR SHOP DRAWING SUBMISSION AS SPECIFIED PRIOR TO COMMENCING WORK. MARKED UP TENDER DRAWINGS ARE UNACCEPTABLE FOR SHOP DRAWINGS.
  - ENSURE DESIGN MEETS OR EXCEEDS PRESENT NFPA 13 STANDARDS. ENSURE SPRINKLER SYSTEMS ARE INSTALLED TO NFPA 13 STANDARDS. UPON COMPLETION, SPRINKLER CONTRACTOR TO PROVIDE REPRODUCIBLE DRAWING (AT 1/8"=1'-0" SCALE) AND HYDRAULIC CALCULATIONS OF AS-BUILT CONDITION.
  - SPRINKLER CONTRACTOR'S 'PROFESSIONAL ENGINEER' TO PROVIDE O.B.C. AND NFPA REQUIRED INSPECTION AND CERTIFICATION.
  - REFER TO ARCHITECTURAL DRAWINGS FOR REFLECTED CEILING PLAN.
  - PROVIDE SPRINKLER HEAD TYPES AS FOLLOWS:
    - PROVIDE UPRIGHT HEADS WITHIN 12" OF EXPOSED DECK THROUGHOUT EXPOSED STRUCTURE AREAS. PROVIDE HEAD GUARDS IN MECH/ELEC RM, AREAS WHERE HEADS ARE BELOW 8'-0" & STORAGE ROOMS.
    - PROVIDE CONCEALED PENDENT HEADS IN CEILING IN UNSUPERVISED AREAS (WASHROOMS, CORRIDORS, CHANGE ROOMS ETC.) COVER PLATE FINISH TO BE WHITE.
    - PROVIDE RECESSED PENDENT HEADS IN ALL OTHER CEILING AREAS (OFFICES, SERVERY, etc.). HEAD & ESCUTCHEON FINISH SELECTED BY CONSULTANT.
  - SPRINKLER HEADS TO BE CENTERED IN CEILING TILE.
  - FINAL NUMBER AND LOCATION OF SPRINKLER HEADS TO BE DETERMINED BY CONTRACTOR'S HYDRAULIC CALCULATIONS AND APPROVED DRAWINGS.
  - SPRINKLER PIPING TO BE COORDINATED WITH OTHER SERVICES PRIOR TO INSTALLATION.

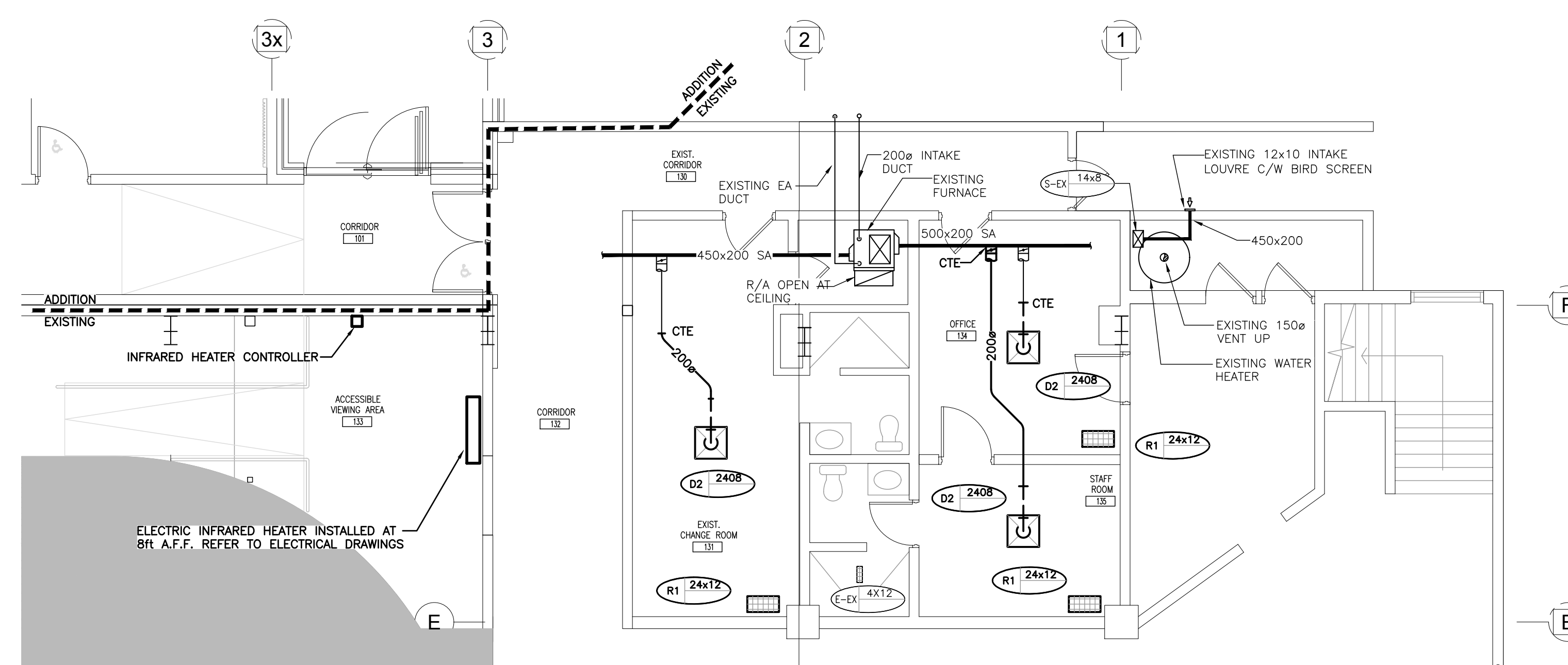
**SPRINKLER SCHEDULE**

Type	Sprinkler Head	Sprinkler Head Temp. Rating	Colour	Remarks
1	UPRIGHT	165° F	BRASS	C/W WIRE GUARD WET SYSTEM
2	PENDENT	165° F	CHROME	

12 11x 9x 8x 7x 6x 5x 4x 3x 3



GROUND FLOOR PLAN HVAC - RENOVATION  
SCALE: 1:75



GROUND FLOOR PART PLAN HVAC - RENOVATION  
SCALE: 1:75

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work. The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions. Drawings and specifications, etc., prepared and issued by the Consultant are the property of the Consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant. © 2025 DEI Consulting Engineers



NO.	ISSUES	DATE	BY
1	ISSUED FOR 75% REVIEW	JULY 22 2024	MP
2	ISSUED FOR 100% REVIEW	NOV 14 2024	MP
3	ISSUED FOR PERMIT/TENDER	DEC 5 2024	MP

NO.	REVISIONS	DATE	BY



PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
 DISTRICT COMMUNITY CENTRE  
 90 MAIN ST. N  
 GRAND VALLEY, ONTARIO, L0N 1G0  
 TOWN OF GRAND VALLEY

DRAWING:  
 GROUND FLOOR PLAN  
 HVAC RENOVATION

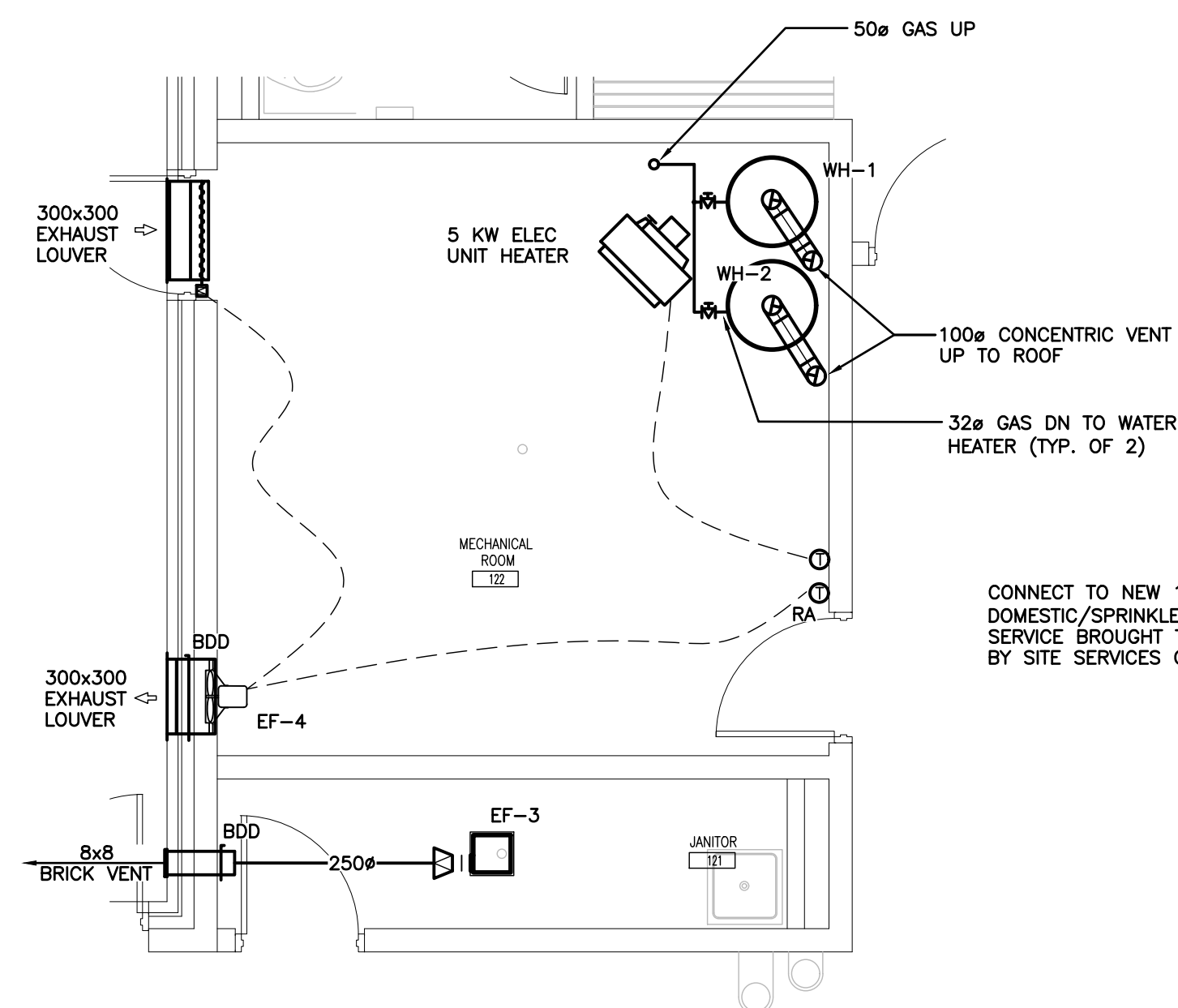


**BARRY BRYAN ASSOCIATES**  
 Architects  
 Engineers  
 Project Managers  
 250 Water Street  
 Suite 201  
 Whitby, Ontario  
 L1N 0G5  
 Tel: (905) 866-6252  
 Fax: (905) 866-6256  
 e-mail: bba@bba-archeng.com

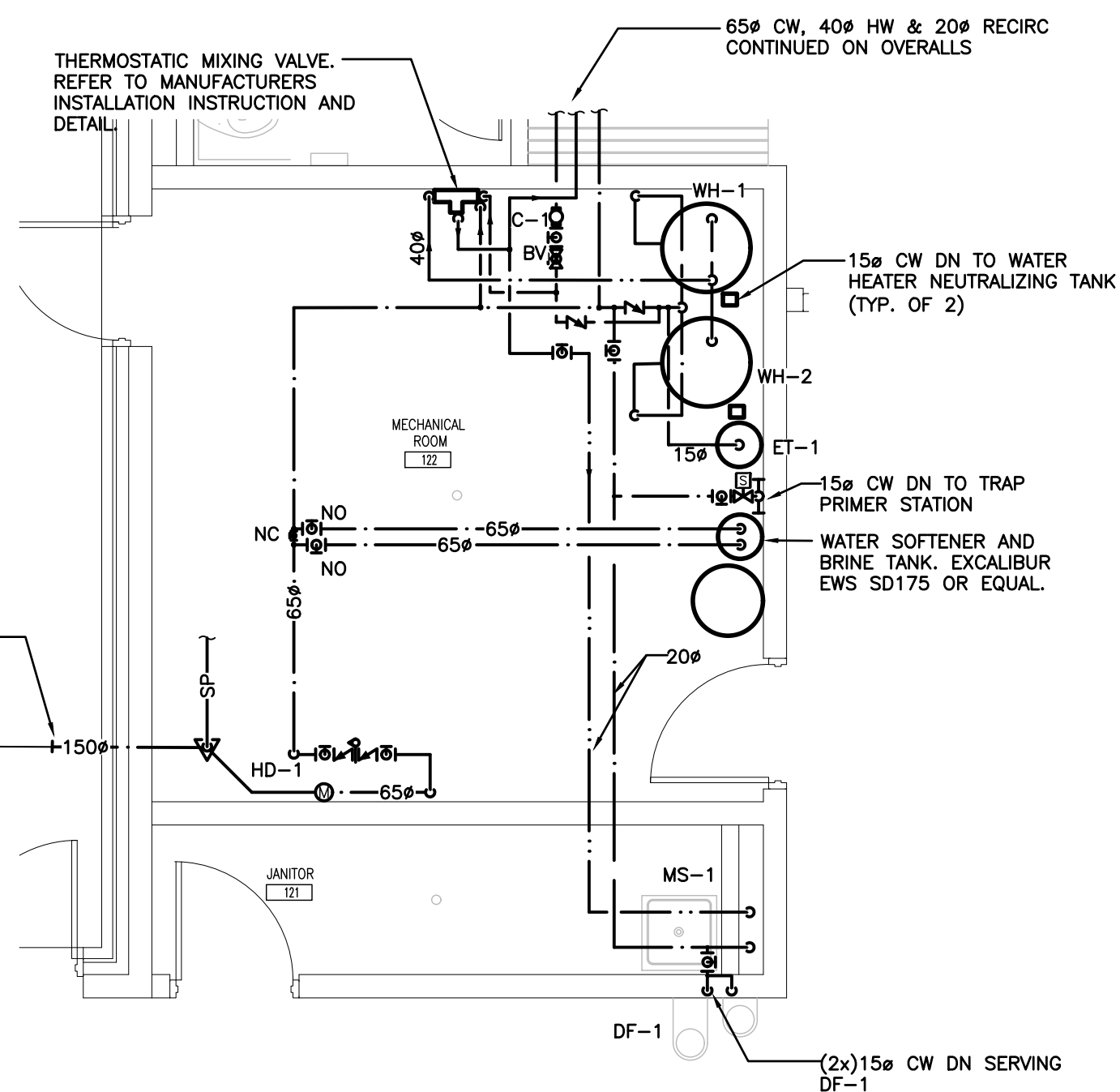
PROJECT NO: **21171**  
 DRAWING NO: **M501**



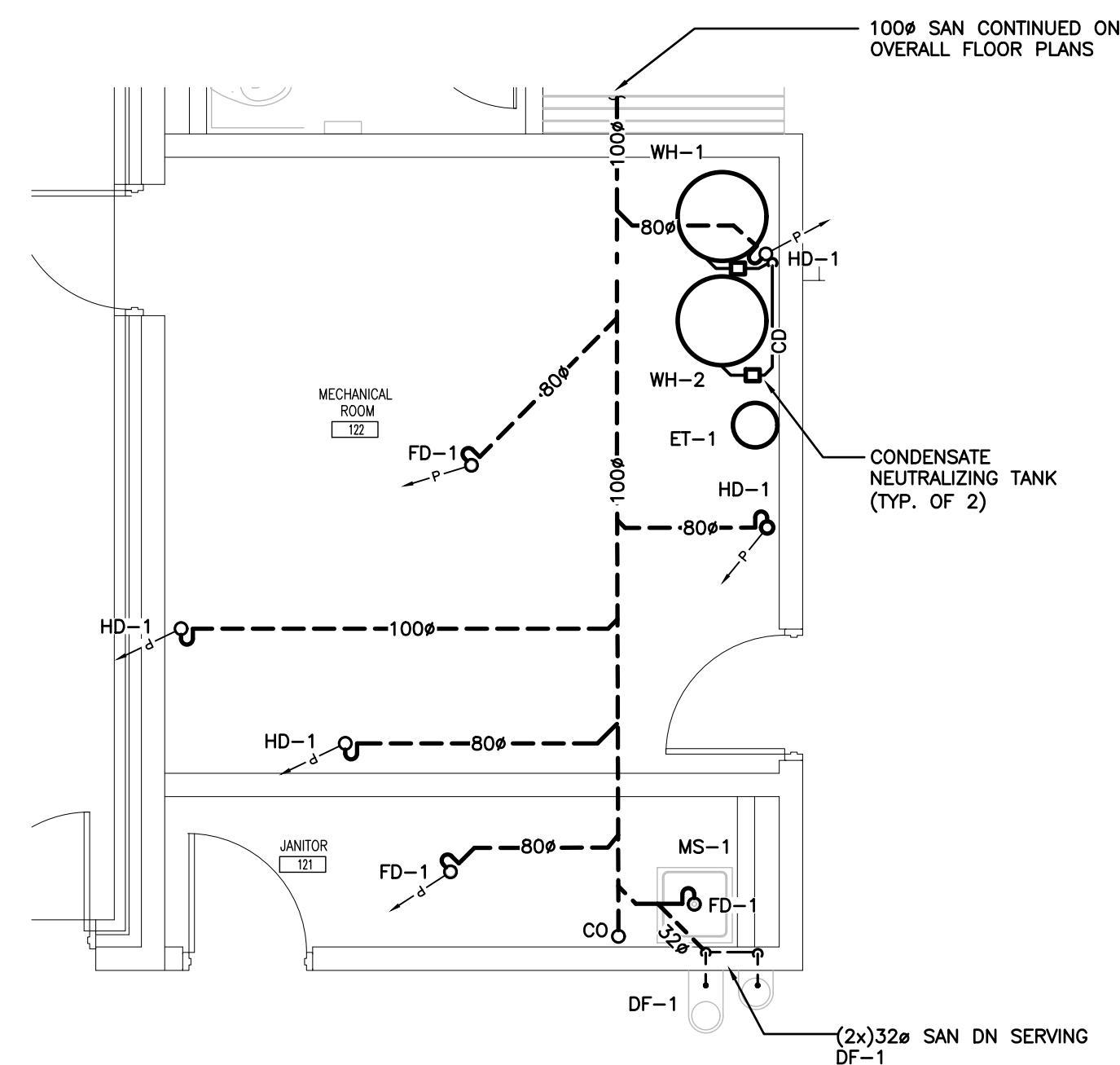
The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.  
 The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.  
 The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.  
 Drawings and specifications, etc., prepared and issued by the Consultant are the property of the Consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant.  
 Do not scale this drawing.  
 © 2025 DEI Consulting Engineers



**MECH ROOM PART PLAN - HVAC**  
 SCALE: 1:50



**MECH ROOM PART PLAN - PLUMBING**  
 SCALE: 1:50



**MECH ROOM PART PLAN - DRAINAGE**  
 SCALE: 1:50

NO.	ISSUES	DATE	BY
1	ISSUED FOR 75% REVIEW	JULY 22 2024	MP
2	ISSUED FOR 100% REVIEW	NOV 14 2024	MP
3	ISSUED FOR PERMIT/TENDER	DEC 5 2024	MP

NO.	REVISIONS	DATE	BY

55 Northland Road,  
 Waterloo, ON, N2V 1Y8  
 Phone: 519-725-3555  
 Website: deiassociates.ca  
 Project Number: 22130

**DEI**  
**Consulting Engineers**  
 MECHANICAL | ELECTRICAL | AQUATIC

**PROJECT:**  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
 DISTRICT COMMUNITY CENTRE

90 MAIN ST. N  
 GRAND VALLEY, ONTARIO, L0N 1G0  
 TOWN OF GRAND VALLEY

**DRAWING:**  
**MECH ROOM PLAN - PLUMBING, DRAINAGE & HVAC**

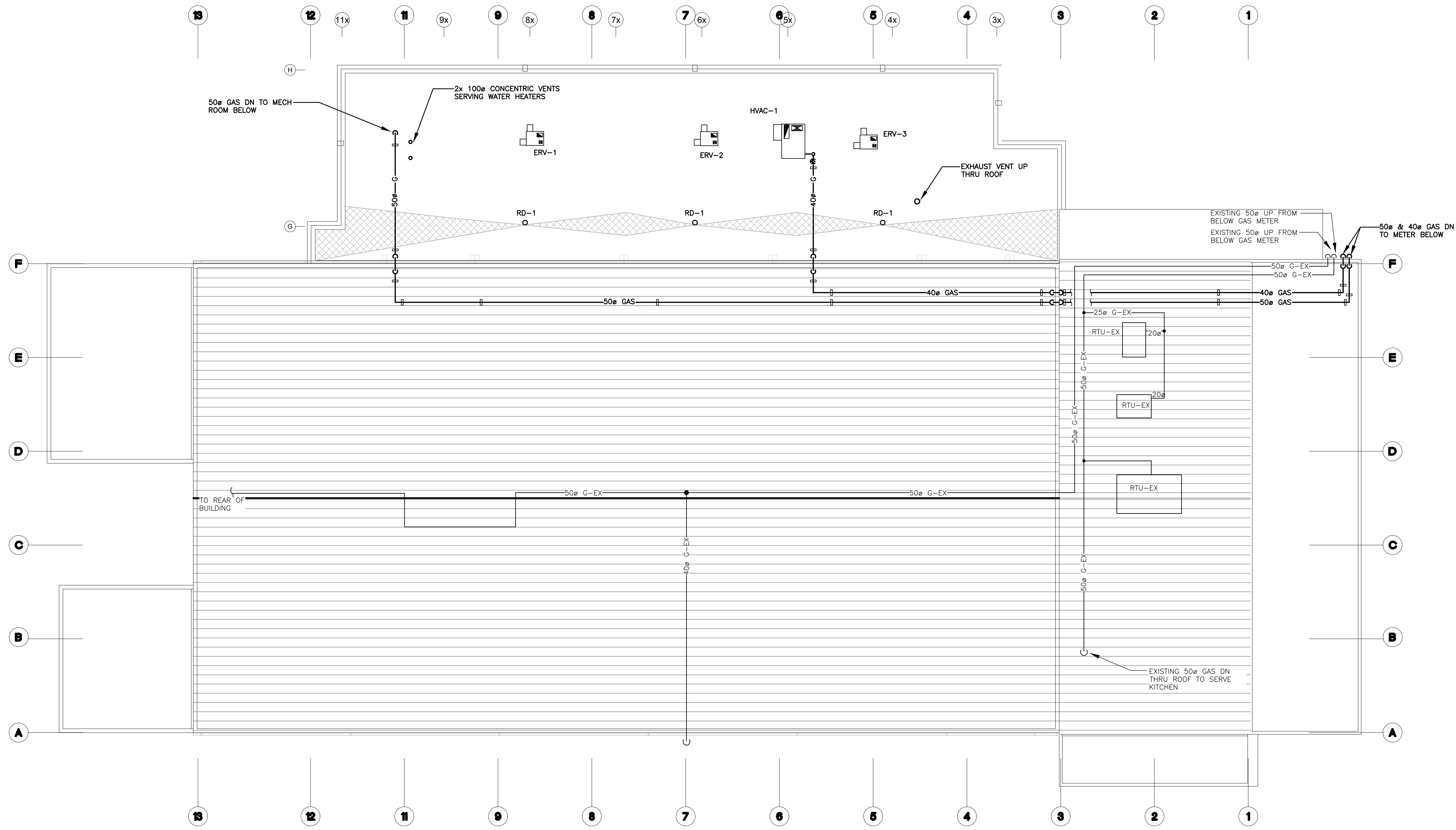
**BARRY BRYAN ASSOCIATES**  
 Architects  
 Engineers  
 Project Managers

250 Water Street  
 Suite 201  
 Whitby, Ontario  
 L1N 0G5  
 Tel: (905) 696-5252  
 Fax: (905) 696-5250  
 e-mail: bba@bba-archeng.com

DESIGN BY:	DOC CONTROL:
DRAWN BY:	% COMPLETE:
CHECKED BY:	NOTAL:
DATE:	SCALE:
2025-01-13	AS NOTED
FILE:	

**PROJECT NO:**  
**21171**

**DRAWING NO:**  
**M601**



ROOF PLAN  
SCALE: 1:150

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work. The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions. Drawings and specifications, etc., prepared and issued by the Consultant are the property of the Consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant. Do not scale this drawing.  
© 2025 DEI Consulting Engineers



NO.	ISSUES	DATE	BY
1	ISSUED FOR 75% REVIEW	JULY 22 2024	MP
2	ISSUED FOR 100% REVIEW	NOV 14 2024	MP
3	ISSUED FOR PERMIT/TENDER	DEC 5 2024	MP

NO.	REVISIONS	DATE	BY



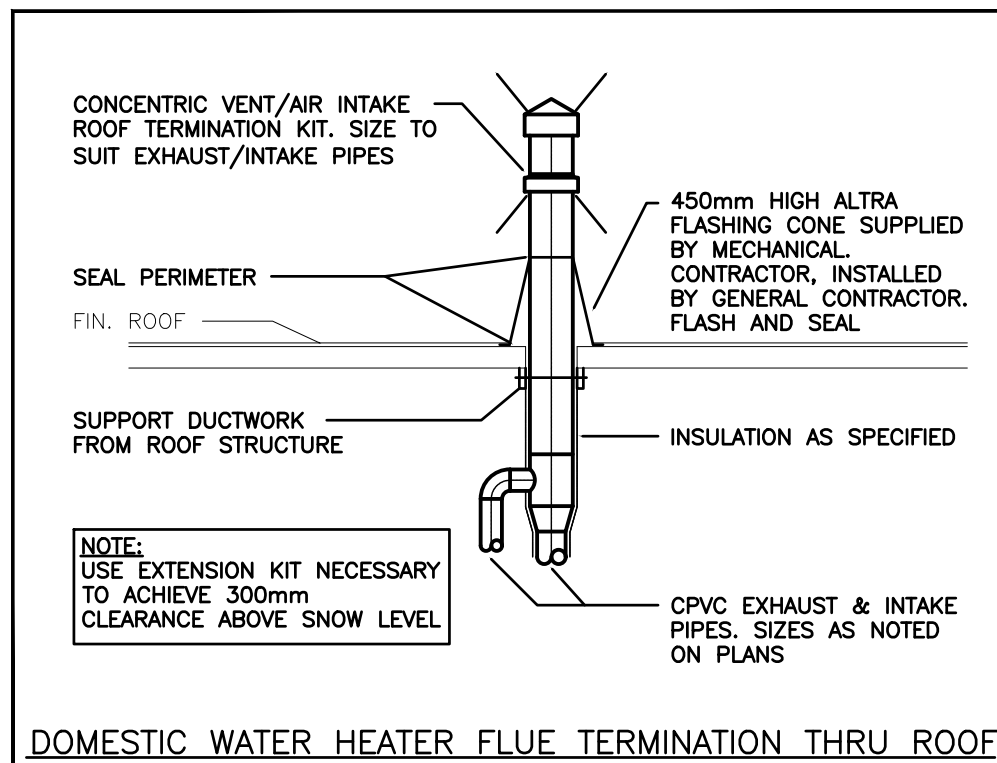
PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 1G0  
TOWN OF GRAND VALLEY

DRAWING:  
**ROOF PLAN**

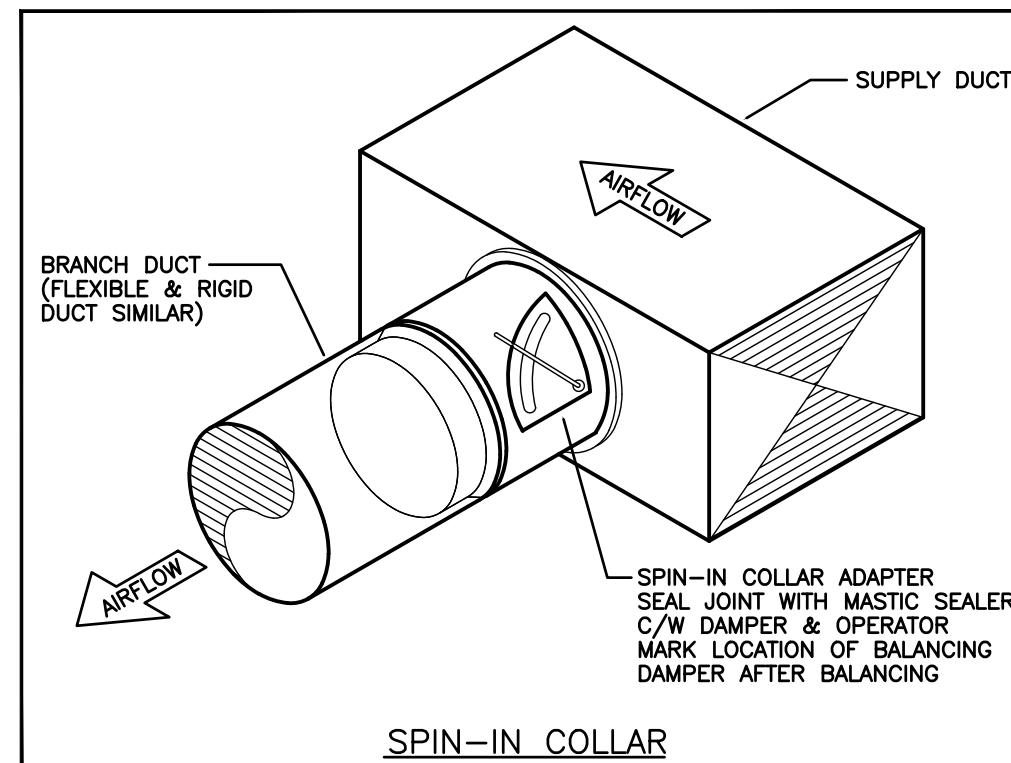


<b>BARRY BRYAN ASSOCIATES</b> Architects Engineers Project Managers 250 Water Street Suite 201 Whitby, Ontario L1N 0G5 Tel: (905) 666-5252 Fax: (905) 666-5250 e-mail: bba@bba-archeng.com	DESIGN BY:	DOC CONTROL:
	DRAWN BY:	% COMPLETE:
	CHECKED BY:	INITIAL:
	DATE:	SCALE:
	2025-01-13	AS NOTED
	FILE:	

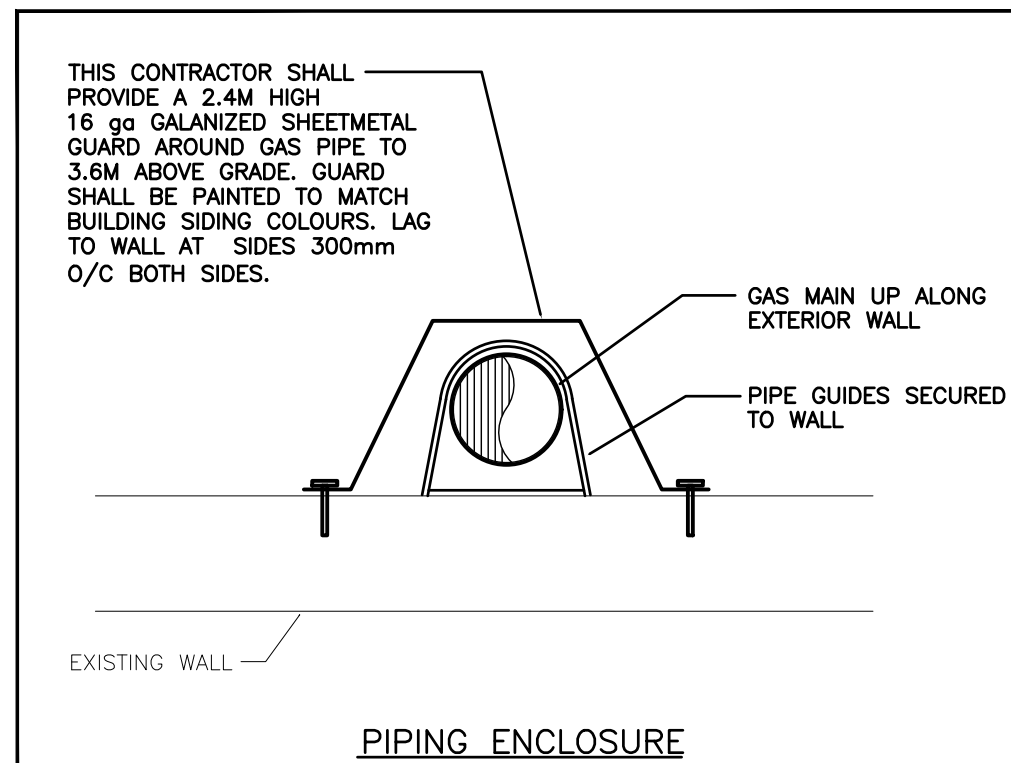
PROJECT NO: **21171**      DRAWING NO: **M701**



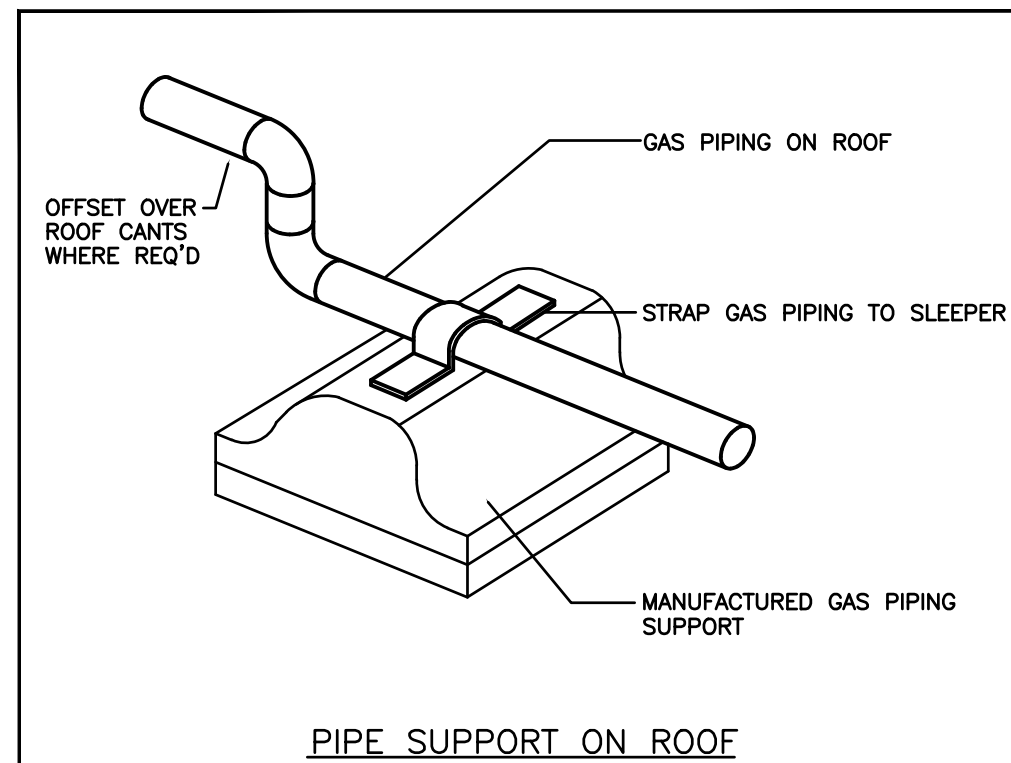
DOMESTIC WATER HEATER FLUE TERMINATION THRU ROOF



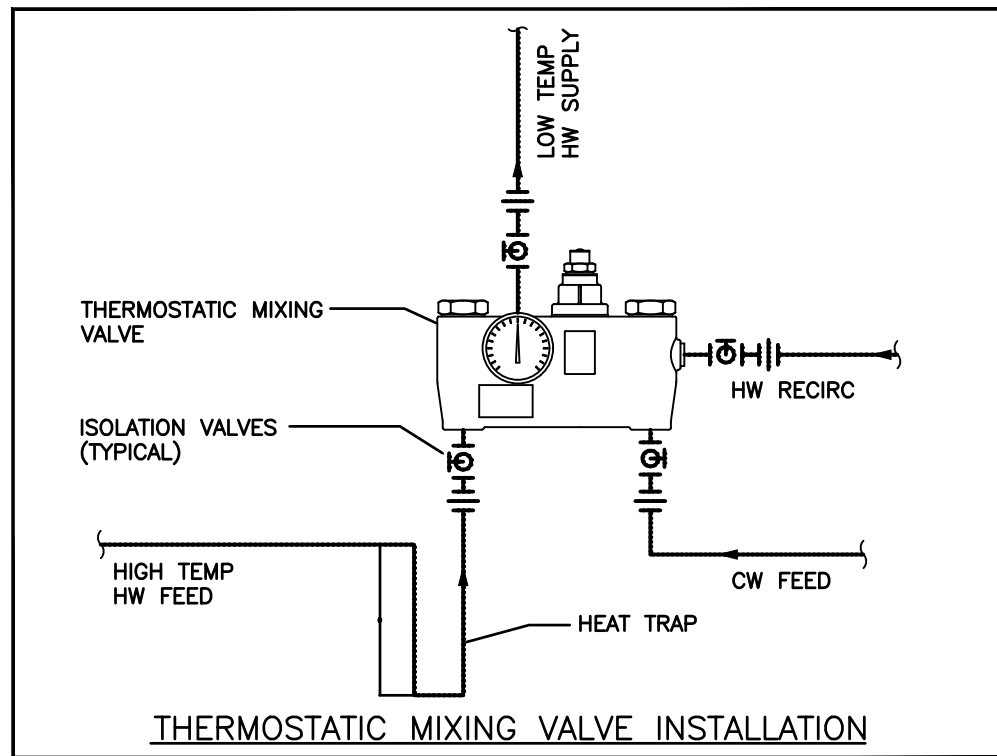
SPIN-IN COLLAR



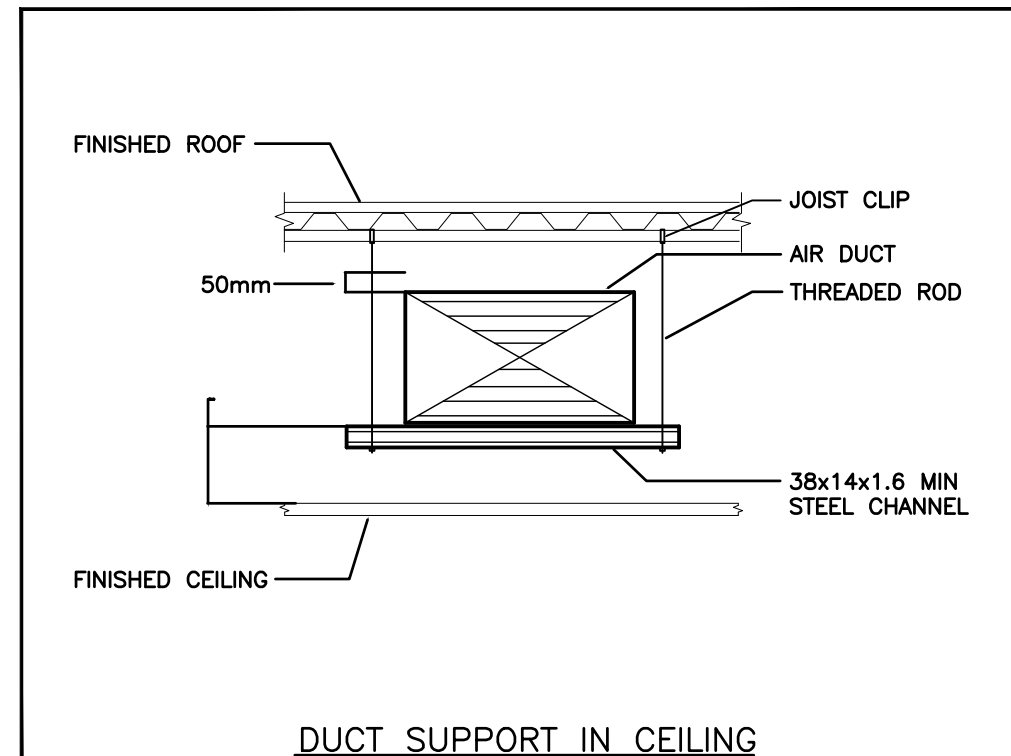
PIPING ENCLOSURE



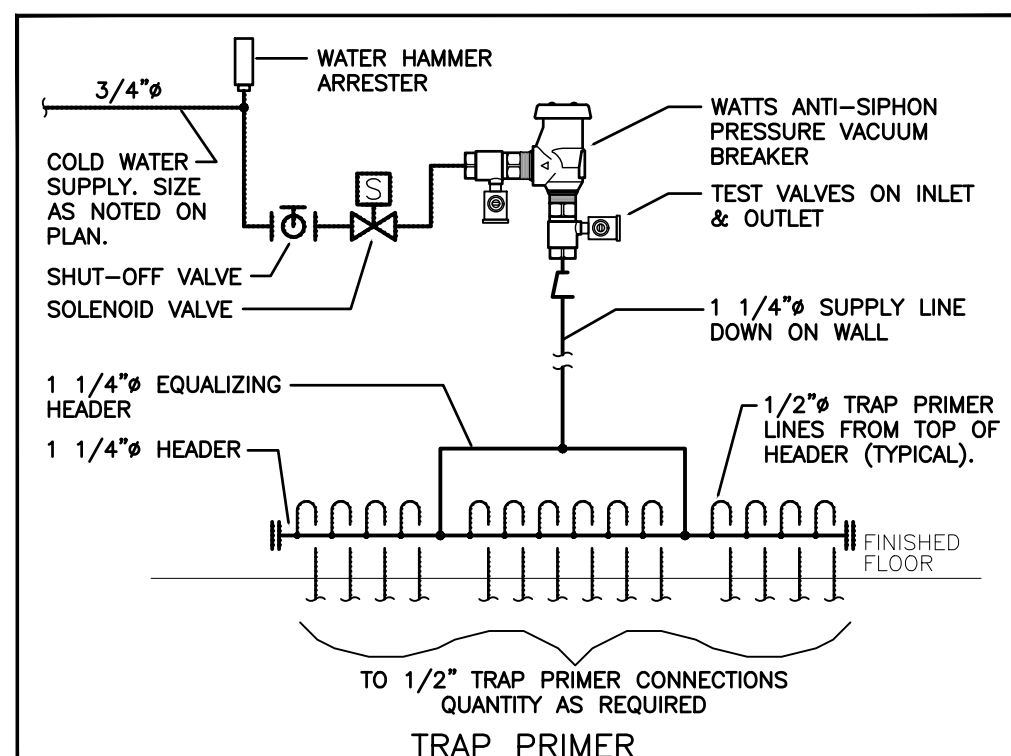
PIPE SUPPORT ON ROOF



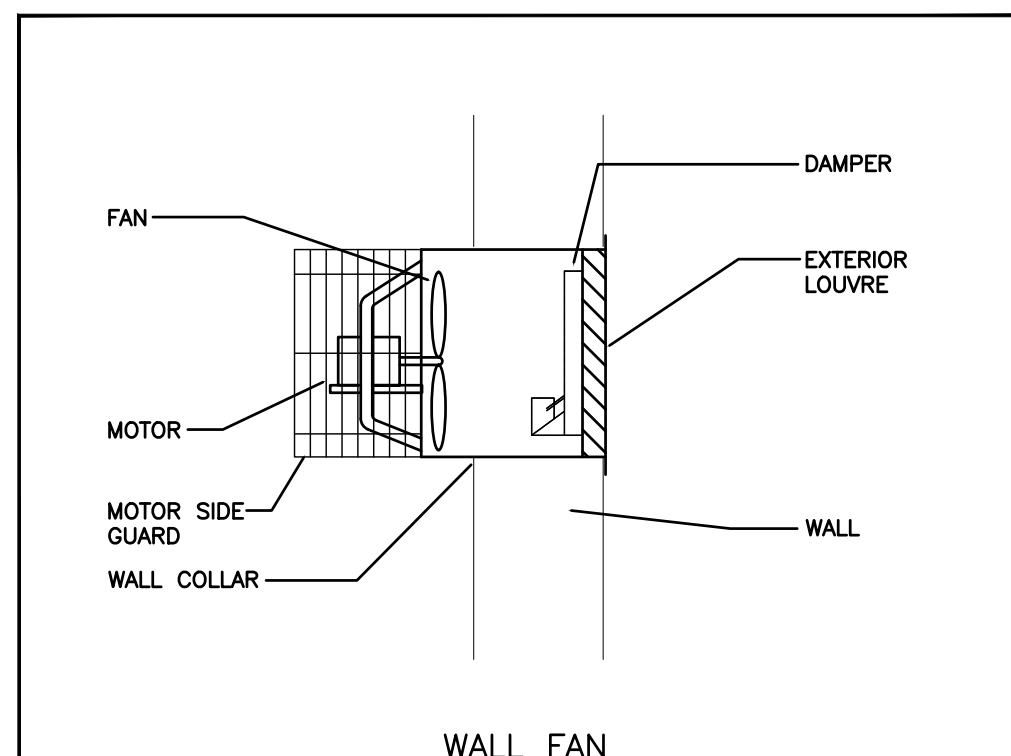
THERMOSTATIC MIXING VALVE INSTALLATION



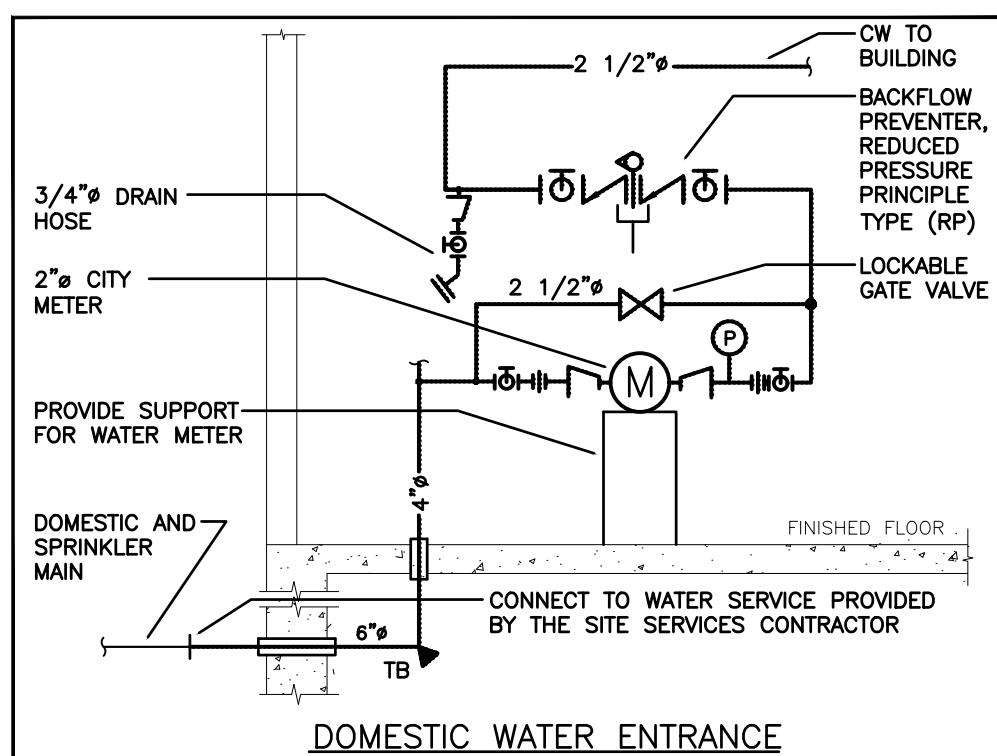
DUCT SUPPORT IN CEILING



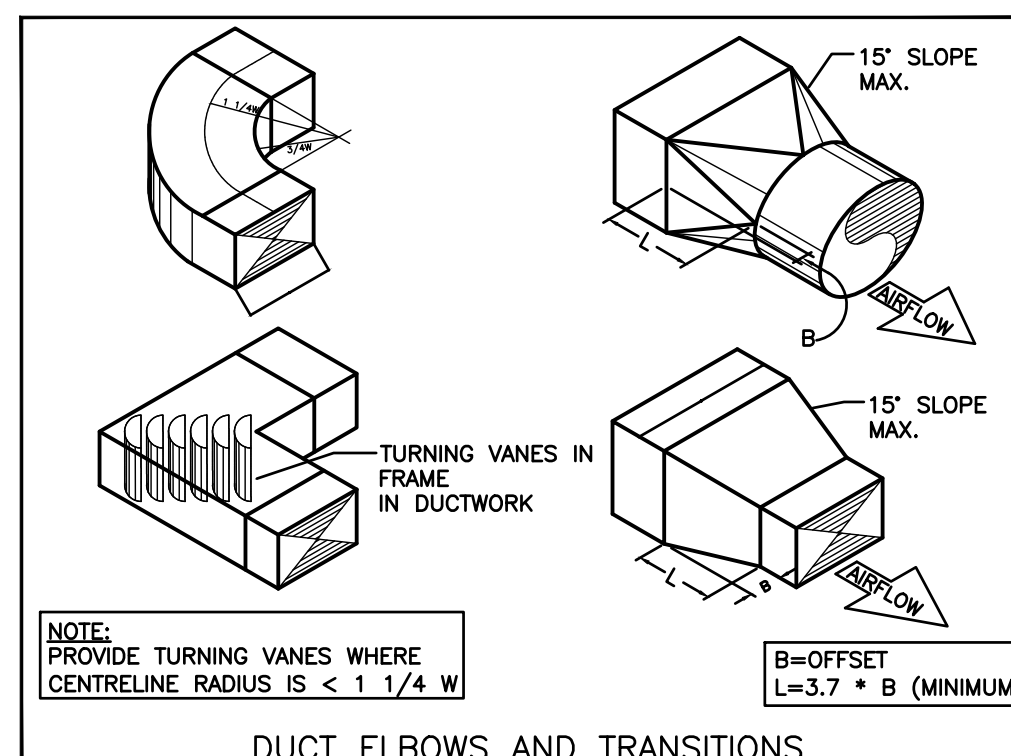
TRAP PRIMER



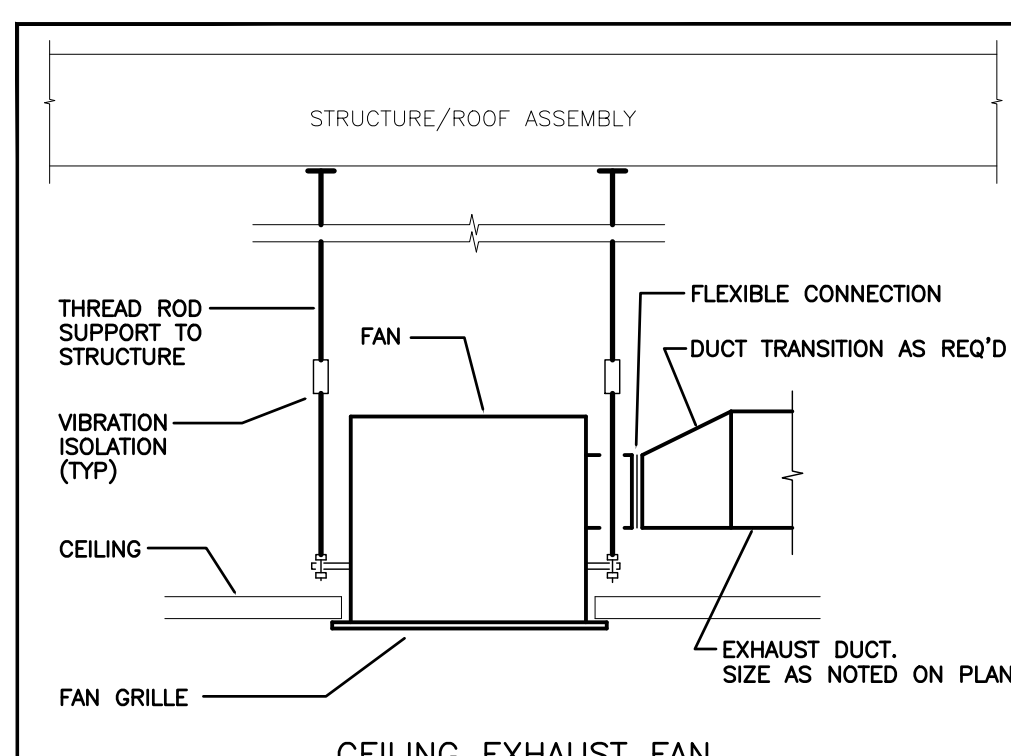
WALL FAN



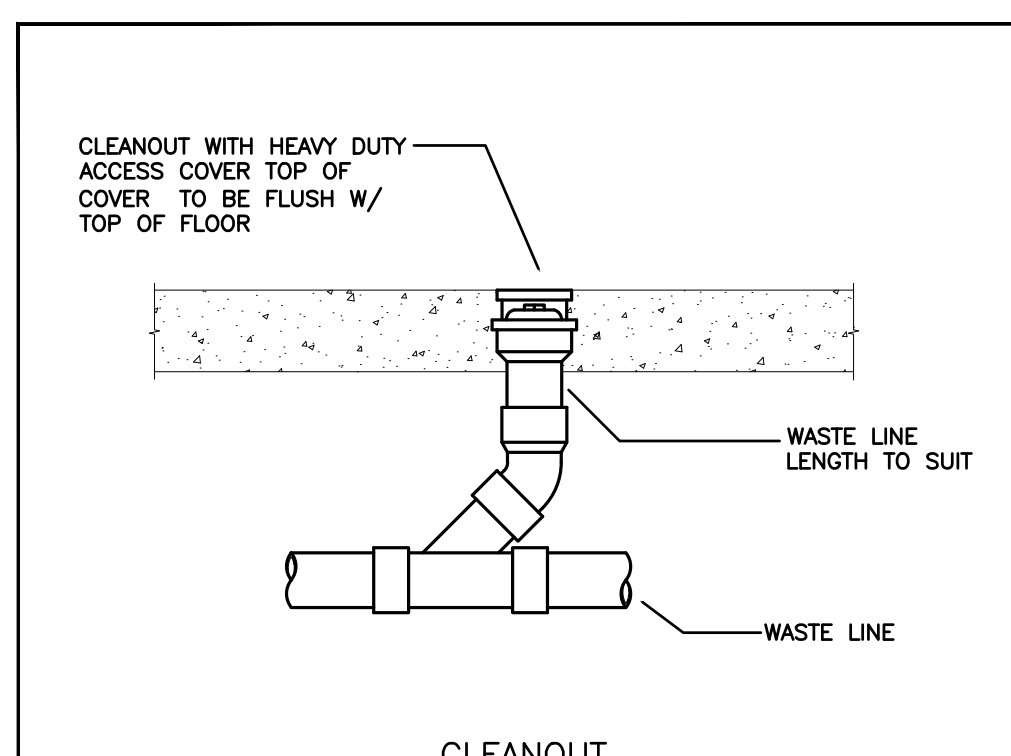
DOMESTIC WATER ENTRANCE



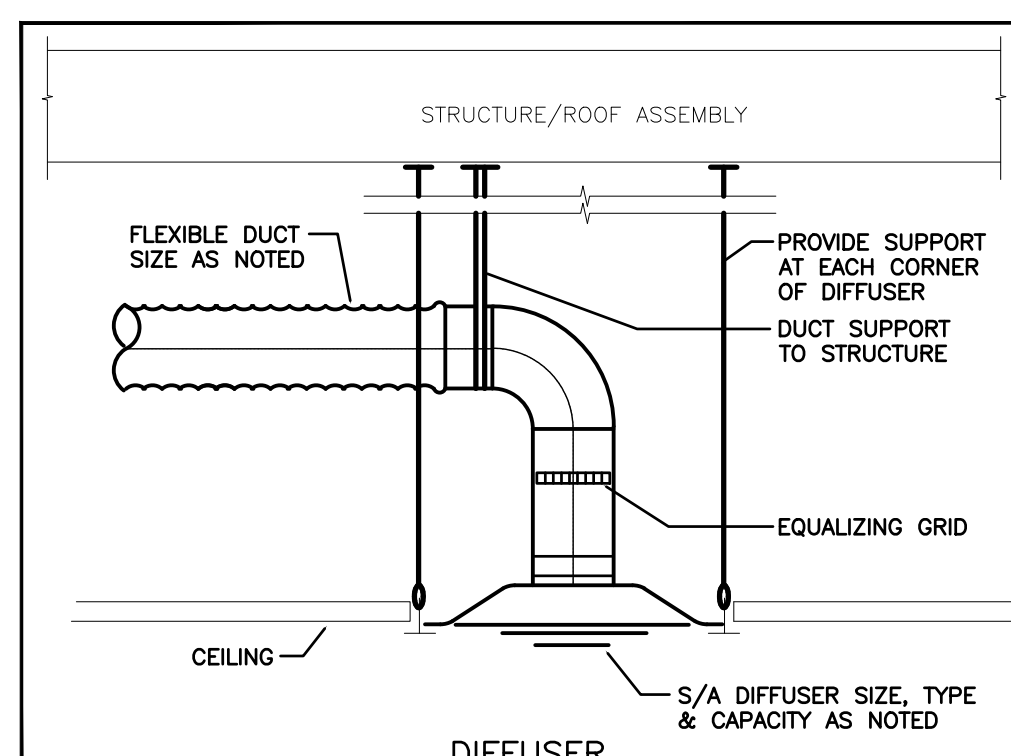
DUCT ELBOWS AND TRANSITIONS



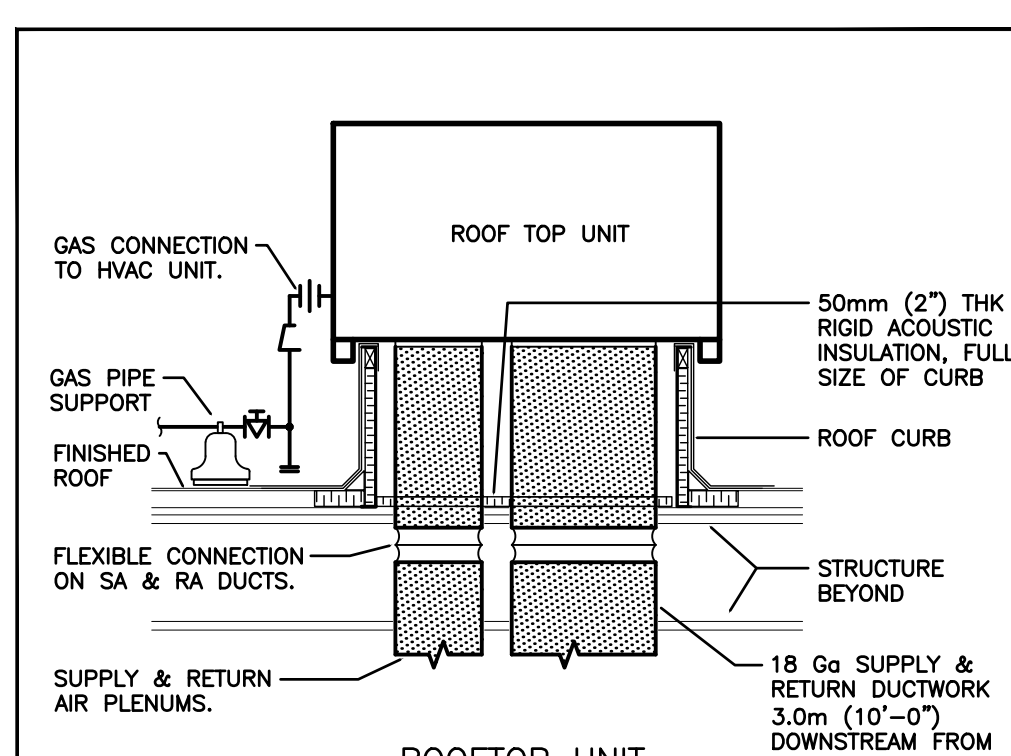
CEILING EXHAUST FAN



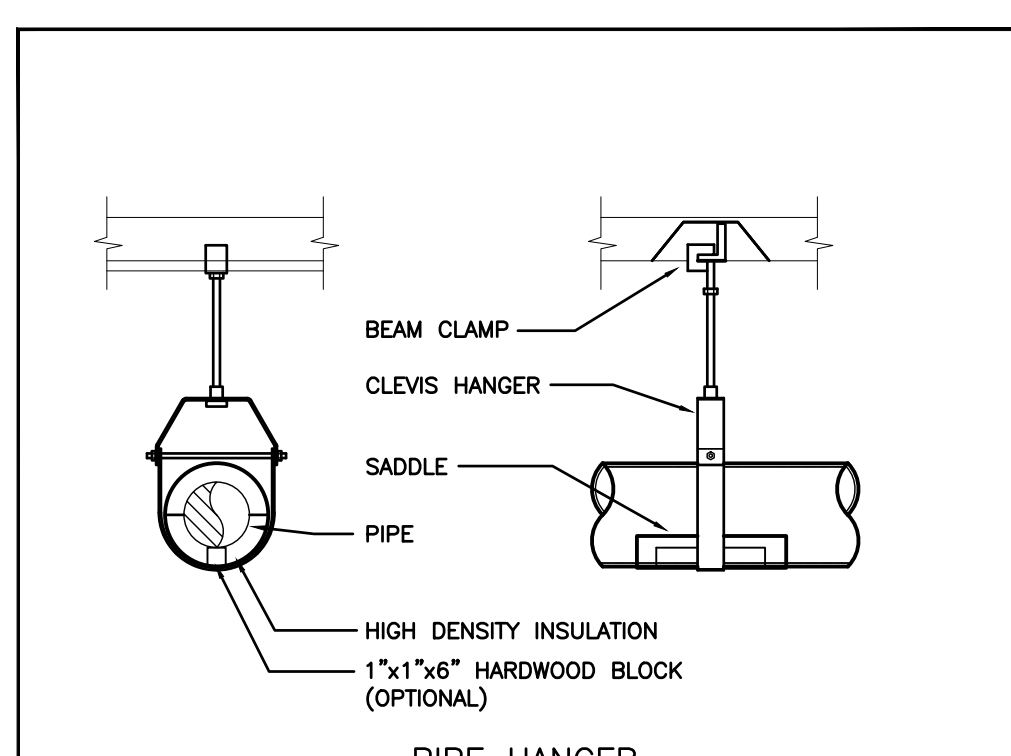
CLEANOUT



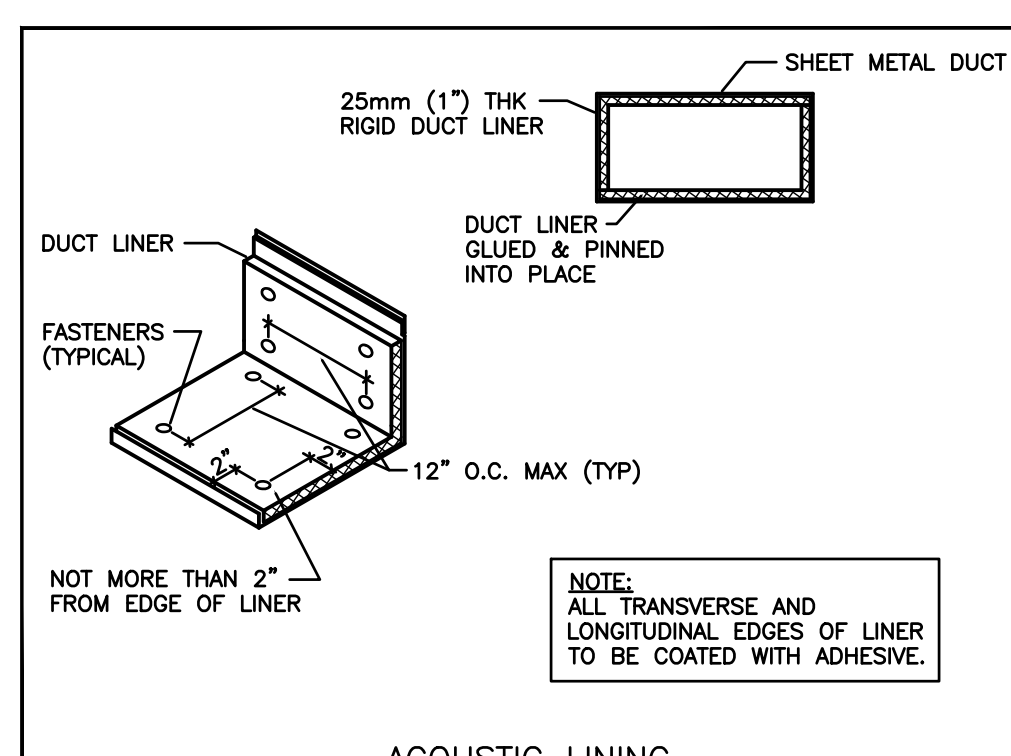
DIFFUSER



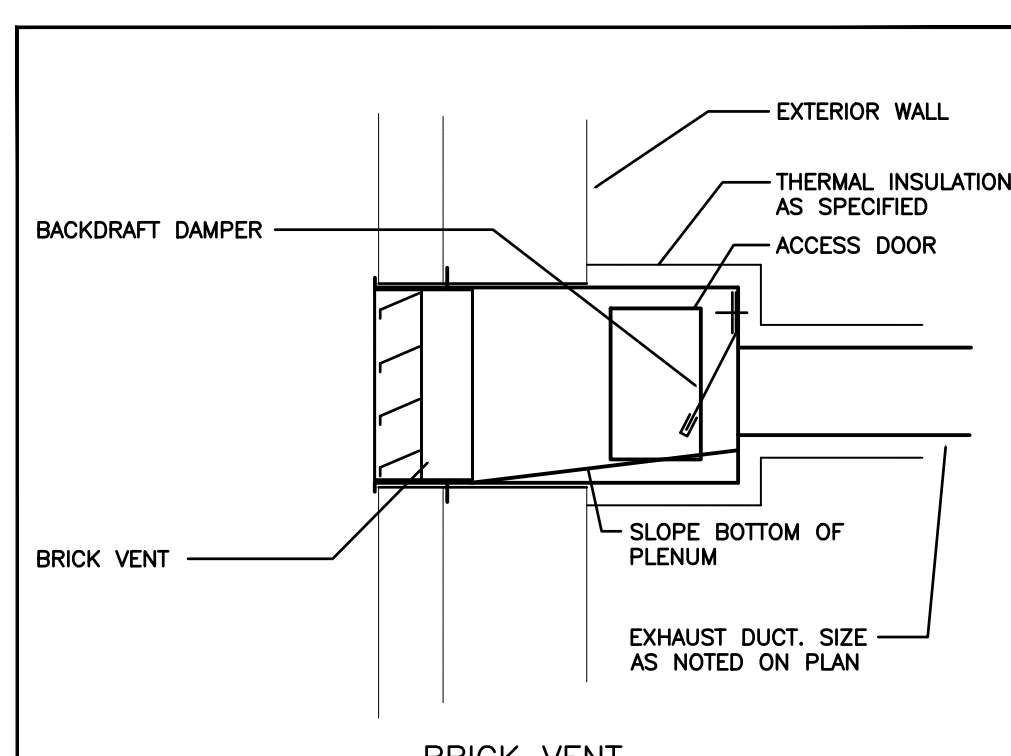
ROOFTOP UNIT



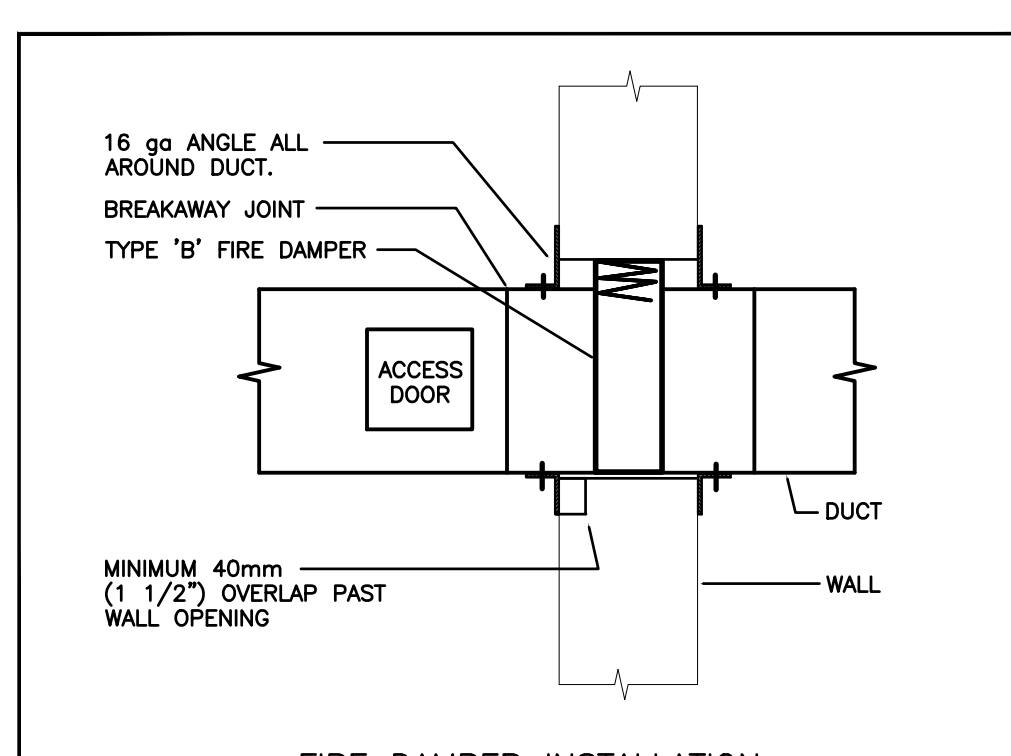
PIPE HANGER



ACOUSTIC LINING



BRICK VENT



FIRE DAMPER INSTALLATION

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work. The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions. Drawings and specifications, etc., prepared and issued by the Consultant are the property of the Consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant. Do not scale this drawing. © 2025 DEI Consulting Engineers



NO.	ISSUES	DATE	BY
1	ISSUED FOR 75% REVIEW	JULY 22 2024	MP
2	ISSUED FOR 100% REVIEW	NOV 14 2024	MP
3	ISSUED FOR PERMIT/TENDER	DEC 6 2024	MP

NO.	REVISIONS	DATE	BY



PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 1G0  
TOWN OF GRAND VALLEY

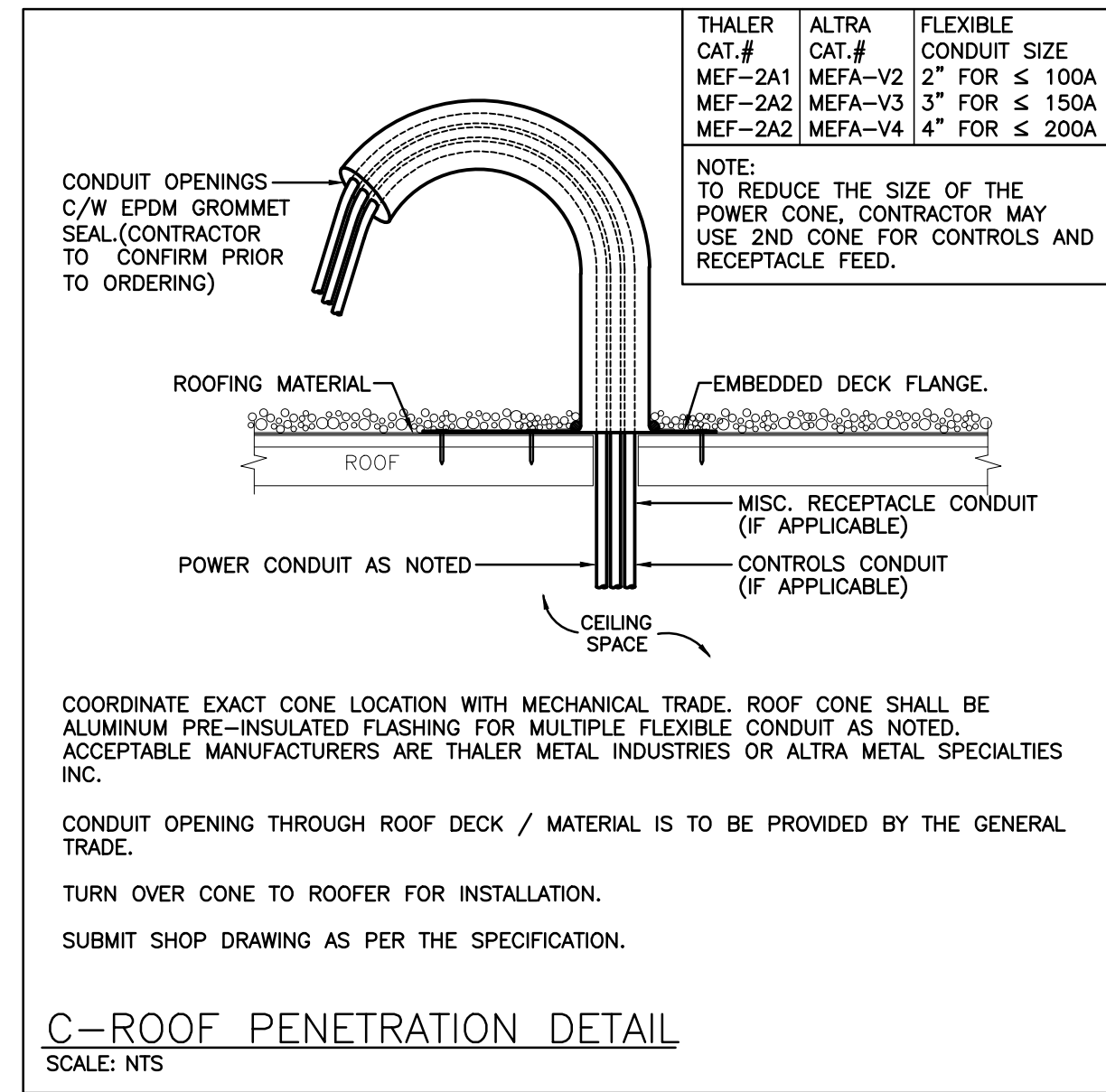
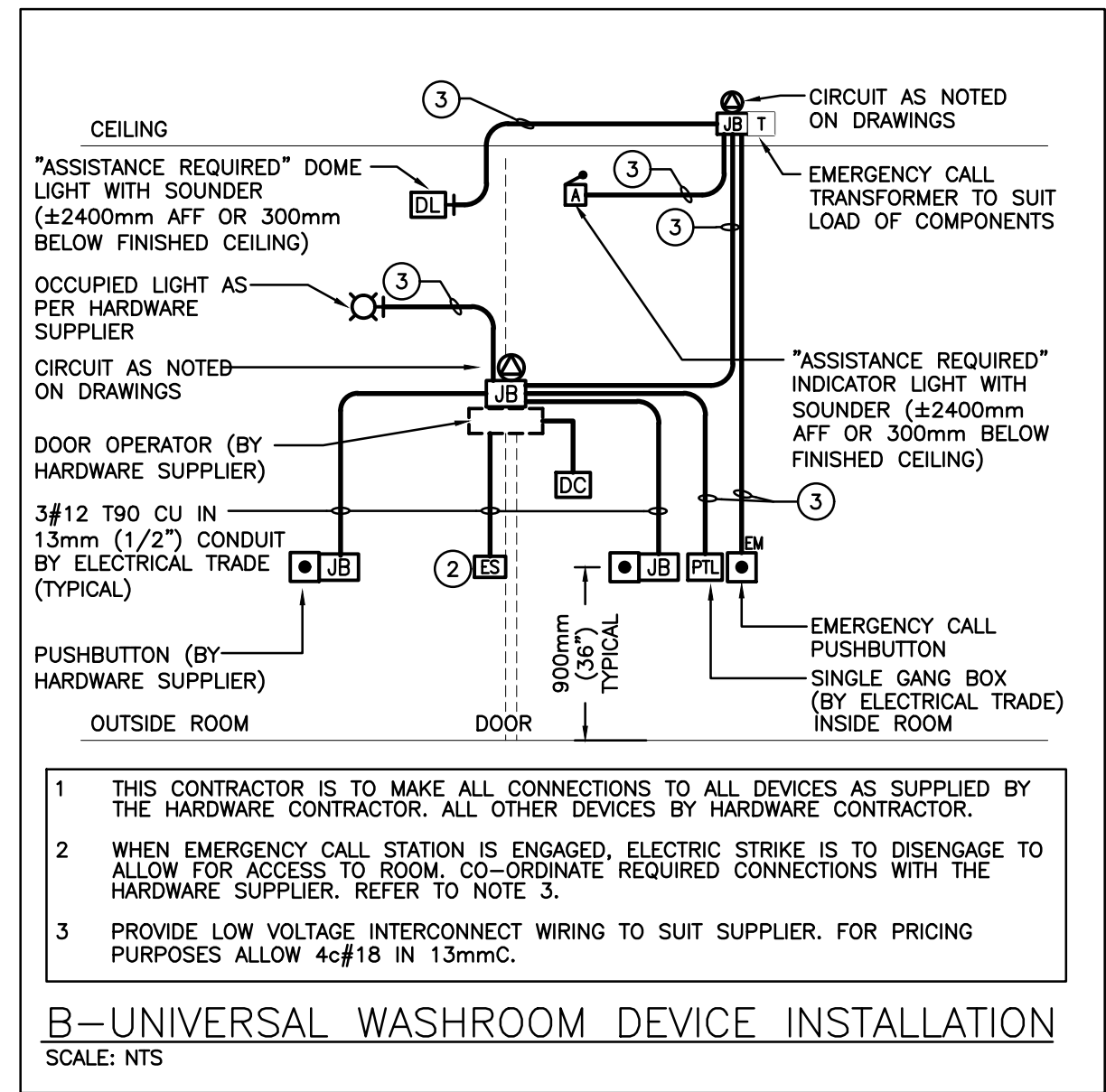
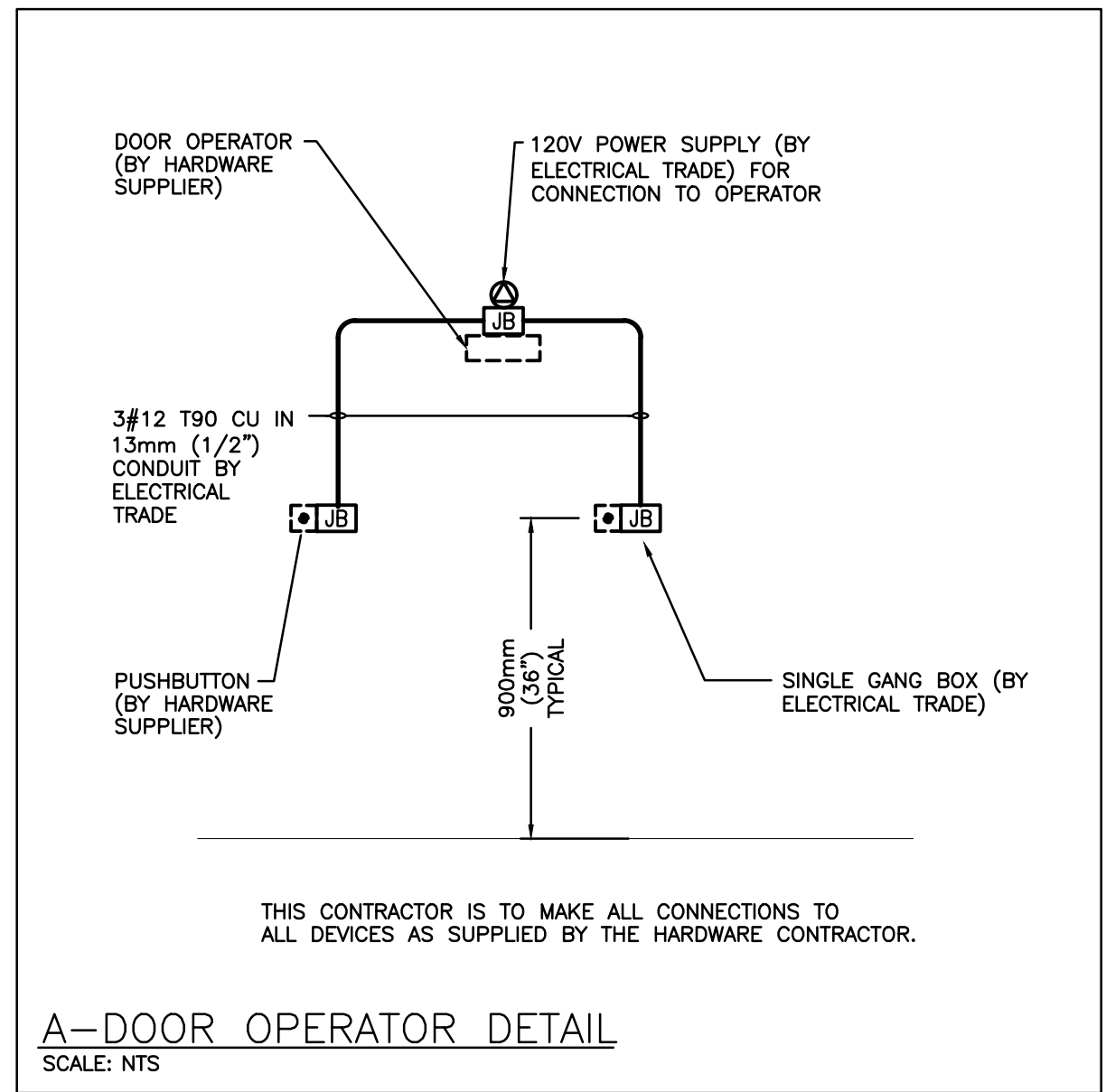
DRAWING:  
**DETAILS**



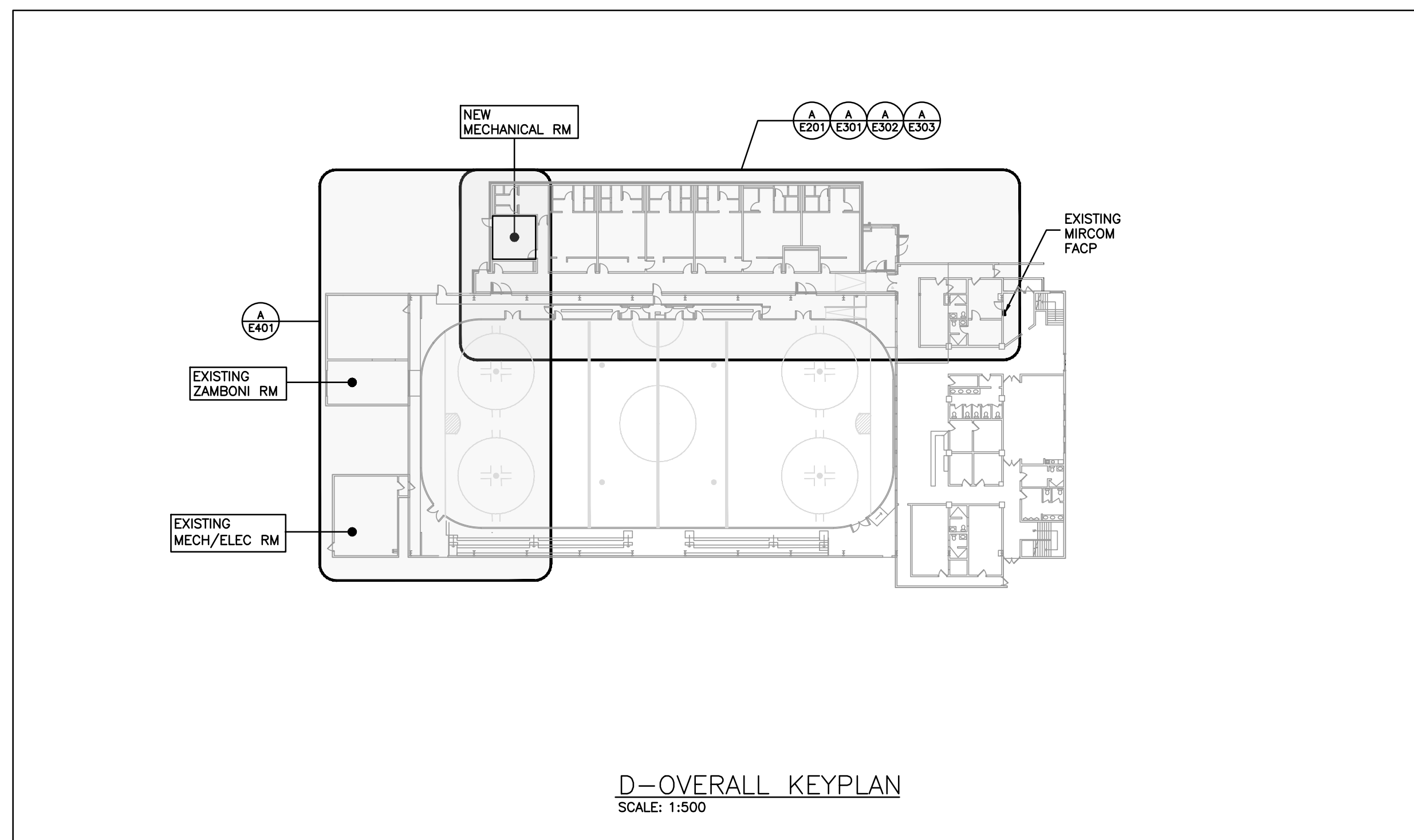
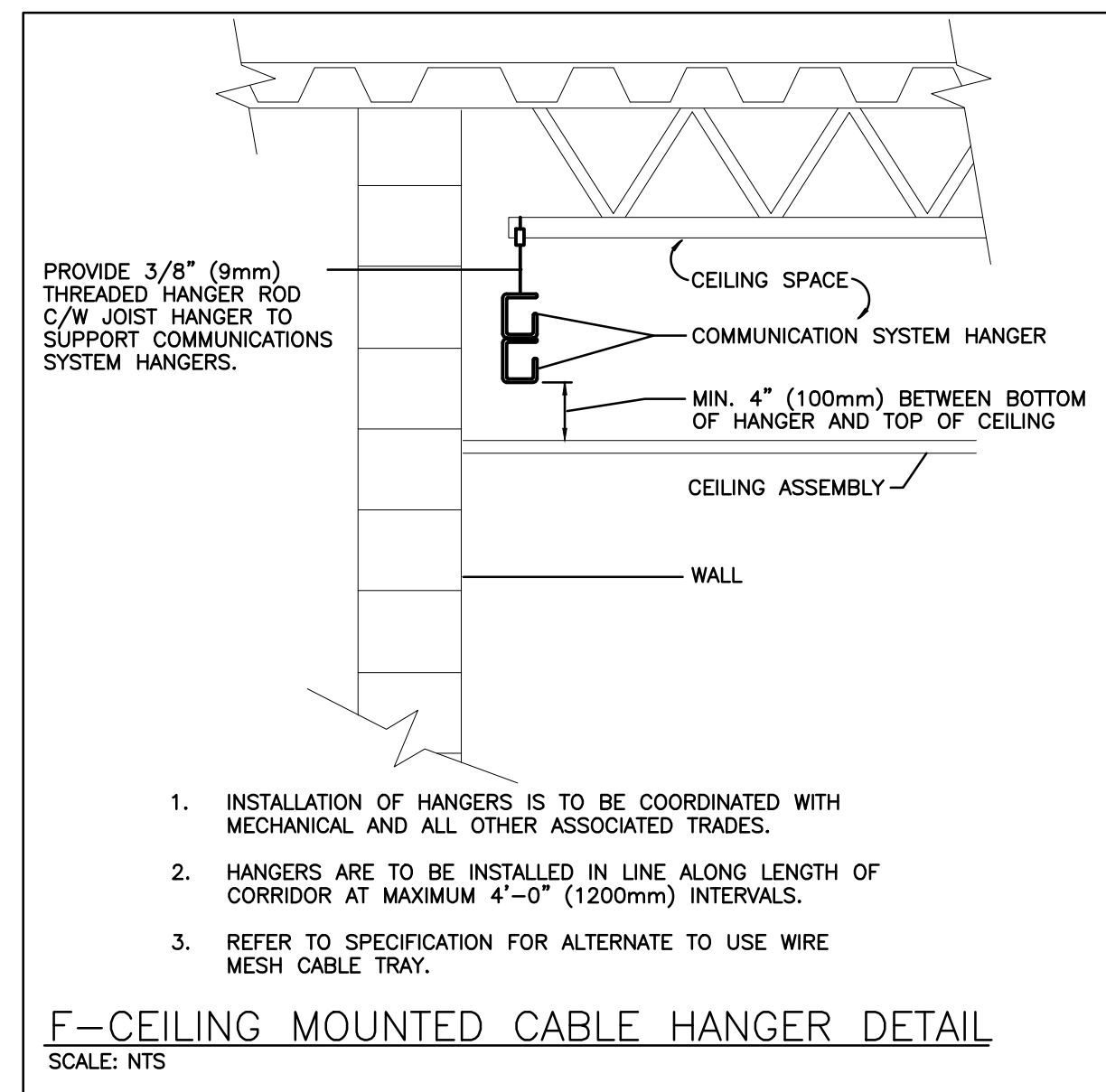
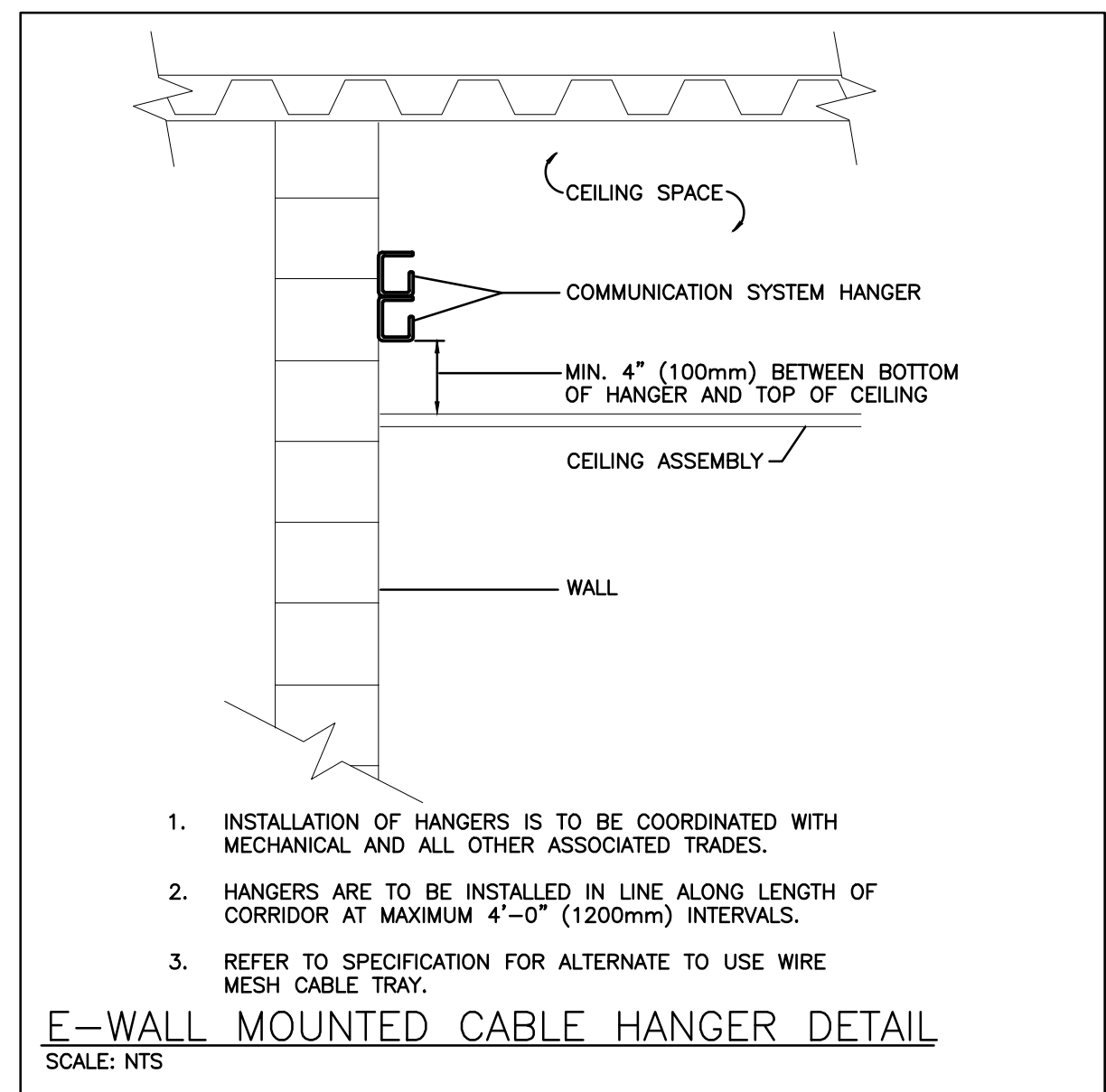
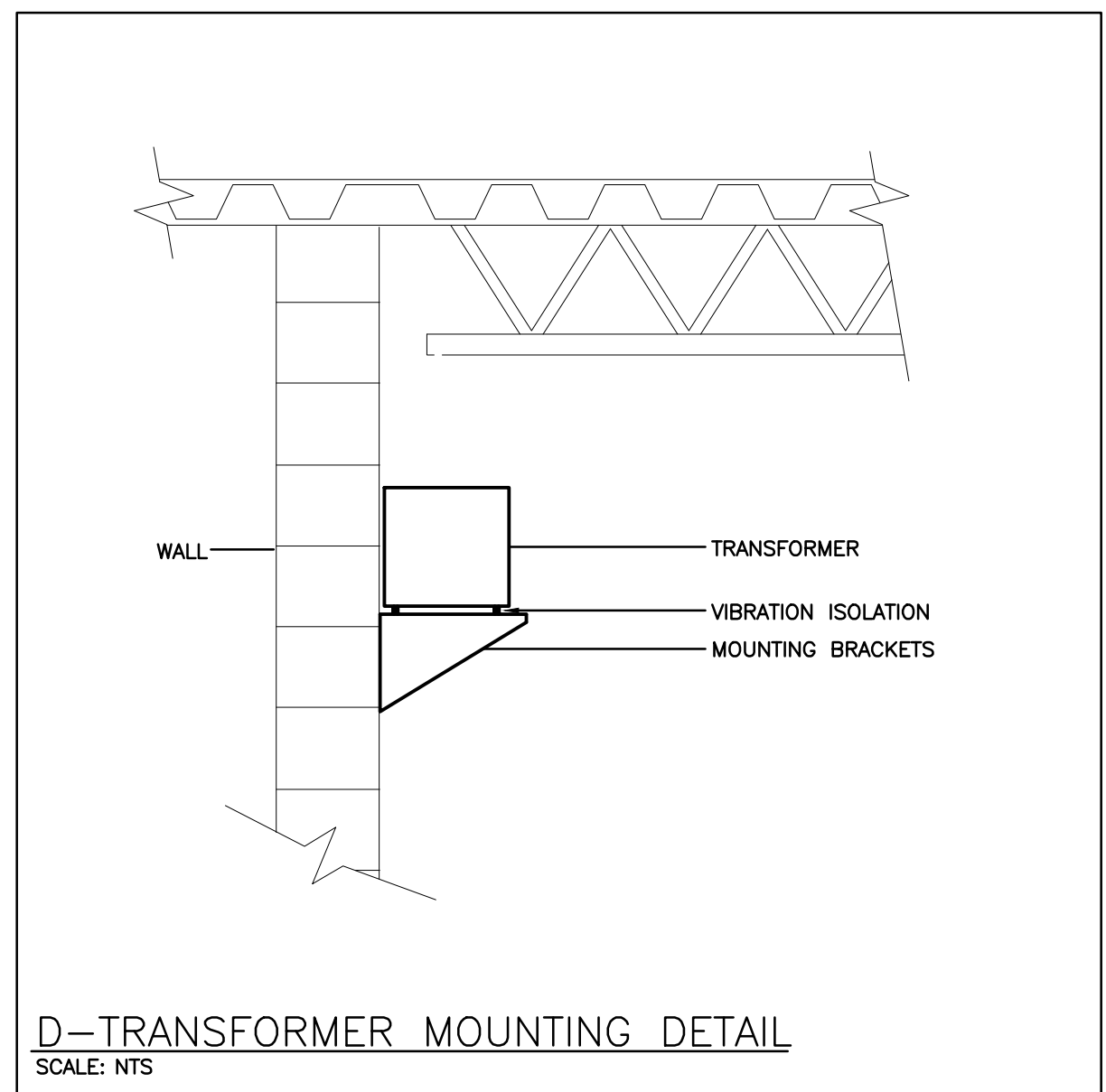
**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5  
Tel: (905) 866-5252  
Fax: (905) 866-5258  
e-mail: bbaj@bbe-archeng.com

DESIGN BY:	DOC CONTROL DATE:
DRAWN BY: SS	% COMPLETE:
CHECKED BY: MP	INITIAL:
DATE: 2025-01-13	
SCALE: AS NOTED	FILE:

PROJECT NO: **21171**  
DRAWING NO: **M801**



ELECTRICAL SYMBOLS		NOTE: ALL SYMBOLS MAY NOT BE USED	
LIGHTING		POWER	
[Symbol]	LIGHT FIXTURE TYPE AS INDICATED	[Symbol]	WALL MOUNTED RECEPTACLE (15A-120V)
[Symbol]	COMBINATION EMERGENCY/EXIT TYPE AS INDICATED	[Symbol]	WALL MOUNTED T-SLOT RECEPTACLE (20A-120V)
[Symbol]	CEILING OR WALL MOUNTED LIGHT FIXTURE TYPE AS INDICATED	[Symbol]	T-SLOT RECEPTACLE MTD. ABOVE COUNTER (20A-120V)
[Symbol]	WALL MOUNTED EXIT LIGHT SHADING INDICATES FACE	[Symbol]	DIRECT CONNECTION
[Symbol]	CEILING MOUNTED EXIT LIGHT SHADING INDICATES FACE	[Symbol]	JUNCTION BOX
[Symbol]	SINGLE OR TWIN EMERGENCY LIGHTING FIXTURE	[Symbol]	PULLBOX
[Symbol]	BATTERY UNIT WITH INTEGRAL EMERGENCY FIXTURE	[Symbol]	PANEL AS INDICATED
[Symbol]	EM-X INDICATES BATTERY UNIT TYPE, DC-X INDICATES DC CIRCUIT, AND X-X INDICATES AC SOURCE CIRCUIT	[Symbol]	CONTACTOR
[Symbol]	SINGLE POLE SWITCH (3=3 WAY, 4=4 WAY, P=PILOT LIGHT, K=KEYED, DM=DIMMER, M=MOTOR RATED)	[Symbol]	PUSH-BUTTON STATION (QUANTITY OF BUTTONS AS PER PLANS)
[Symbol]	OCCUPANCY SENSOR (PASSIVE)	[Symbol]	TIME CLOCK
[Symbol]	CEILING MOUNTED MOTION SENSOR	[Symbol]	30 MINUTE INTERVAL TIMER
[Symbol]	DIGITAL WALL DIMMER STATION	[Symbol]	THERMOSTAT (RA=REVERSE ACTING)
[Symbol]	ANALOG POWER PACK	[Symbol]	FUSED DISCONNECT
FIRE ALARM		SECURITY	
[Symbol]	SMOKE DETECTOR (RL=RELAY BASE)	[Symbol]	DOOR CONTACT C/W 19mmC TO NEAREST SECURITY JUNCTION BOX (REFER TO DETAIL)
[Symbol]	PULLSTATION	[Symbol]	ACCESS CONTROL
[Symbol]	ALARM BELL	[Symbol]	ELECTRIC STRIKE, CONFIRM ROUGH WITH DOOR HARDWARE.
[Symbol]	ALARM STROBE	[Symbol]	"PUSH-TO-LOCK" BUTTON
[Symbol]	HEAT DETECTOR (135 DEGREE RATE OF RISE AND FIXED TEMPERATURE)	[Symbol]	EMERGENCY PUSH BUTTON STATION
[Symbol]	CARBON MONOXIDE DETECTOR C/W BATTERY BACK UP	[Symbol]	"ASSISTANCE REQUIRED" DOME LIGHT WITH SOUNDER
[Symbol]	END-OF-LINE RESISTOR	[Symbol]	"ASSISTANCE REQUIRED" INDICATOR LIGHT WITH SOUNDER
[Symbol]	SUPERVISED VALVE	GENERAL	
[Symbol]	FLOW SWITCH	ER	INDICATES EXISTING ITEM TO REMAIN
[Symbol]	FIRE SMOKE DAMPER	D	INDICATES EXISTING ITEM TO BE DELETED
ELECTRIC HEAT		R	INDICATES EXISTING ITEM TO BE RELOCATED/IN RELOCATED POSITION
[Symbol]	UNIT HEATER (TYPE AS INDICATED)	WG	WIREGUARD
STANDARD CIRCUIT LABELING		GF	GROUND FAULT
POWER PANEL LABEL CIRCUIT INDICATION - SWITCH LEG (IF APPLICABLE)		WP	WEATHERPROOF
		CLG	CEILING MOUNTED
		[Symbol]	NOTE INDICATOR
		[Symbol]	MECHANICAL ITEM NO.

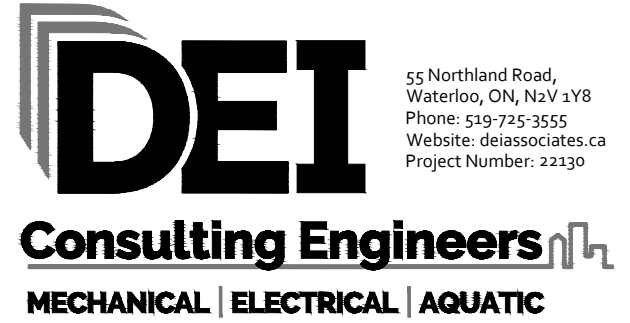


The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.  
The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.  
The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.  
Drawings and specifications, etc., prepared and issued by the Consultant are the property of the Consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant.  
Do not scale this drawing.  
© 2025 DEI Consulting Engineers



NO.	ISSUES	DATE	BY
1	ISSUED FOR 75% REVIEW	JULY 22 2024	JL
2	ISSUED FOR 100% REVIEW	NOV 14 2024	JL
3	ISSUED FOR PERMIT/TENDER	DEC 5 2024	JL

NO.	REVISIONS	DATE	BY



PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 1G0  
TOWN OF GRAND VALLEY

DRAWING:  
**DETAILS, KEYPLAN & LEGEND**



**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5  
Tel: (905) 666-5252  
Fax: (905) 666-5256  
e-mail: bba@bba-archeng.com

DESIGN BY: JL  
DRAWN BY: DV  
CHECKED BY: CM  
DATE: 2025-01-10  
SCALE: AS NOTED  
FILE:

DOC CONTROL DATE:  
% COMPLETE:  
INITIAL:

PROJECT NO: **21171**  
DRAWING NO: **E101**



### GENERAL DEMOLITION NOTES

- 'ER' DENOTES EXISTING ITEM TO REMAIN.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS NOTED OTHERWISE.
- 'R' INDICATES EXISTING ITEM TO BE RELOCATED, REFER TO RENOVATION DRAWINGS AND RELOCATE DEVICE AND WIRING TO SUIT. UNLESS OTHERWISE NOTED.
- 'D' INDICATES EXISTING ITEM TO BE DELETED, UNLESS OTHERWISE NOTED DISCONNECT AND REMOVE NOTED DEVICE AND WIRING BACK TO SOURCE.

### SPECIFIC DEMOLITION NOTES

- 1 REMOVE INDICATED DEVICE. MAINTAIN BRANCH CIRCUIT WIRING AND CONTROLS FOR RECONNECTION IN RENOVATION PHASE.
- 2 INDICATES JUNCTION BOXES SERVICING EXISTING EXTERIOR EQUIPMENT. REVISE LOCATION OF JUNCTION BOXES IN RENOVATION PHASE TO SUIT NEW LAYOUT. PREPARE TO RECONNECT EXISTING EQUIPMENT IN RENOVATION PHASE. EXTEND EXISTING CONDUIT AND WIRE TO SUIT. COORDINATE EXACT LOCATION WITH OWNER.
- 3 DISCONNECT AND REMOVE ALL LIGHT FIXTURES AND RECEPTACLES WITHIN HATCHED AREA. MAINTAIN ELECTRICAL CIRCUITS FOR RECONNECTION IN RENOVATION PHASE.
- 4 EXCAVATE EXISTING DUCTS AND REROUTE AS REQUIRED FOR NEW ADDITION. COORDINATE EXACT REQUIREMENTS ON SITE.

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.  
 The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.  
 The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.  
 Drawings and specifications, etc., prepared and issued by the Consultant are the property of the Consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant.  
 Do not scale this drawing.  
 © 2025 DEI Consulting Engineers



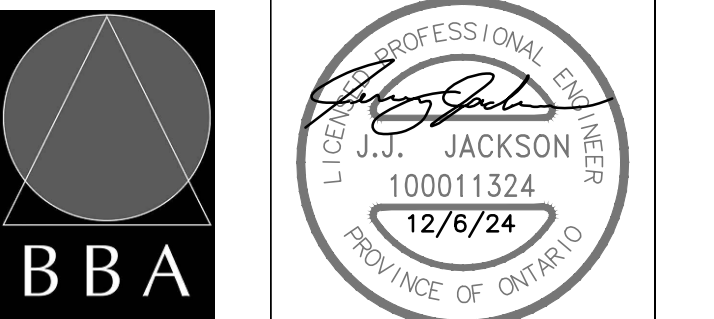
NO.	ISSUES	DATE	BY
1	ISSUED FOR 75% REVIEW	JULY 22 2024	JL
2	ISSUED FOR 100% REVIEW	NOV 14 2024	JL
3	ISSUED FOR PERMIT/TENDER	DEC 5 2024	JL

NO.	REVISIONS	DATE	BY



**PROJECT:**  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
 DISTRICT COMMUNITY CENTRE  
 90 MAIN ST. N  
 GRAND VALLEY, ONTARIO, L0N 1G0  
 TOWN OF GRAND VALLEY

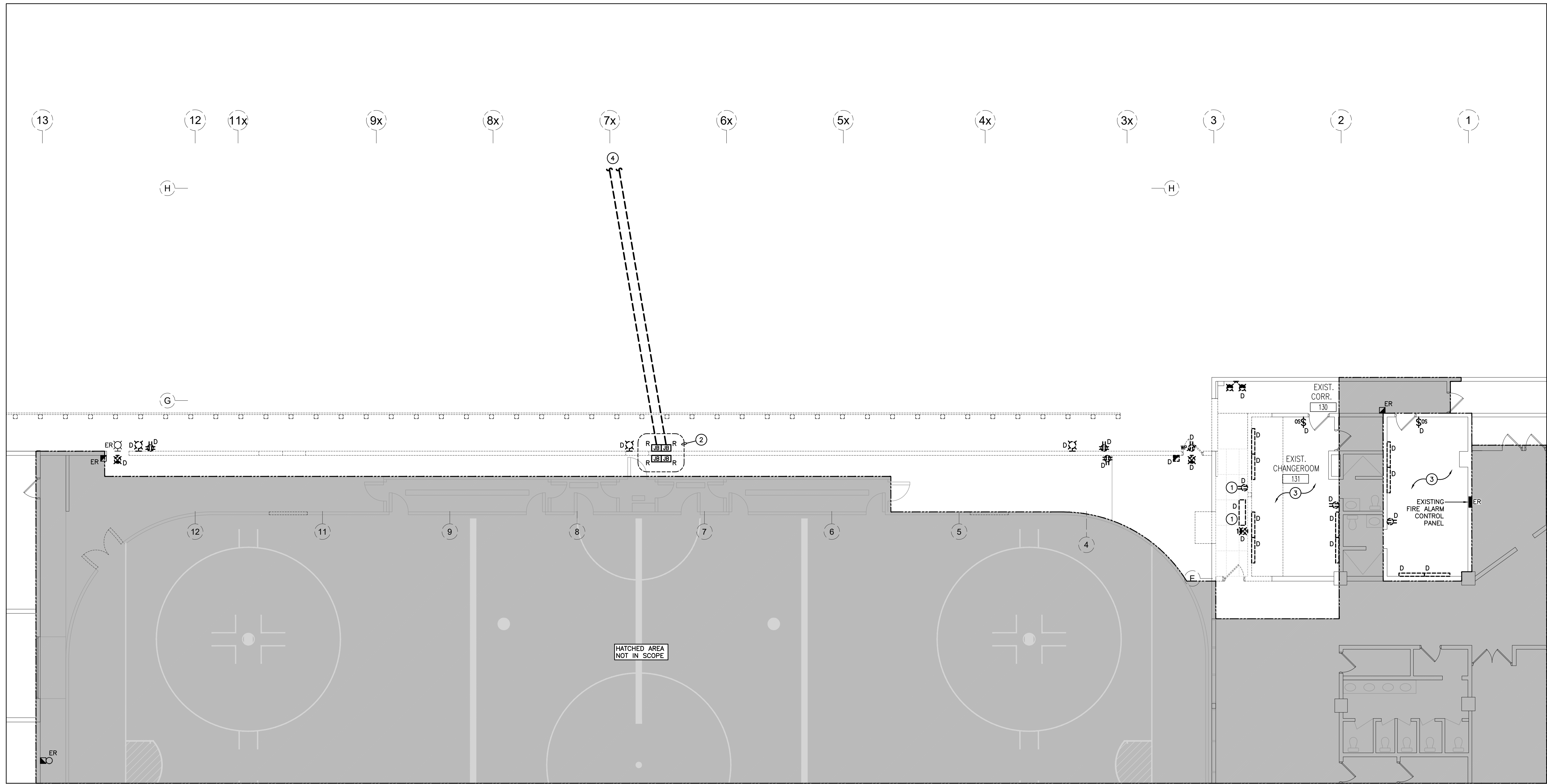
**DRAWING:**  
**GROUND FLOOR DEMOLITION**



**BARRY BRYAN ASSOCIATES**  
 Architects  
 Engineers  
 Project Managers  
 250 Water Street  
 Suite 201  
 Whitby, Ontario  
 L1N 0G5  
 Tel: (905) 666-5252  
 Fax: (905) 666-5250  
 e-mail: bba@bba-archeng.com

DESIGN BY: JL	DOC. CONTROL: DATE:
DRAWN BY: DV	% COMPLETE:
CHECKED BY: CM	INITIAL:
DATE: 2025-01-10	SCALE: AS NOTED
FILE:	

**PROJECT NO:** 21171  
**DRAWING NO:** E201



A-PARTIAL FLOOR PLAN-DEMOLITION  
 SCALE: 1:100

**GENERAL RENOVATION NOTES**

- 'ER' INDICATES EXISTING ITEM TO REMAIN.
- 'R' INDICATES EXISTING ITEM IN RELOCATED POSITION.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS OTHERWISE NOTED.
- MAINTAIN SERVICE TO ALL EXISTING DEVICES TO REMAIN.
- REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).

**SPECIFIC RENOVATION NOTES**

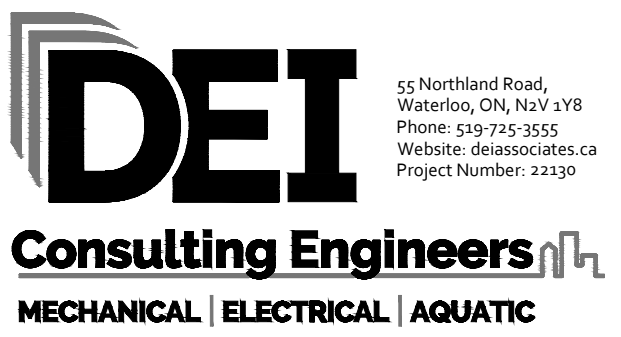
- 1 CONNECT INDICATED FIXTURE TO SWITCHED SIDE OF ADJACENT CORRIDOR LIGHTING CIRCUIT.
- 2 INDICATES POWER PACK/DIGITAL ROOM CONTROLLER INSTALLED WITHIN ACCESSIBLE CEILING SPACE FOR CONTROL OF NOTED MOTION SENSOR(S).
- 3 CONNECT TO EXISTING LIGHTING CIRCUIT MAINTAINED FROM DEMOLITION. EXTEND EXISTING CONDUIT AND WIRING TO SUIT NEW LOCATION(S).
- 4 LIGHTING TO BE CONNECTING TO EXISTING CORRIDOR/LOBBY CONTROLS.

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.  
The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.  
The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.  
Drawings and specifications, etc., prepared and issued by the Consultant are the property of the Consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant.  
Do not scale this drawing.  
© 2025 DEI Consulting Engineers



NO.	ISSUES	DATE	BY
1	ISSUED FOR 75% REVIEW	JULY 22 2024	JL
2	ISSUED FOR 100% REVIEW	NOV 14 2024	JL
3	ISSUED FOR PERMIT/TENDER	DEC 5 2024	JL

NO.	REVISIONS	DATE	BY



**PROJECT:**  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 1G0  
TOWN OF GRAND VALLEY

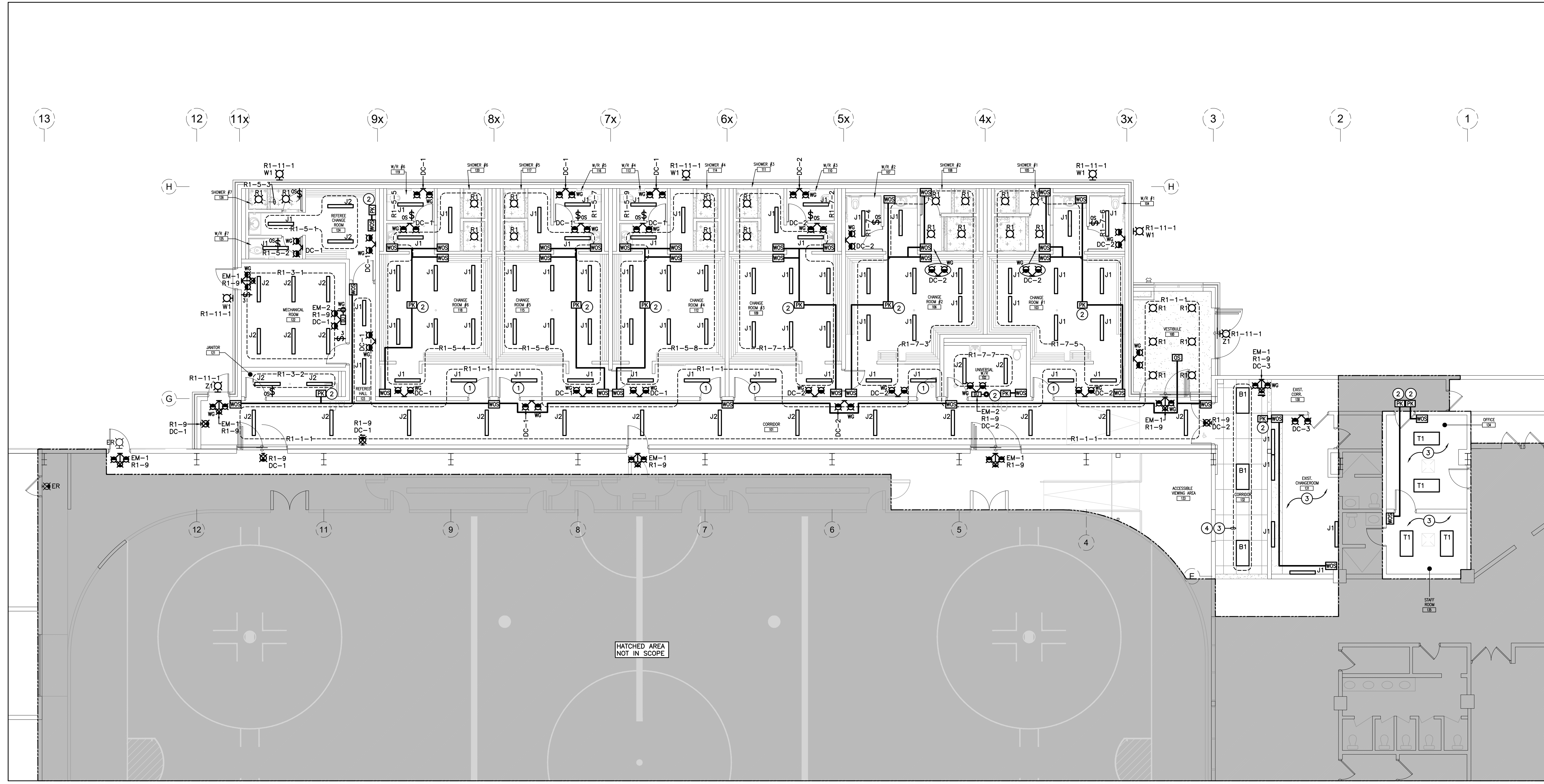
**DRAWING:**  
**GROUND FLOOR RENOVATION-LIGHTING**



**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5  
Tel: (905) 666-5252  
Fax: (905) 666-5250  
e-mail: bba@bba-archeng.com

DESIGN BY: JL	DOC CONTROL: DATE:
DRAWN BY: DV	% COMPLETE:
CHECKED BY: CM	INITIAL:
DATE: 2025-01-10	
SCALE: AS NOTED	
FILE:	

PROJECT NO: **21171**      DRAWING NO: **E301**



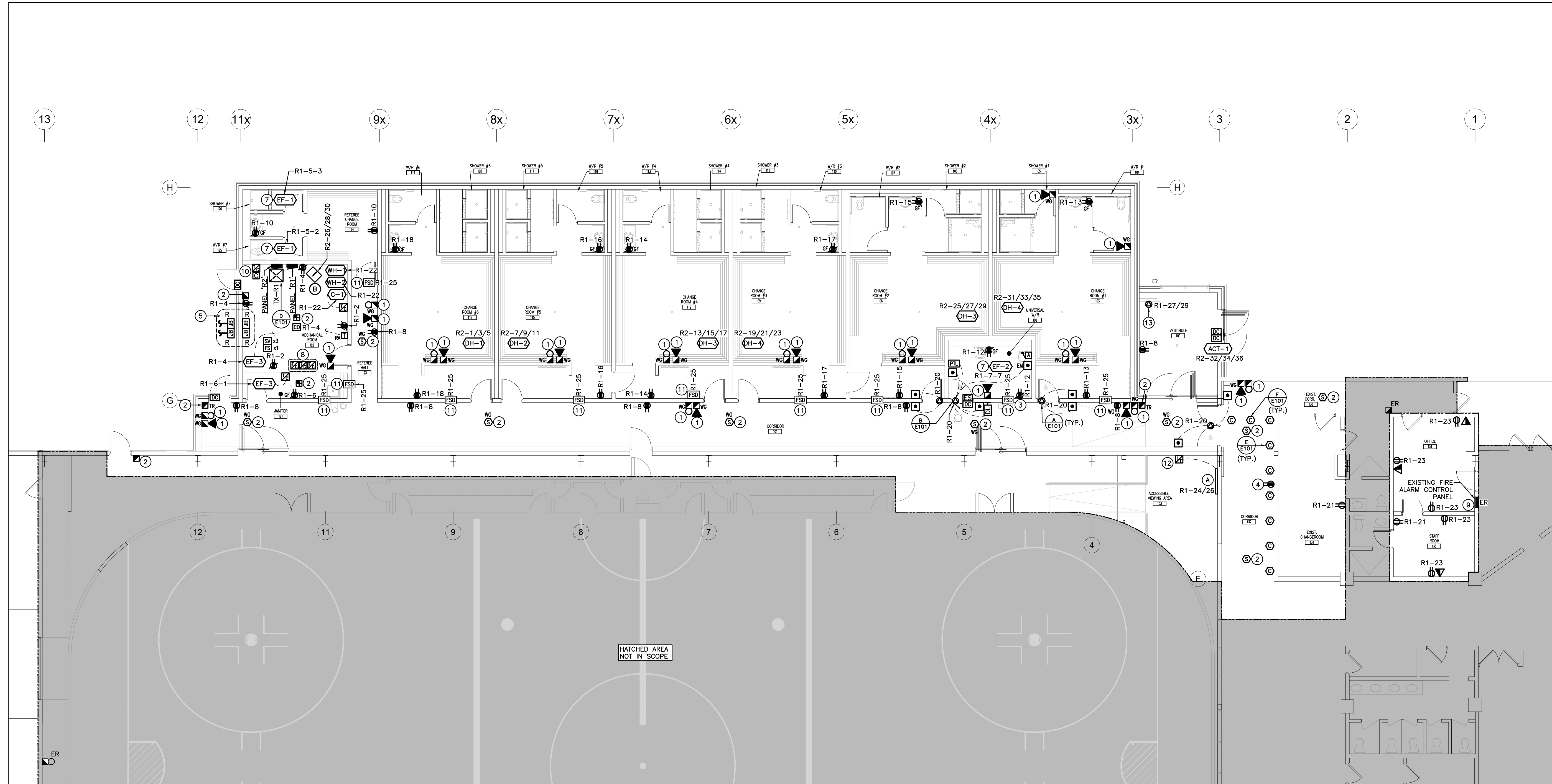
A-PARTIAL FLOOR PLAN-RENOVATION-LIGHTING  
SCALE: 1:100

**GENERAL RENOVATION NOTES**

- 'ER' INDICATES EXISTING ITEM TO REMAIN.
- 'R' INDICATES EXISTING ITEM IN RELOCATED POSITION.
- ALL DEVICES SHOWN ARE NEW UNLESS OTHERWISE NOTED.
- EXISTING ELECTRICAL EQUIPMENT NOT SHOWN SHALL REMAIN UNLESS OTHERWISE NOTED.
- MAINTAIN SERVICE TO ALL EXISTING DEVICES TO REMAIN.
- REVISE PANEL DIRECTORIES TO SUIT CHANGES (TYPED).

**SPECIFIC RENOVATION NOTES**

- 1 INDICATED DEVICE TO BE CONNECTED TO NEW SIGNAL CIRCUIT. ALL WIRING MUST BE SUPERVISED. REFER TO FIRE ALARM RISER FOR DETAILS.
- 2 INDICATED DEVICE TO BE CONNECTED TO NEW INITIATING CIRCUIT. ALL WIRING MUST BE SUPERVISED. REFER TO FIRE ALARM RISER FOR DETAILS.
- 3 INDICATES RECEPTACLE DEDICATED TO CHANGE TABLE. COORDINATE EXACT LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.
- 4 CONNECT TO EXISTING BRANCH CIRCUIT MAINTAINED FROM DEMOLITION. EXTEND EXISTING CONDUIT AND WIRING TO SUIT NEW LOCATION.
- 5 INDICATES PROPOSED LOCATION OF JUNCTION BOXES SERVICING EXISTING EXTERIOR EQUIPMENT. EXTEND EXISTING CONDUIT AND WIRE TO SUIT. COORDINATE EXACT LOCATION WITH OWNER.
- 6 INDICATED FIRE ALARM CONTROL PANEL TO RECONNECT ALL EXISTING FIRE ALARM CIRCUITS RETAINED DURING DEMOLITION. CONNECT EXISTING 120V POWER CONNECTION RETAINED DURING DEMOLITION.
- 7 INDICATED EXHAUST FAN TO BE CONNECTED TO SWITCHED SIDE OF LOCAL LIGHTING CIRCUIT.
- 8 INDICATED TIMELOCKS TO CONTROL MECHANICAL ERV'S ON ROOFTOP. COORDINATE LOCATION OF TIMELOCKS ON SITE.
- 9 PROVIDE ZONE EXPANSION CARD WITHIN EXISTING CONVENTIONAL FIRE ALARM CONTROL PANEL (MIRCOM FA-1000).
- 10 INDICATES LIGHTING DUTY MULTI-POLE CONTACTOR(S) FOR CONTROL OF EXTERIOR LIGHTING. CONTACTOR(S) TO BE CONTROLLED BY ADJACENT TIMECLOCK. REFER TO DISTRIBUTION RISER DIAGRAM AND LIGHTING CONTROLS FOR FURTHER INFORMATION.
- 11 INDICATES 120V POWER AND FIRE ALARM CONNECTIONS TO SMOKE/FIRE DAMPER WITH INTEGRAL SMOKE DETECTOR. REFER TO FIRE ALARM RISER AND SPECIFICATIONS. COORDINATE EXACT LOCATION/CONNECTION REQUIREMENTS WITH MECHANICAL CONTRACTOR. SMOKE/FIRE DAMPER AND ASSOCIATED INTEGRAL SMOKE DETECTOR TO BE PROVIDED AND INSTALLED BY MECHANICAL CONTRACTOR. PROVIDE TWO MONITORING MODULES PER SMOKE/FIRE DAMPER - ONE TO SUPERVISE 120V POWER SUPPLY CONNECTION TO THE DAMPER ACTUATOR, AND ONE FOR INTEGRAL SMOKE DETECTOR ALARM SIGNAL.
- 12 INDICATES INTERVAL TIMER FOR CONTROL OF RADIANT HEATER. THIS CONTRACTOR IS TO BYPASS THE REMOTE CONTROL OPTION FOR THE HEATER.
- 13 INDICATES HEAT TRACE CONNECTION. COORDINATE CONNECTION REQUIREMENTS WITH MECHANICAL CONTRACTOR AND SHOP DRAWINGS PRIOR TO ROUGH-IN.



**A-PARTIAL FLOOR PLAN-RENOVATION-POWER & SYSTEMS**  
SCALE: 1:100

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work. The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work. The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions. Drawings and specifications, etc., prepared and issued by the Consultant are the property of the Consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant. Do not scale this drawing.  
© 2025 DEI Consulting Engineers



NO.	ISSUES	DATE	BY
1	ISSUED FOR 75% REVIEW	JULY 22 2024	JL
2	ISSUED FOR 100% REVIEW	NOV 14 2024	JL
3	ISSUED FOR PERMIT/TENDER	DEC 5 2024	JL

A	ISSUED FOR SI	JAN 7 2025	CM
NO.	REVISIONS	DATE	BY



**PROJECT:**  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 1G0  
TOWN OF GRAND VALLEY

**DRAWING:**  
**GROUND FLOOR RENOVATION-POWER & SYSTEMS**



**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5  
Tel: (905) 696-5252  
Fax: (905) 696-5256  
e-mail: bba@bba-archeng.com

DESIGN BY: JL	DOC. CONTROL: DATE:
DRAWN BY: DV	% COMPLETE:
CHECKED BY: CM	INITIAL:
DATE: 2025-01-10	SCALE: AS NOTED
FILE:	

**PROJECT NO:** 21171  
**DRAWING NO:** E302







