

George Brown College (GBC)  
160 Kendal Ave  
Toronto, ON M5R 1M3

Addendum Number	One (1)
Addendum Date of Issue	Friday, January 17, 2025.
RFP Number	FM-2024-038
RFP Description	Casa Loma Campus – Buildings C & E Roof Replacement
Page(s)	Seven (7)
Number of Attachment(s)	One (1)

This Addendum forms part of the above mentioned RFP document and is to be read, interpreted, and coordinated with all other parts. The following revisions supersede the information contained in the original RFP documents issued for the above-named project to the extent referenced and shall become part thereof.

The following information supplements and/or supersedes the RFP document issued on **Friday, January 3, 2025**.

#### **A. RFP TIMETABLE**

1. The following dates and times in red font in the RFP Timetable in Section 3.1(1) of the Main Document have been revised as follows:

<b>RFP Event</b>	<b>Date/Time</b>
a) Date of Issue of RFP	<b>3 January 2025</b>
b) Deadline for Proponents to Submit Questions to the College (Question Deadline)	<b>24 January 2025 by 4:00:00pm EST</b>
c) Deadline for Responses to Questions issued by the College (Addenda Deadline)	<b>31 January 2025 by 4:00:00pm EST</b>
d) Date of Mandatory Site Visit	<b>9 January 2025 at 10:00:00am EST</b>
e) Date of Optional Site Visit for Mechanical Subcontractors	<b>21 January 2025 at 8:30:00am EST</b>
f) Submission Deadline	<b>10 February 2025 by 2:00:00pm EST</b>

**B. SITE VISIT**

- The following dates and times in RFP Section 3.5(2) of the Main Document have been revised in red font as follows:

RFP Section <b>Error!</b> Reference source not found. – Mandatory Site Visit	A Mandatory Site Visit will be held at the date and time set out in the Timetable at the following location:  <b>160 Kendal Avenue – Main Entrance  Toronto, Ontario</b>  An Optional Site Visit for Mechanical Subcontractors will be held at the date and time set out in the Timetable at the following location:  <b>146 Kendal Avenue – Main Entrance  Toronto, Ontario</b>
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**C. EVALUATION CRITERIA**

- Submission Form C – Pricing Form has been updated to include separate pricing. See the attached revised pricing form, Addendum 1 - RFP-FM-2024-038 - Submission Form C - Price Form.
- The weighting for pricing has been revised in red font as follows:

RFP Section <b>Error!</b> Reference source not found.- Evaluation Criteria	<b>Evaluation Stages and Criteria</b>	<b>Points</b>	<b>Weighting</b>
	<b>STAGE III – EVALUATION OF FINANCIAL SUBMISSION</b>	<b>100</b>	<b>35%</b>
	$\frac{\text{Lowest Overall Base Bid}}{\text{Proponent's Overall Base Bid}} \times \mathbf{90\%} = \text{Proponent's Base Bid Score}$	<b>90</b>	
	$\frac{\text{Lowest Overall Separate Price}}{\text{Proponent's Overall Separate Price}} \times \mathbf{10\%} = \text{Proponent's Separate Price Score}$	<b>10</b>	
<b>Total Financial Score</b>		<b>/100</b>	

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## **D. QUESTIONS AND ANSWERS**

1. Is it only General Contractors invited to bid on this project or have any roofing companies been invited directly?

**Answer: Yes. Due to the nature of components of the scope and deliverables, only General Contractors can submit proposals for this procurement. General Contractors must choose a Roofing Subcontractor from the list of Roofing Subcontractors included in Submission Form E – List of Subconsultants/Subcontractors. The General Contractor is responsible for engaging a licensed Mechanical Subcontractor to execute the mechanical scope of work for the project and a licensed Electrical Subcontractor to execute the electrical scope of work for the project.**

2. Submission Form E – List of Subconsultants/Subcontractors includes a list of Roofing Subcontractors that the General Contractor must choose from. Other Roofing Subcontractors, not on Submission Form E had attended the Mandatory Site Visit. Please confirm if the General Contractor can reach out to other roofing contractors.

**Answer. Please see the Answer to Question 1.**

3. Are the Roofing Subcontractors that are not on the subcontractor list provided in Submission Form E – List of Subconsultants/Subcontractors allowed to bid as General Contractors?

**Answer. Please see the Answer to Question 1.**

4. Considering that the primary scope of work involves roofing, would it be feasible for Roofing Contractors to submit bids as the General Contractor, with a cash allowance designated for the mechanical scope of work? If so, please identify the amount.

**Answer. Please see the Answer to Question 1.**

5. The contract documents provided a list of pre-qualified Roofing Subcontractors that bidder's would be required to use for the project. Does George Brown College have a VOR or list of pre-qualified Mechanical or Electrical Subcontractors that bidders would be required to use for this project?

**Answer: No. The General Contractor is responsible for engaging a licensed Mechanical Subcontractor they deem suitable to execute the mechanical scope of work for the project and a licensed Electrical Subcontractor they deem suitable to execute the electrical scope of work for the project.**

6. Please identify if there is a preferred Mechanical Subcontractor.

**Answer. Please see the Answer to Question 5.**

7. The contract documents request a total of 4 separate prices and an alternate price for Repair area 1 that are not noted on Submission Form C – Price Form. Please clarify where bidders are to submit these prices and clarify if separate prices will be considered as part of the pricing evaluation.

**Answer: Yes, please refer to the revised Submission Form C – Price Form that includes the separate pricing at the bottom. As outlined above in Section C – Evaluation Criteria, which amended the weighting for the price submission, the evaluation of price will consist of the base bid, which is given a weight of 90% of the total available points allocated to price, and the separate pricing, which is given a weight of 10% of the total available pointed allocated to price.**

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8. Please clarify the bid validity period as that information is required to obtain bonding.

**Answer: The bid validity period is 90 days.**

9. Can a list of the Mandatory Site Visit attendees or copies of the sign-in sheets be made available?

**Answer: No, the sign-in sheet will not be made available.**

10. Submission Form E – List of Subconsultants/Subcontractors asks for bidders to name the Roofing, Mechanical and Electrical subcontractors carried in their pricing and also asks the General Contractor to provide those subtrades qualifications. Can providing subtrades qualifications be removed from Submission Form E? Due to the nature of public tendering, General Contractors typically do not receive pricing from trades until 30 minutes before tender close, sometimes as late as 1 minute before tender close. This does not leave a lot of time for bidders to complete their cost spreadsheet, copy & paste those values into the project specific Submission Form C – Price Form, name the subtrades and provide qualifications for those subtrades. If revising Submission Form E is not an option, can we request submitting Submission Form E up to 24 hours after tender closing? Please also note that George Brown College provided us with a list of pre-qualified Roofing subcontractors and that the qualifications of these companies would not change from whatever qualification documents were previously submitted.

**Answer: No, proponents should secure pricing data and be able to submit Subcontractor qualifications using Submission Form E – List of Subconsultants/Subcontractors in advance of the Submission Deadline. Please note that uploading documents into the electronic bidding software, Bonfire, can take some time to complete, and vendors are advised to upload documents well in advance of the Submission Deadline to ensure that submissions are received on time.**

11. Can the height of the existing stacks be provided.

**Answer: The height of the existing Boiler Vent Stacks is approximately 30 feet.**

12. A note on drawing R101 reads "existing mechanical penthouse asbestos cladding to remain in place and is to be undisturbed". Is there a Designated Substances Survey Report (DSSR) available for this project.

**Answer: There will be a detailed DSSR provided to the Successful Proponent.**

13. Please provide the height of the roof level from the North side of the building near the loading dock, as this would be the most suitable place to erect a scaffolding stair tower and/or material hoist.

**Answer: The top of roof deck is approximately 60 feet above the finished grade.**

14. Can you please consider extending this project?

**Answer: Yes. The revised schedule is provided above in Section A – RFP Timetable. This amends the original schedule as outlined in the table using red font.**

15. If cash allowance is not created for mechanical scope of work, is it possible to get a second site visit for mechanical trade?

**Answer: Yes. The Optional Site Visit for Mechanical Subcontractors ONLY will be on Tuesday, January 21st at 8:30am. Proponents are to meet inside the main entrance lobby of 146 Kendal Ave, Toronto, ON, M5R 1M3.**

16. Please identify staging area for roof area 4.

**Answer: The area is TBD and will be coordinated with the Successful Proponent.**

17. Please clarify if roof access will be granted through the interior of the building.

**Answer: No. All access will be from the outside.**

18. Due to site logistics can we use a tapered roofing solution in lieu of the light weight concrete proposed?

**Answer: For repair area 1, a tapered roofing system shall be carried in the base bid. A new LWIC system shall be priced for separate price item No. 1. For repair area 2, the intent is to replace the existing LWIC with new.**

19. There are \$10,000 cash allowances noted for Mechanical and Electrical for Areas 1 & 4. Please clarify if these cash allowance amounts include for the full mechanical and electrical scopes of work as noted on drawings R101 (area 1) & R104 (area 4). Please also clarify if these cash allowance amounts include for mechanical work associated with Separate Price #2 (remove & reinstall warm pipes) or Separate Price #4 (remove & reinstall ducts).

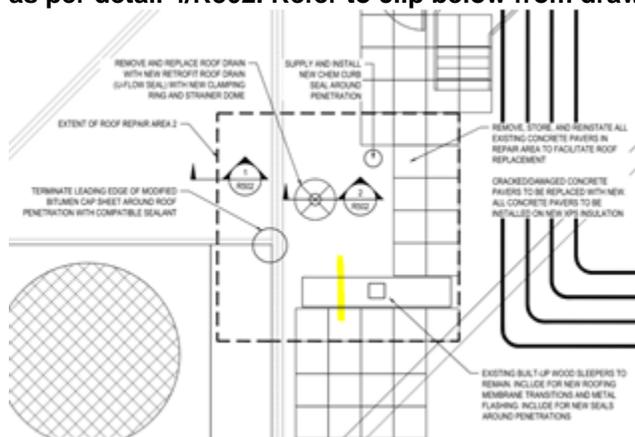
**Answer: The Mechanical and Electrical cash allowances for repair areas 1 and 4 are for unforeseen Mechanical and Electrical conditions only. The required base bid Mechanical and Electrical work is noted on the roof plan drawings (i.e., remove and reinstate electrical conduits, temporarily raise mechanical unit, etc.) and the associated pricing shall be included as part of the new roof assembly items (Repair Area 1 & 4 - Item 5b). The base bid assumes the roof replacement will be performed with the existing cold and warm water pipes remaining in place with liquid applied membrane upturns on sleepers. Separate price item No. 2 assumes the removal and reinstatement of warm water pipes in repair area 1. Note, separate price items (related to Repair Area 4) are to be provided in Addendum 1 - RFP-FM-2024-038 - Submission Form C - Price Form.**

20. None of the drawings provided have a scale noted. Please provide scales for drawings R100 through R505 as bidders will be required to scale the drawings to quantify the amount of pipe insulation and conduit to be removed and reinstalled and the quantity of liquid applied membrane to sleepers that are not dimensioned.

**Answer: Measurements are to be site verified by the contractor. The drawings are not to be scaled.**

21. Please clarify the location of detail 4/R502 as it is not noted on any plan drawing.

**Answer: A built-up wood curb exists within extent of work in repair area 2 which is to be re-flashed as per detail 4/R502. Refer to clip below from drawing package.**



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22. In Area 4 there is a note to remove and dispose existing capped curbs down to deck. The note points to 3 curbs out of 8 in that general area. Please clarify if only 3 of the 8 curbs are to be removed or all 8.

**Answer: All 8 capped curbs should be removed down to deck.**

23. 4/R504 detail is noted on the East wall of area 4, drawing R104. The detail notes a curb with HSS beam and an existing divider wall. From the site visit it was noted that the East wall at that location is an EIFS wall. Can a detail of how we are to tie new flashing into the base of the existing EIFS wall be provided?

**Answer: The divider wall is constructed on the curb and comprises of HSS beams and posts enclosed with sheathing and a stucco/plaster finish. Refer to detail 4/R504. The intent is as follows - the membrane flashings shall be upturned and terminated. New metal flashing and sealant to be installed over curb/membrane flashings. At the elevated roof area, the intent is to trim the exterior wall and upturn new membrane flashings a minimum 6". An EIFS wall is assumed to be located on the mechanical penthouse east facing wall. A specific membrane transition detail can be provided during the roof replacement project when the area is exposed.**

24. Are the roofers to carry for removal and installation of door thresholds stated in the drawings provided? What items will fall under the General Contractor scope of work?

**Answer: At door locations (into mechanical penthouses) a steel plate and wood blocking sit on the concrete curb. Include pricing in the new roof assembly item to remove and reinstate this plate and blocking to allow for a membrane upturn and termination. The project is heavily roofing related, however the General Contractor is to price the entire project and retain a Roofing Subcontractor as per GBC's approved list of Roofing Subcontractors provided in Submission Form E – List of Subconsultants/Subcontractors.**

25. The base bid proposes leaving the ductwork in place on Roof Area 4. However, after the Mandatory Site Visit, it was observed that the ductwork is positioned directly on top of the roof with only a few inches of clearance. In order to properly re-roof the area, the ductwork will need to be removed and subsequently reinstalled. Please consider this change on the tender form.

**Answer: Noted - please note, the base bid and separate price items are to be provided in Addendum 1 - RFP-FM-2024-038 - Submission Form C - Price Form.**

26. As the spec states there is to be no noisy work prior to 6PM, is removal of LWC considered Noisy work? Please clarify if all work is to be done at night regarding roof removal.

**Answer: The removal of LWIC is not considered noisy work and can be performed during permissible working hours, Monday to Friday, 8:00 AM to 6:00 PM. Note, the current scope of work does not contain any activities deemed as noisy work. If jackhammering or coring becomes required based on uncovered conditions or mechanical/electrical requirements that are unknown, this will be considered noisy work.**

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**E. ATTACHMENTS**

3. Addendum 1 - RFP-FM-2024-038 - Submission Form C - Price Form

All other terms and conditions remain the same.

Thomas Dunbar  
Strategic Sourcing Specialist

**[End of Addendum #1]**