

Cafeteria Wing Siporex Roof Replacement

Courtice Secondary School

1717 Nash Road
Courtice, Ontario

Kawartha Pine Ridge District School Board

LIST OF DRAWINGS

ARCHITECTURAL

- A000 COVER PAGE
- A101 GENERAL NOTES AND OVERALL ROOF PLAN
- A201 ROOF & RCP DEMO PLANS
- A202 ROOF & RCP PLANS
- A203 DRAINAGE PLAN
- A501 SECTIONS
- A502 SECTIONS

STRUCTURAL

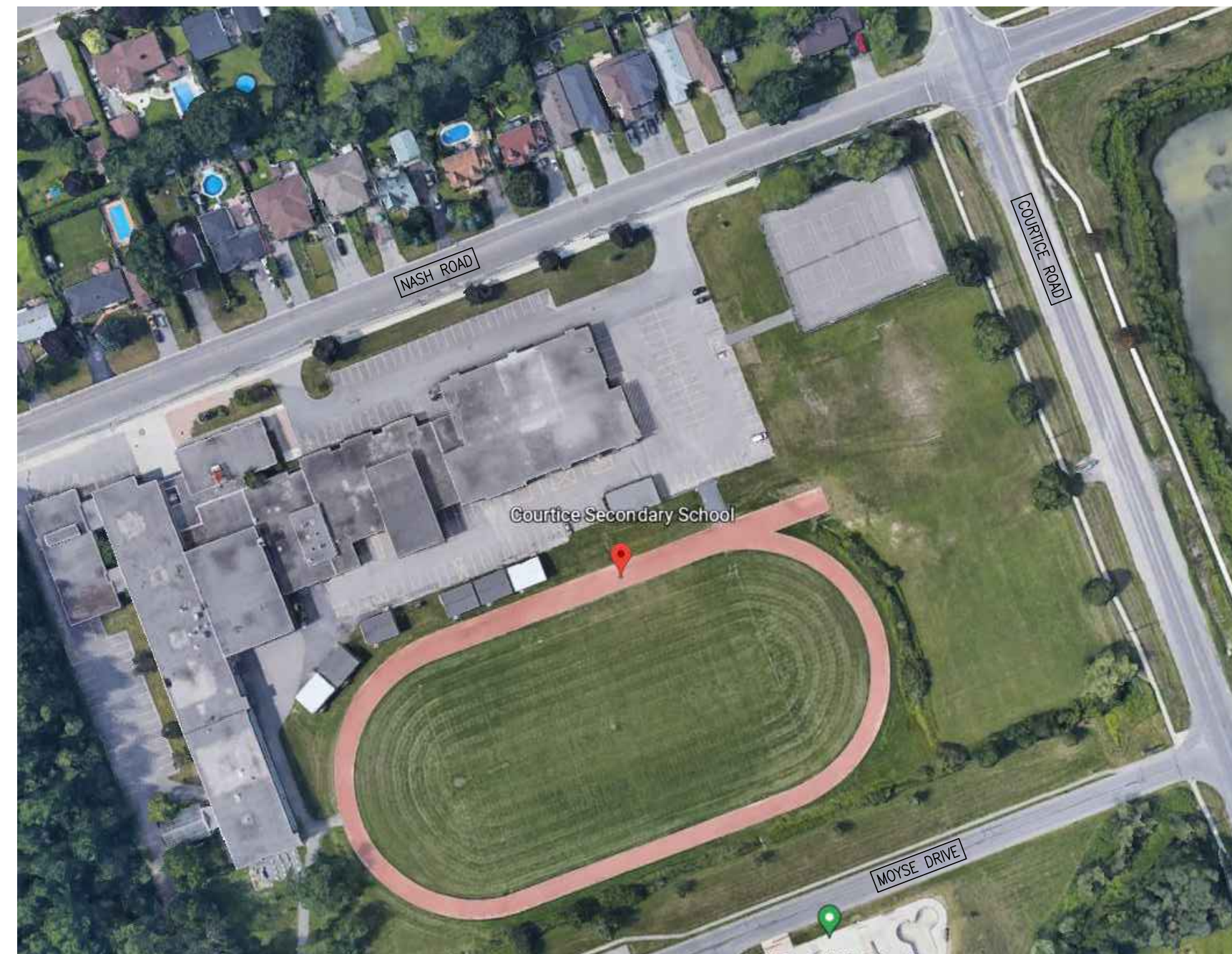
- S101 GENERAL NOTES AND OVERALL ROOF PLAN
- S201 ROOF DEMOLITION PLANS
- S202 ROOF FRAMING PLANS
- S501 SECTIONS

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- M-0 TITLE SHEET
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- M-1.2 MECHANICAL SPECIFICATIONS II AND DETAILS
- M-2.1 ROOF, GROUND AND PENTHOUSE PLAN - MECHANICAL DEMOLITION
- M-2.2 ROOF, GROUND AND PENTHOUSE PLAN - MECHANICAL NEW

ELECTRICAL

- E-1 ELECTRICAL SPEC; LEGEND, DRAWING LIST, AND DETAILS
- E-2 GROUND FLOOR VICINITY PLAN ELECTRICAL
- E-3 PART GROUND FLOOR DEMOLITION PLAN ELECTRICAL
- E-4 PART GROUND FLOOR PROPOSED PLAN ELECTRICAL



LOCATION PLAN
N.T.S.

NAME OF PROJECT : BARRY BRYAN ASSOCIATES CERTIFICATE OF PRACTICE NUMBER : 5192 250 WATER STREET, SUITE 201 WHITBY, ONTARIO, CANADA L1N 0G5 TEL: (905) 666-5252 (Toronto) (905) 427-4495 FAX: (905) 666-5256																		
NAME OF PROJECT : COURTYCE SECONDARY SCHOOL CAFETERIA AREA SIPOREX ROOF DECK REPLACEMENT																		
LOCATION OF PROJECT : 1717 NASH ROAD, COURTYCE, ONTARIO																		
DATE : DECEMBER 2, 2024																		
Ontario Building Code Data Matrix Part 11 - Renovation of Existing Building		OBC Reference																
11.00 Building Code Version:	O. Reg. 332/12	Last Amendment: O. Reg. 191/14																
11.01 Project Type:	<input type="checkbox"/> Addition <input type="checkbox"/> Change of use <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition and Renovation	[A] 1.1.2.																
Description: PART ROOF DECK, ROOF AND CEILING REPLACEMENT																		
11.02 Major Occupancy Classification:	Occupancy Group A, Division 2 Use PUBLIC SCHOOL 3.2.2.23	3.1.2.1.(1)																
11.03 Superimposed Major Occupancies:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.2.2.7																
Description: -																		
11.04 Building Area (m ²)	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>Description</th> <th>Existing</th> <th>New</th> <th>Total</th> </tr> <tr> <td>BUILDING FOOTPRINT</td> <td>7984.90 m²</td> <td>-</td> <td>7984.90 m²</td> </tr> <tr> <td>AREA OF WORK</td> <td>715 m²</td> <td>-</td> <td>-</td> </tr> <tr> <td>Total=</td> <td>-</td> <td>-</td> <td>-</td> </tr> </table>	Description	Existing	New	Total	BUILDING FOOTPRINT	7984.90 m ²	-	7984.90 m ²	AREA OF WORK	715 m ²	-	-	Total=	-	-	-	[A] 1.4.1.2.
Description	Existing	New	Total															
BUILDING FOOTPRINT	7984.90 m ²	-	7984.90 m ²															
AREA OF WORK	715 m ²	-	-															
Total=	-	-	-															
11.05 Building Height	2 Stores above grade 0 Stores below grade	-8 (m) Above grade	[A] 1.4.1.2 & 3.2.1.1															
11.06 Number of streets/ fire fighter access:	1 street(s)		3.2.2.10 & 3.2.5															
11.07 Building Size:	<input type="checkbox"/> Small <input type="checkbox"/> Medium <input checked="" type="checkbox"/> Large <input type="checkbox"/> > Large		T.11.2.1.1.B.-N.															
11.08 Existing Building Classification:	Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy) Construction Index: 6 Hazard Index: 6 Importance Category: <input checked="" type="checkbox"/> Low <input type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster		11.2.1.1A 11.2.1.1B to N. 4.1.2.1(3) & 5.2.2.1.(2)															
11.09 Renovation Type:	<input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation		11.3.3.1 & 11.3.3.2															
11.10 Occupant Load:	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>Floor Level/ Area</th> <th>Occupant Load</th> <th>Occupancy Type</th> <th>Based On</th> <th>Occup. Load</th> </tr> <tr> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> </table>	Floor Level/ Area	Occupant Load	Occupancy Type	Based On	Occup. Load	-	-	-	-	-		3.1.17					
Floor Level/ Area	Occupant Load	Occupancy Type	Based On	Occup. Load														
-	-	-	-	-														
11.11 Plumbing Fixture Requirements:	Rate: Male/Female = 50:50 Except as noted otherwise <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>Floor level/ Area</th> <th>Occupant Load</th> <th>OBC Reference</th> <th>Fixtures Required</th> <th>Fixtures Provided</th> </tr> <tr> <td>-</td> <td>-</td> <td>-</td> <td>-</td> <td>-</td> </tr> </table>	Floor level/ Area	Occupant Load	OBC Reference	Fixtures Required	Fixtures Provided	-	-	-	-	-		3.7.4					
Floor level/ Area	Occupant Load	OBC Reference	Fixtures Required	Fixtures Provided														
-	-	-	-	-														
11.12 Barrier-free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Explanation: -	11.3.3.2.(2)															
11.13 Reduction in Performance Level:	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage - system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5															
11.14 Compensating Construction:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Sewage - system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Extension of Combustible Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5 11.4.2.6 11.4.2.7															
11.15 Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		11.5.1.															
11.16 Notes:	-REMOVAL AND REPLACEMENT OF EXISTING SIPOREX ROOF STRUCTURE WITH STEEL DECK -NOTE: EXISTING BUILDING IS NOT SPRINKLERED AND IS A PART 11 LEGAL NON CONFORMING USE.		11.5.1															

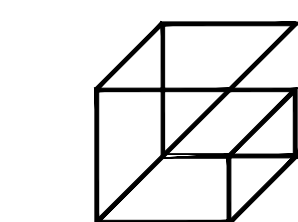
ARCHITECTURAL & STRUCTURAL:

MECHANICAL:

ELECTRICAL:



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Cafeteria Wing Siporex Roof Replacement
 Courtice Secondary School
 1717 Nash Road
 Courtice, Ontario



PROJECT NO. 24192

A000

Kawartha Pine Ridge District School Board

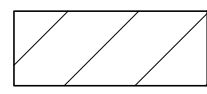
GENERAL


- CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE LATEST EDITION.
- COMPLY WITH THE REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT/REGULATIONS FOR CONSTRUCTION PROJECTS.
- EXISTING BUILDING ROOF CONSTRUCTION IS BASED ON INFORMATION SUPPLIED BY THE OWNER AND AS DETAILED ON THE BUILDING REFERENCE DRAWINGS AND ALL EXISTING CONDITIONS BE VERIFIED BY THE CONTRACTOR.
- THIS WORK MUST BE PERFORMED ADJACENT TO AND AROUND THE GENERAL PUBLIC AND KPRDSB WORKERS. EXERCISE EXTREME CAUTION AND PROVIDE ALL NECESSARY PROTECTION AS REQUIRED AND APPROVED BY THE OWNER.
- FENCE OFF WASTE DISPOSAL BINS AND STORAGE AND LAYDOWN AREAS IN LOCATIONS AS APPROVED BY OWNER. PROVIDE ALL HOISTING EQUIPMENT NECESSARY TO ACCESS ROOF AREAS FOR DELIVERY AND REMOVAL OF MATERIALS.
- COMPLY WITH OWNER'S SECURITY REQUIREMENTS FOR ON-SITE MANAGEMENT OF TOOLS AND EQUIPMENT. DO NOT PERMIT ANY TOOLS OR EQUIPMENT TO BE LEFT ON SITE DURING OFF-HOURS EXCEPT AS PERMITTED BY OWNER.
- BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING BUILDING, GROUNDS AND EQUIPMENT, AND REPAIR SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.
- KEEP THE SITE THROUGHOUT THE WORK AREA IN A CLEAN AND ORDERLY CONDITION AT ALL TIMES TO THE SATISFACTION OF THE OWNER.
- FILE NOTICE OF PROJECT WITH MINISTRY OF LABOUR PRIOR TO COMMENCEMENT.
- INSTALL PROPER GARBAGE CHUTES AND WASTE BINS AND PROVIDE PROTECTION SO AS TO NOT DAMAGE THE EXISTING STRUCTURE. PLACE OF BIN(S) AND CHUTES TO BE APPROVED BY OWNER. MAKE GOOD ANY DAMAGE TO PAVEMENT, LANDSCAPE AND BUILDING A RESULT OF THE BINS AND GARBAGE REMOVALS.
- DISPOSE OF ALL REMOVED MATERIALS AND ROOFING DEBRIS OFF SITE AT THE END OF EACH WORK DAY.
- ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO ELECTRICAL CODE.
- SCHEDULE ALL WORK WITH THE OWNER.
- SCHEDULE AND COORDINATE CRANE LIFTS WITH KPRDSB AND MOL STANDARDS. CONTRACTORS ARE RESPONSIBLE FOR OBTAINING ANY PERMITS (I.E. SIDEWALK OR ROAD CLOSURE PERMIT NECESSARY TO FACILITATE THE CRANE LIFT.)

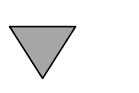
DEMOLITION/REMOVALS

- PROVIDE PROTECTION TO THE EXISTING STRUCTURE TO PREVENT DAMAGE TO IT, TO ADJACENT PARKING AREAS, OR TO THE SURROUNDING LANDSCAPE.
- DISPOSE OF MATERIALS IN LEGAL LANDFILL OR RECYCLING SITES IN ACCORDANCE WITH LOCAL MUNICIPAL REGULATIONS.
- MAINTAIN ROOFS IN WATERTIGHT AND SECURE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. PROVIDE TEMPORARY WEATHERPROOF AND VANDAL RESISTANT PROTECTION AS REQUIRED OVER ALL ROOF OPENINGS EXPOSED BY REMOVAL OF EQUIPMENT. LEAVE ROOF IN WEATHERTIGHT CONDITION AT THE END OF EACH WORK DAY. REMOVE ONLY ENOUGH ROOFING THAT CAN BE REPLACED IN ONE DAY.
- ALL EQUIPMENT REMOVED FROM ROOF AND PLACED ON GROUND FOR TEMPORARY STORAGE MUST BE ENCLOSED IN A LOCKED FENCED COMPOUND OR STORED OFF SITE.
- REMOVE AND REPLACE EXISTING ROOF WITH NEW AS SPECIFIED.
- FLASH AT ALL EXISTING PROTRUSIONS THROUGH ROOF.
- REPORT ALL DAMAGE OR STRUCTURAL DEFICIENCIES TO THE CONSULTANT. DO NOT PROCEED UNTIL WRITTEN AUTHORITY HAS BEEN RECEIVED FROM THE CONSULTANT.
- ENSURE CONTINUAL SERVICES, ALERT OWNER AND FIRE DEPT AND PROVIDE FIREWATCH WHEN THE WORK DISRUPTS ALL OR ANY FIRE PROTECTION SERVICES. ALERT OWNER AND CONSULTANT AND PROVIDE SECURITY SERVICES SHOULD THE BUILDING'S SECURITY SYSTEM BE AFFECTED BY THE WORK.

LEGEND

 DENOTES EXISTING TO REMAIN

 DENOTES EXTENTS OF EX. SIPOREX ROOF DECK TO BE REMOVED AND REPLACED WITH NEW STEEL DECK

 BUILDING ENTRANCE/ EXIT
NOTE: DO NOT BLOCK ENTRANCES/ EXITS

NOTE: THE SEQUENCING OF THE WORK SHALL BE COMPLETED TO MAINTAIN THE ROOF DIAPHRAGM ACTION. SHOULD FULL REMOVAL OF THE SIPOREX ROOF DECK BE COMPLETED, TEMPORARY SHORING OF THE EXTERIOR WALL SHALL BE DESIGNED AND INSTALLED BY THE GENERAL CONTRACTOR.

ROOFING NOTES

- DISCONNECT, REMOVE AND REINSTALL EXISTING ELECTRICAL EQUIPMENT, INCLUDING ELECTRICAL LINES, ON ROOF AS NECESSARY TO COMPLETE ALL NEW ROOF AND FLASHING INSTALLATIONS. DISCONNECTION AND REINSTALLATION SHALL BE BY A QUALIFIED AND LICENSED ELECTRICIAN. ALL REMOVALS AND SHUTDOWNS SHALL BE COORDINATED WITH BOARD. ALL MECHANICAL UNITS, BREATHERS, VENTS, GAS LINES, ROOF CURBS, AND ALL ASSOCIATED ROOF EQUIPMENT IS TO BE REMOVED/REPLACED AS NECESSARY TO COMPLETE THE WORK. COORDINATE WORK WITH KPRDSB MECHANICAL REPRESENTATIVE. ALLOW FOR INCREASED INSULATION DEPTH OF ROOF FOR REINSTALLATION/ REPLACEMENT OF ALL MECHANICAL UNITS.
- EXISTING SIPOREX DECK HAS BEEN NOTED TO BE STRUCTURALLY UNSOUND AND ANY ADDITIONAL LOADING COULD RESULT IN SERIOUS INJURY. CONSULT EXISTING ENGINEER'S REPORT PRIOR TO THE WORK TO DETERMINE LOADING.
- REMOVE EXISTING ROOF ASSEMBLY ON ENTIRE ROOF NOTED TO BE REPLACED DOWN TO EXISTING VAPOUR RETARDER. REPAIR EXISTING VAPOUR RETARDER AND ENSURE EXISTING DECK IS WATERTIGHT. REMOVE ONLY AS MUCH VAPOUR RETARDER ASSEMBLY AND SIPOREX AS CAN BE REPLACED ON A DAY. REPLACE SIPOREX WITH STEEL DECK AS SPECIFIED. MAKE STEEL DECK WATERTIGHT WITH DENSIDEX, METAL UPSTAND, AND NEW VAPOUR RETARDER ONLY. TIE INTO EXISTING MEMBRANE. INSTALL NEW ROOF ASSEMBLY OVER ENTIRE ROOF AT COMPLETION OF SIPOREX REPLACEMENT.
- REMOVE PERIMETER PARAPET FLASHING AS NOTED, COUNTERFLASHING AND CURB FLASHINGS.
- PRIME ENTIRE SURFACE OF DECK WITH ASPHALT PRIMER AND INSTALL NEW ROOF ASSEMBLY AS DETAILED AND SPECIFIED.
- PROTECT ALL EXISTING SERVICES AND EQUIPMENT.
- REPLACE EXISTING PLUMBING VENTS PIPING AND BOOTS.
- REMOVE/REPLACE EXISTING ROOF DRAINS. SUSPEND EXISTING PIPING WHERE REQUIRED.
- DISCONNECT ALL SUSPENDED ELEMENTS ON SIPOREX DECK PANEL PRIOR TO REMOVAL.
- ANY DECK DEFLECTION, POOLING AREAS, OR OTHER UNFORESEEN ISSUES DISCOVERED DURING ROOF REMOVAL AND INSTALLATION MUST BE PROMPTLY REPORTED TO THE CONSULTANT.
- CONTRACTOR IS REQUIRED TO CONDUCT WATER TEST FOLLOWING THE INSTALLATION OF EACH RETROFIT DRAIN AND TO PREPARE SITE REPORT. ANY ISSUES DISCOVERED ARE TO BE REPORTED TO THE CONSULTANT.

EXTENT OF ROOF AND SIPOREX DECK TO BE REMOVED AND REPLACED

ROOF A AREA= APPROX 19.8 SQFT
 ROOF B AREA= APPROX 5593.16 SQFT
 ROOF C AREA= APPROX 349.90 SQFT
 ROOF D AREA= APPROX 564.89 SQFT
 ROOF E AREA= APPROX 377.46 SQFT

REMOVE ALL EXISTING ROOFING AND EXISTING PARAPET INCLUDING SIPOREX STRUCTURE. INSTALL NEW ROOFING ASSEMBLY.

PROVIDE ALL TEMPORARY WEATHERPROOF ENCLOSURES TO PROTECT EXISTING BUILDING INTERIORS DURING CONSTRUCTION.

NOTE: ALLOW FOR BLOCKING TO COMPENSATE FOR INCREASED INSULATION.

EXISTING ASSEMBLY

ROOF - A	ROOF - D
FLOOD COAT AND AGGREGATE	60ml TPO MEMBRANE (ADHERED)
BUILT-UP ROOFING	38 POLYISOCYANURATE
13 FIBREBOARD	38 POLYISOCYANURATE INSULATION
2-PLY VAPOUR RETARDER	VAPOUR RETARDER (SELF-ADHERED)
SIPOREX DECK	SIPOREX DECK

ROOF - B, C & E

FLOOD COAT AND AGGREGATE

BUILT-UP ROOFING

38 FIBREBOARD

50 FIBREGLASS INSULATION

2-PLY VAPOUR RETARDER

SIPOREX DECK

(R1) R1-ROOF ASSEMBLY

FLOOD COAT AND AGGREGATE (WHITE CALCITE)

3 PLY ROOF MEMBRANE

1/2" FIBREBOARD

TAPERED INSULATION

2 LAYERS OF 2" THICK POLYISOCYANURATE INSULATION (STAGGERED)

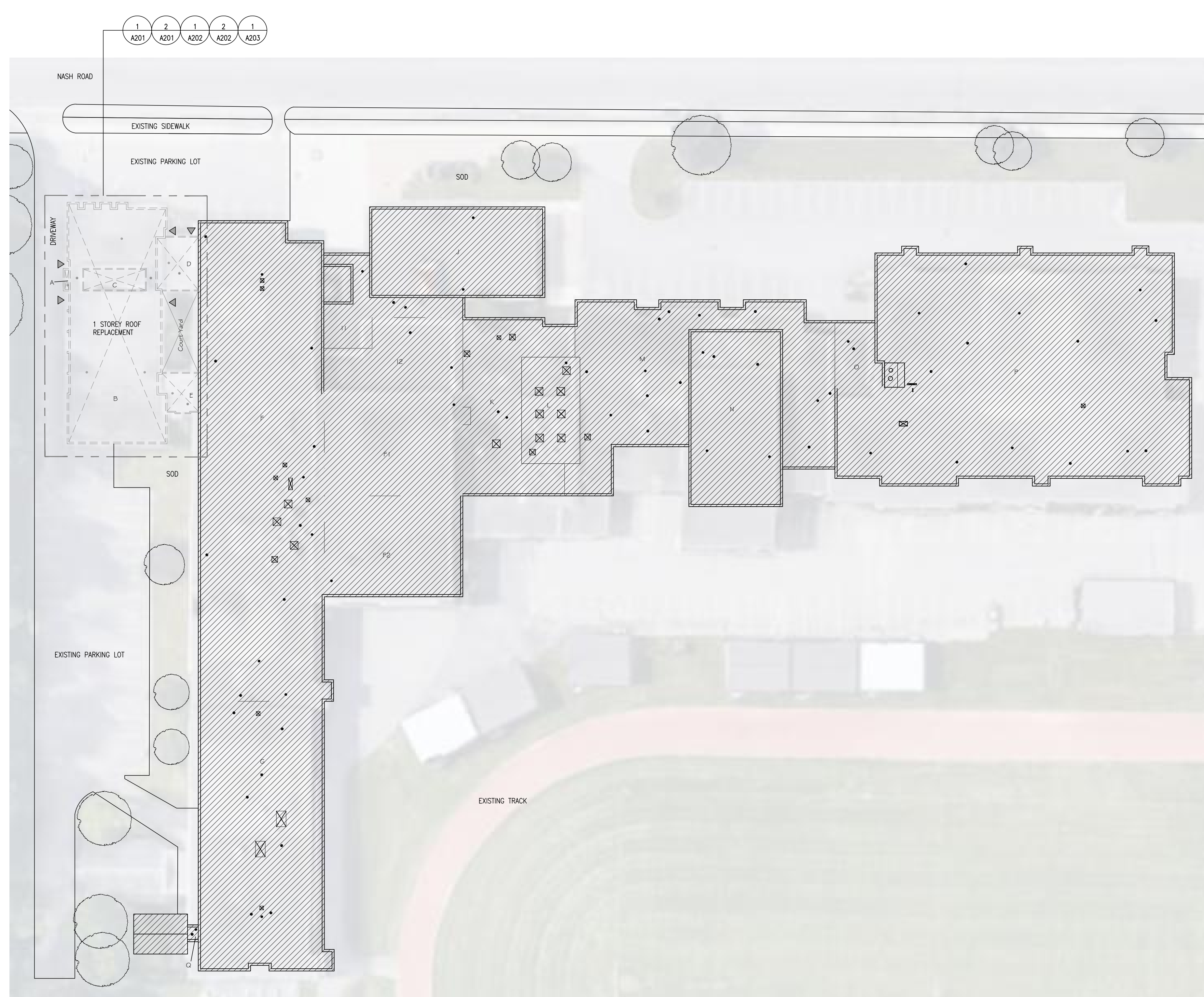
PRIMER

2 PLY VAPOUR RETARDER

FRIMER

1/2" SUBSTRATE BOARD

STEEL ROOF DECK



1
A101 ROOF PLAN
1/32"=1'-0"

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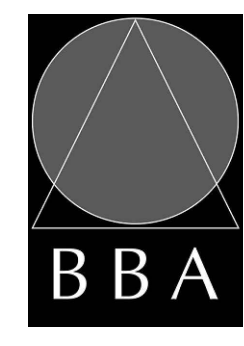
NO.	ISSUES	DATE	BY
1	ISSUED FOR 90% REVIEW	NOV. 8, 2024	BBA
2	ISSUED FOR PERMIT/ TENDER	NOV. 29, 2024	BBA

NO.	REVISIONS	DATE	BY

PROJECT:
CAFETERIA WING SIPOREX ROOF REPLACEMENT
 COURTICE SECONDARY SCHOOL
 1717 NASH ROAD
 COURTICE, ONTARIO

KPRDSB

DRAWING:
GENERAL NOTES AND OVERALL ROOF PLAN



BARRY BRYAN ASSOCIATES
 Architects
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 Project Managers
 250 Water Street
 Suite 201
 Whitby, Ontario
 L1N 0G5
 Tel: (905) 696-5252
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DESIGN BY: BBA	DOC CONTROL: DATE:
DRAWN BY: SA	% COMPLETE:
CHECKED BY:	INITIAL:

DATE:
OCTOBER 2024

SCALE:
AS NOTED

FILE:

PROJECT NO: 24192	DRAWING NO: A101
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DEMOLITION NOTES

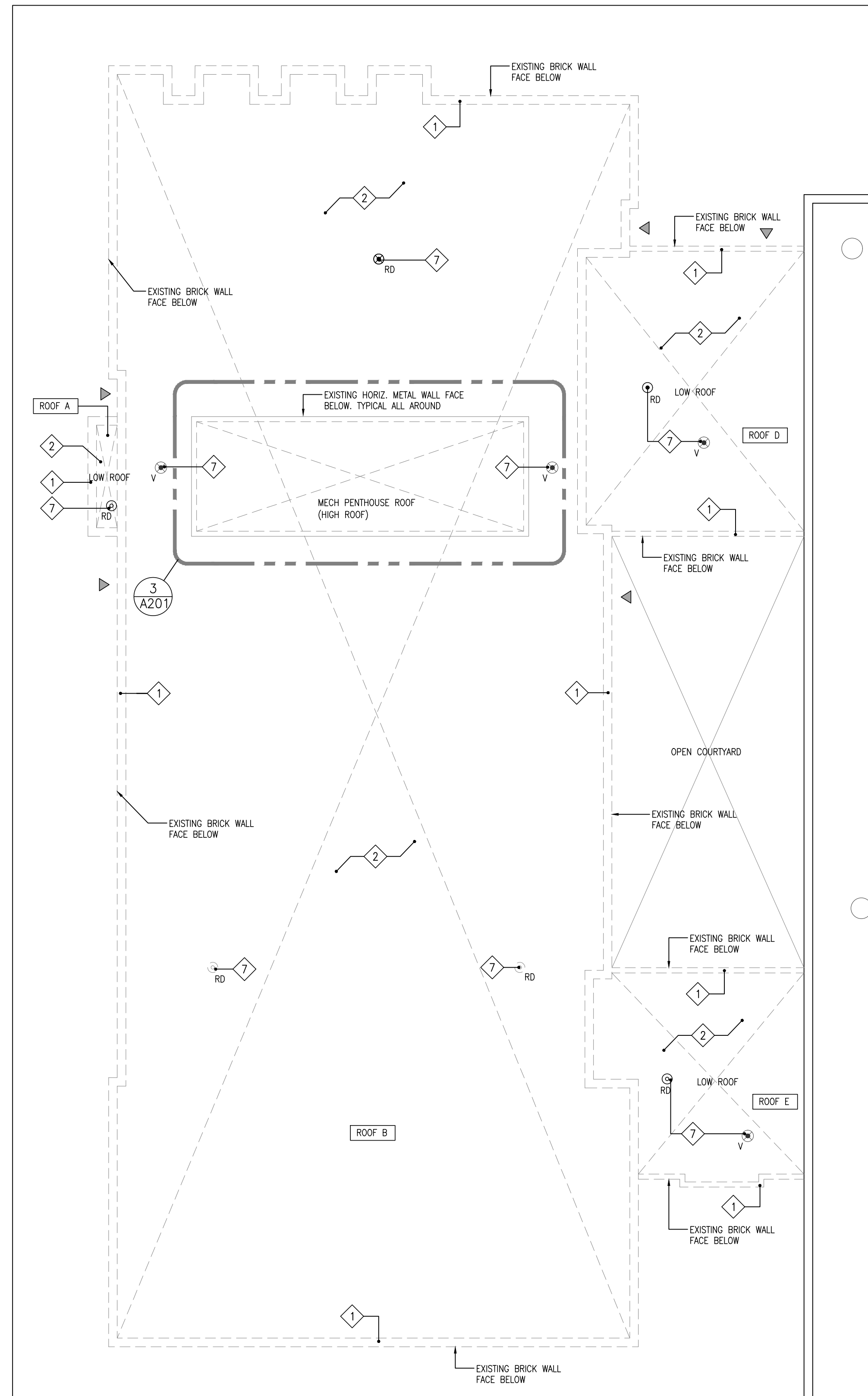
- 1 REMOVE EXISTING METAL PARAPET FLASHING TO EXTENT SHOWN AND AS REQUIRED TO COMPLETE NEW WORK.
- 2 REMOVE EXISTING BUILT-UP ROOFING COMPOSITION ANY DESIGNATED SUBSTANCES AND INSULATION AS REQUIRED TO COMPLETE NEW WORK.
- 3 REMOVE EXISTING SIPOREX ROOF DECKING. SEE ALSO STRUCTURAL DRAWINGS.
- 4 PROTECT EXISTING FLOOR, FURNITURE, EQUIPMENT AND OTHER SURFACES DURING CONSTRUCTION.
- 5 REMOVE EXISTING CEILING, LIGHTS AND MECHANICAL AS REQUIRED TO COMPLETE NEW WORK. RE SUPPORT THE FIXTURES FROM UNI-STRUT BETWEEN THE JOIST. RENOVATE UPON COMPLETION OF DECK REPLACEMENT. SEE ELECTRICAL AND MECHANICAL DRAWINGS.
- 6 REMOVE EXISTING CEILING AND REPLACE WITH NEW. RE-SUPPORT THE FIXTURES FROM UNI-STRUT BETWEEN JOIST. SEE ELECTRICAL AND MECHANICAL DRAWINGS.
- 7 REMOVE EXISTING ROOF DRAINS AND VENTS. MAKE GOOD AND CLEAN FOR NEW DRAINS AND VENTS FOR INSTALLATION.

EXISTING ROOF TYPES

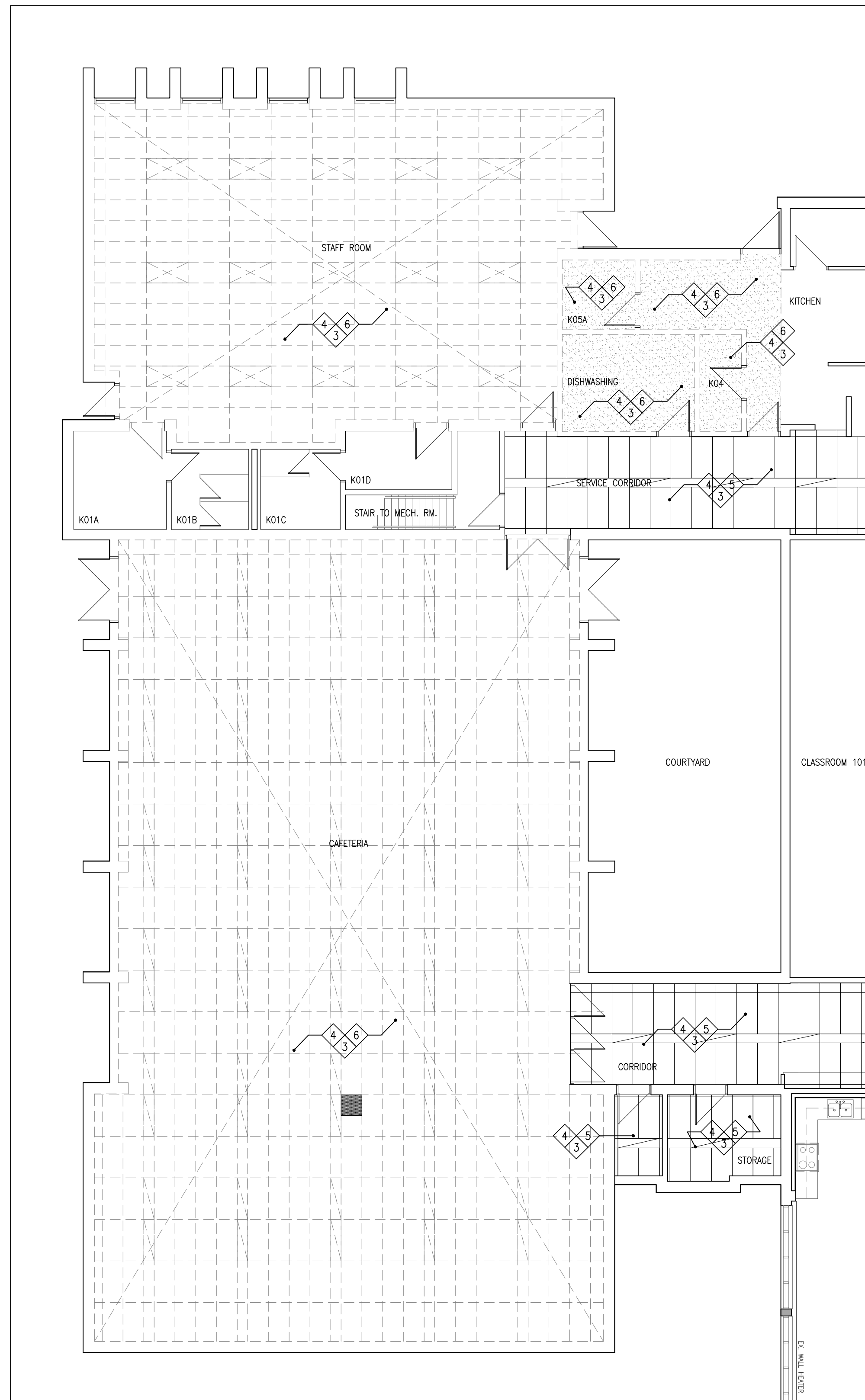
- | | |
|--|---|
| <p>ROOF - A</p> <p>FLOOD COAT AND AGGREGATE
BUILT-UP ROOFING
13 FIBREBOARD
2-PLY VAPOUR RETARDER
SIPOREX DECK</p> | <p>ROOF - D</p> <p>60mil TPO MEMBRANE (ADHERED)
38 POLYISOCYANURATE
38 POLYISOCYANURATE INSULATION
VAPOUR RETARDER (SELF-ADHERED)
SIPOREX DECK</p> |
| <p>ROOF - B, C & E</p> <p>FLOOD COAT AND AGGREGATE
BUILT-UP ROOFING
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50 FIBREGLASS INSULATION
2-PLY VAPOUR RETARDER
SIPOREX DECK</p> | |

ROOF/CEILING LEGEND

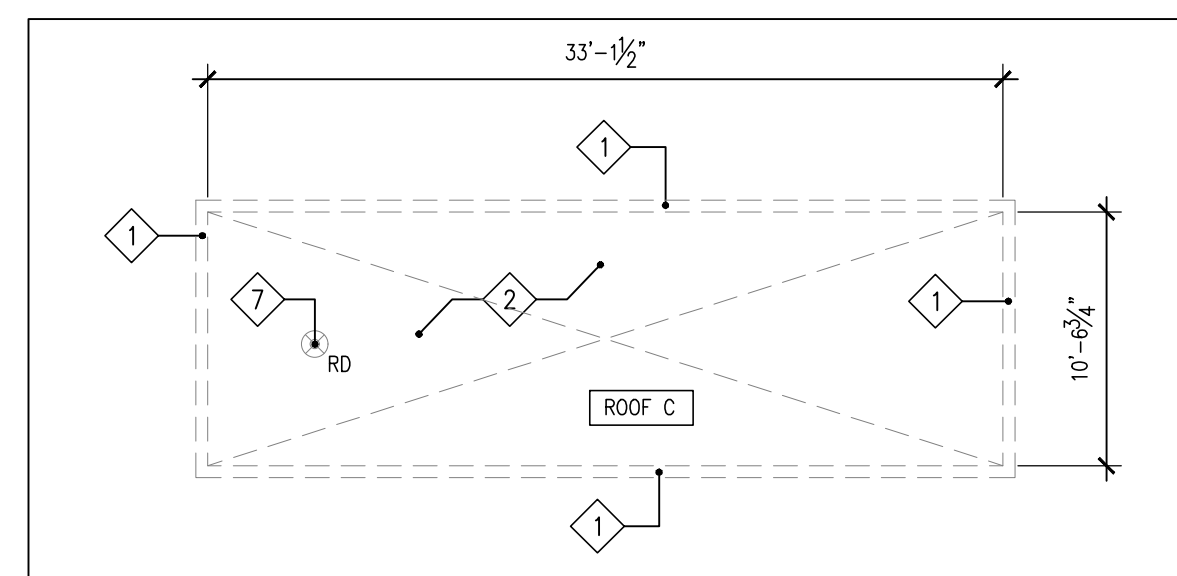
- EXISTING EQUIPMENT CURB
- EXISTING ROOF DRAIN
- EXISTING ROOF VENT
- EXISTING ROOF HATCH
- EXISTING SCUPPER
- ROOF TYPE (REFER TO ROOF PLAN)
- ROOF DATUM (I.T.O. EXIST SIPOREX)
 $\frac{02'-7\ 1/2"}{12}$
- INDICATE DIRECTION OF ROOF DRAINAGE
- INDICATES AREA OF ROOF WITH TAPERED INSULATION
- INDICATES AREA OF FLAT ROOF
- RD ROOF DRAIN
- NEW METAL PARAPET FLASHING
- SD SCUPPER DRAIN
- HP HIGH POINT
- DEMOLITION TAGS
- LOCATION OF EXISTING CEILING MOUNT PROJECTOR
- BUILDING ENTRANCE/EXIT
NOTE: DO NOT BLOCK ENTRANCES/EXITS



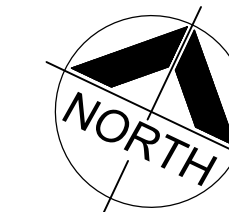
1 ROOF DEMO PLAN
A201 1/8"=1'-0"



2 RCP DEMO PLAN
A201 1/8"=1'-0"



3 HIGH ROOF DEMO PLAN
A201 1/8"=1'-0"



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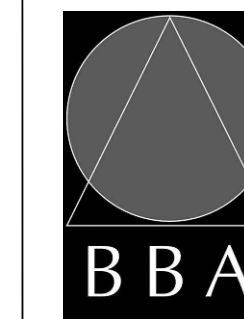
NO.	ISSUES	DATE	BY
1	ISSUED FOR 90% REVIEW	NOV. 8, 2024	BBA
2	ISSUED FOR PERMIT/ TENDER	NOV. 29, 2024	BBA

NO.	REVISIONS	DATE	BY

PROJECT:
**CAFETERIA WING SIPOREX
ROOF REPLACEMENT**
COURTICE SECONDARY SCHOOL
1717 NASH ROAD
COURTICE, ONTARIO

KPRDSB

DRAWING:
**ROOF & RCP DEMO
PLANS**



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DESIGN BY:	DOC. CONTROL:
DRAWN BY:	% COMPLETE:
CHECKED BY:	DATE:
DT	OCTOBER 2024
SCALE:	1/8"=1'-0"
FILE:	

PROJECT NO:
24192

DRAWING NO:
A201

ROOF TYPES SCHEDULE

- (R1) FLOOD COAT AND AGGREGATE (WHITE CALCOT)
3 PLY ROOF MEMBRANE
3" FIBREGLASS TAPERED INSULATION
2 LAYERS OF 2" THICK POLYISOCYANURATE INSULATION (STAGGERED)
2 PLY VAPOUR RETARDER
PRIMER
1/2" SUBSTRATE BOARD
STEEL ROOF DECK

CEILING TYPE SCHEDULE

- (C1) ACOUSTIC CEILING TILE
STEEL T-BAR CEILING GRID SYSTEM
2'x4' ACOUSTIC CEILING TILE
HOLD DOWN CLIPS/ ACCESS CLIPS (AS REQ'D)
- (C2) GYPSUM BOARD CEILING
1/2" GYPSUM BOARD
SUSPENDED METAL FRAMING

ROOF/ CEILING LEGEND

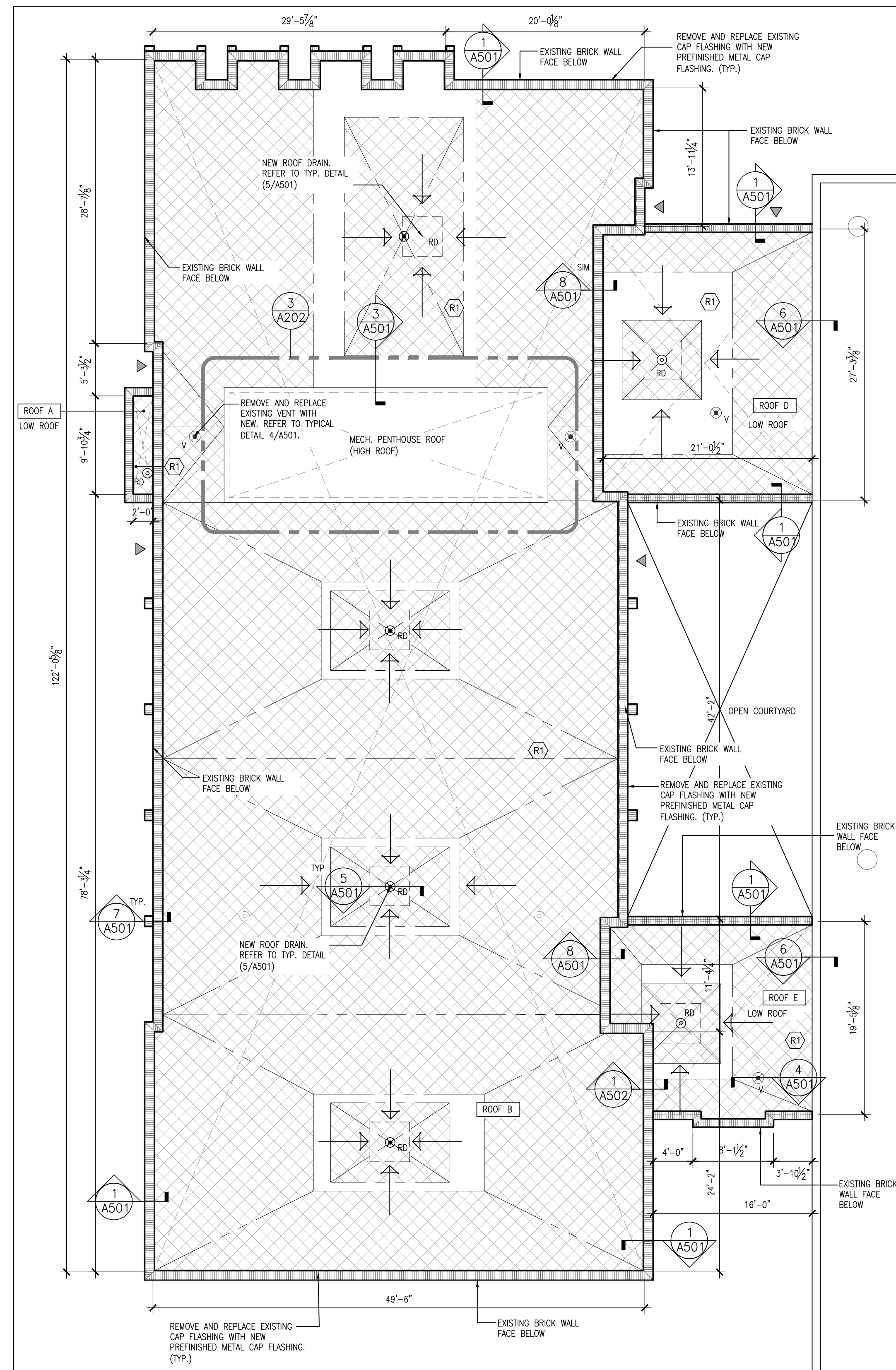
- EXISTING EQUIPMENT CURB
- EXISTING ROOF DRAIN
- EXISTING ROOF VENT
- EXISTING ROOF HATCH
- EXISTING SCUPPER
- (R1) ROOF TYPE (REFER TO ROOF PLAN)
- ROOF DATUM (T.O. EXIST SIPOREX)
ZZ-1/1Z
- INDICATE DIRECTION OF ROOF DRAINAGE
- INDICATES AREA OF ROOF WITH TAPERED INSULATION
- INDICATES AREA OF FLAT ROOF
- RD ROOF DRAIN
- NEW METAL PARAPET FLASHING
- SD SCUPPER DRAIN
- HP HIGH POINT
- X DEMOLITION TAGS
- LOCATION OF EXISTING CEILING MOUNT PROJECTOR
- BUILDING ENTRANCE/ EXIT
NOTE: DO NOT BLOCK ENTRANCES/ EXITS
- E FIRE ALARM HEAT DETECTOR. SEE ELECTRICAL.
- E FIRE ALARM HEAT DETECTOR. SEE ELECTRICAL.
- E EMERGENCY REMOTE HEADS. SEE ELECTRICAL.
- EOL FIRE ALARM END OF LINE RESISTER. SEE ELECTRICAL.
- E AUDIO VISUAL SPEAKER/ PAGING SPEAKER. SEE ELECTRICAL.
- M MECHANICAL VENT. SEE MECHANICAL.

FLOOR PLAN LEGEND

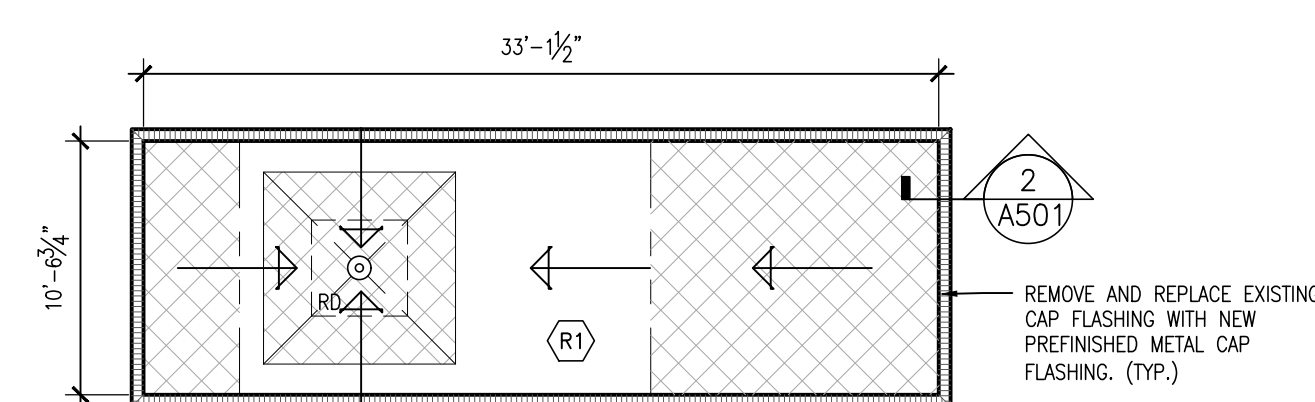
- CORRIDOR
CA ROOM NAME & NUMBER
- 1 A202 WALL SECTION REFERENCE

NOTE:
NO DESTRUCTIVE TESTING WAS COMPLETED IN THE DEVELOPMENT OF THESE PLANS. REVIEW ALL EXISTING CONDITIONS WHERE AFFECTED BY THE WORK. CAREFULLY EXAMINE UNDERSIDE OF SIPOREX DECK FOR INTERFERENCES INCLUDING BUT NOT LIMITED TO SPRINKLERS, CONDUIT, HVAC SYSTEMS, DUCTWORK, LIGHTING, FIRE ALARM DEVICES, AND PLUMBING, AND DISCONNECT AND COORDINATE SHUTDOWN IN COORDINATION WITH THE BOARD AND ALL REGULATORY AUTHORITIES. REINSTALL ALL DEVICES AFTER INSTALLATION OF NEW ROOF DECK. DO NOT SUSPEND FROM STEEL DECK. SEE STRUCTURAL.

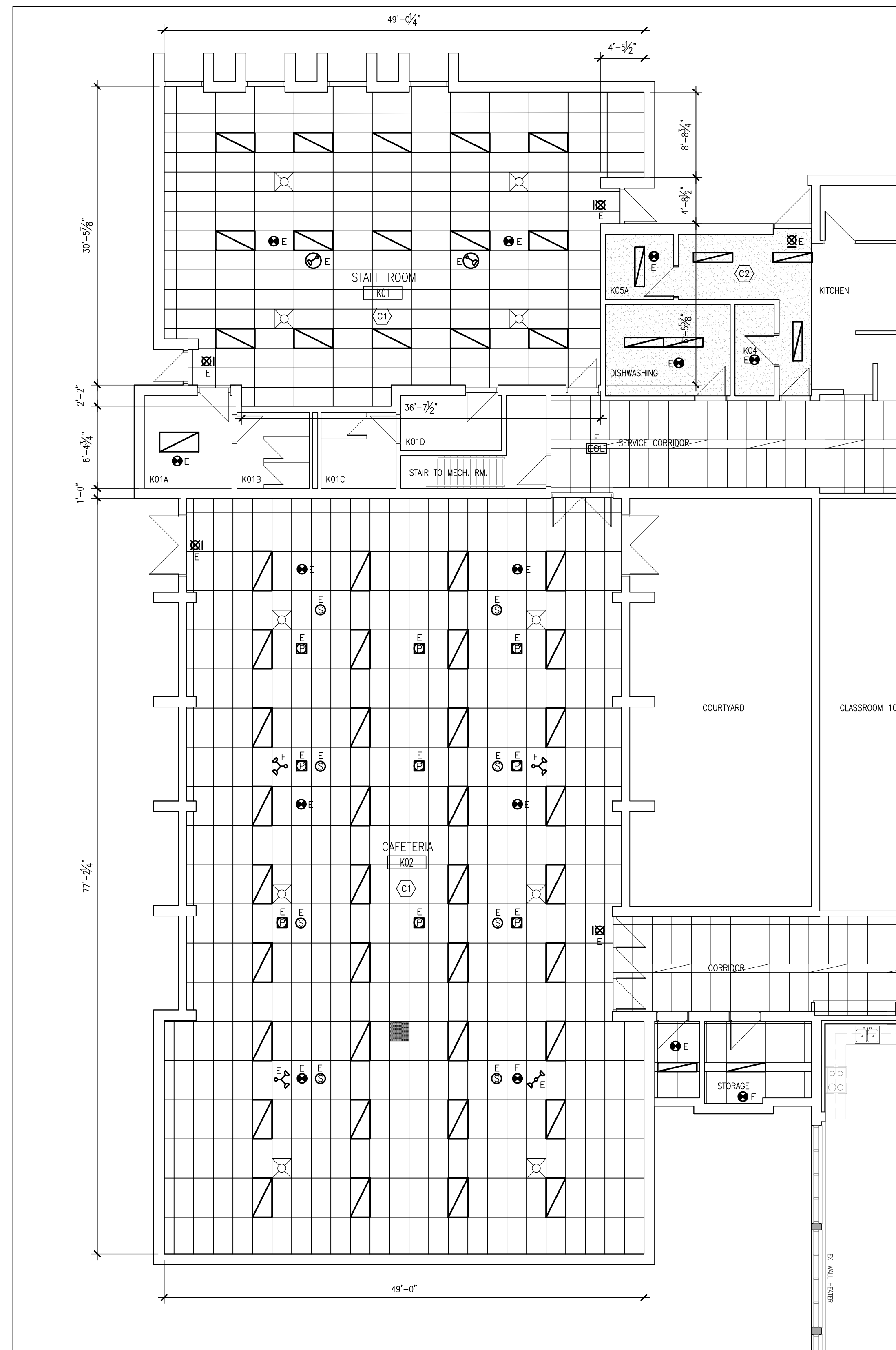
MAINTAIN ALL EXISTING FIRE RATINGS AND FIRE RATED ASSEMBLIES. ENCLOSE AND FIRESTOP ALL OPENINGS AS REQUIRED TO MAINTAIN EXISTING FIRE RATINGS. (TYP.)



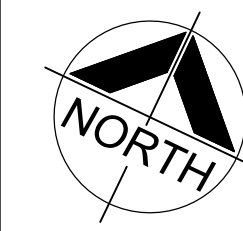
1 ROOF PLAN
1/8"=1'-0"



3 MECH. PENTHOUSE ROOF
1/8"=1'-0"



2 RCP PLAN
1/8"=1'-0"



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1	ISSUED FOR 90% REVIEW	NOV. 8, 2024	BBA
2	ISSUED FOR PERMIT/ TENDER	NOV. 29, 2024	BBA

NO.	REVISIONS	DATE	BY

PROJECT:
CAFETERIA WING SIPOREX ROOF REPLACEMENT
COURTICE SECONDARY SCHOOL
1717 NASH ROAD
COURTICE, ONTARIO

KPRDSB

DRAWING:
ROOF & RCP PLANS

B B A

BARRY BRYAN ASSOCIATES

Architects
Engineers
Project Managers

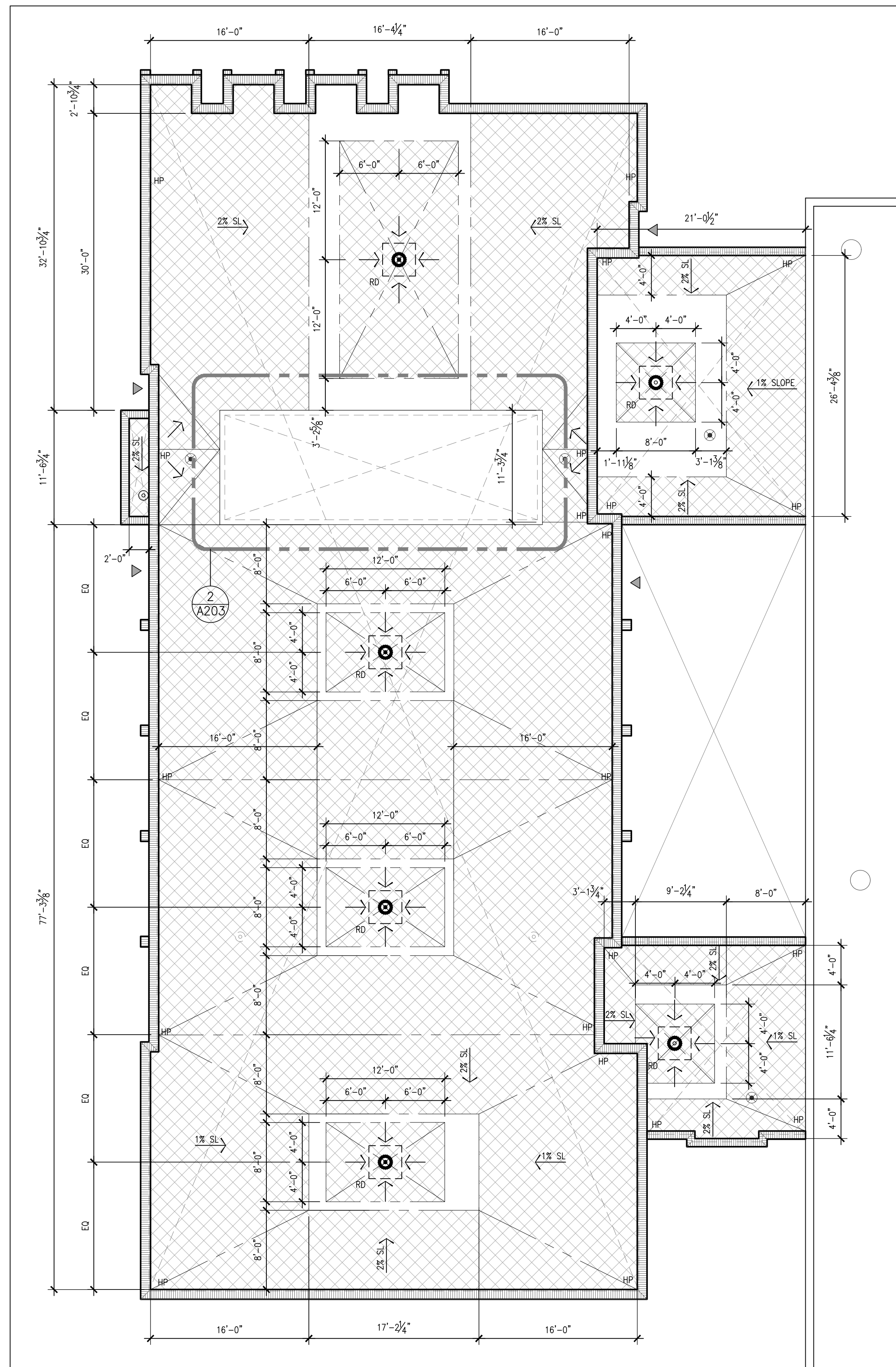
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e-mail: bba@bba-archeng.com

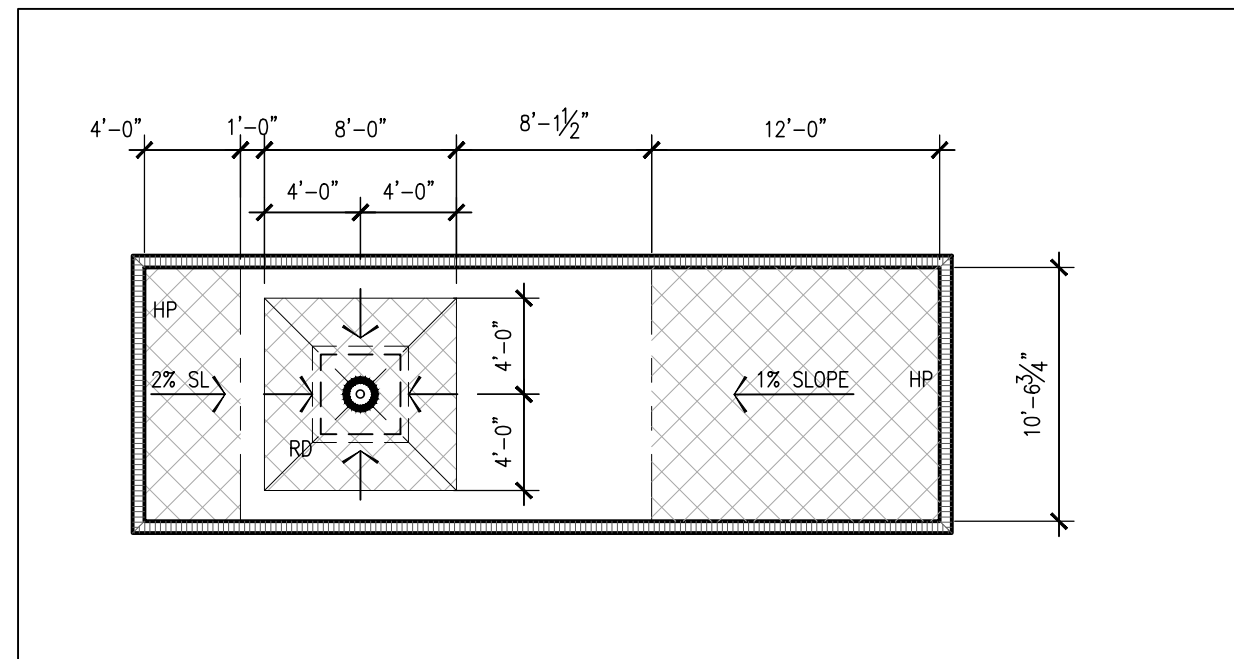
LICENSED PROFESSIONAL ENGINEER
2024-11-29
D. P. MC LAUGHLIN
100181883
PROVINCE OF ONTARIO

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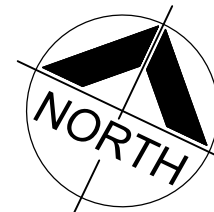
PROJECT NO: **24192** DRAWING NO: **A202**



1
A203
DRAINAGE PLAN
1/8"=1'-0"



2
A203
ENLARGED DRAINAGE PLAN
1/8"=1'-0"



ROOF TYPES SCHEDULE

- (R1) FLOOD COAT AND AGGREGATE (WHITE CALCITE)
- 3 PLY ROOF MEMBRANE
- 1/2" FIBREBOARD
- TAPERED INSULATION
- 2 LAYERS OF 2" THICK POLYISOCYANURATE INSULATION (STAGGERED)
- 2 PLY VAPOUR RETARDER
- PRIMER
- 1/2" SUBSTRATE BOARD
- STEEL ROOF DECK

ROOF NOTATION LEGEND

- (R1) ROOF TYPE (REFER TO ROOF PLAN)
- ROOF DATUM (I.O. EXIST SIPOREX)
- INDICATE DIRECTION OF ROOF DRAINAGE
- INDICATES AREA OF ROOF WITH TAPERED INSULATION
- INDICATES AREA OF FLAT ROOF
- ROOF DRAIN
- NEW METAL PARAPET FLASHING
- SCUPPER DRAIN
- HIGH POINT
- BUILDING ENTRANCE/ EXIT
NOTE: DO NOT BLOCK ENTRANCES/ EXITS

FLOOR PLAN NOTATION LEGEND

- CORRIDOR
- ROOM NAME & NUMBER
- WALL SECTION REFERENCE

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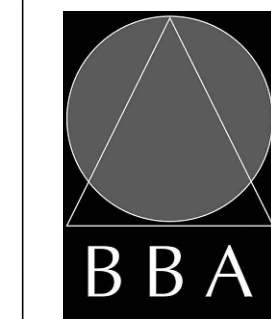
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PROJECT:
CAFETERIA WING SIPOREX ROOF REPLACEMENT
COURTICE SECONDARY SCHOOL
1717 NASH ROAD
COURTICE, ONTARIO

KPRDSB

DRAWING:
DRAINAGE PLAN



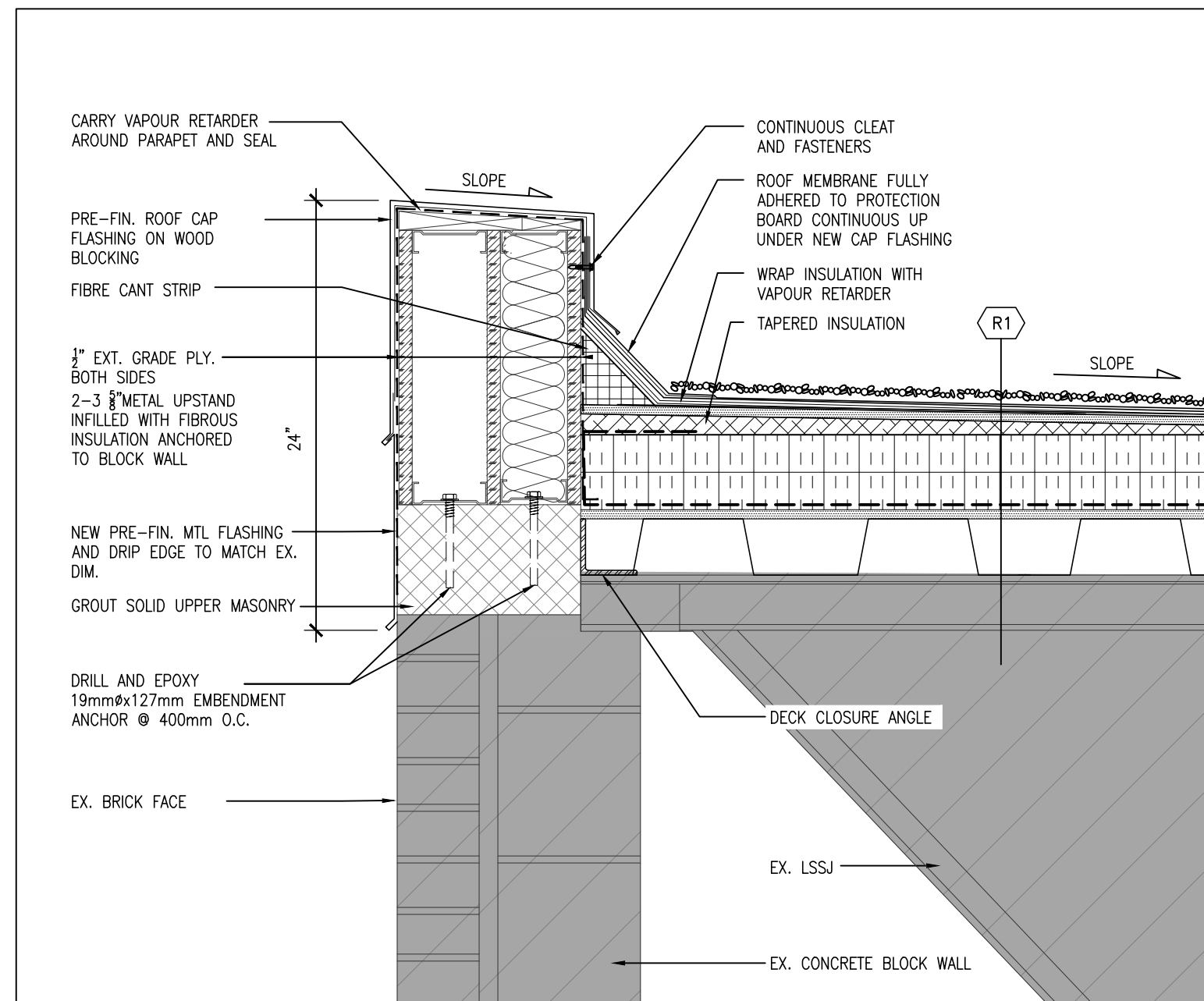
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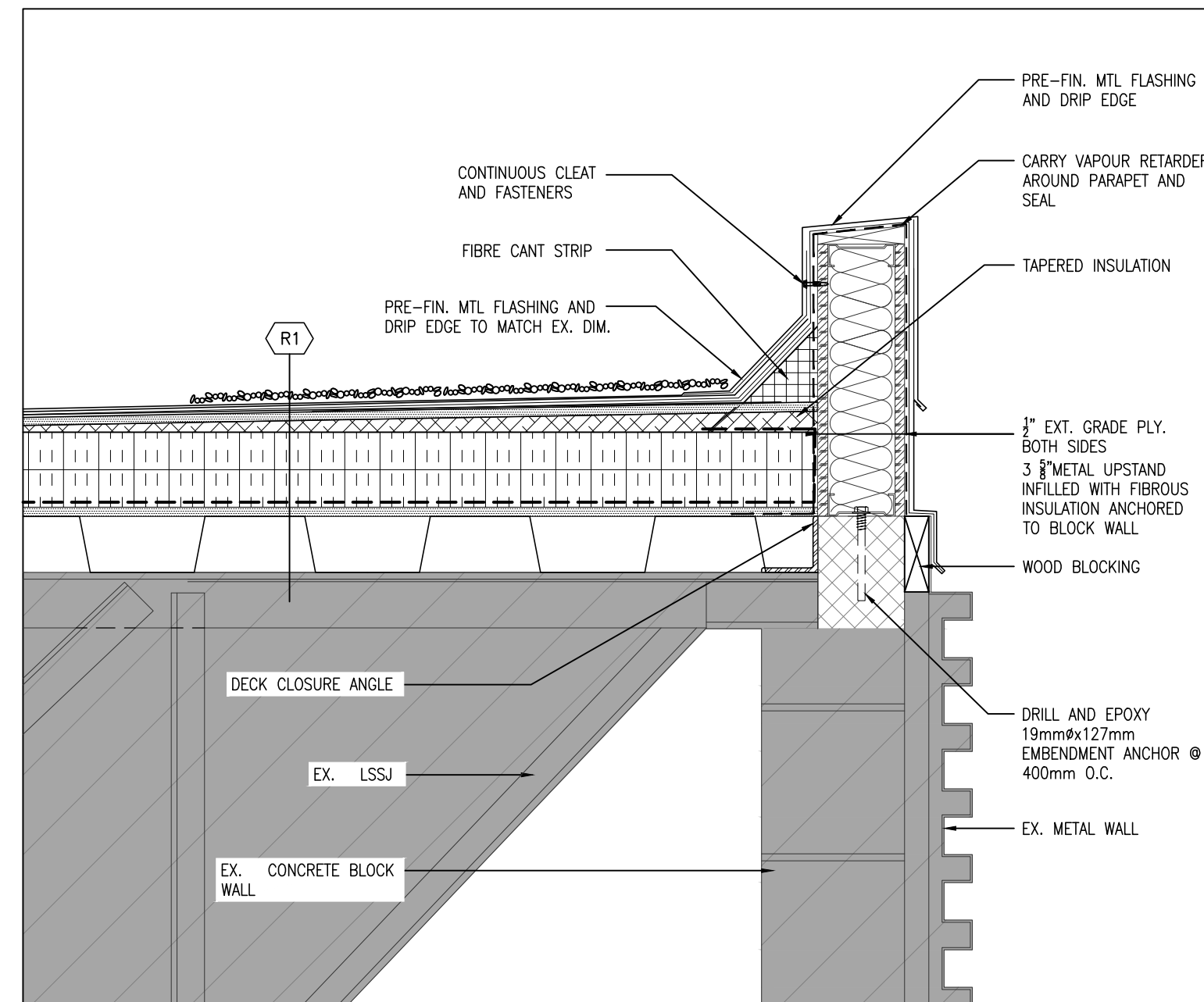


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OCTOBER 2024	
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FILE:	

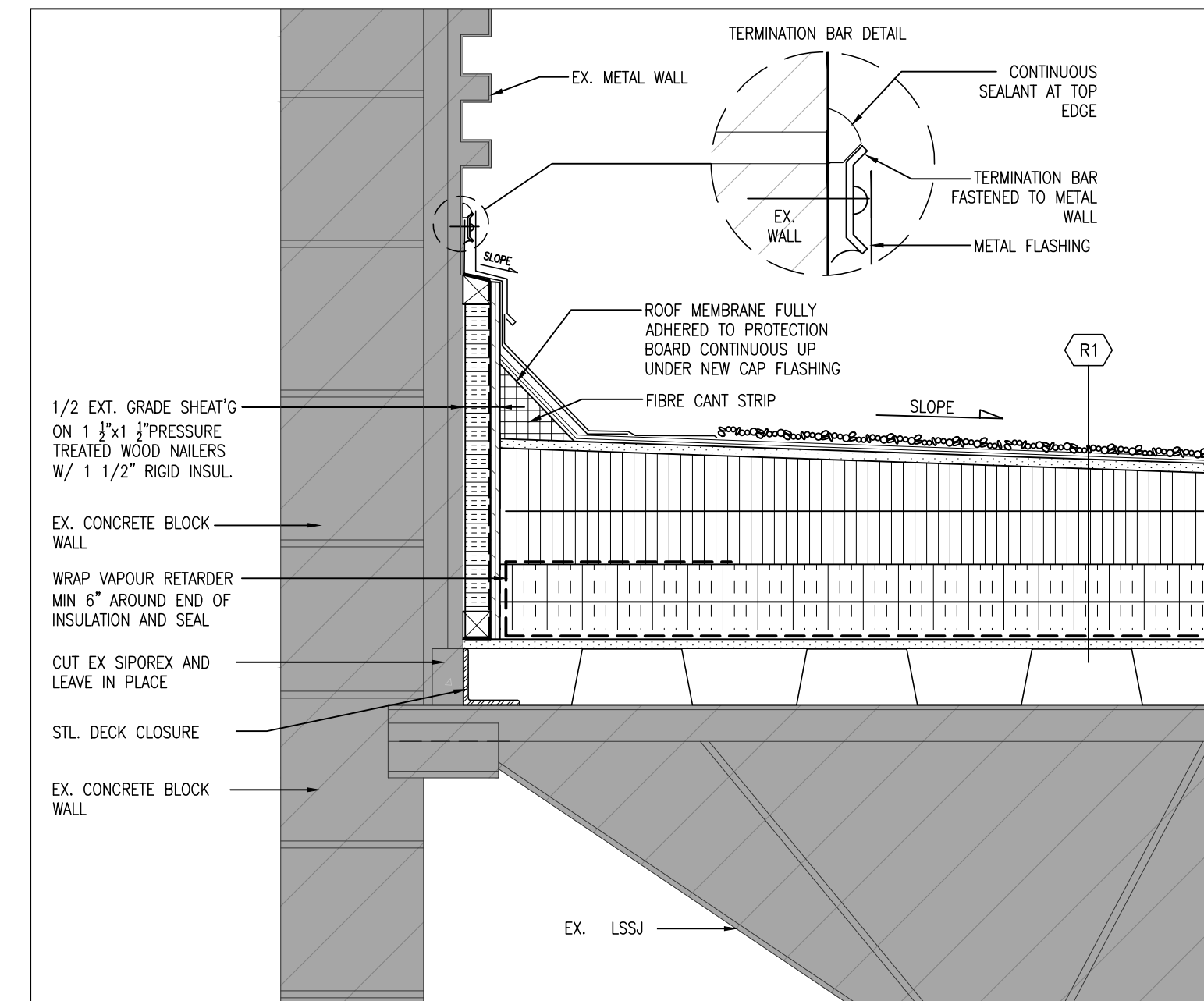
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DRAWING NO: **A203**



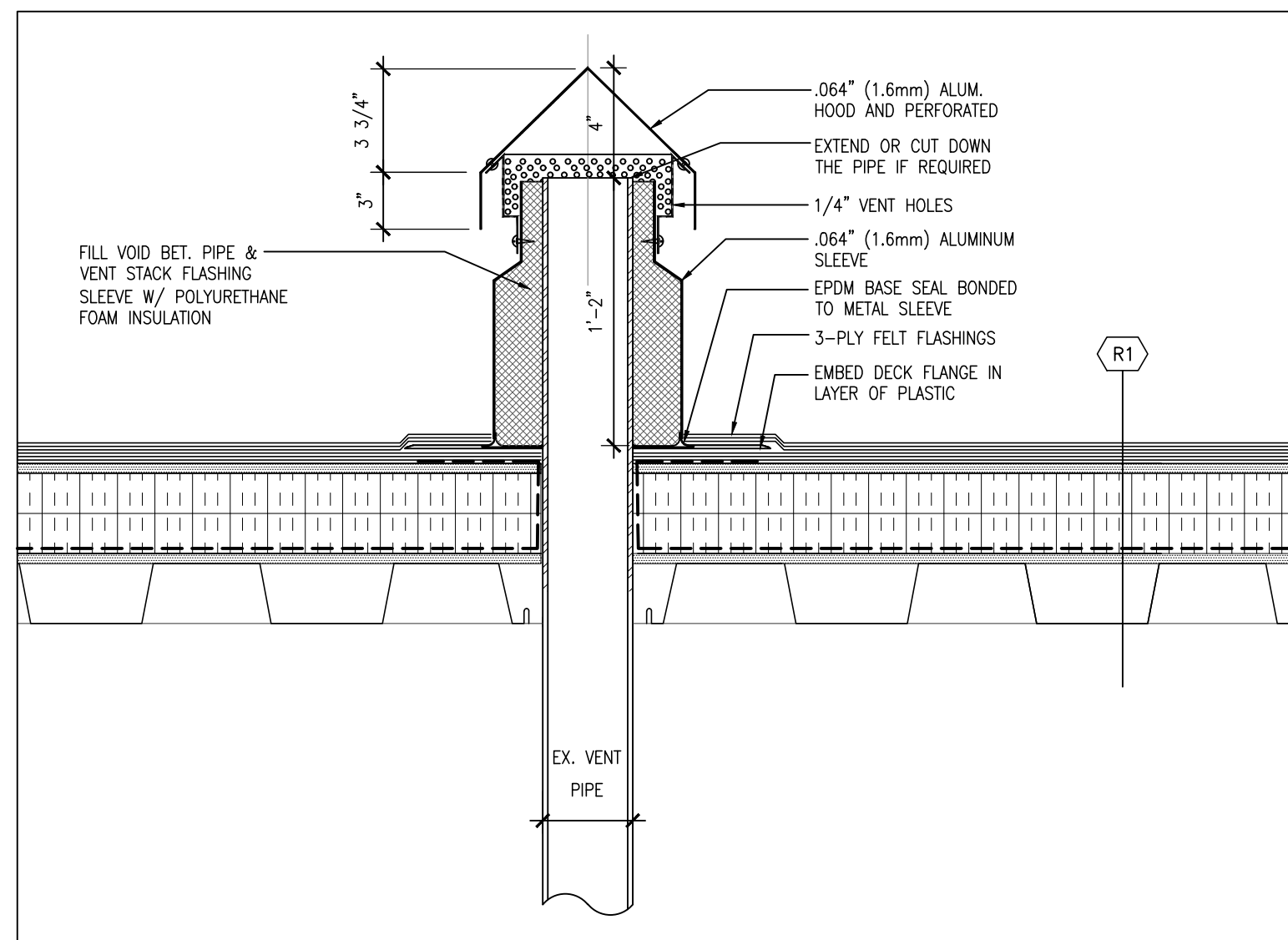
1 DETAIL
A501 1 1/2" = 1'-0"



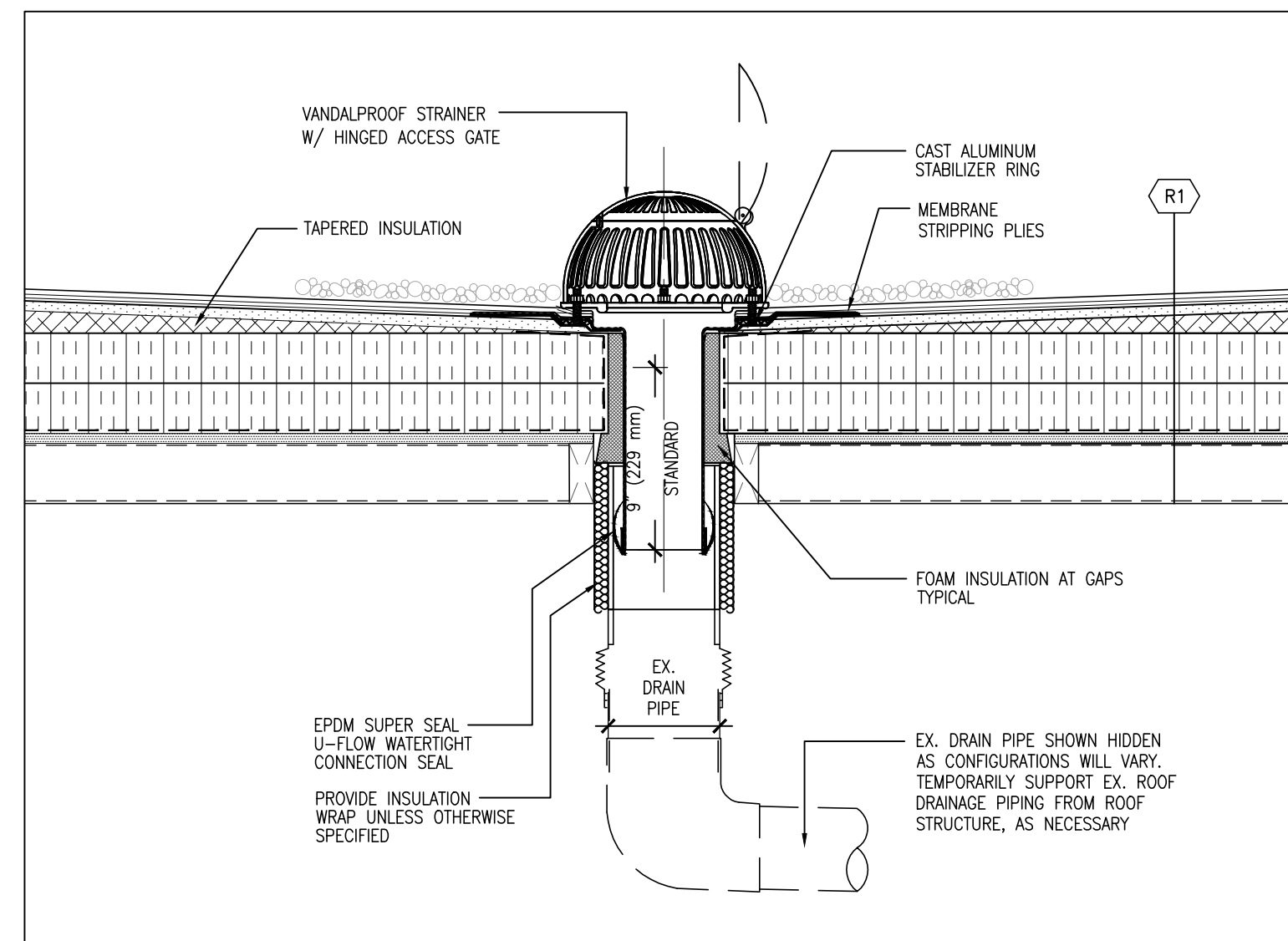
2 DETAIL
A501 1 1/2" = 1'-0"



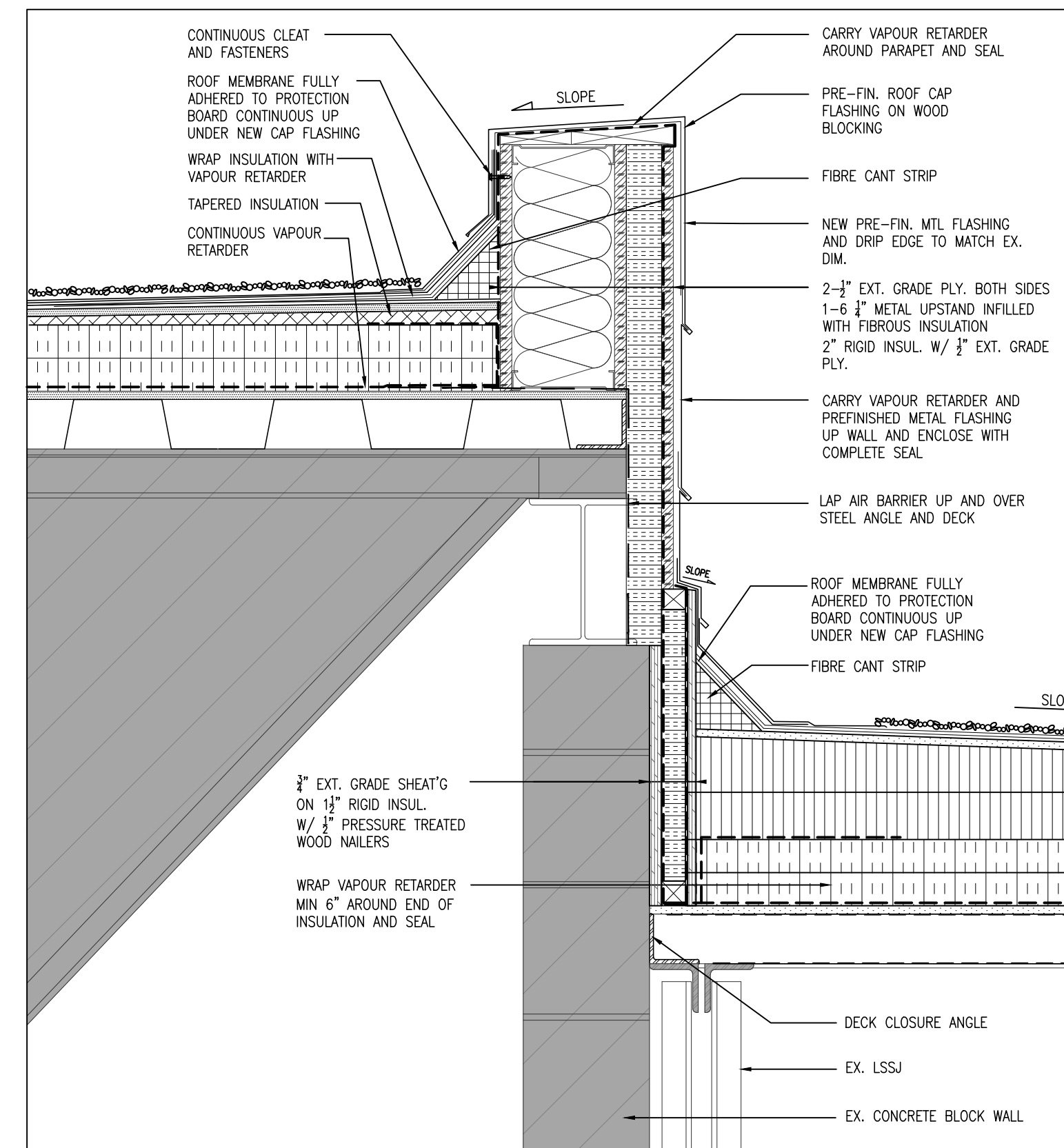
3 DETAIL
A501 1 1/2" = 1'-0"



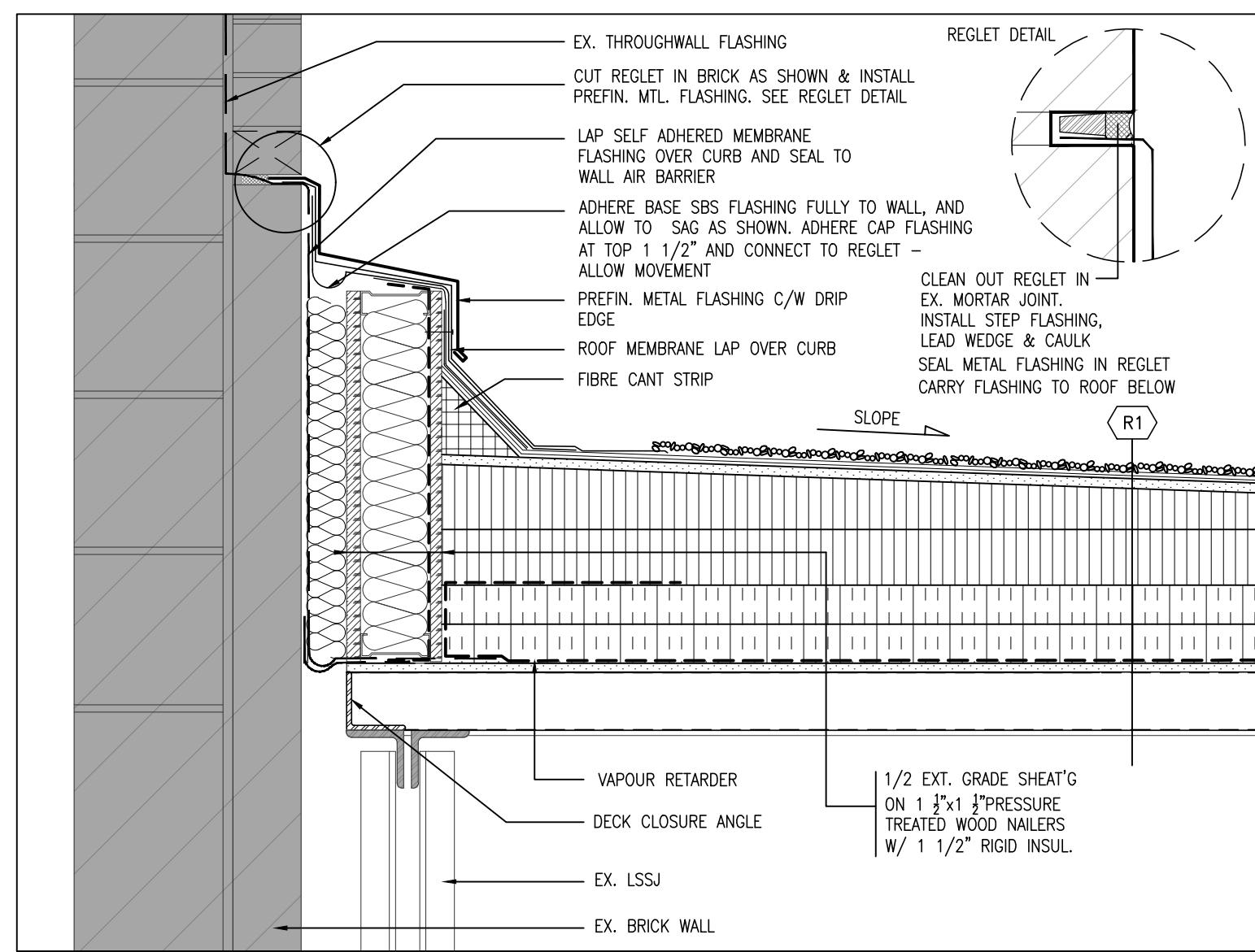
4 DETAIL
A501 1 1/2" = 1'-0"



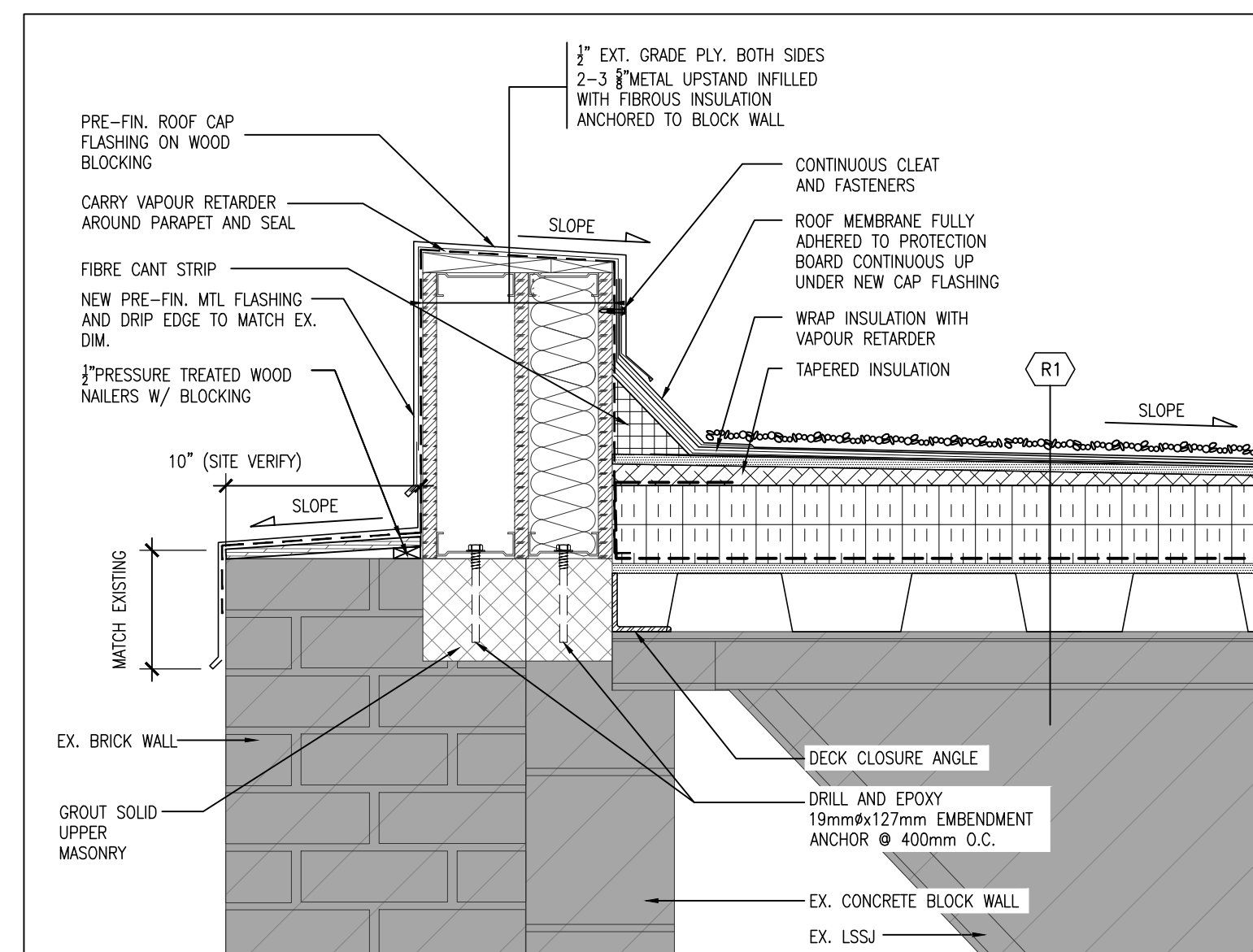
5 DETAIL
A501 1 1/2" = 1'-0"



8 DETAIL
A501 1 1/2" = 1'-0"



6 DETAIL
A501 1 1/2" = 1'-0"



7 DETAIL
A501 1 1/2" = 1'-0"

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NO.	REVISIONS	DATE	BY

PROJECT:
**CAFETERIA WING SIPOREX
ROOF REPLACEMENT**
COURTICE SECONDARY SCHOOL
1717 NASH ROAD
COURTICE, ONTARIO

KPRDSB

DRAWING:
SECTIONS



BARRY BRYAN
ASSOCIATES

Architects
Engineers
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250 Water Street
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Fax: (905) 666-6256
e-mail: bba@bba-archeng.com

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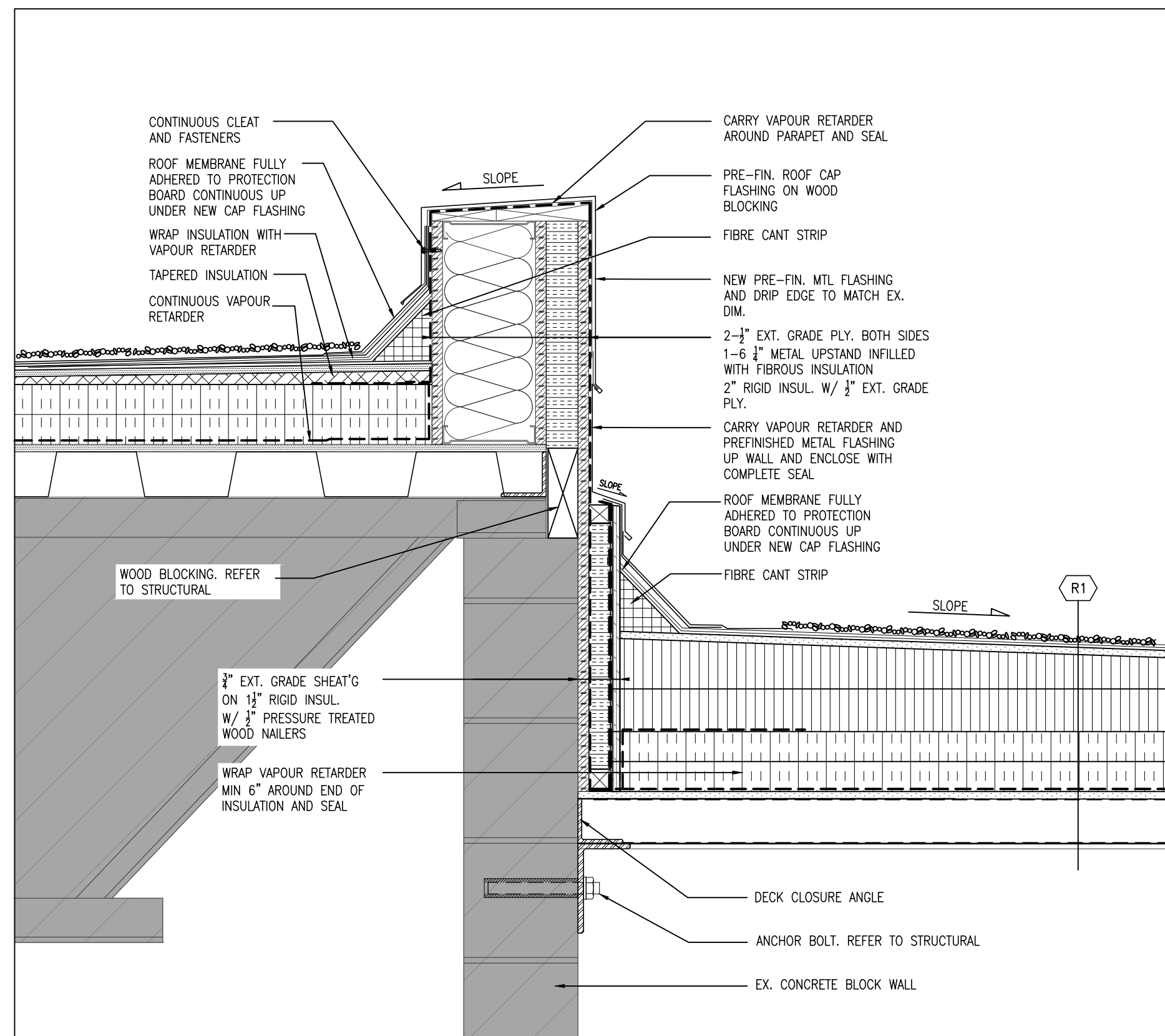
DATE:
OCTOBER 2024

SCALE:
AS NOTED

FILE:

PROJECT NO:
24192

DRAWING NO:
A501



1
A502 **DETAIL**
1 1/2" = 1'-0"

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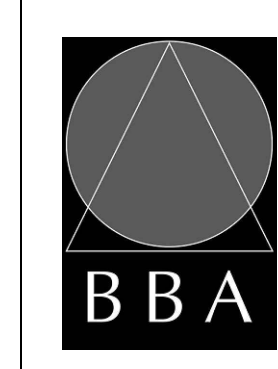
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ROOF REPLACEMENT**
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1717 NASH ROAD
COURTICE, ONTARIO

KPRDSB

DRAWING:
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FILE:	

PROJECT NO:
24192

DRAWING NO:
A502

GENERAL

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, LATEST EDITION.
- CONFORM TO OWNER'S GENERAL SPECIFICATIONS INCLUDING ALL SAFETY REQUIREMENTS.
- SITE VERIFY ALL DIMENSIONS AND LEVELS.
- KEEP THE SITE THROUGHOUT THE WORK AREA IN A CLEAN AND ORDERLY CONDITION AT ALL TIMES TO THE SATISFACTION OF THE OWNER.
- THE LATEST EDITION OF ALL CODES AND STANDARDS SHALL BE USED.
- ALL FRAMING PLANS AND DETAILS WERE OBTAINED FROM REFERENCE DRAWINGS PREPARED BY CARRUHERS & WALLACE LIMITED PROVIDED BY KPRDSB DATED JUNE 1985.

TEMPORARY WORKS

- THE CONTRACTOR SHALL DESIGN, PROVIDE, ERECT, MAINTAIN REMOVE AND ASSUME FULL AND SOLE RESPONSIBILITY FOR ALL TEMPORARY WORKS REQUIRED FOR THE SAFE AND COMPLETE EXECUTION OF THE WORK.
- IN THE EXECUTION OF THE TEMPORARY WORKS AND FOR THE DURATION OF THE CONTRACT, THE CONTRACTOR SHALL MAKE ADEQUATE PROVISION FOR ALL LIKELY CONSTRUCTION LOADING ON THE ROOF, FLOOR SLABS AND CEILING.
- ACCESS OF ANY CONSTRUCTION EQUIPMENT AND ACCUMULATION OF CONSTRUCTION MATERIALS ON THE ROOF IS NOT PERMITTED.
- COSTS OF ALL TEMPORARY WORKS ARE DEEMED TO HAVE BEEN INCLUDED IN THE CONTRACT PRICE INCLUDING REMOVAL AND REINSTALLATION OF MECHANICAL UNITS TO ACCOMMODATE THE ROOFING AND DECK REPLACEMENT.
- SUBMIT SHOP DRAWINGS FOR ALL TEMPORARY WORKS FOR REVIEW BEFORE FABRICATION COMMENCES. SHOP DRAWINGS FOR TEMPORARY WORKS SHALL BE SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF ONTARIO.
- ANY CONSTRUCTION SEQUENCES SHOWN ON THE DRAWINGS SHALL BE A PART OF TEMPORARY WORKS AND ARE FOR THE CONTRACTOR'S CONSIDERATION ONLY. THE CONTRACTOR IS AT LIBERTY TO USE ANY OTHER SEQUENCE AS HE DEEMS APPROPRIATE, BUT AT NO TIME SHALL THE SAFETY AND INTEGRITY OF THE WORKS BE COMPROMISED IF THE CONTRACTOR ADMITS THE SUGGESTED SEQUENCE. SUCH SEQUENCE SHALL BE DEEMED AS THE CONTRACTOR'S OWN SELECTION OF METHOD AND THE CONTRACTOR SHALL ASSUME FULL AND SOLE RESPONSIBILITY FOR IT.
- THE CONTRACTOR IS RESPONSIBLE FOR DESIGNING PROVIDING AND ERECTING ANY REQUIRED TEMPORARY LATERAL SUPPORT I.E. BRACING AS REQUIRED TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING.

STRUCTURAL STEEL

- STRUCTURAL STEEL W SECTIONS TO BE C40.21M-350W. ALL OTHERS TO BE C40.21M-300W.
- DESIGN FORCES INDICED ON DRAWINGS FOR STRUCTURAL STEEL WORK ARE UN-FACTORED FORCES UNLESS NOTED OTHERWISE.
- BOLTS SHALL BE A325 20mm(3/4") DIAMETER MINIMUM U.S.O.
- TOP FLANGES OF JOISTS TO BE FREE OF ALL PAINT, DIRT HEAVY RUST, MILL SCALE, SAND AND OTHER MATERIALS WHICH WILL INTERFERE WITH WELDING STEEL DECK TO BEAMS.
- FABRICATION, ERECTION AND WORKMANSHIP SHALL CONFORM TO CSA S16.1
- ALL WELDING SHALL CONFORM TO CSA W59 AND SHALL BE PERFORMED BY A WELDER QUALIFIED UNDER CSA W47
- ALL STRUCTURAL STEEL SHALL BE PAINTED WITH ONE SHOP APPLIED COAT OF PRIMER. SPOT PRIME ALL WELDED AREAS.
- REMOVE PAINT FILM FROM ALL STEEL SURFACES TO BE WELDED. SPOT PRIME AS REQUIRED.
- ALL CONNECTIONS SHALL BE WELDED, USING E490XX ELECTRODES OR BOLTED USING ASTM A325 HIGH STRENGTH BOLTS.
- DO NOT CUT OR CORE ANY OPENINGS IN ANY STRUCTURAL STEEL MEMBERS WITHOUT PRIOR APPROVAL FROM THE STRUCTURAL ENGINEER.
- WHERE A STRUCTURAL STEEL SHAPE SHOWN ON THE DRAWINGS IS UNAVAILABLE, A SHAPE OF EQUAL OR GREATER SECTION PROPERTIES AND STRUCTURAL CAPACITY SHALL BE SUBSTITUTED, UPON APPROVAL BY OWNER AND CONSULTANT AT NO EXTRA COST.
- ALL COLDFORMED STEEL STUDS/SILL/FRAMING SHALL CONFORM TO CAN/CSA-S136-01, CAN/CSA-S304, 1-04 & CAN/CSA-A370-04 AND ARE BASED UPON MEMBERS PRODUCED BY BAILEY METAL PRODUCTS OR APPROVED EQUIVALENT.
- STEEL SHALL MEET THE REQUIREMENTS OF ASTM A653 STANDARD SPECIFICATION FOR SHEET METAL, ZINC COATED (GALVANIZED) BY THE HOT-DIP PROCESS. STRUCTURAL (PHYSICAL) QUALITY, MINIMUM GRADES ARE:
 - GRADE A228 MPa MINIMUM YIELD FOR 1.146mm MATERIAL AND THINNER
 - GRADE D345 MPa MINIMUM YIELD FOR 1.438mm MATERIAL AND THICKER
 - SECTION PROPERTIES SHALL BE COMPUTED ON THE BASIS OF THE BLACK METAL THICKNESS SHOWN. THE UNDER-RUN IN THICKNESS PERMITTED BY ASTM A653 IS NOT ACCOUNTED FOR IN THE DESIGN CALCULATIONS.

STEEL DECK

- STEEL SHEET TO CSSB1-10M GRADE A STRUCTURAL QUALITY ($f_y=230$ MPa). SEE PLAN FOR PROFILE AND GAUGE.
- DO NOT SUPPORT CEILING, LIGHTS, DUCTS OR PIPE FROM STEEL DECK.
- STEEL DECK SHALL BE SPOT WELDED TO SUPPORT STRUCTURAL STEEL WITH 19mm DIA. PUDDLE WELDS IN A 36/7 SUPPORT PATTERN. THE SIDE-LAP FASTENING WILL BE BUTTON PUNCHED AT 610mm C/C. ALTERNATIVELY, PROVIDE HILTI HSN-24 FASTENER AT 12" C/C MAX. AND ON ENDS (TYP.).
- THE CONTRACTOR SHALL SUBMIT SHOP AND ERECTION DRAWINGS WHICH CLEARLY DETAIL DESIGN LOADS, THICKNESS AND GRADE OF STEEL DECK, FRAMING SUPPORTS, MINIMUM BEARING, ANCHORAGES, SIZES AND SPACING OF FASTENING, DETAILS OF CONSTRUCTION ETC. THE SHOP DRAWS SUBMITTED SHALL BEAR THE SIGNATURE AND SEAL OF A PROFESSIONAL ENGINEER REGISTERED IN ONTARIO FOR THE DECK DESIGN.

DEMOLITION NOTES/PROCEDURE

- COMPLETE ANY SERVICE AND/OR DISCONNECTS OF UTILITIES PRIOR TO PROCEEDING WITH DEMOLITION OF THE ROOF AND EXISTING DECKING
- ENSURE AREAS INSIDE THE BUILDING BELOW THE WORK AREAS HAVE BEEN RESTRICTED FROM PEDESTRIAN ACCESS WHILE THE DEMOLITION AND RE-ROOFING WORK IS COMPLETED
- PROTECT ALL EXISTING HVAC, PIPING AND ELECTRICAL SERVICES TO REMAIN DURING DEMOLITION
- PROTECT ALL EXISTING BUILDING STRUCTURAL AND FINISHES TO REMAIN FOR THE DURATION OF THE PROJECT. MAKE GOOD ANY DAMAGES TO THE EXISTING BUILDING AT NO ADDITIONAL COST TO THE OWNER
- INSTALL TEMPORARY SCAFFOLD AS NECESSARY BELOW THE SECTIONS OF SIPOREX ROOF DECK WHERE REQUIRED TO PROVIDE A SAFE WORK PLATFORM AND PROTECTION OF THE EXISTING SERVICING BELOW TO REMAIN. THE SCAFFOLD DESIGN WILL BE COMPLETED BY THE TEMPORARY WORKS ENGINEER. THE SCAFFOLD MUST BE DESIGNED TO SUPPORT THE FOLLOWING MINIMUM LOADING.

MINIMUM SCAFFOLD DESIGN LOAD
 DEAD = 1.60 kPa
 LIVE = 1.90 kPa

- REMOVE EXISTING ROOFING OVER THE GENERAL EXTENTS OF SIPOREX ROOF DECK AS SHOWN ON THE PLAN. THE ROOF DEMOLITION SHALL INCLUDE ALL ASSOCIATED ROOFING, FLASHING, SEALANTS, INSULATION, AND PROTECTION BOARDS.
- REMOVE THE EXISTING SIPOREX ROOF DECK INCLUDING ALL ASSOCIATED STEEL DOWELS AND CLAMPS ANCHORED TO THE SUPPORTING MASONRY WALLS OVER THE EXTENTS SHOWN ON THE PLAN. THE WORK SHALL BE COMPLETED UTILIZING FALL ARREST PROCEDURES IDENTIFIED BY THE OCCUPATIONAL HEALTH AND SAFETY ACT ALONG WITH ANY APPLICABLE STANDARDS. THE GENERAL CONTRACTOR IS REQUIRED TO DEVELOP SAFE WORK PROCEDURES FOR THE ROOF DECK REMOVAL.
- PROTECT THE OPENING ROOF FROM EXPOSURE TO THE ELEMENTS, TEMPORARY CURB AND COVERING.
- CLEAN ANY LOOSE DEBRIS AND/OR MATERIALS AND PREP THE EXISTING OWSJ FOR NEW STEEL DECK

CONSTRUCTION NOTES

- THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK TO COMPLETE THE REQUIRED CONSTRUCTION, INCLUDING SIPOREX ROOF DECK REPAIRS AND/OR REPLACEMENT TO MOL STANDARDS AND REQUIREMENTS. CONTRACTOR MUST REVIEW THE EXISTING CONDITIONS AND IMPLEMENT TEMPORARY WORKS SUITABLE FOR THE ANTICIPATED APPLIED CONSTRUCTION LOADING AS WELL AS THE STANDARD EXTERIOR LOADS AS DESCRIBED WITHIN THE CURRENT ONTARIO BUILDING CODE AS REQUIRED TO SAFELY PERFORM THE WORK. THIS INCLUDES ALL AREAS OF PERSONNEL LOAD, STACKING OF MATERIALS, RIGGING AND SUPPORT OF PERSONAL PROTECTIVE EQUIPMENT (PPE).
- REFER TO EXISTING CONDITION REPORTS AND DRAWINGS, TO BE REQUESTED AND OBTAINED BY THE CONTRACTOR. REVIEW THESE REPORTS IN CONJUNCTION WITH THESE DOCUMENTS AND TO VERIFY THE SAFE WORK PROGRAM. THE DOCUMENTS WILL NOTE PREVIOUS REVIEWS OUTLINING AREAS OF LOCALIZED DETERIORATION OBSERVED ALONG THE UNDERSIDE OF THE SIPOREX ROOF DECK MADE DURING A VISUAL SURVEY OF ACCESSIBLE AREAS AND THROUGH CAMERA PHOTOGRAPHS OF LOCATIONS OF FIXED CEILING. PLEASE NOTE THESE AREAS MAY HAVE CHANGED SINCE TIME OF REVIEW, AND THE REVIEW WOULD BE LIMITED TO THE AREAS EXPOSED TO VIEW AT THE TIME OF THE VISUAL SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF CONDITIONS AND CONFIRMING THE WORK CAN BE SAFELY PERFORMED. THE EXPECTATION OF THE CONTRACTOR WILL BE TO INSTALL TEMPORARY WORKS AS REQUIRED TO ENSURE THE SAFETY FOR BOTH THE WORKERS AND ANY OCCUPANTS OF THE BUILDING (IF APPLICABLE).
- SHOULD THERE BE ANY CONCERN IN REGARDS TO CONDITIONS, OR SAFELY PERFORMING THE WORK, KPRDSB AND BBA SHALL BE NOTIFIED IMMEDIATELY SUCH THAT DIRECTION CAN BE PROVIDED.
- THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR NOTING THE CURRENT CONDITIONS OF THE EXPOSED AREAS OF THE STRUCTURE AT THE ONSET OF THE WORK. A COMPARISON SHALL BE MADE OF ANY REMAINING STRUCTURE AT THE COMPLETION OF THE WORK TO CONFIRM THAT THE CONDITIONS OF THE FRAMING HAVE NOT DIMINISHED. ANY DISCREPANCIES BETWEEN THE BUILDING CONDITION AT THE START AND COMPLETION OF THE WORK SHALL BE PROVIDED TO KPRDSB AND BBA.

NOTE:

THE NEW ROOF DECK HAS BEEN DESIGNED TO SUPPORT THE ORIGINAL ROOF DESIGN LIVE LOAD. THERE HAS BEEN NO REDUCTION IN THE NEW ROOF DECK FROM THE ORIGINAL ROOF DESIGN LIVE LOAD IDENTIFIED ON THE DRAWINGS.

STRUCTURAL DRAWING LIST

S101 GENERAL NOTES & OVERALL ROOF PLAN
 S201 ROOF DEMOLITION PLANS
 S202 ROOF FRAMING PLANS
 S501 SECTIONS

ROOF DESIGN LOADS: (UNFACTORED)

ROOF SECTIONS

DEAD
 BUILT UP ROOFING (EXISTING) 12 PSF
 3" SIPOREX (EXISTING) 7.75 PSF
 BUILT UP ROOFING (NEW) 12.17 PSF
 3" STEEL ROOF DECK 4.65 PSF

BASIC SNOW LOAD = 36.51 PSF
 SEE PLAN FOR SNOW ACCUMULATION


IMPORTANCE FACTOR: (HIGH)

LIVE : 40 PSF

NOTE:

NO CHANGE IN ROOF LOADING

LEGEND:

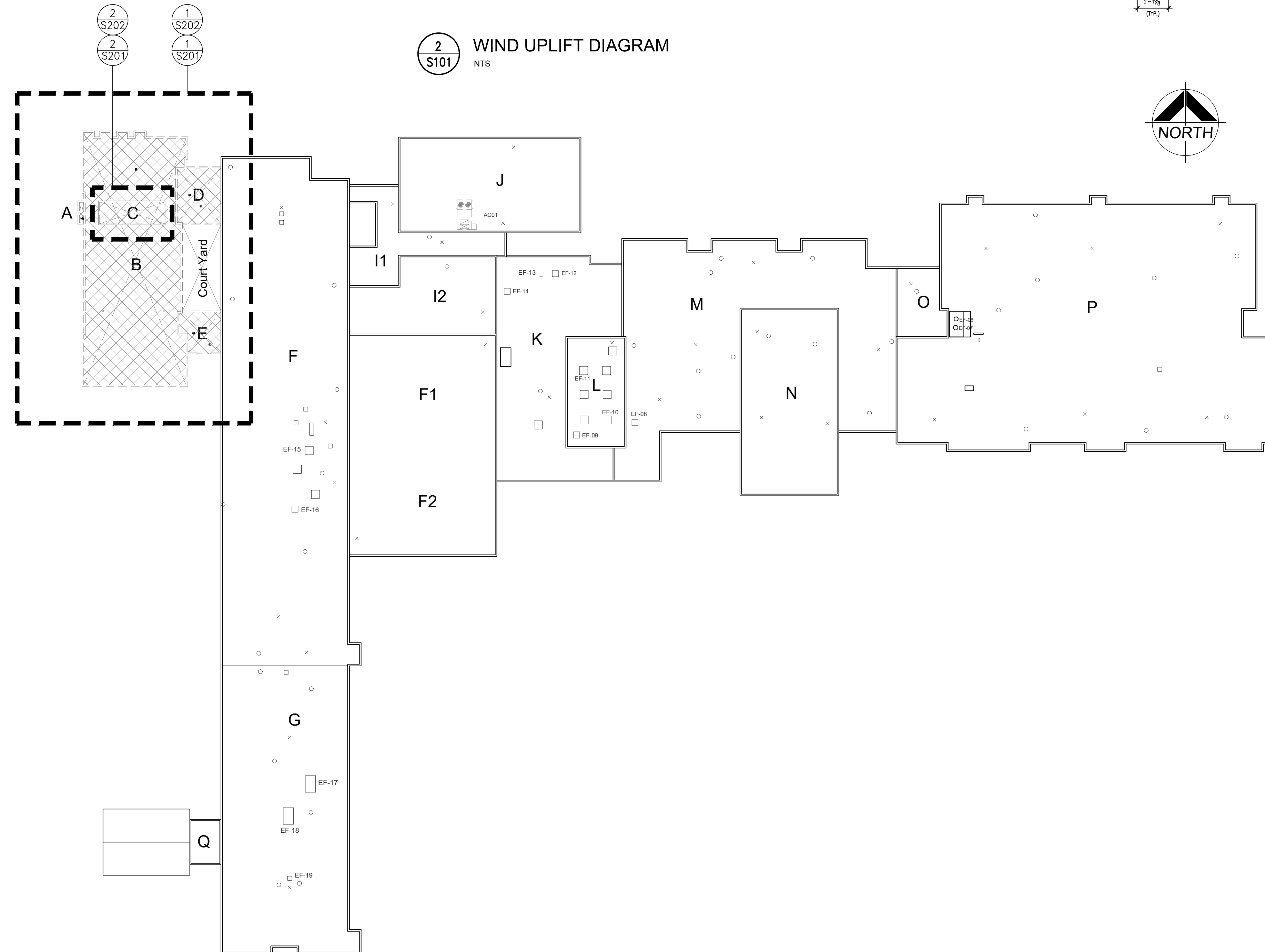
 DENOTES EXTENTS OF EX. SIPOREX ROOF DECK TO BE REMOVED AND REPLACED WITH NEW STEEL DECK

NOTE: THE SEQUENCING OF THE WORK SHALL BE COMPLETED TO MAINTAIN THE ROOF DIAPHRAGM ACTION. SHOULD FULL REMOVAL OF THE SIPOREX ROOF DECK BE COMPLETED TEMPORARY SHORING OF THE EXTERIOR WALL SHALL BE DESIGNED AND INSTALLED BY THE GENERAL CONTRACTOR.

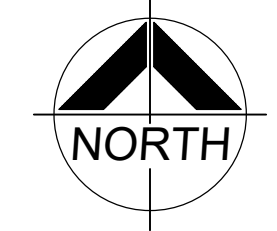
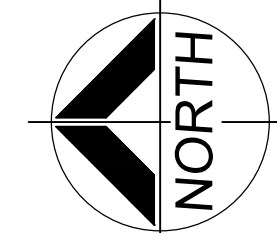
$w = 1.15$ (HG)
 $q(\%) = 0.48$ kPa

WIND UPLIFT AREA	P(psf)
(c)	52.00
(d)	27.15
(e)	27.15
(f)	21.93

2 WIND UPLIFT DIAGRAM
 S101 NTS



1 OVERALL ROOF PLAN
 S101 1/32" = 1'-0"



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NO.	ISSUES	DATE	BY
1	ISSUED FOR 90% REVIEW	NOV. 8, 2024	BBA
2	ISSUED FOR PERMIT/ TENDER	NOV. 29, 2024	BBA

NO.	REVISIONS	DATE	BY

PROJECT:
CAFETERIA WING SIPOREX ROOF REPLACEMENT
 COURTYCE SECONDARY SCHOOL
 1717 NASH ROAD
 COURTYCE, ONTARIO

KPRDSB

DRAWING:
GENERAL NOTES AND OVERALL ROOF PLAN




B B A

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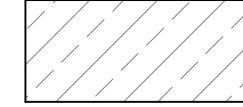


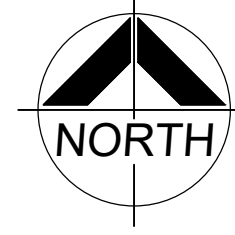
LICENSED PROFESSIONAL ENGINEER
 2024-11-29
D. P. MC LAUGHLIN
 100181883
 PROVINCE OF ONTARIO

DESIGN BY: BBA	DOC CONTROL: DATE:
DRAWN BY: LS/SA	% COMPLETE:
CHECKED BY:	INITIAL:
DATE: OCTOBER 2024	
SCALE: AS NOTED	
FILE:	

PROJECT NO: **24192** DRAWING NO: **S101**

LEGEND

-  SHADED AREA DENOTES EXISTING CONC. SLAB/ STEEL DECK TO REMAIN (N.I.C.)
-  DENOTES EXTENTS OF EX. 3" SIPOREX TO BE REMOVED AND DISPOSED OF.



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NO.	ISSUES	DATE	BY
1	ISSUED FOR 90% REVIEW	NOV. 8, 2024	BBA
2	ISSUED FOR PERMIT/ TENDER	NOV. 29, 2024	BBA

NO.	REVISIONS	DATE	BY

PROJECT:
CAFETERIA WING SIPOREX ROOF REPLACEMENT
COURTICE SECONDARY SCHOOL
1717 NASH ROAD
COURTICE, ONTARIO

KPRDSB

DRAWING:
ROOF DEMOLITION PLANS



BARRY BRYAN ASSOCIATES

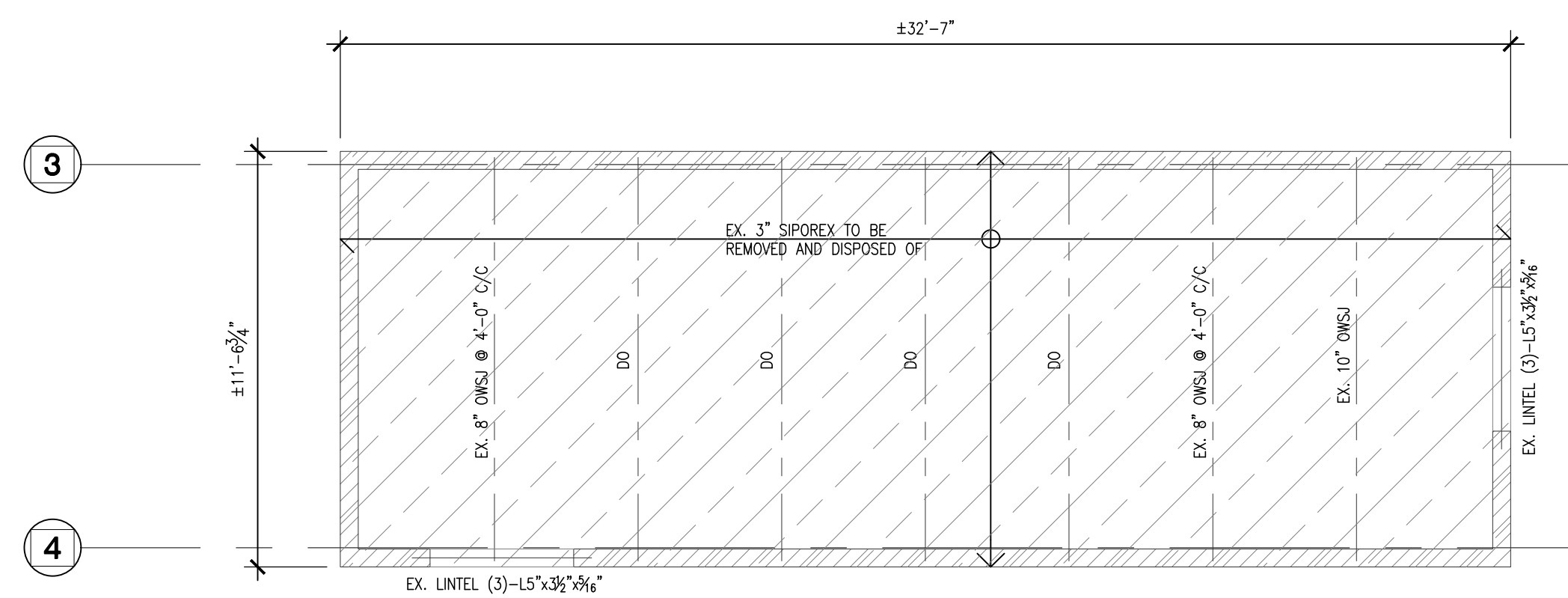
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e-mail: bba@bba-archeng.com



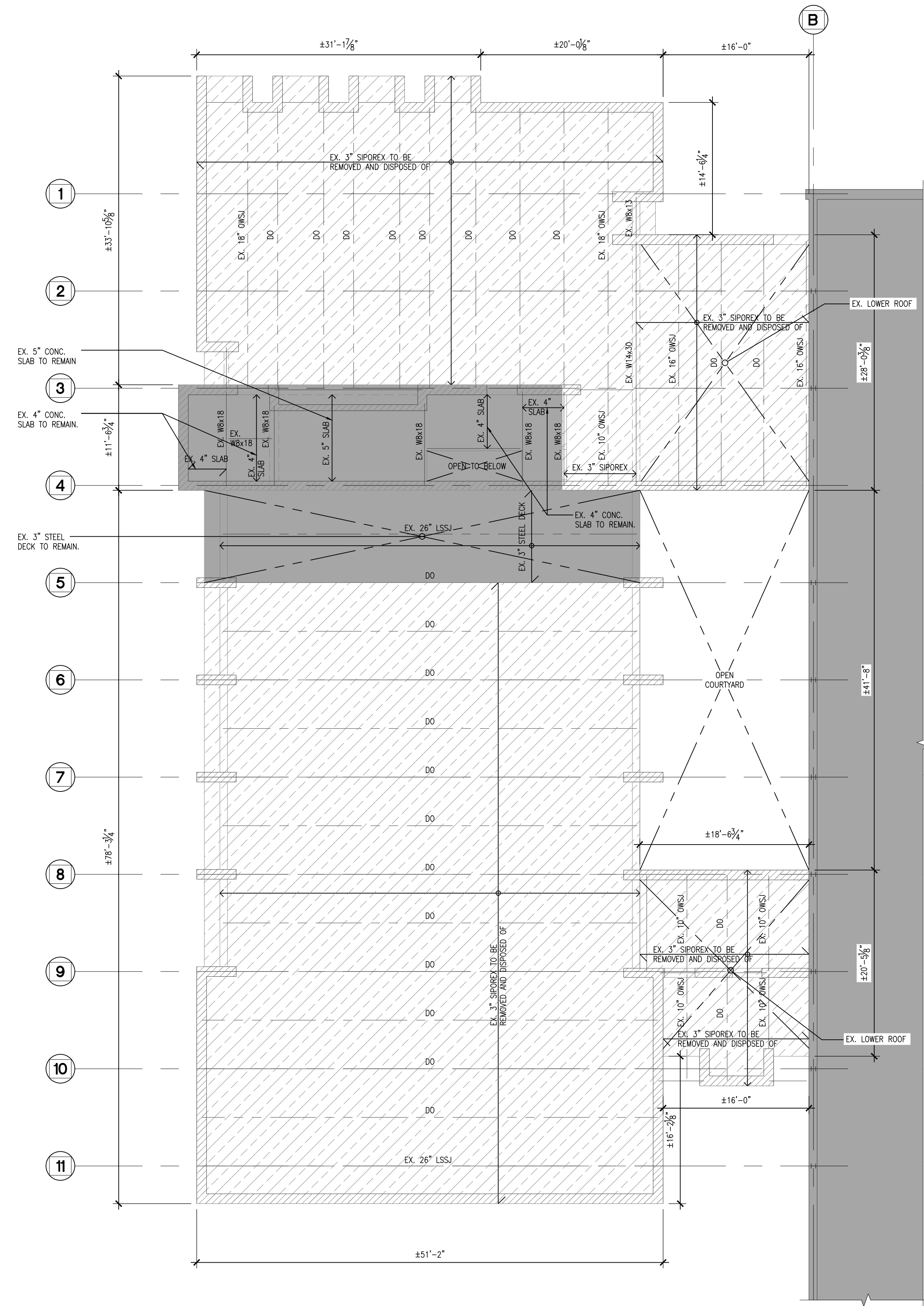
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DRAWN BY: LS/SA	% COMPLETE:
CHECKED BY:	INITIAL:

DATE: OCTOBER 2024
SCALE: AS NOTED
FILE:

PROJECT NO: 24192	DRAWING NO: S201
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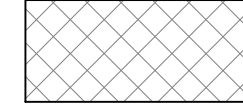


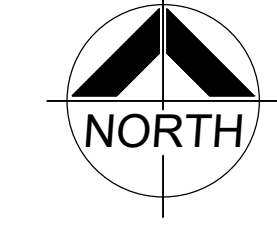
2
S201 HIGH ROOF ROOF FRAMING PLAN - DEMOLITION
1/8" = 1'-0"



1
S201 CAFETERIA ROOF FRAMING PLAN - DEMOLITION
1/8" = 1'-0"

LEGEND

-  SHADED AREA DENOTES EXISTING CONC. SLAB/ STEEL DECK TO REMAIN (N.I.C.)
-  DENOTES EXTENTS OF NEW 3" x 20 Ga. STEEL DECK.



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NO.	ISSUES	DATE	BY
1	ISSUED FOR PERM REVIEW/ORDER	NOV. 29, 2024	BBA
2	ISSUED FOR PERMIT/ TENDER	NOV. 29, 2024	BBA

NO.	REVISIONS	DATE	BY

NO.	REVISIONS	DATE	BY

PROJECT:
CAFETERIA WING SIPOREX ROOF REPLACEMENT
 COURTYSE SECONDARY SCHOOL
 1717 NASH ROAD
 COURTYSE, ONTARIO

KPRDSB

DRAWING:
ROOF FRAMING PLANS



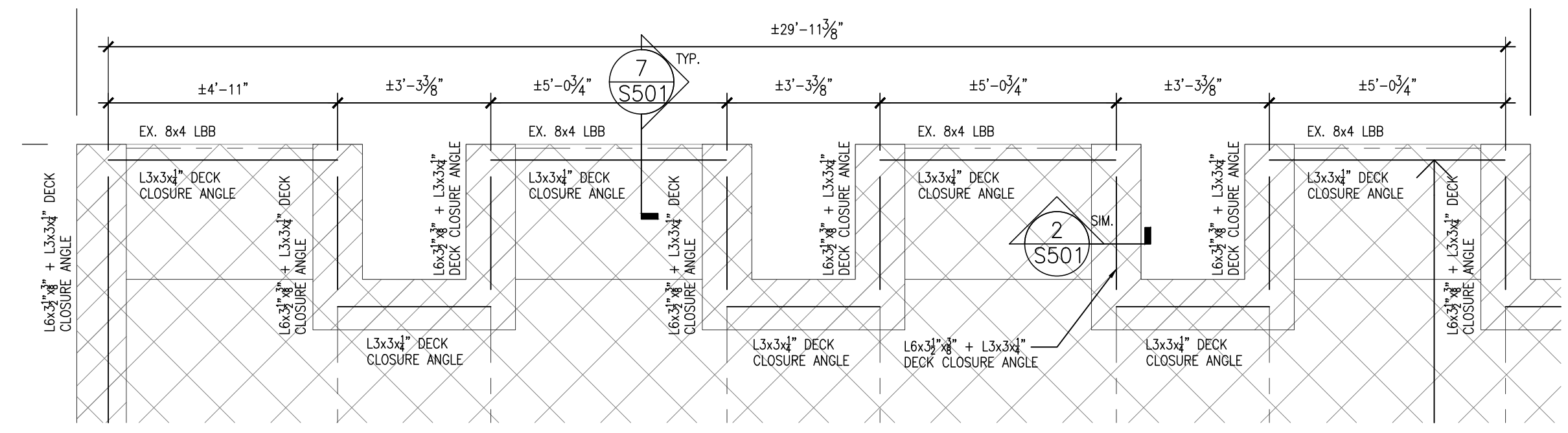
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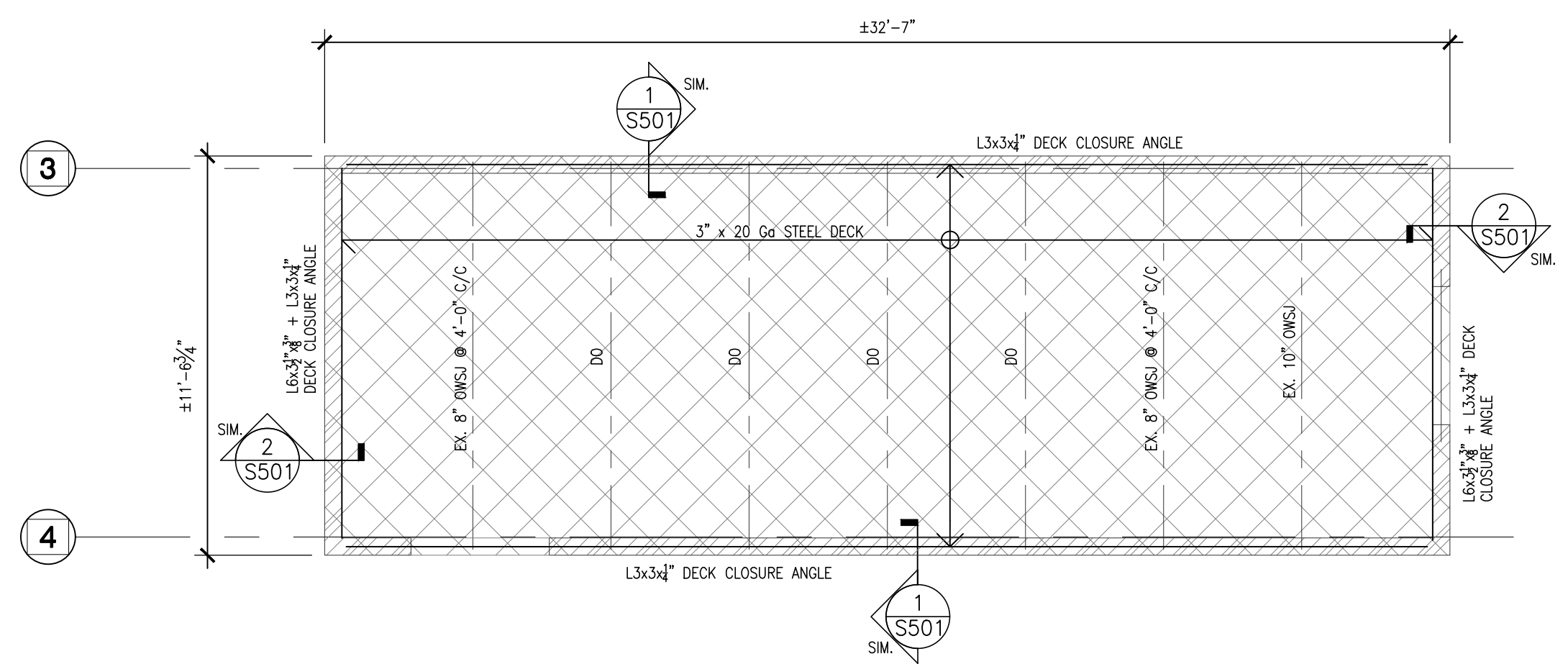
LICENSED PROFESSIONAL ENGINEER
 2024-11-29
 D.P. MC LAUGHLIN
 100181883
 PROVINCE OF ONTARIO

DESIGN BY: BBA	DOC. CONTROL: DATE:
DRAWN BY: LS/SA	% COMPLETE:
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DATE: OCTOBER 2024	
SCALE: AS NOTED	
FILE:	

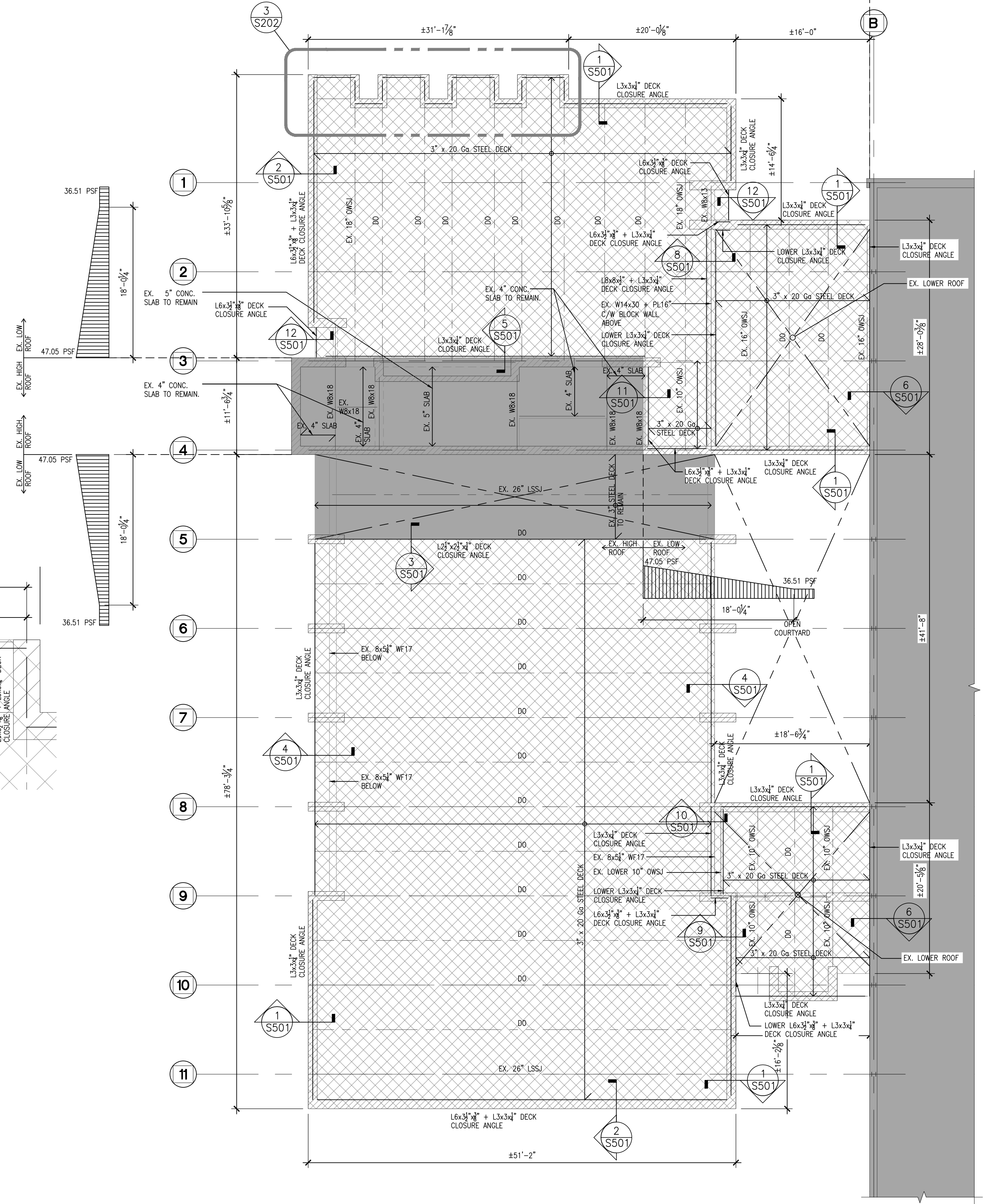
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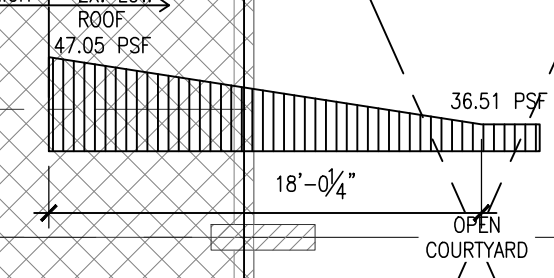
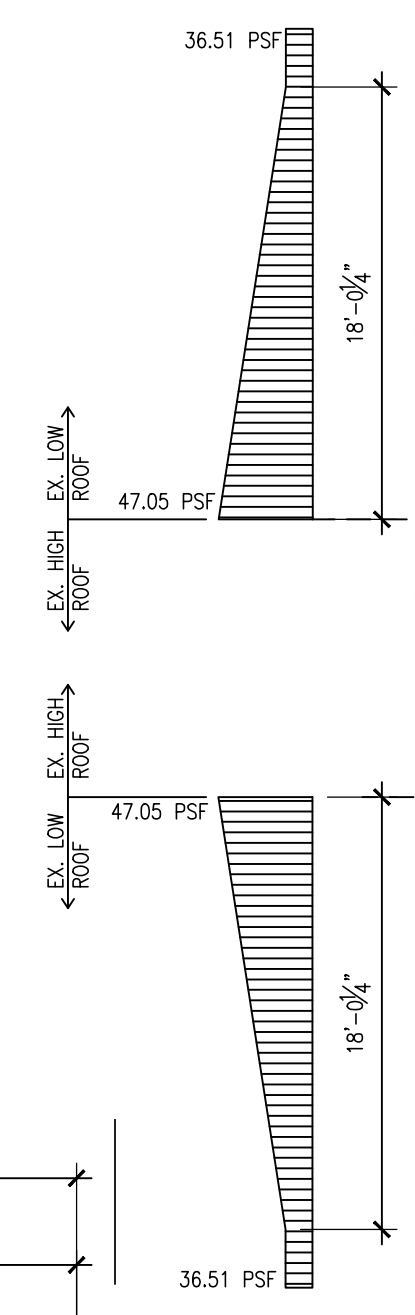
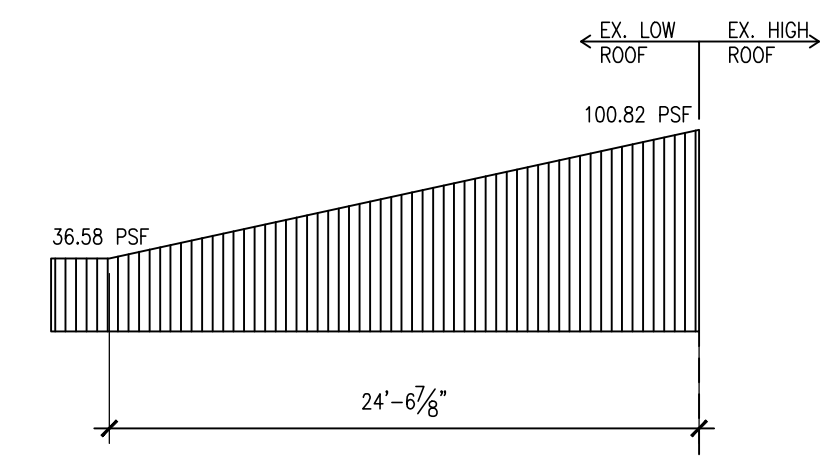
3 PART ROOF FRAMING PLAN
 3/8" = 1'-0"

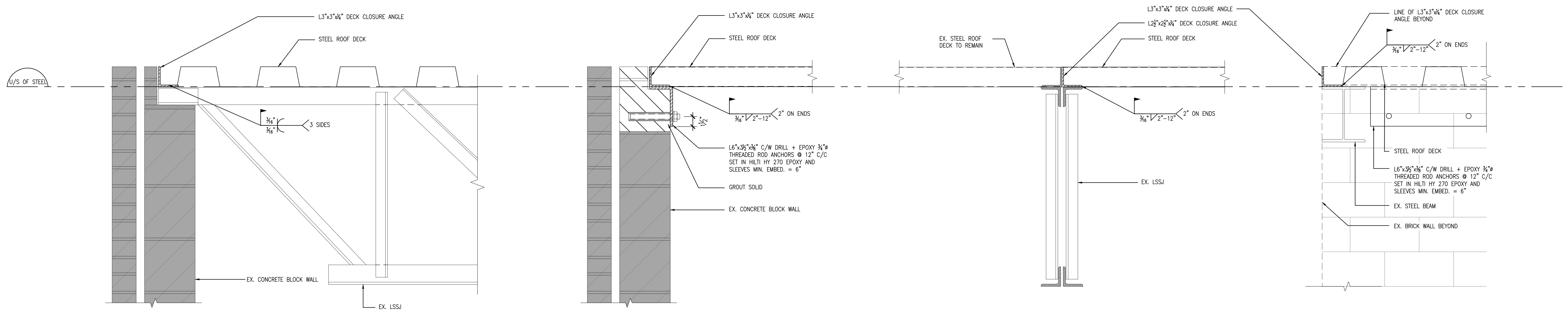


2 HIGH ROOF ROOF FRAMING PLAN
 1/4" = 1'-0"



1 CAFETERIA ROOF FRAMING PLAN
 1/8" = 1'-0"



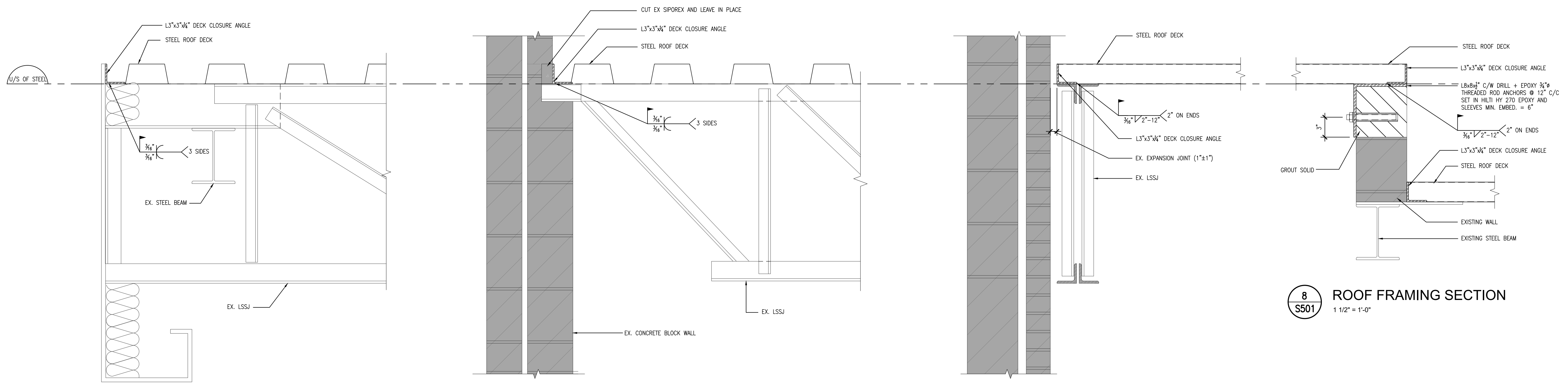


1
S501 ROOF FRAMING SECTION
1 1/2" = 1'-0"

2
S501 ROOF FRAMING SECTION
1 1/2" = 1'-0"

3
S501 ROOF FRAMING SECTION
1 1/2" = 1'-0"

7
S501 ROOF FRAMING SECTION
1 1/2" = 1'-0"

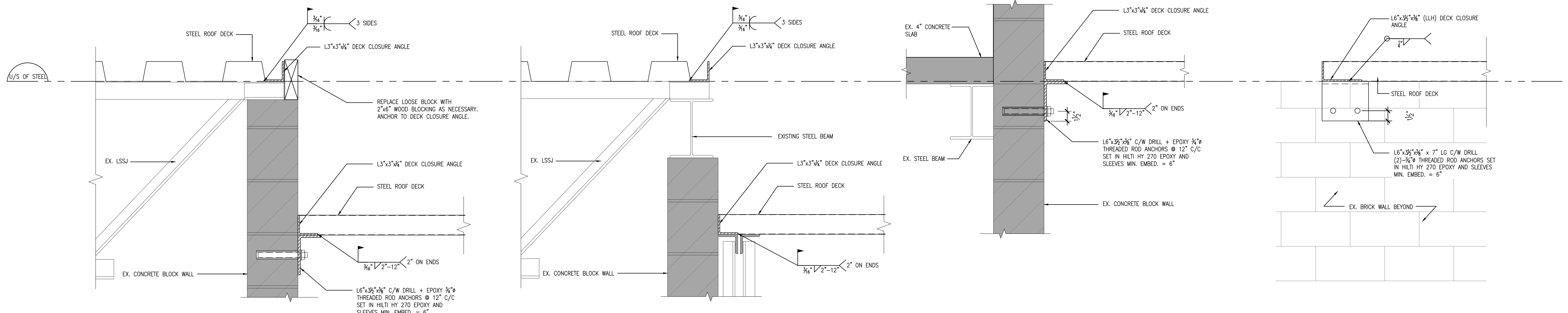


4
S501 ROOF FRAMING SECTION
1 1/2" = 1'-0"

5
S501 ROOF FRAMING SECTION
1 1/2" = 1'-0"

6
S501 ROOF FRAMING SECTION
1 1/2" = 1'-0"

8
S501 ROOF FRAMING SECTION
1 1/2" = 1'-0"



9
S501 ROOF FRAMING SECTION
1 1/2" = 1'-0"

10
S501 ROOF FRAMING SECTION
1 1/2" = 1'-0"

11
S501 ROOF FRAMING SECTION
1 1/2" = 1'-0"

12
S501 ROOF FRAMING SECTION
1 1/2" = 1'-0"

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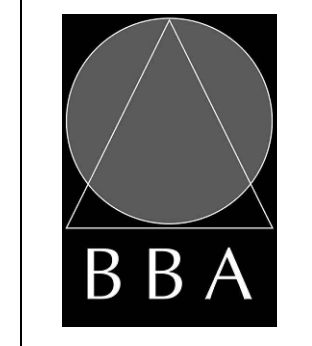
NO.	ISSUES	DATE	BY
1	ISSUED FOR PERMITS/REVIEWER	NOV. 29, 2024	BBA
2	ISSUED FOR PERMIT/ TENDER	NOV. 29, 2024	BBA

NO.	REVISIONS	DATE	BY

PROJECT:
CAFETERIA WING SIPOREX ROOF REPLACEMENT SCHOOL
COURTICE SECONDARY SCHOOL
1717 NASH ROAD
COURTICE, ONTARIO

KPRDSB

DRAWING:
SECTIONS

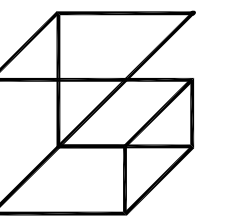


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DRAWN BY: SA
CHECKED BY: SA
DATE: OCTOBER 2024
SCALE: AS NOTED
FILE:

PROJECT NO: **24192**
DRAWING NO: **S501**



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COURTICE SECONDARY SCHOOL CAFETERIA WING SIPOREX ROOF REPLACEMENT

1717 NASH ROAD
COURTICE, ON L1E 2L8

MECHANICAL DRAWINGS

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This drawing shall be read in conjunction with the architectural, structural, electrical and all other consultant's drawings prior to proceeding with the work. Do not scale the drawings.
The contractor is to verify and accept responsibility for all dimensions and conditions on site and must notify GIALONARDO ENGINEERING INC. of any variations from the drawings.

NO.	ISSUES	DATE	BY
1	ISSUED FOR REVIEW	OCT. 30, 2024	GG
2	ISSUED FOR 90% REVIEW	NOV. 08, 2024	GG
3	ISSUED FOR TENDER	NOV. 29, 2024	GG

NO.	REVISIONS	DATE	BY

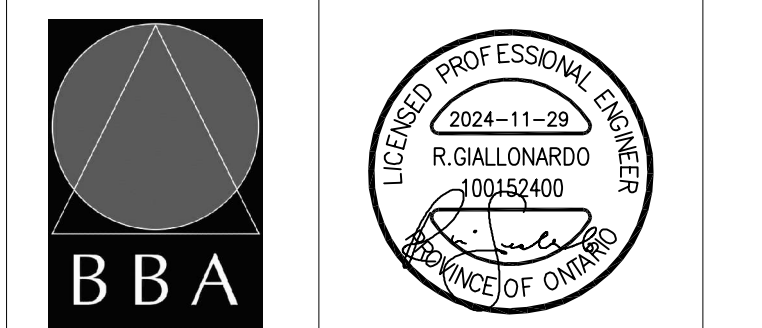
PROJECT:
**CAFETERIA WING SIPOREX
ROOF REPLACEMENT**

COURTICE SECONDARY SCHOOL
1717 NASH ROAD

COURTICE, ONTARIO
KAWARTHA PINE RIDGE DISTRICT SCHOOL BOARD

DRAWING:
TITLE SHEET

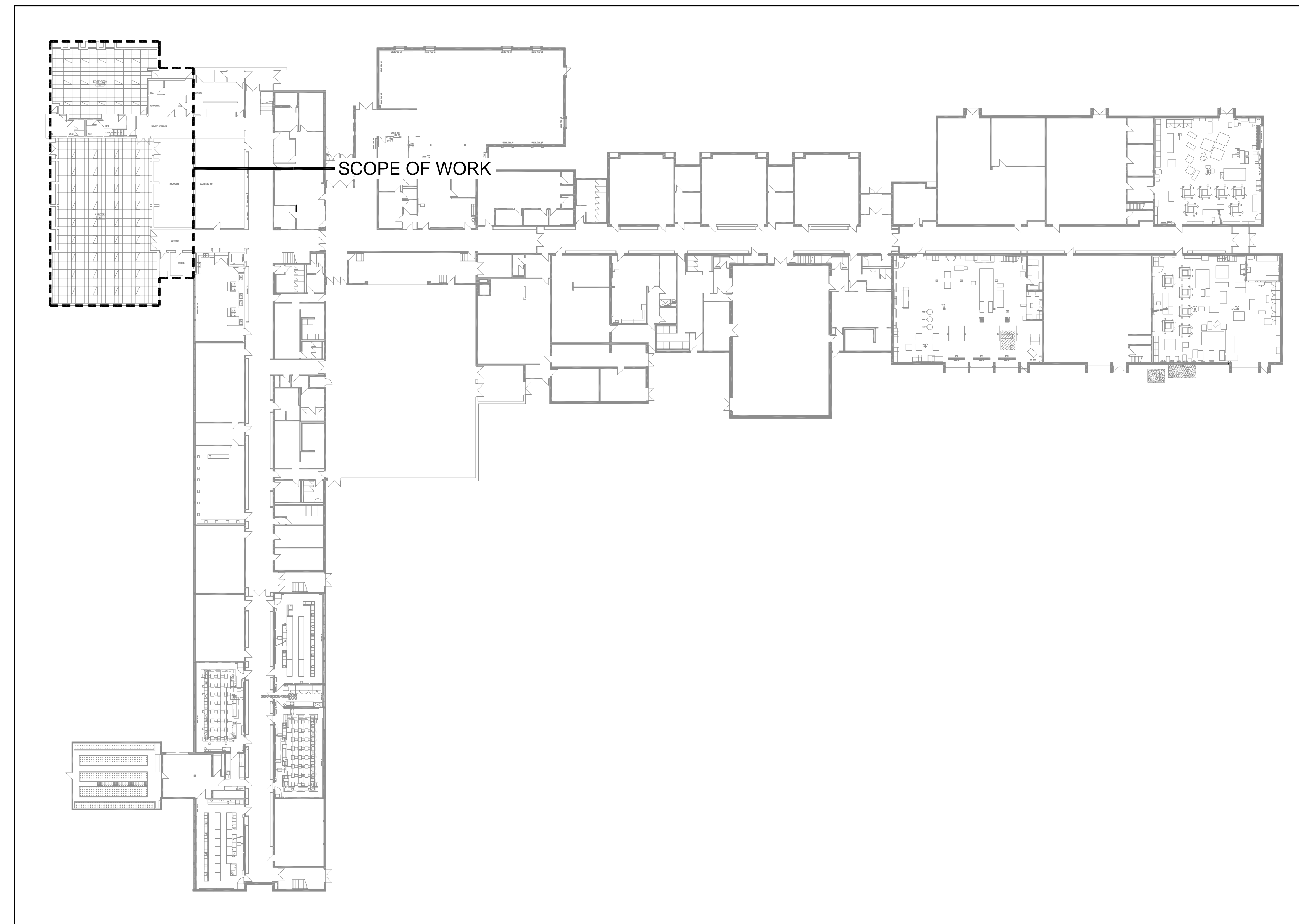
DRAWING LIST	
DWG. NO.	DRAWING NAME
M-0	TITLE SHEET
M-1.1	MECHANICAL LEGEND AND SPECIFICATIONS I
M-1.2	MECHANICAL SPECIFICATIONS II AND DETAILS
M-2.1	ROOF, GROUND AND PENTHOUSE PLAN - MECHANICAL DEMOLITION
M-2.2	ROOF, GROUND AND PENTHOUSE PLAN - MECHANICAL NEW



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DESIGN BY: JH	DOC CONTROL: DATE:
DRAWN BY: RC	% COMPLETE:
CHECKED BY:	INITIAL:
DATE: OCTOBER 2024	
SCALE: AS SHOWN	
FILE:	

PROJECT NO: **24-175** DRAWING NO: **M-0**



1 KEYPLAN
M-0 NTS

Table with 2 columns: Symbol and Description. HVAC LEGEND. Includes items like EXISTING DUCTWORK/EQUIPMENT, NEW RIGID DUCTWORK, SUPPLY AIR DUCTWORK UP, RETURN AIR DUCTWORK UP, THERMOSTAT, CARBON DIOXIDE SENSOR, WALL SWITCH, FAN-POWERED TERMINAL UNIT, CABINET EXHAUST FAN, ELECTRIC DUCT HEATER, BASEBOARD HEATER, UNIT HEATER, DUCTWORK WITH ACOUSTIC OR THERMAL INSULATION, CONTINUATION OF DUCTWORK/PIPING, EXISTING CONTROL WIRING, NEW CONTROL WIRING, SPIN-ON DUCT CONNECTION WITH BALANCING DAMPER, DRAWING NOTE, ROUND SUPPLY AIR DIFFUSER, LOUVERED FACE SUPPLY/RETURN GRILLE, CAP ON DUCTWORK, BRANCH ON DUCTWORK.

Table with 2 columns: Symbol and Description. PLUMBING LEGEND. Includes items like EX-SAN ABOVE GROUND SANITARY DRAINAGE PIPING, SAN ABOVE GROUND SANITARY DRAINAGE PIPING, UNDERGROUND SANITARY DRAINAGE PIPING, EX-STM ABOVE GROUND STORM DRAINAGE PIPING, EX-STM EXISTING UNDERGROUND STORM DRAINAGE PIPING, EX-V EXISTING ABOVE GROUND VENT PIPING, EX-V EXISTING UNDERGROUND VENT PIPING, EX-CD EXISTING CONDENSATE DRAINAGE PIPING, EX-G EXISTING GAS PIPING, HD HUB DRAIN, AD AREA DRAIN, RD ROOF DRAIN, CB CATCH BASIN, CO BURIED CLEANOUT, CO EXPOSED CLEANOUT, SANITARY 'P' TRAP, VTR VENT THROUGH ROOF, CAP ON PIPING, DRAWING NOTE, ISOLATION VALVE, PIPING DROPDOWN, WATER METER.

Table with 1 column: Text. GENERAL SPECIFICATIONS. Section 1: GENERAL. 1.1. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH LATEST EDITION OF THE ONTARIO BUILDING CODE, CSA, ASHRAE, NFPA, ETC. 1.2. THE FOLLOWING SPECIFICATIONS FORM AN ESSENTIAL PART OF THE CONTRACT DOCUMENTS. 1.3. FOR THE PURPOSE OF THESE SPECIFICATIONS, DRAWINGS AND CONTRACT DOCUMENTS, THE WORD 'PROVIDE' REFERS TO THE SUPPLY, INSTALLATION AND TESTING OF THE RESPECTIVE EQUIPMENT/COMPONENTS. 1.4. CONTRACTOR IS TO REPORT ALL APPARENT DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS OF ALL DIVISIONS PRIOR TO TENDER SUBMISSION. 1.5. ALL DIV.23 WORK SHALL BE COORDINATED AND SCHEDULED WITH ALL OTHER DIVISIONS. 1.6. THIS CONTRACTOR SHALL VISIT THE SITE AND COMPLETELY INVESTIGATE AND UNDERSTAND THE EXISTING CONDITIONS AND THEIR RELATION TO THE DESIGN DRAWINGS/DOCUMENTS. 1.7. PROVIDE NEW MATERIALS AND EQUIPMENT OF ACCEPTABLE QUALITY THAT ARE MANUFACTURED IN CANADA OR THE UNITED STATES AND BEAR THE APPROVAL OF RECOGNIZED NORTH AMERICAN STANDARD ASSOCIATIONS SUCH AS CSA, ASME, ETC. 1.8. ALL EQUIPMENT, MATERIALS, ETC. SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS. 1.9. THE MECHANICAL DRAWINGS DISPLAY A GENERAL DESIGN AND INSTALLATION. THEREFORE THE CONTRACTOR SHALL OBTAIN CLARIFICATION FROM THE CONSULTANT PRIOR TO INSTALLATION. 1.10. THESE DRAWINGS HAVE BEEN PREPARED FOR DIV.23 AND DO NOT ACCURATELY DISPLAY ALL ELECTRICAL, STRUCTURAL AND ARCHITECTURAL ELEMENTS. 1.11. IN NO CASE SHALL THESE DRAWINGS BE SCALED. ALL ROUND-IN'S SHALL BE COORDINATED WITH OTHER DIVISIONS. 1.12. DO NOT PROCEED WITH WORK OUTSIDE THE SCOPE OF THE DESIGN DRAWINGS AND SPECIFICATIONS WITHOUT WRITTEN CONSENT FROM THE OWNER. THIS APPLIES TO ALL DIV.23 CHANGE NOTICES AS ISSUED BY THE CONSULTANT. 1.13. IN REGARDS TO DIV.23 CHANGE NOTICES, CONTRACTOR SHALL PROVIDE A BREAKDOWN INCLUDING, BUT NOT LIMITED TO, MATERIALS, LABOUR, MARK-UP, ETC. QUOTATIONS SHALL BE BASED ON ALLPRISER FOR EQUIPMENT AND THE MECHANICAL CONTRACTORS OF AMERICA, SMOCON, AND NATIONAL ELECTRICAL CONTRACTORS FOR LABOUR RATES. 1.14. WHERE EQUIPMENT HAS BEEN PRE-PURCHASED, DIV.23 SHALL ACCEPT ALL RESPONSIBILITY FOR EQUIPMENT DELIVERY, INSTALLATION, TESTING AND WARRANTY, SIMILAR TO AS IF THE EQUIPMENT WAS PURCHASED BY DIV.23. 1.15. THE CONTRACTOR SHALL WARRANTY ALL MATERIALS, EQUIPMENT, INSTALLATION AND QUALITY OF WORKMANSHIP FOR A MINIMUM OF ONE (1) YEAR UNLESS OTHERWISE NOTED. 1.16. IT IS THE MECHANICAL CONTRACTOR'S RESPONSIBILITY TO PAY FOR ALL CHARGES AND DAMAGES ASSOCIATED WITH EQUIPMENT THAT IS NOT PROVIDED AS SPECIFIED AND INCLUDES NOT MEETING THE MANUFACTURER'S RATINGS, PUBLISHED DATA AND/OR THE APPLICABLE GOVERNING STANDARDS. 1.17. THE CONTRACTOR MAY SUBMIT FOR ALTERNATE MATERIALS AND EQUIPMENT ONLY WHEN THE SPECIFIED ARE NOT AVAILABLE OR WILL ADVERSELY IMPACT THE COMPLETION SCHEDULE. THE CONTRACTOR SHALL COMPENSATE THE CONSULTANT FOR THEIR TIME REQUIRED TO REVIEW THE ALTERNATE SUBMITTALS. 2. SUBMITTALS 2.1. THE CONTRACTOR SHALL SUBMIT THREE (3) HARD COPIES OF MECHANICAL SHOP DRAWINGS TO THE CONSULTANTS FOR REVIEW. ELECTRONIC SUBMISSION OF SHOP DRAWINGS SHALL BE DEEMED ACCEPTABLE UPON APPROVAL FROM CONSULTANT. THE CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH THE DOCUMENT SUBMITTAL PROCESS. 2.2. ALL SHOP DRAWINGS SUBMITTED FOR REVIEW MUST BEAR THE REVIEW STAMP OF THE MECHANICAL CONTRACTOR. SHOP DRAWINGS THAT DO NOT BEAR THE CONTRACTOR'S STAMP WILL, WITHOUT QUESTION, BE REJECTED BY THE CONSULTANT. 2.3. SHOP DRAWINGS SHALL INCLUDE ALL INFORMATION REQUIRED FOR THE CONSULTANT TO PERFORM A REASONABLE REVIEW OF THE SUBMITTALS AS THEY PERTAIN TO THE MECHANICAL DESIGN DRAWINGS AND SPECIFICATIONS. 2.4. SHOP DRAWINGS SHALL HAVE THE SAME IDENTIFYING NUMBER AS NOTED IN THE MECHANICAL DRAWINGS. 2.5. PROVIDE SHOP DRAWINGS WITH TECHNICAL SUBMITTALS ON ALL TYPES OF INSULATION TO BE INSTALLED. 2.6. THE CONTRACTOR SHALL MAINTAIN ON SITE ONE (1) RECORD OF MECHANICAL DRAWINGS THAT SHALL INDICATE WITH RED LINES ALL PROJECT CONDITIONS, LOCATIONS, CONFIGURATIONS AND ANY OTHER CHANGES OR DEVIATIONS WHICH MAY VARY FROM THE ORIGINAL CONTRACT DOCUMENTS AND DRAWINGS. IN ADDITION, THIS SET SHALL INCLUDE REVISIONS AS A RESULT OF ALL ADDENDAS, CHANGE NOTICES, SITE INSTRUCTIONS, ETC. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL SUBMIT TO THE OWNER AND ENGINEER ONE (1) COPY EACH OF A HARDCOPY AND ELECTRONIC COPY (PDF) FOR REVIEW. ONE (1) SET OF BOTH COPIES SHALL ALSO BE INCLUDED IN THE CLOSEOUT DOCUMENT PACKAGE. 2.7. TWO (2) COPIES OF OPERATION AND MAINTENANCE MANUALS SHALL BE SUBMITTED TO THE CONSULTANT FOR REVIEW UPON PROJECT COMPLETION. THE MANUALS SHALL CONTAIN THE FOLLOWING WHERE APPLICABLE: - DESCRIPTION OF EACH SYSTEM - DESCRIPTION OF EACH MAJOR COMPONENT OF SYSTEM - ALL SHOP DRAWINGS WITH APPROVAL STAMPS - EQUIPMENT MANUFACTURER'S INSTALLATION AND OPERATION MANUALS AND SPARE PARTS LIST - WIRING DIAGRAMS - LUBRICATION SCHEDULE - EQUIPMENT IDENTIFICATION LIST WITH SERIAL NUMBERS - VALVE TAG SCHEDULES AND FLOW DIAGRAMS - FINAL AND REVIEWED BALANCING REPORTS (AIR AND WATER) - WATER TREATMENT PROCEDURE AND TESTS - CONTROL DRAWINGS AND SEQUENCES OF OPERATION - AS-BUILT DRAWINGS (HARDCOPY AND ELECTRONIC) - WARRANTY DOCUMENTATION 3. EXECUTION 3.1. PERIODIC INSPECTIONS OF THE WORK WILL BE CONDUCTED OVER THE COURSE OF THE PROJECT. ALL REPORTED DEFICIENCIES SHALL BE RECTIFIED BY THE CONTRACTOR IN A TIMELY FASHION. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR NOT MEETING THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. 3.2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL INSPECTIONS WITH CITY AND/OR MUNICIPAL OFFICIALS AND ALL OTHER

Table with 1 column: Text. GENERAL SPECIFICATIONS. AUTHORITIES HAVING JURISDICTION. 3.3. IN REGARDS TO TEMPORARY SERVICES, PROVIDE, AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION, TEMPORARY FIRE PROTECTION SYSTEMS. 3.4. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, PATCHING AND RESTORATION WHERE REQUESTED, THE CONTRACTOR SHALL CONTRACT THE SERVICES OF THE BASE BUILDING TRADES AT DIV.23 EXPENSE. 3.5. PROVISIONS SHALL BE MADE FOR THE PROTECTION OF DIV.23 WORK UNTIL THE COMPLETION OF THE PROJECT. THIS MAY INCLUDE, BUT NOT LIMITED TO, COVERING OF EQUIPMENT OPENINGS AND DUCTWORK, PLUMBING FIXTURES, FLOOR DRAINS, ETC. 3.6. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL MAKE ALL FINAL ADJUSTMENTS TO EQUIPMENT AS WELL AS REMOVE ALL PROTECTION. ALL INSTALLATIONS SHALL BE CLEANED THOROUGHLY AND TESTED FOR PROPER OPERATION. 3.7. IN REGARDS TO INTERRUPTION OF SERVICES, THE CONTRACTOR SHALL CARRY OUT THEIR WORK IN A MANNER THAT CAUSES THE LEAST DISTURBANCE TO THE OWNER. PROVIDE NOTIFICATION TO THE OWNER IN WRITING WITH AT LEAST 72 HOURS OF THE SCHEDULED INTERRUPTION. 3.8. ARRANGE AND PAY FOR THE SAFE DISPOSAL OF REMOVED ITEMS AS SPECIFIED. PROVIDE PROOF OF SAFE DISPOSAL FOR ITEMS SUCH AS HVAC REFRIGERANT. COORDINATE THE TIME AND METHOD OF DISPOSAL WITH THE OWNER. FOR EXAMPLE, CLEARLY INDICATE THE ROUTE THAT WILL BE TAKEN FROM THE INSIDE OF THE BUILDING TO THE OUTDOORS, AS WELL AS THE STORAGE LOCATION OUTDOORS IF APPLICABLE. 3.9. WHERE COMPONENTS ARE TO BE REUSED, THE CONTRACTOR SHALL CLEAN AND TEST THE COMPONENT TO ENSURE PROPER OPERATION. THE CONSULTANT SHALL BE NOTIFIED IN THE EVENT THERE IS A DEFICIENCY WITH THE COMPONENT. 3.10. PERFORM WORK SO AS TO CAUSE MINIMAL DISTURBANCE TO OWNER AND/OR ADJACENT AREAS. MINIMIZE DUST AND NOISE AND PROVIDE TEMPORARY AIR FILTERS ON AIR HANDLING SYSTEMS AFFECT BY THE AREA OF WORK. ALL COSTS ASSOCIATED WITH DAMAGES AS A RESULT OF THE MECHANICAL INSTALLATION SHALL BE COVERED BY DIV.23. MAINTAIN SAFETY STANDARDS AND PROVIDE ADEQUATE SIGNAGE FOR BOTH WORKERS AND OCCUPANTS. 3.11. WHERE CUTTING OR CORE DRILLING OF THE EXISTING CONCRETE STRUCTURE IS REQUIRED, THE MECHANICAL CONTRACTOR SHALL CONTRACT THE SERVICES OF AN EXPERIENCED AND REPUTABLE COMPANY TO CARRY OUT X-RAYING. THE RESULTS SHALL BE SUBMITTED TO THE BASE BUILDING STRUCTURAL ENGINEER AND NOT CUTTING OR CORING SHALL TAKE PLACE UNTIL WRITTEN APPROVAL IS RECEIVED. THE CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST TO PERFORM X-RAYING WITH AT LEAST 72 HOURS IN ADVANCE. 4. IDENTIFICATION OF MECHANICAL SERVICES 4.1. PROVIDE SMS WRAP-MARK ON ALL PIPE COVERINGS WITH FLOW ARROW AND ALTERNATING WORDING. COVERING COLOURS SHALL MATCH BASE BUILDING. IN THE CASE WHERE THERE IS NO EXISTING STANDARD, INDUSTRY STANDARDS SHALL BE FOLLOWED. 4.2. USE STENCILS AND STENCIL PAINT ON DUCTWORK AND DUCTWORK INSULATION WITH BLACK CAPITALIZED LETTERS 2" (50 MM) HIGH AND SOLID BLACK FLOW ARROWS. 4.3. IDENTIFICATION OF PIPING AND DUCTWORK SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS: - AT LEAST ONCE IN EACH ROOM - AT EACH PIECE OF EQUIPMENT - AT EACH BRANCH CLOSE TO THE CONNECTION POINT AT MAIN - AT NOT GREATER INTERVALS OF 50 FT. (15 M) ON STRAIGHT RUNS OF EXPOSED PIPING AND DUCTWORK. - AT ENTRY AND LEAVING POINT TO PIPE AND DUCT CHASES, OR OTHER CONCEALED SPACES - BOTH SIDES WHERE PIPING AND DUCTWORK PASSES THROUGH WALL, PARTITIONS AND FLOORS - ON VERTICAL PIPES AND DUCTS APPROXIMATELY 6 FT. (1800 MM) A.F.F. - BEHIND EACH ACCESS DOOR AND PANEL 4.4. PROVIDE IDENTIFICATION FOR PIPING CONTAINING ELECTRICAL HEAT TRACING. 4.5. TAG ALL VALVES, EXCEPT SMALL VALVES ISOLATING EQUIPMENT, WITH BRASS TAGS AND HIGH DIE-STAMPED BLACK LETTERS ATTACHED TO VALVES WITH 4" BRASS CHAINS. 4.6. PROVIDE IDENTIFICATION FOR ALL NEW EQUIPMENT, STARTERS AND REMOTE CONTROL DEVICES WITH LAMACODI LABELS ENGRAVED WITH WHITE LETTERING AND A BLACK BACKGROUND. THE MINIMUM LETTERING SIZE SHALL BE 3/8" (10 MM). 5. ACCESS DOORS AND PANELS 5.1. PROVIDE ADEQUATE ACCESS TO CONCEALED EQUIPMENT AND COMPONENTS THAT REQUIRE ACCESS FOR MAINTENANCE, ADJUSTMENT AND INSPECTION. PROVIDE MARKING TO THE OWNER'S SATISFACTION THE LOCATIONS WHERE CONCEALED EQUIPMENT IS LOCATED. 5.2. ENSURE THAT THE SIZE OF THE DOOR COMPLIES WITH THE MANUFACTURER'S SUGGESTED ACCESS REQUIREMENTS. 5.3. COORDINATE ALL ACCESS DOOR AND PANEL SIZES AND LOCATIONS WITH ARCHITECT/INTERIOR DESIGNER. 6. FLASHING, CURBS AND CONCRETE 6.1. FLASHING SHALL BE CARRIED OUT AS SHOWN ON ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS AT THE EXPENSE OF DIV.23. 6.2. ALL CURBS REQUIRED FOR MECHANICAL EQUIPMENT SHALL BE CARRIED OUT AS SHOWN ON ARCHITECTURAL AND/OR MECHANICAL DRAWINGS AT THE EXPENSE OF DIV.23. CURBS SHALL BE INSTALLED AT LEAST 14" ABOVE THE ROOF LEVEL. 6.3. PREMANUFACTURED EQUIPMENT CURBS SHALL BE SUPPLIED BY THE EQUIPMENT MANUFACTURER. 6.4. PROVIDE 4" (100 MM) THICK CONCRETE HOUSEKEEPING PADS WHERE INDICATED ON ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS. 7. FIRESTOPPING 7.1. PROVIDE FIRE STOPPING SYSTEMS AND PRODUCTS FOR ALL DUCTS, PIPING, ETC. PENETRATING FIRE SEPARATIONS THAT ARE ULC LISTED AND COMPLY WITH CAN4-S115S AND THE AUTHORITIES HAVING JURISDICTION. 7.2. MAINTAIN ALL FLOOR AND WALL FIRE RATINGS TO COMPLY WITH BASE BUILDING STANDARDS AND THE AUTHORITIES HAVING JURISDICTION. 8. PIPE, DUCT AND EQUIPMENT INSTALLATION 8.1. INSTALL ALL PIPING, DUCTWORK AND EQUIPMENT TO PROVIDE ADEQUATE CLEARANCES FOR SERVICING AS WELL AS MAXIMUM USABLE SPACE FOR ALL OTHER DIVISIONS. 8.2. INSTALL PIPING AND DUCTWORK STRAIGHT, IN A NEAT AND CLEAN FASHION AND TIGHT TO STRUCTURES ABOVE (UNLESS OTHERWISE NOTED). 8.3. TAKE MEASURES TO PROTECT COPPER PIPING CORROSION FROM CONTACT WITH DISSIMILAR METALS. 9. HANGERS AND SUPPORTS

Table with 1 column: Text. GENERAL SPECIFICATIONS. 9.1. PROVIDE HANGER SYSTEMS FOR ALL DUCTWORK, PIPING AND EQUIPMENT TO RENDER A SAFE AND FUNCTIONAL INSTALLATION. HANGER RODS SHALL BE ATTACHED DIRECTLY TO THE STRUCTURE AND IN NO WAY SHALL BE ATTACHED TO OTHER MECHANICAL COMPONENTS OR CEILING SYSTEMS. 9.2. FOR GENERAL CONDITIONS, PROVIDE ROUND STEEL THREADED RODS CONFORMING TO ASTM A-36. WHERE SPECIAL CONDITIONS EXIST, SUCH AS HIGH HUMIDITY OR EXPOSURE TO ELEMENTS, PROVIDE HANGER COMPONENTS TO SUIT. 9.3. IN REGARDS TO ALL PIPING, PROVIDE SUPPORTS AT CONNECTION (SUCH AS HUB) AND AT EVERY CHANGE IN DIRECTION. 10. STRUCTURAL AND SEISMIC 10.1. WHERE THERE IS NO STRUCTURAL DIVISION AS PART OF THE PROJECT, IT SHALL BE THE MECHANICAL CONTRACTOR'S RESPONSIBILITY TO PROVIDE STRUCTURAL REINFORCING FOR ALL DIV.23 INSTALLATIONS. 10.2. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE THE REQUIREMENTS FOR SEISMIC BRACING AND SUPPORTS WITH STRUCTURAL DRAWINGS. 11. ELECTRICAL 11.1. ALL ELECTRICAL MOTORS, STARTERS, CONTACTORS, DISCONNECT SWITCHES AND CONTROL DEVICES FOR DIV.23 WORK SHALL BE PROVIDED BY DIV.23. 11.2. DIV.26 SHALL BE RESPONSIBLE FOR POWERING LOAD SIDE OF STARTERS AND CONTACTORS. 11.3. ALL LOW VOLTAGE WIRING AND CONNECTION IS TO BE PROVIDED BY THE MECHANICAL CONTRACTOR. 11.4. WHERE THERE IS NO DIV.26 (ELECTRICIAN) AS PART OF THE PROJECT, THE MECHANICAL CONTRACTOR SHALL CONTRACT THE SERVICES OF A LICENSED ELECTRICAL CONTRACTOR AND OBTAIN THE APPROPRIATE INSPECTIONS AND APPROVALS FOR THE INSTALLATION OF ALL ELECTRICAL WORK REQUIRED FOR MECHANICAL SYSTEMS. 12. PROJECT CLOSEOUT 12.1. PRIOR TO THE ISSUING OF A PROJECT COMPLETION NOTICE OR A SIGN-OFF LETTER, THE FOLLOWING DOCUMENTS, AT A MINIMUM, MUST BE PROVIDED TO THE ENGINEER FOR REVIEW: - AIR BALANCING REPORT - NFPA-13 LETTER - APPLICABLE SYSTEM/EQUIPMENT TESTING REPORT



Giallonardo Engineering Inc. 228-4558 Highway 7 Woodbridge, ON L4L 4Y7 (905) 265-1052 info@gei.ca | onardoenr.com www.giallonardoeng.com

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Table with 4 columns: NO., ISSUES, DATE, BY. Revision table for the drawing.

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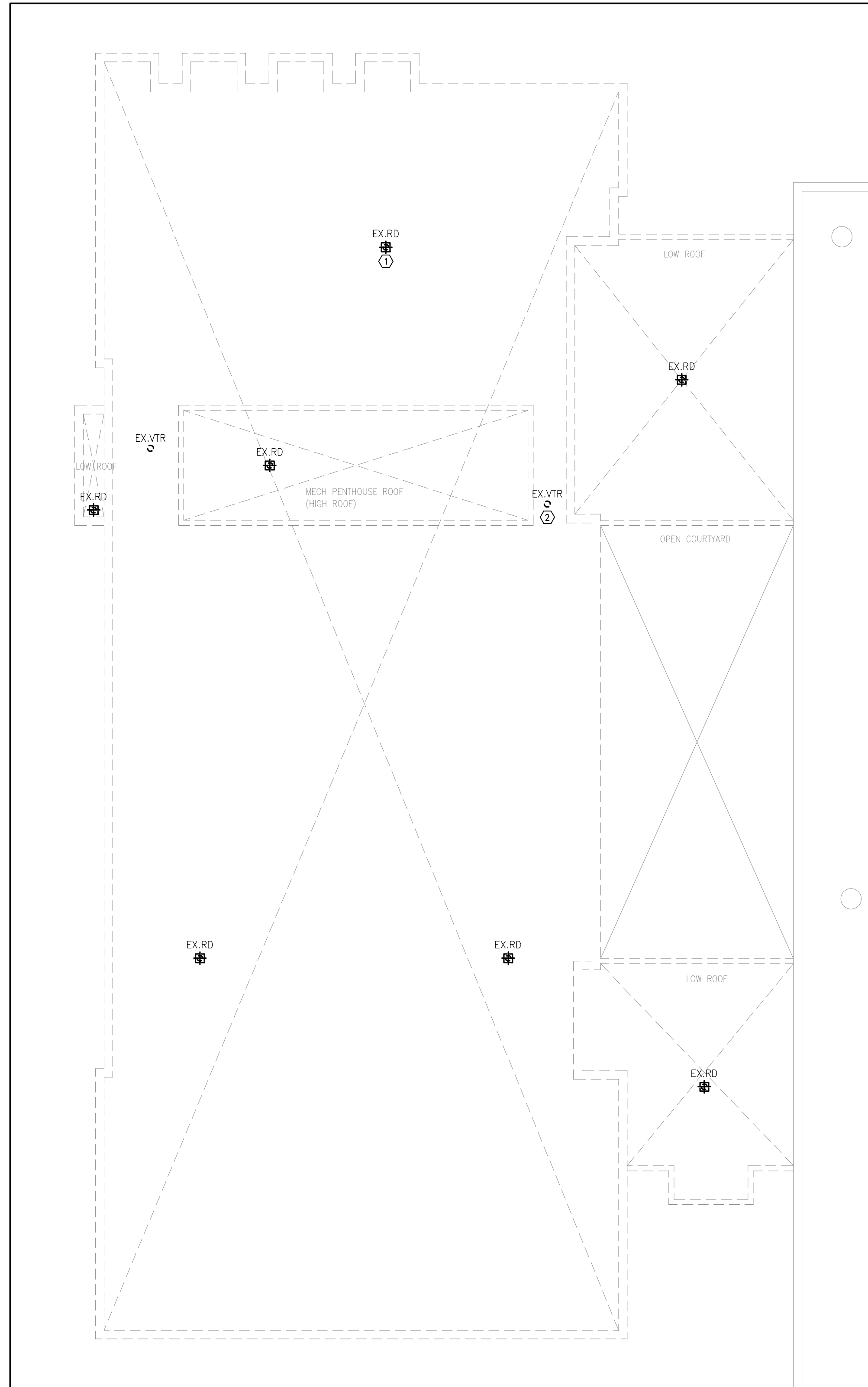
PROJECT: CAFETERIA WING SIPOREX ROOF REPLACEMENT

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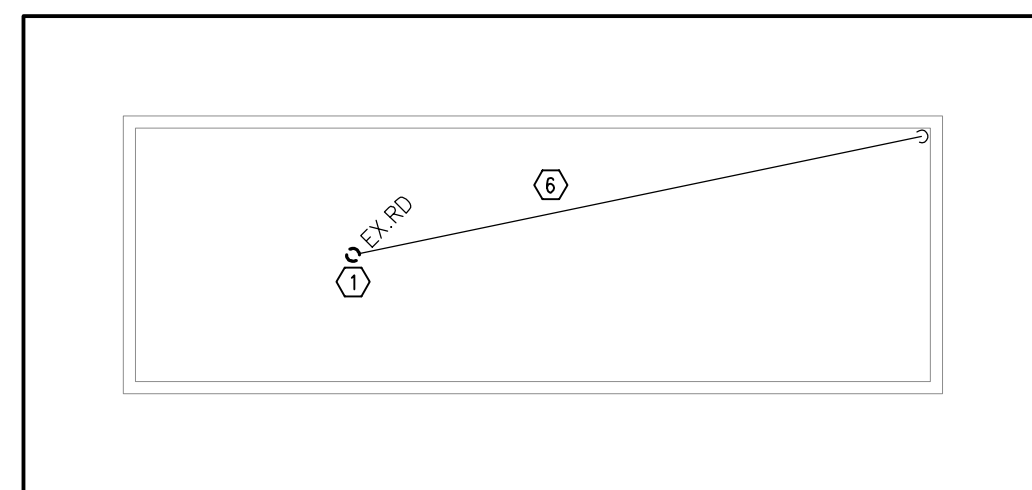
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DRAWING: MECHANICAL LEGEND AND SPECIFICATIONS I

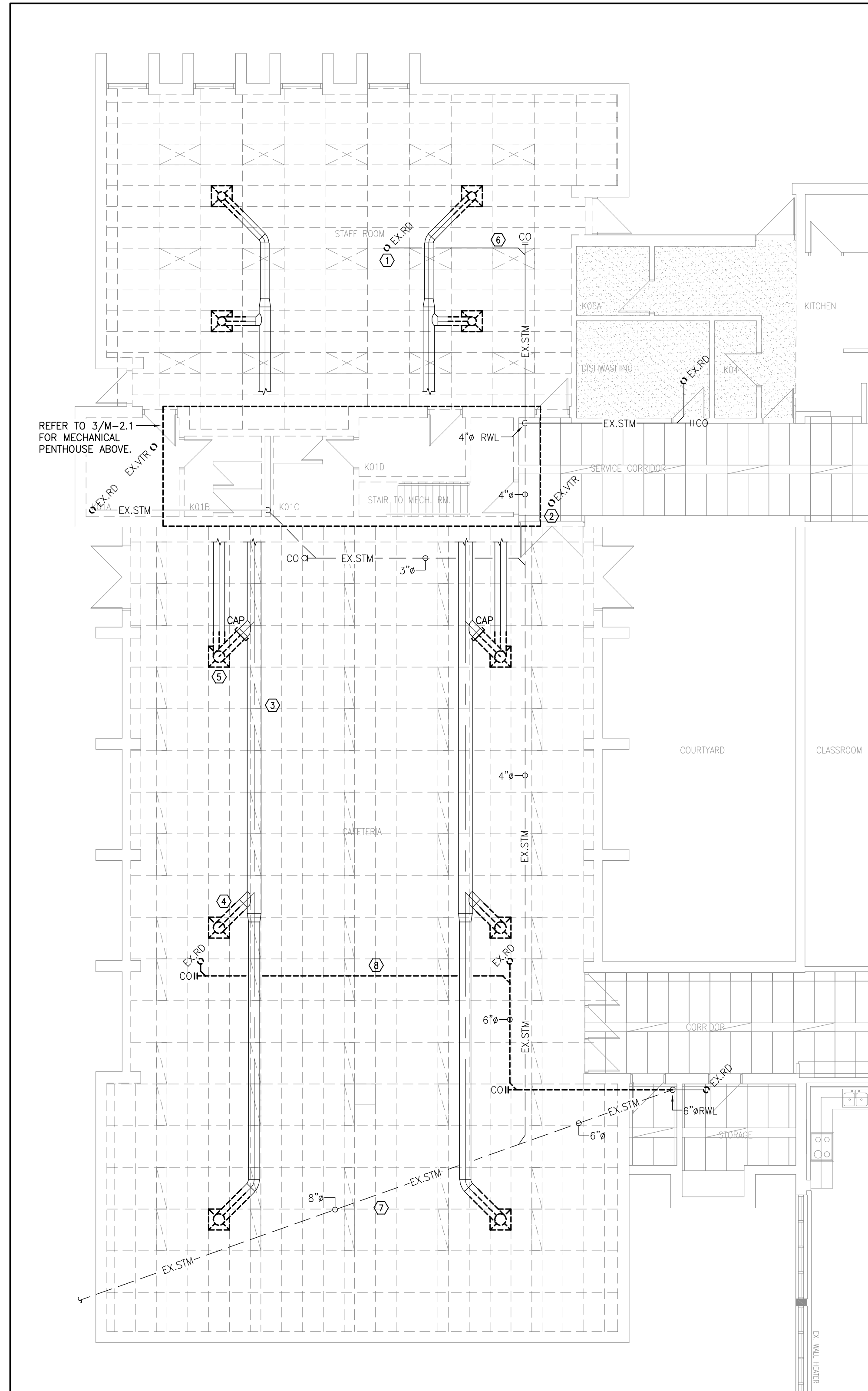
BARRY BRYAN ASSOCIATES Architects Engineers Project Managers. Design by: JB, Drawn by: RC, Checked by: [blank]. Date: OCTOBER 2024, Scale: AS SHOWN. BBA logo and professional engineer seal for Barry Bryan, License No. 2024-11-29.



1 PART ROOF PLAN - MECHANICAL DEMOLITION
1/8" = 1'-0"



3 PENTHOUSE PLAN - MECHANICAL DEMOLITION
1/8" = 1'-0"



2 PART GROUND FLOOR PLAN - MECHANICAL DEMOLITION
1/8" = 1'-0"

DEMOLITION DRAWING NOTES

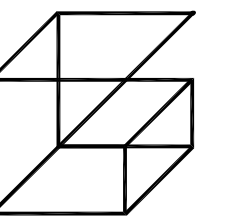
1. EXISTING ROOF DRAIN TO BE REMOVED AND DISPOSED OF. REMOVE STORM DRAINAGE PIPING TO BELOW ROOF STRUCTURE. PREPARE EXISTING STORM DRAINAGE PIPING TO ACCEPT NEW ROOF DRAIN. SUPPORT EXISTING PIPING AS REQUIRED DURING ROOF REPLACEMENT (TYPICAL).
2. EXISTING VENT THROUGH ROOF TO BE REMOVED BACK TO BELOW ROOF STRUCTURE. PREPARE EXISTING VENT PIPING TO ACCEPT NEW VTR. PROVIDE SUPPORTS AS REQUIRED TO FACILITATE ROOF REPLACEMENT. PIPING SHALL BE SUPPORTED FROM STRUCTURAL STEEL AND/OR OWSJ (TYPICAL).
3. EXISTING S/A DUCTWORK TO REMAIN (TYPICAL).
4. EXISTING S/A DUCTWORK TO BE REMOVED AND DISPOSED OF BACK TO WHERE SHOWN. CAP S/A DUCTWORK WHERE INDICATED (TYPICAL).
5. EXISTING S/A SQUARE CONE DIFFUSER TO BE REMOVED AND RETAINED FOR REINSTALLATION WHERE SHOWN ON NEW PLANS. CLEAN DIFFUSER PRIOR TO REINSTALLATION (TYPICAL).
6. EXISTING ABOVE GROUND STORM DRAINAGE PIPING TO REMAIN (TYPICAL).
7. EXISTING BURIED STORM DRAINAGE PIPING TO REMAIN (TYPICAL).
8. EXISTING STORM DRAINAGE PIPING IN CEILING SPACE TO BE REMOVED BACK TO TOP OF 6" RWL WHERE SHOWN. EXISTING RWL TO REMAIN (TYPICAL).

GENERAL NOTES

1. WHERE COMPONENTS ARE TO BE REUSED, THE CONTRACTOR SHALL CLEAN AND TEST THE COMPONENT TO ENSURE PROPER OPERATION. THE CONSULTANT SHALL BE NOTIFIED IN THE EVENT THERE IS A DEFICIENCY WITH THE COMPONENT.
2. PERFORM DEMOLITION WORK SO AS TO CAUSE MINIMAL DISTURBANCE TO OWNER AND/OR ADJACENT AREAS. MINIMIZE DUST AND NOISE AND PROVIDE TEMPORARY AIR FILTERS ON AIR HANDLING SYSTEMS. AFFECT BY THE AREA OF WORK. ALL COSTS ASSOCIATED WITH DAMAGES AS A RESULT OF THE MECHANICAL DEMOLITION SHALL BE COVERED BY DIV.23. MAINTAIN SAFETY STANDARDS AND PROVIDE ADEQUATE SIGNAGE FOR BOTH WORKERS AND OCCUPANTS.
3. THE MECHANICAL DRAWINGS DISPLAY A GENERAL DESIGN AND INSTALLATION. THEREFORE, IF REQUIRED, THE CONTRACTOR SHALL OBTAIN CLARIFICATION FROM THE CONSULTANT PRIOR TO INSTALLATION.
4. THESE DRAWINGS HAVE BEEN PREPARED FOR DIV.23 AND DO NOT ACCURATELY DISPLAY ALL ELECTRICAL, STRUCTURAL AND ARCHITECTURAL ELEMENTS. REFER TO OTHER DIVISION'S DRAWINGS FOR CLARIFICATION.
5. THIS CONTRACTOR SHALL VISIT THE SITE AND COMPLETELY INVESTIGATE AND UNDERSTAND THE EXISTING CONDITIONS AND THEIR RELATION TO THE DESIGN DRAWINGS/DOCUMENTS. NO CONSIDERATION WILL BE GIVEN TO THE CONTRACTOR FOR ANY HINDRANCES TO THE MECHANICAL INSTALLATION FROM SITE CONDITIONS WHICH EXISTED PRIOR TO TENDER SUBMISSION. AS SUCH AND WHERE REQUIRED, THE CONTRACTOR SHALL PROVIDE INTERFERENCE DRAWINGS AND SHALL SUBMIT THEM TO THE CONSULTANT FOR REVIEW.
6. WHERE EXISTING EQUIPMENT IS TO BE REINSTALLED, CONTRACTOR TO SITE MEASURE ALL EXISTING CURBS PRIOR TO DEMOLITION.

CONTROLS NOTES

1. WHERE APPLICABLE, ALL LINE VOLTAGE AND LOW VOLTAGE CONTROLS TO BE DISCONNECTED FOR DEMOLITION AND RECONNECTED UPON REINSTATEMENT OF EQUIPMENT. CONTRACTOR TO TEST GOOD OPERATION OF CONTROLS PRIOR TO PROJECT COMPLETION. PROVIDE REPORT INDICATING THE OUTCOME OF TESTING TO ENGINEER FOR REVIEW.



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NO.	ISSUES	DATE	BY
1	ISSUED FOR REVIEW	OCT. 30, 2024	GG
2	ISSUED FOR 90% REVIEW	NOV. 08, 2024	GG
3	ISSUED FOR TENDER	NOV. 29, 2024	GG

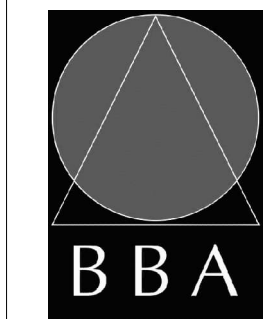
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PROJECT:
CAFETERIA WING SIPOREX ROOF REPLACEMENT

COURTICE SECONDARY SCHOOL
1717 NASH ROAD

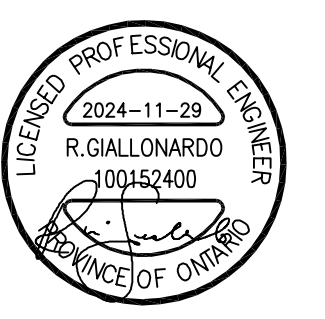
COURTICE, ONTARIO
KAWARTHA PINE RIDGE DISTRICT SCHOOL BOARD

DRAWING:
ROOF, GROUND AND PENTHOUSE PLAN - MECHANICAL DEMOLITION



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DESIGN BY: JH	DOC CONTROL: DATE:
DRAWN BY: RC	% COMPLETE:
CHECKED BY:	INITIAL:

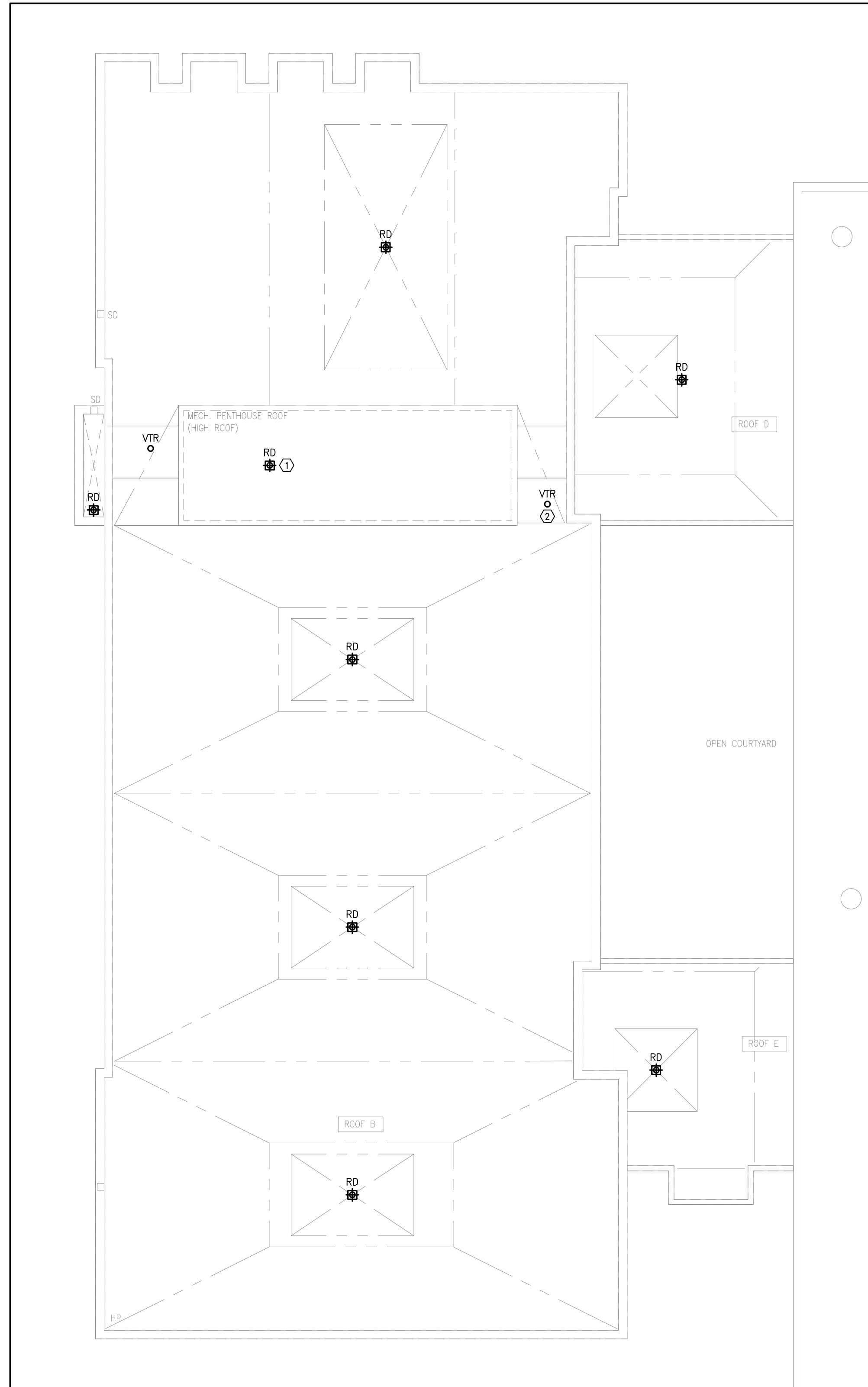
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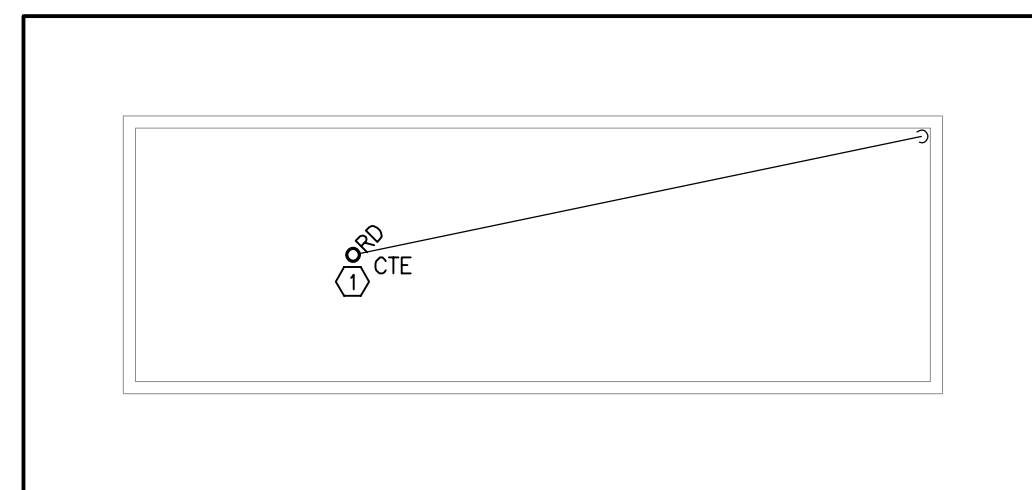
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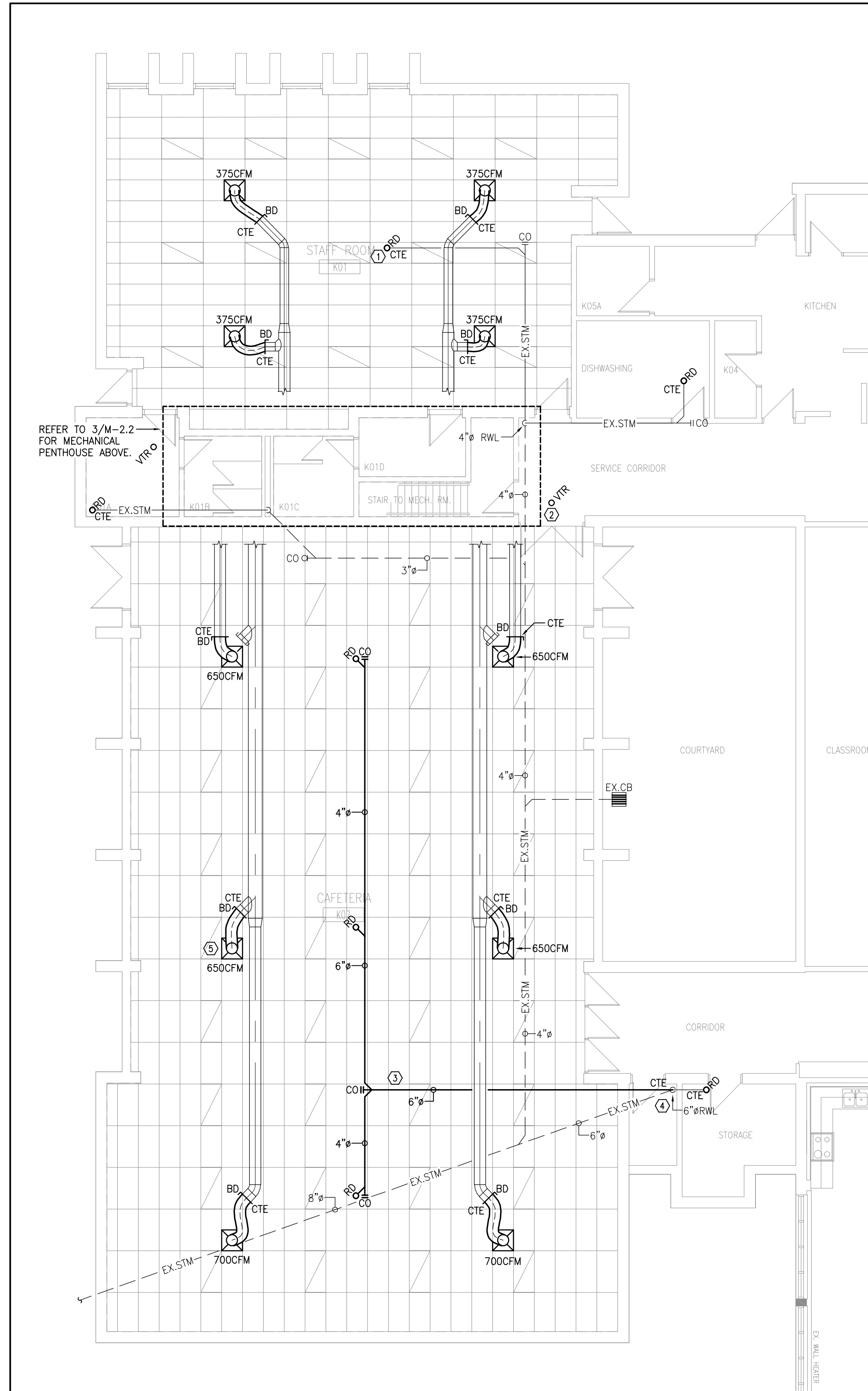
M-2.1



1 PART ROOF PLAN - MECHANICAL NEW
1/8" = 1'-0"



3 PENTHOUSE PLAN - MECHANICAL NEW
1/8" = 1'-0"



2 PART GROUND FLOOR PLAN - MECHANICAL NEW
1/8" = 1'-0"

DRAWING NOTES

1. PROVIDE NEW ROOF DRAIN AS SPECIFIED. CONNECT TO EXISTING STORM DRAINAGE PIPING BELOW. SIZE ROOF DRAIN TO MATCH EXISTING/NEW PIPE SIZE (TYPICAL).
2. PROVIDE NEW VENT THROUGH ROOF SIZED TO MATCH EXISTING. CONNECT TO EXISTING VENT PIPING BELOW. REFER TO DETAILS (TYPICAL).
3. PROVIDE NEW STORM DRAINAGE PIPING SERVING NEW ROOF DRAINS. INSTALL PIPING THROUGH JOIST ANGLES WHERE APPLICABLE. INSULATE PIPING AS PER MECHANICAL SPECIFICATIONS (TYPICAL).
4. CONNECT NEW STORM DRAINAGE PIPING TO EXISTING RWL. MODIFY HEIGHT OF EXISTING RWL AS REQUIRED TO SUIT NEW CONNECTION.
5. REINSTALL EXISTING SQUARE CONE S/A DIFFUSER NEW FLEXIBLE DUCTWORK AND BALANCING DAMPER. CONNECT TO EXISTING DUCTWORK WHERE SHOWN. BALANCE AS INDICATED (TYPICAL).

GENERAL NOTES

1. THE MECHANICAL DRAWINGS DISPLAY A GENERAL DESIGN AND INSTALLATION. THEREFORE, IF REQUIRED, THE CONTRACTOR SHALL OBTAIN CLARIFICATION FROM THE CONSULTANT PRIOR TO INSTALLATION.
2. THESE DRAWINGS HAVE BEEN PREPARED FOR DIV.23 AND DO NOT ACCURATELY DISPLAY ALL ELECTRICAL, STRUCTURAL AND ARCHITECTURAL ELEMENTS. REFER TO OTHER DIVISION'S DRAWINGS FOR CLARIFICATION.
3. THIS CONTRACTOR SHALL VISIT THE SITE AND COMPLETELY INVESTIGATE AND UNDERSTAND THE EXISTING CONDITIONS AND THEIR RELATION TO THE DESIGN DRAWINGS/DOCUMENTS. NO CONSIDERATION WILL BE GIVEN TO THE CONTRACTOR FOR ANY HINDRANCES TO THE MECHANICAL INSTALLATION FROM SITE CONDITIONS WHICH EXISTED PRIOR TO TENDER SUBMISSION. AS SUCH AND WHERE REQUIRED, THE CONTRACTOR SHALL PROVIDE INTERFERENCE DRAWINGS AND SHALL SUBMIT THEM TO THE CONSULTANT FOR REVIEW.

CONTROLS NOTES

1. WHERE APPLICABLE, ALL LINE VOLTAGE AND LOW VOLTAGE CONTROLS TO BE DISCONNECTED FOR DEMOLITION AND RECONNECTED UPON REINSTATEMENT OF EQUIPMENT. CONTRACTOR TO TEST GOOD OPERATION OF CONTROLS PRIOR TO PROJECT COMPLETION. PROVIDE REPORT INDICATING THE OUTCOME OF TESTING TO ENGINEER FOR REVIEW.

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3	ISSUED FOR TENDER	NOV. 29, 2024	GG

NO.	REVISIONS	DATE	BY

PROJECT:
CAFETERIA WING SIPOREX ROOF REPLACEMENT

COURTICE SECONDARY SCHOOL
1717 NASH ROAD

COURTICE, ONTARIO
KAWARTHA PINE RIDGE DISTRICT SCHOOL BOARD

DRAWING:
ROOF, GROUND AND PENTHOUSE PLAN - MECHANICAL NEW

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DESIGN BY: JH	DOC CONTROL: DATE:
DRAWN BY: RC	% COMPLETE:
CHECKED BY:	INITIAL:
DATE: OCTOBER 2024	SCALE: AS SHOWN
FILE:	

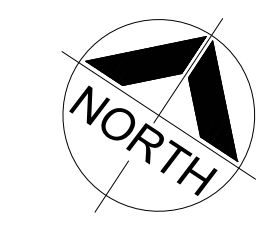
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1	ISSUED FOR REVIEW	NOV 01 2024	
2	ISSUED FOR FINAL REVIEW	NOV 08 2024	
3	ISSUED FOR PERMIT AND TENDER	NOV 21 2024	



NO.	REVISIONS	DATE	BY

DYNAMIC DESIGNS AND ENGINEERING INC.
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 Tel. (905) 841-7278
 dyneng@rogers.com

PROJECT:
**CAFETERIA WING SIPOREX
 ROOF REPLACEMENT**

COURTICE SECONDARY SCHOOL
 1717 NASH ROAD

COURTICE, ONTARIO
 KAWARTHA PINE RIDGE DISTRICT SCHOOL BOARD

DRAWING:
**ELECTRICAL SPEC; LEGEND,
 DRAWING LIST, AND
 DETAILS**



B B A

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24 045

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 DATE: OCTOBER 2024
 SCALE: N.T.S.
 FILE:

PROJECT NO: **24045** DRAWING NO: **E-1**

DRAWING LIST	
DWG. No.	DESCRIPTION
E-1	ELECTRICAL SPEC., LEGEND, DRAWING LIST, AND DETAILS
E-2	GROUND FLOOR VICINITY PLAN ELECTRICAL
E-3	PART GROUND FLOOR DEMOLITION PLAN ELECTRICAL
E-4	PART GROUND FLOOR PROPOSED PLAN ELECTRICAL

3 DRAWING LIST
 E-1 SCALE: N.T.S.

LEGEND	
SYMBOL	DESCRIPTION
	NEW LUMINAIRE. TYPE AS NOTED.
	EXISTING LUMINAIRE TO BE REMOVED.
	TRACK LIGHTING C/W NUMBER OF FIXTURES INDICATED. FLUORESCENT STRIP LIGHT.
	CEILING MOUNTED (RECESSED OR SURFACE) LUMINAIRE.
	WALL MOUNTED LUMINAIRE.
	COMBINATION CEILING MOUNTED EXIT SIGN C/W FACES, ARROWS AND ADJUSTABLE EMERGENCY HEADS.
	WALL MOUNTED EXIT SIGN C/W FACES AND ARROWS AS INDICATED.
	SINGLE POLE LINE VOLTAGE SWITCH.
	3 WAY LIGHT LINE VOLTAGE SWITCH.
	EXHAUST FAN SWITCH C/W PILOT LIGHT.
	LIGHTING OCCUPANCY SENSOR. PASSIVE INFRARED C/W OVERRIDE SWITCH. WALL MOUNTED.
	LIGHTING OCCUPANCY SENSOR. PASSIVE INFRARED C/W OVERRIDE SWITCH. CEILING OR WALL MOUNTED AS SHOWN ON PLAN.
	DIMMER SWITCH. (RATING AND TYPE TO SUIT LOAD). N LIGHT OR EQUAL.
	WALL MOUNTED DUPLEX RECEPTACLE.
	WALL MOUNTED SPLIT RECEPTACLE.
	WALL MOUNTED DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER.
	WALL MOUNTED SINGLE RECEPTACLE VOLTAGE AND AMP AS INDICATED.
	WALL MOUNTED QUAD RECEPTACLE.
	WALL MOUNTED CABLE T.V OUTLET. PROVIDE CABLE T.V JACK, AND COAXIAL CABLE BACK TO I.T. SERVER ROOM.
	WALL MOUNTED TELEPHONE OUTLET.
	FURNITURE MOUNTED DATA OUTLET.
	WALL MOUNTED DATA OUTLET.
	WALL MOUNTED COMBINATION TELEPHONE/DATA OUTLET.
	CEILING MOUNTED WI-FI UNIT.
	POWER POLE WITH DEVICES AS SHOWN.
	DIRECT CONNECTION TO EQUIPMENT AS INDICATED.
	MOTOR CONNECTION.
	UNFUSED DISCONNECT SWITCH.
	PANEL (RECESSED OR SURFACE).
	TRANSFORMER.
	FIRE ALARM SMOKE DETECTOR.
	FIRE ALARM HEAT DETECTOR.
	FIRE ALARM PULL STATION.
	SURFACE FIRE ALARM HORN.
	SURFACE FIRE ALARM HORN/STROBE.
	FIRE ALARM END OF LINE RESISTOR.
	SURFACE EMERGENCY LIGHTING BATTERY UNIT C/W LUMINAIRE(S).
	EMERGENCY LIGHTING REMOTE HEADS DOUBLE, AND SINGLE AS NOTED.
	RECESSED EMERGENCY LIGHTING REMOTE HEAD-ADJUSTABLE.
	RECESSED PAGING SPEAKER.
	RECESSED AUDIO/VISUAL SPEAKER.
	SECURITY KEYPAD.
	SECURITY KEY SWITCH.
	SECURITY MOTION SENSOR.
	SECURITY CARD READER.
	SECURITY DOOR CONTACT.
	SECURITY ELECTRIC STRIKE.
	SECURITY MOTION SENSOR
	SECURITY CAMERA.
	PUSH BUTTON DOOR RELEASE.
	DENOTES REFER TO NOTE N-1.
	DENOTES OVER COUNTER
	DENOTES EXISTING TO REMAIN.
	DENOTES REFER TO DETAIL#6 ON DRAWING #E-1.

2 ELECTRICAL LEGEND
 E-1 SCALE: N.T.S.

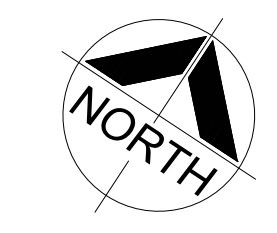
ELECTRICAL SPECIFICATION	
1.	EXAMINE THE EXISTING SITE CONDITION TOGETHER WITH THE PROPOSED WORK AND THE WORK OF ALL OTHER TRADES TO DETERMINE THE COMPLETE EXTENT OF RENOVATIONS TO THE EXISTING BUILDING. INCLUDE IN THE TENDER PRICE FOR THE TOTAL SCOPE OF WORK INCLUDING BUT NOT LIMITED TO CUTTING, PATCHING, REMOVING, REROUTING OF ALL EXISTING ELECTRICAL EQUIPMENT AND WIRING TO SUCCESSFULLY EXECUTE ALL WORK DESCRIBED.
2.	ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE 2012 ONTARIO BUILDING CODE, PROVINCIAL ELECTRICAL SAFETY CODE, C.S.A. STANDARD, U.L.C., N.F.P.A., O.S.H.A., AND ALL OTHER APPLICABLE CODES AS REQUIRED.
3.	ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH BASE BUILDING STANDARDS.
4.	OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS. ALL REQUIRED PERMITS SHALL BE SUBMITTED TO THE LANDLORD PRIOR TO COMMENCING THE WORK.
5.	ALL WORK SHALL BE INSTALLED IN A CO-ORDINATED MANNER WITH ALL TRADES.
6.	DRAWINGS SHALL NOT BE SCALED FOR MEASUREMENTS.
7.	ALL INTERRUPTIONS OF SERVICES TO ANY PART OF THE BUILDING SHALL BE EXECUTED ONLY WITH PRIOR APPROVAL AND ARRANGEMENTS WITH THE BUILDING OWNER OR REPRESENTATIVE. MINIMUM 48HRS. NOTICE REQUIRED. INCLUDE FOR ALL PREMIUM TIME REQUIRED FOR INTERRUPTIONS OF SERVICES, AND REQUIRED TIE-INS TO EXISTING SERVICES.
8.	PROVIDE ALL MATERIALS, EQUIPMENT AND LABOUR NECESSARY TO PERFORM THE COMPLETE WORK AS INDICATED.
9.	DAMAGE TO ANY SYSTEM OCCURRING DURING EXECUTION OF THE WORK SHALL BE RECTIFIED AT THE CONTRACTORS EXPENSE.
10.	ALL NEW EQUIPMENT SHALL BE IDENTIFIED WITH LAMACOID PLATES. BLACK BACKGROUND WITH WHITE LETTERING. WORDING ON ALL LAMACOID PLATES SHALL BE APPROVED BY THE CONSULTANT AND THE BUILDING OWNER PRIOR TO ENGRAVING.
11.	PROVIDE A FULLY ITEMIZED BREAKDOWN OF ALL MATERIALS, EQUIPMENT AND LABOUR FOR SUBMISSIONS OF ALL CHANGES TO THE CONTRACT. CONTRACTOR SHALL UTILIZE NECA 1 LABOUR RATES, AND TRADE PRICES. WORK ASSOCIATED WITH ANY CHANGES TO THE CONTRACT SHALL NOT PROCEED WITH-OUT WRITTEN APPROVAL.
12.	PRIOR TO INSTALLATION OF ANY DEVICES, THE CONSULTANT AND OR INTERIOR CONSULTANT SHALL HAVE THE RIGHT TO CHANGE LOCATIONS OF OUTLETS WITHIN 3 METERS (10 FEET) WITH-OUT ANY EXTRA COST TO THE OWNER.
13.	PERFORM ALL WORK REQUIRED TO THE FIRE ALARM SYSTEM AS INDICATED. RETAIN THE FORCES OF THE LANDLORD TO PERFORM FINAL CONNECTIONS, TESTING AND VERIFICATION OF ALL WORK. DEVICES SHALL MATCH THE EXISTING SYSTEM IN CHARACTERISTICS AND TYPES. VERIFY IN ACCORDANCE WITH ULC 524 AND LOCAL AUTHORITIES HAVING JURISDICTION VERIFY F/A BELL CIRCUITS TO ENSURE PROPER OPERATION & COVERAGE.
14.	SUBMIT SHOP DRAWINGS, FIVE (5) COPIES FOR ALL MAJOR EQUIPMENT. SHOP DRAWINGS SHALL BE REVIEWED AND STAMPED FOR ACCEPTANCE BY THE APPROPRIATE TRADE PRIOR TO STAMPED "REVIEWED" BY THE CONSULTANT.
15.	ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION SCHEDULE.
16.	LOCATIONS OF ALL FLOOR PENETRATIONS, INCLUDING CORE DRILLING AND SAW CUTTING SHALL BE APPROVED ON SITE BY THE INTERIOR DESIGNER, BUILDING OWNER/LANDLORD, AND STRUCTURAL ENGINEER. OBTAIN ALL NECESSARY APPROVALS PRIOR TO BATT-SCAN AND DRILLING. SUBMIT BATT-SCAN RESULTS FOR LANDLORDS APPROVAL AND OBTAIN 48HRS PRIOR PERMISSION TO COMMENCE CORE DRILLING. INCLUDE FOR ALL COSTS.
17.	PROVIDE THE LANDLORD AND TENANT WITH A 1-YEAR WRITTEN WARRANTY FOR ALL LABOUR, MATERIALS AND EQUIPMENT SUPPLIED IN THIS CONTRACT. WARRANTY SHALL COMMENCE AT SUCH TIME THAT THE CONSULTANT DEEMS THE WORK IS ACCEPTABLE.
18.	ALL POWER WIRING AND SUPPLY OF STARTERS FOR MECHANICAL EQUIPMENT SHALL BE PROVIDED BY ELECTRICAL CONTRACTOR, UNLESS OTHERWISE NOTED. ALL CONTROL WIRING AND CONTROL DEVICES SHALL BE PROVIDED BY MECHANICAL CONTRACTOR. CONFIRM AND CO-ORDINATE ALL POWER CHARACTERISTICS WITH MECHANICAL CONTRACTOR PRIOR TO PROCESSING SHOP DRAWINGS AND EQUIPMENT ORDERING.
19.	PROVIDE ALL ACCESS DOORS WHERE REQUIRED TO SERVICE ALL NEW AND EXISTING EQUIPMENT. ACCESS PANELS SHALL BE EQUAL TO LEHAGE AND SHALL BE COMPATIBLE WITH CEILING/WALL TYPE AND FINISH. ACCESS DOORS SHALL BE RECESSED TYPE WITH A DRYWALL INFILL. ELECTRICAL SERVICES ARE TO BE CO-ORDINATE TO MINIMIZE THE NUMBER OF ACCESS LOCATIONS. CO-ORDINATE LOCATION AND SIZES WITH CONSULTANT. SUBMIT DRAWING(S) TO THE CONSULTANT FOR REVIEW INDICATING SIZE AND LOCATION OF ALL ACCESS LOCATIONS PRIOR TO PROCEEDING WITH THE INSTALLATION.
20.	ALL LUMINAIRES SHALL BE CLEANED AT THE COMPLETION OF THE PROJECT.
21.	OBTAIN AND PAY FOR A CAD DISK DRAWING FILES AND ONE SET OF WHITE PRINTS. MARK WHITE PRINTS TO CLEARLY INDICATE THE INSTALLED WORK. AFTER THE WHITE PRINTS HAVE BEEN REVIEWED BY THE CONSULTANT, TRANSFER ALL INFORMATION, COMMENTS AND REVISIONS ONTO THE AS-BUILT CAD FILES. SUBMIT THE COMPLETED RECORD DRAWINGS AND THE CAD FILES TO THE CONSULTANT, WITH ONE SET OF PRINTS TO THE LANDLORD.
22.	UPON COMPLETION OF THE WORK, PROVIDE A COPY OF THE LOCAL HYDRO CERTIFICATE, AND FIRE ALARM VERIFICATION. SUBMIT RECORDS TO GENERAL CONTRACTOR AND LANDLORD.
23.	PROVIDE TYPE WRITTEN PANELBOARD DIRECTORIES FOR ALL NEW PANELS AND ALL EXISTING PANELS AFFECTED BY THIS RENOVATION.
24.	ALL EQUIPMENT AND MATERIALS SHALL BE NEW, UN-USED AND C.S.A. APPROVED.
25.	ALL WIRING SHALL BE INSTALLED IN CONDUIT. ARMoured "BX" CABLE MAY BE USED TO A MAXIMUM OF 3 METERS (10 FEET) FOR FLEXIBLE LIGHTING, SWITCHED LEGS, EMERGENCY REMOTE HEADS AND EXIT SIGNS.
26.	ALL WIRING SHALL BE COPPER, MINIMUM # 12 AWG RW90.
27.	MINIMUM SIZE OF CONDUIT SHALL BE 20# (3/4") EMT UNLESS OTHERWISE NOTED. INSTALLATION OF CONDUITS SHALL BE PARALLEL TO BUILDING STRUCTURE. RUN CONDUITS CONCEALED IN ALL FINISHED AREAS.
28.	PROVIDE COPPER GROUND WIRE IN ALL CONDUIT FOR BRANCH AND FEEDER CIRCUITS.
29.	PROVIDE NYLON PULLSTRINGS IN ALL EMPTY CONDUIT.
30.	PROVIDE FLEXIBLE METAL CONDUIT FOR ALL CONNECTIONS TO MOTORS, TRANSFORMERS AND GENERATORS.
31.	INDEPENDENTLY SUPPORT FROM BUILDING STRUCTURE WITH APPROVED CHAINS ALL NEW SURFACE AND RECESSED LUMINAIRES.
32.	PROVIDE A SEPARATE NEUTRAL CONDUCTOR FOR EACH CIRCUIT DO NOT SHARE NEUTRALS.
33.	ALL PENETRATIONS THROUGH FLOORS AND FIRE RATED WALLS SHALL BE PACKED AND SEALED WITH APPROVED FIRE MATERIAL AND SILICON SEALANT.
34.	WHERE A MANUFACTURER IS NOT SPECIFIED, THE PRODUCTS SHALL BE OF SAME MANUFACTURER AS BASE BUILDING.
35.	PROVIDE DIMMERS AS INDICATED, DIMMERS SHALL SUIT THE TYPE AND SIZE OF LOAD. PROVIDE DE-BUZZING COILS FOR ALL NEW DIMMERS.
36.	DIMMERS SHALL BE " LUTRON NOVA T " SERIES UNLESS OTHERWISE NOTED.
37.	ALL DEVICES AND COVERPLATES SHALL BE PASS & SEYMOUR MODULAR DECORA TYPE. SPECIFICATION GRADE COLOUR TO INTERIOR CONSULTANTS SELECTION. SUBMIT COLOUR SAMPLES.
38.	ALL SURFACE FLOOR OUTLETS SHALL BE CANADIAN ELECTRICAL RACEWAYS INC. SERIES 4000 OR WELLMARK EQUAL. COLOUR SHALL BE BLACK.
39.	WHERE SWITCHES, DIMMERS, AND RECEPTACLES ARE SHOWN SIDE BY SIDE, PROVIDE GANGED COVERPLATES. GANGED DIMMERS SHALL BE DE-RATED AND INSTALLED AS PER MANUFACTURES INSTRUCTIONS.
40.	ENSURE THAT ALL NEUTRALS OF ALL TRANSFORMERS ARE GROUNDED TO THE BUILDING GROUND SYSTEM IN ACCORDANCE WITH TABLE 16A/16B OF THE O.H.E.S.C.
41.	ALL TRANSFORMERS, DISTRIBUTION PANELS, AND PANELBOARDS SHALL BE COMPLETE WITH COPPER BUS (OR WINDINGS), AND 200 % RATED NEUTRALS.
42.	ALL FUSES SHALL BE HRC TYPE " J " WITH TIME DELAY.
43.	CIRCUITING SHOWN FOR GROUPING PURPOSES ONLY. VERIFY EXACT CIRCUITS AVAILABLE AND PROVIDE NEW CIRCUITS AND BREAKERS AS REQUIRED. BALANCE LOADS WITH-IN 10% ACROSS PHASES. SUBMIT TEST REPORT FOR REVIEW BY THE CONSULTANT.
44.	CO-ORDINATE ALL EQUIPMENT SUPPLIED BY OTHER TRADES TO ENSURE VOLTAGE AND AMPERAGE COMPATIBILITY WITH DESIGN DOCUMENTS PRIOR TO EQUIPMENT BEING ORDERED.
45.	PROVIDE TEMPORARY ELECTRICAL POWER AND LIGHTING AS REQUIRED BY THE GENERAL CONTRACTOR OR CONSTRUCTION MANAGER. CO-ORDINATE REQUIREMENTS FOR PHASING OF WORK.

1 ELECTRICAL SPECIFICATION
 E-1 SCALE: N.T.S.

CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.
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NO.	ISSUES	DATE	BY
1	ISSUED FOR REVIEW	NOV 01 2024	
2	ISSUED FOR FINAL REVIEW	NOV 08 2024	
3	ISSUED FOR PERMIT AND TENDER	NOV 21 2024	



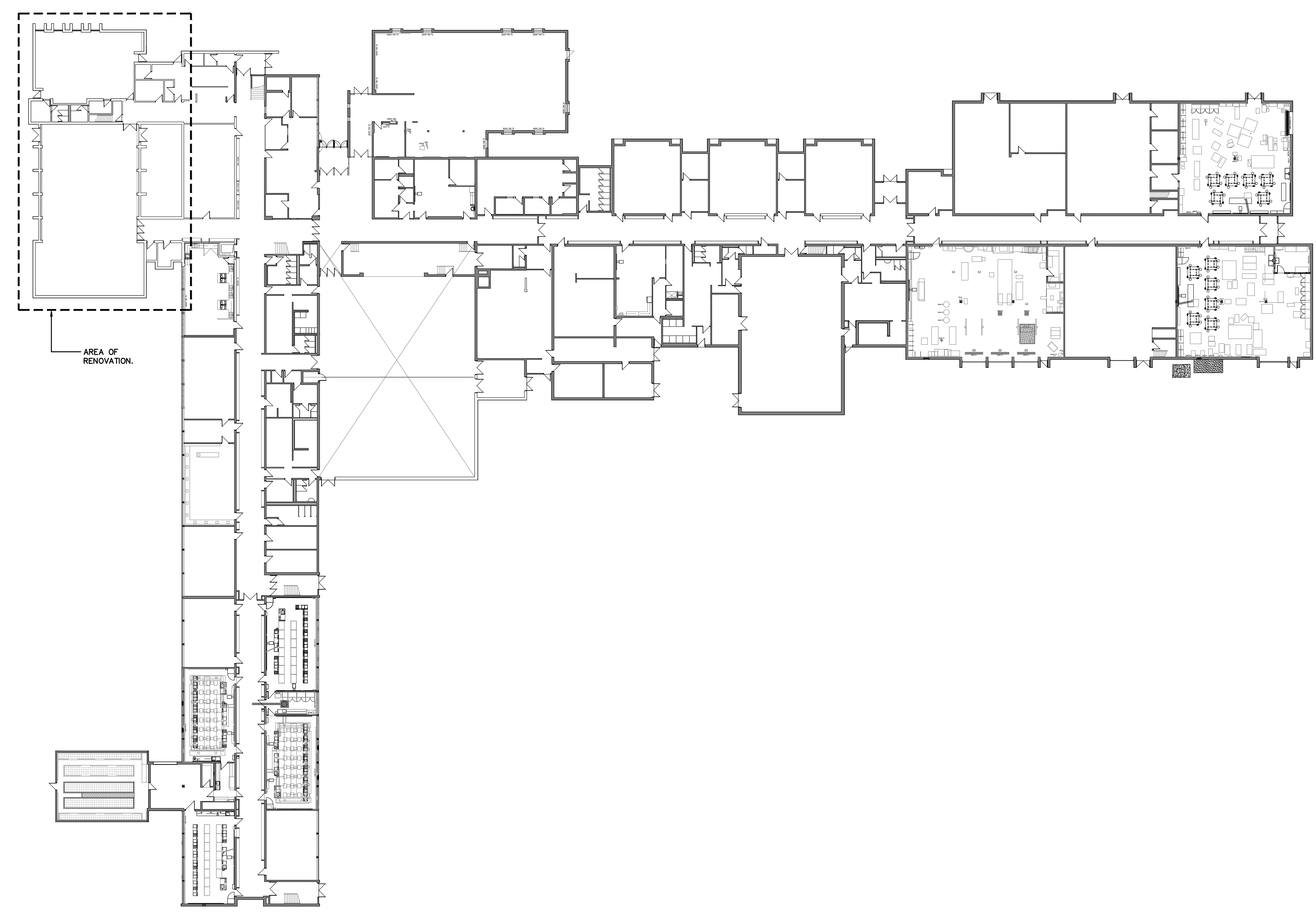
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DYNAMIC DESIGNS AND ENGINEERING INC.
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PROJECT:
CAFETERIA WING SIPOREX ROOF REPLACEMENT


COURTICE SECONDARY SCHOOL
 1717 NASH ROAD
 COURTICE, ONTARIO
 KAWARTHA PINE RIDGE DISTRICT SCHOOL BOARD

DRAWING:
GROUND FLOOR VICINITY PLAN ELECTRICAL





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 Project Managers
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PROJECT NO: **24045** DRAWING NO: **E-2**

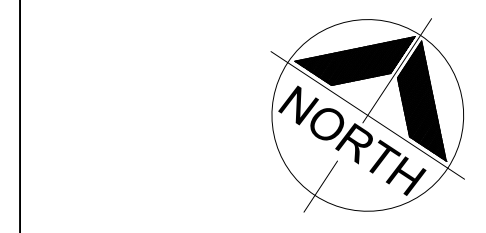
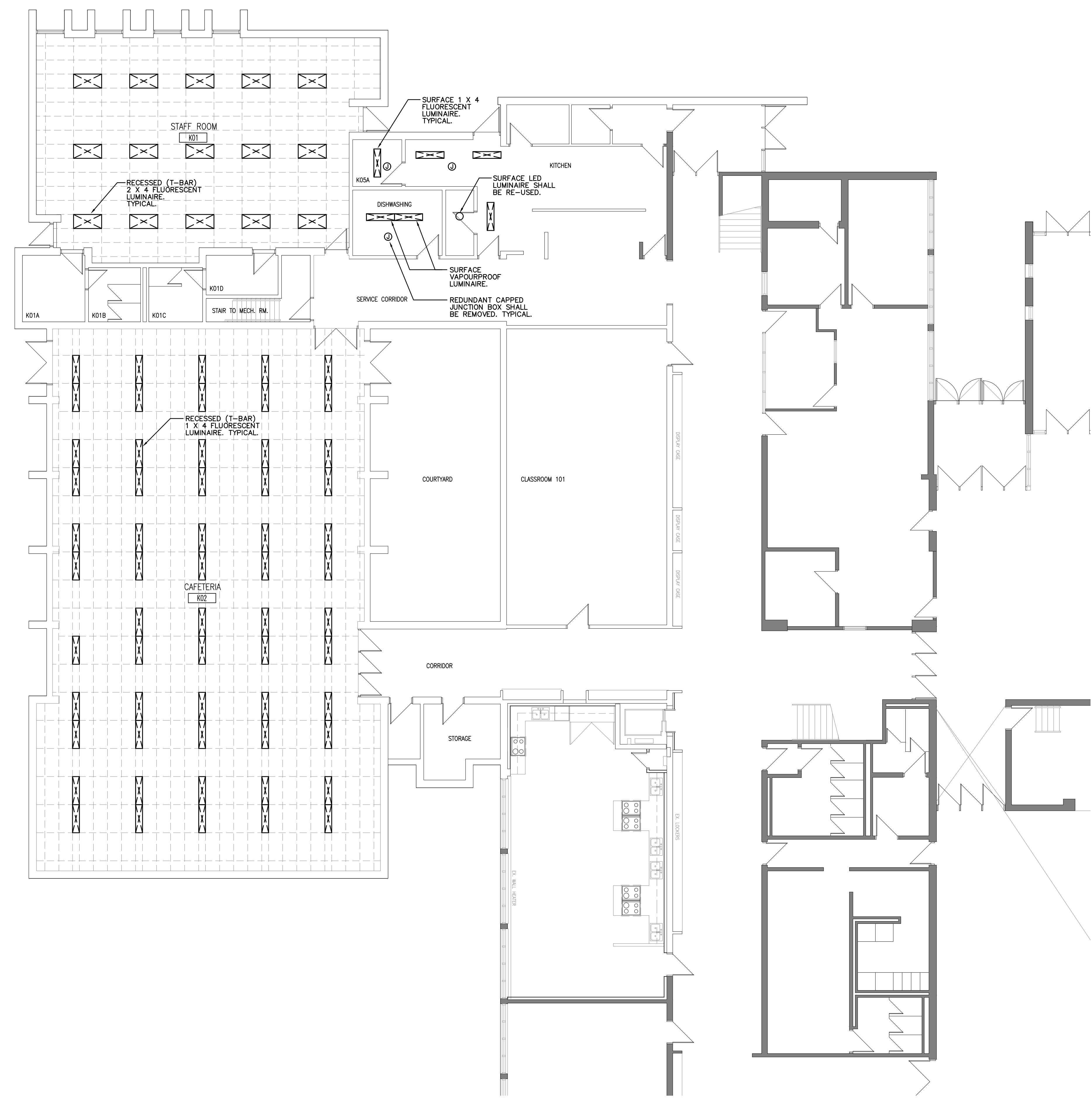
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NOTES:

- N-1 COMPLETE EXTENT OF DEMOLITION IS NOT SHOWN. TENDERERS SHALL REVIEW THE SITE TOGETHER WITH THE DOCUMENTS OF ALL OTHER TRADES TO DETERMINE THE COMPLETE EXTENT OF DEMOLITION. MAKE ALLOWANCES FOR ANY NEW OR EXISTING SERVICES, DEVICES, OR EQUIPMENT RELOCATIONS NECESSARY TO COMPLETE THE WORK. ALLOW FOR ALL COSTS.
- N-2 EXISTING DEVICES BEING REMOVED SHALL BE REMOVED C/W ALL ASSOCIATED BACKBOXES, WIRING AND CONDUIT BACK TO ASSOCIATED PANELBOARD/CEILING MOUNTED JUNCTION BOX.
- N-3 ALL DEMOLISHED MATERIALS AND EQUIPMENT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED ENTIRELY FROM THE SITE UNLESS OTHERWISE NOTED.
- N-4 ELECTRICAL CONTRACTOR SHALL REMOVE ALL REDUNDANT COMMUNICATIONS WIRING WITH-IN CEILING SPACE OF RENOVATION AREA. ALL WIRING SHALL BE REMOVED BACK TO EXISTING COMMUNICATIONS RACK, AND TELEPHONE BACKBOARD.



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PROJECT:
CAFETERIA WING SIPOREX ROOF REPLACEMENT

COURTICE SECONDARY SCHOOL
 1717 NASH ROAD

COURTICE, ONTARIO
 KAWARTHA PINE RIDGE DISTRICT SCHOOL BOARD

DRAWING:
PART GROUND FLOOR DEMOLITION PLAN ELECTRICAL

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PROJECT NO: **24045** DRAWING NO: **E-3**

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NOTES:

- N-1 EXISTING FIRE ALARM HEAT DETECTOR SHALL BE REMOVED, AND RE-INSTALLED TO NEW CEILING ELEMENT. PROVIDE DEVICE RE-VERIFICATION. CO-ORDINATE ALL WORK WITH BASEBUILDING FIRE ALARM SYSTEM VERIFYING AGENT. ELECTRICAL CONTRACTOR SHALL CARRY THE COSTS OF THE BASEBUILDING FIRE ALARM SYSTEM VERIFYING AGENT. SUBMIT FIRE ALARM VERIFICATION AT COMPLETION OF WORK.
- N-2 EXISTING EXIT LIGHT SHALL BE REPLACED WITH NEW RUNNING MAN-PICTOGRAM TYPE. WALL/CEILING MOUNTED AS SHOWN. FACES, AND DIRECTIONS AS NOTED. PROVIDE AMLIGHT #RPSC-BAT1 (SELF-POWERED/120 MIN).
- N-3 ELECTRICAL CONTRACTOR SHALL ALLOW FOR CHAIN SUPPORTS OF ALL NEW & RELOCATED LUMINAIRES THROUGH-OUT THIS RENOVATION. FASTEN 2-POINTS AT BUILDING STRUCTURE, AND 4-POINTS OF LUMINAIRE. SUSPEND/SUPPORT FROM BUILDING STRUCTURE (ROOF JOISTS) AS NOTED UTILIZING TENSO CHAIN.
- N-4 EXISTING EMERGENCY REMOTE HEADS SHALL BE REMOVED, AND RE-INSTALLED TO NEW CEILING ELEMENT.
- N-5 EXISTING SURFACE MOUNTED CONDUIT (SIZE AS NOTED) SHALL BE TEMPORALLY SUPPORTED TO ALLOW FOR CEILING REPLACEMENT. RE-INSTALL, AND RE-SUPPORT TO NEW DRYWALL CEILING.
- N-6 EXISTING FIRE ALARM END OF LINE RESISTOR IN CEILING SPACE CURRENTLY SUPPORTED FROM SIPOREX ROOFING BEING REMOVED SHALL BE RE-SUPPORTED FROM BUILDING STRUCTURE (ROOF JOISTS).
- N-7 EXISTING RECESSED AUDIO/VISUAL SPEAKER SHALL BE REMOVED, AND RE-INSTALLED TO NEW CEILING ELEMENT. REPLACE EXISTING SPEAKER WIRING BACK TO EXISTING A/V RACK. WIRING, AND ZONING TO MATCH EXISTING. NEW WIRING SHALL MATCH EXISTING (F76 PLENUM RATED).
- N-8 EXISTING RECESSED PAGING SPEAKER SHALL BE REPLACED WITH NEW McBRIDE LOUD SPEAKER WITH NEW McBRIDE LOUD SPEAKER SOURCE LTD #BLSBZZ-19. PROVIDE NEW WIRING (CAT 6, F76 PLENUM RATED-WHITE OUTER SHEATH), REPLACE WIRING FROM WHERE IT ENTERS THE CAFETERIA SPACE. CAFETERIA AREA IS CONSIDERED A SINGLE ZONE. PERFORATED SPEAKER COVER SHALL BE PAINTED WHITE, AND RE-USED WITH NEW SPEAKER.

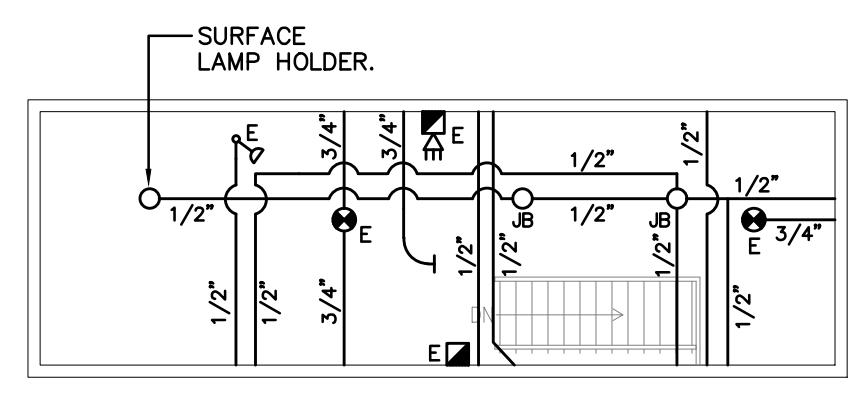
UTILIZE EXISTING LIGHTING CONTROLS, AND CIRCUITS TO FEED & CONTROL NEW LUMINAIRES IN SAME MANNER AS EXISTING. RE-WORK/EXTEND/PROVIDE NEW WIRING AS REQUIRED.

LUMINAIRE SCHEDULE		
TYPE	LAMP	DESCRIPTION
'A'	TBC	SURFACE LED DOWNLIGHT. RE-USE FROM DEMOLITION.
'B'	36.7W LED 4000K	RECESSED (T-BAR) 2 X 4 LED FLAT PANEL. 120V.
'C'	36.9W LED 4000K	SURFACE MOUNTED (DRYWALL) 1 X 4 LED FLAT PANEL. 120V, AND SURFACE MOUNT KIT.
'D'	37.0W LED 4000K	SURFACE 4'-0" LINEAR LED VAPOUR PROOF LUMINAIRE. 120V.

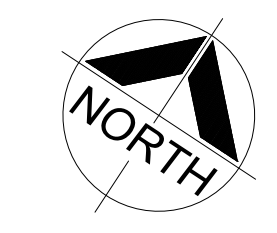
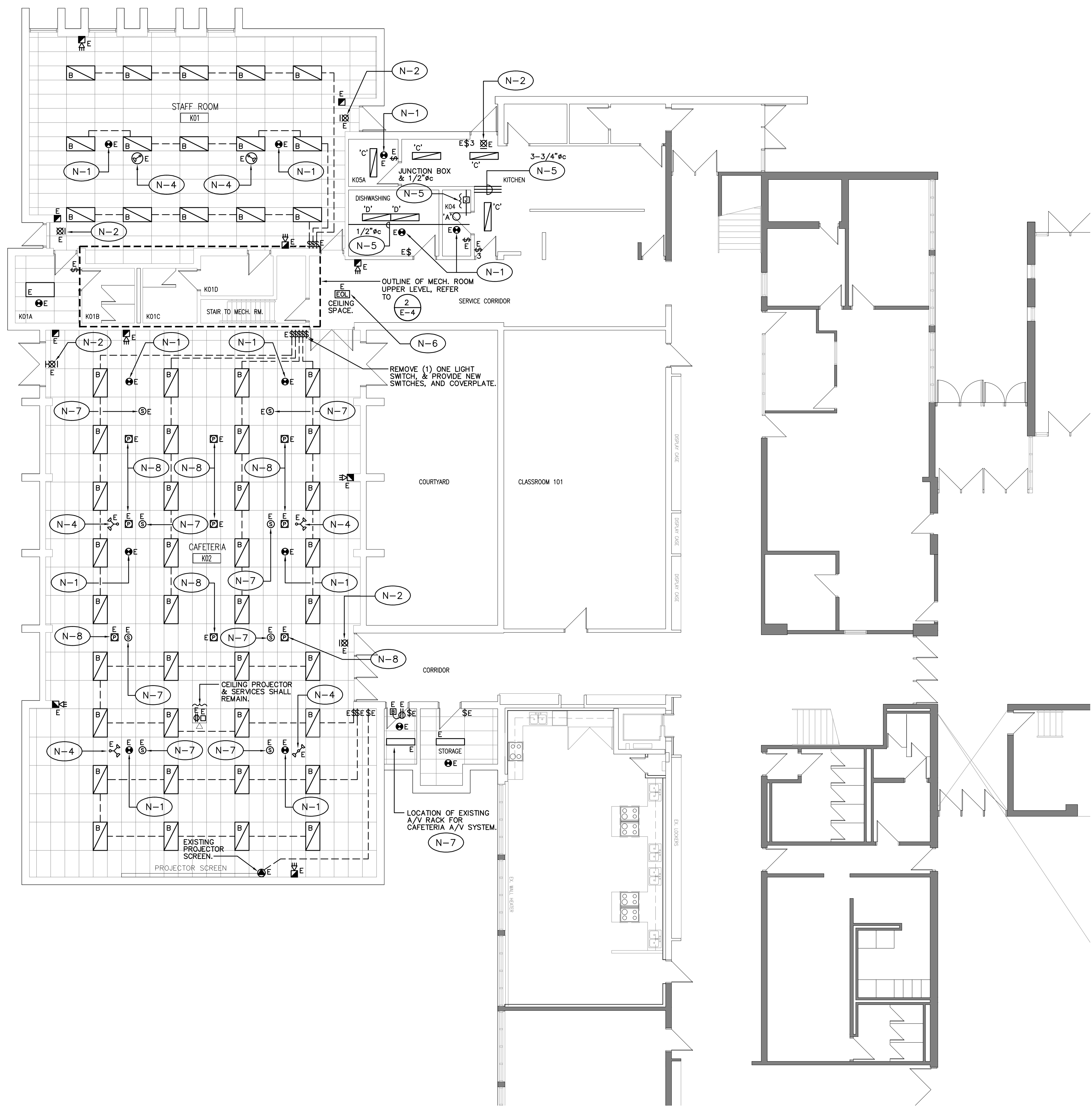
1 LUMINAIRE SCHEDULE
 E-4 SCALE: N.T.S.

NOTES:

- N-1 ALL CONDUIT, JUNCTION BOXES, FIRE ALARM SMOKE DETECTORS, SURFACE LAMP HOLDER, AND EMERGENCY REMOTE HEAD AS SHOWN IS CURRENTLY SUPPORTED, AND FASTENED TO EXISTING SIPOREX ROOFING BEING REMOVED. ELECTRICAL CONTRACTOR SHALL UN-FASTEN ALL CONDUIT, AND DEVICES NOTED TO PERMIT REMOVAL, AND INSTALLATION OF NEW ROOF DECKING. ALLOW FOR TEMPORARY SUPPORTS, AND RE-FASTEN ALL CONDUIT, AND DEVICES TO EXISTING ROOF JOIST. ALLOW FOR ALL UNISTRUT SUPPORTS, AND RE-WORK OF EXISTING CONDUITS, AND DEVICES AS REQUIRED. DO NOT FASTEN TO NEW ROOF DECKING.



2 UPPER LEVEL MECHANICAL ROOM
 E-4 SCALE: 1/8"=1'-0"



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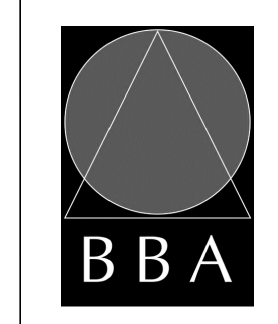
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 ROOF REPLACEMENT

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DRAWING:
 PART GROUND FLOOR
 PROPOSED PLAN
 ELECTRICAL



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