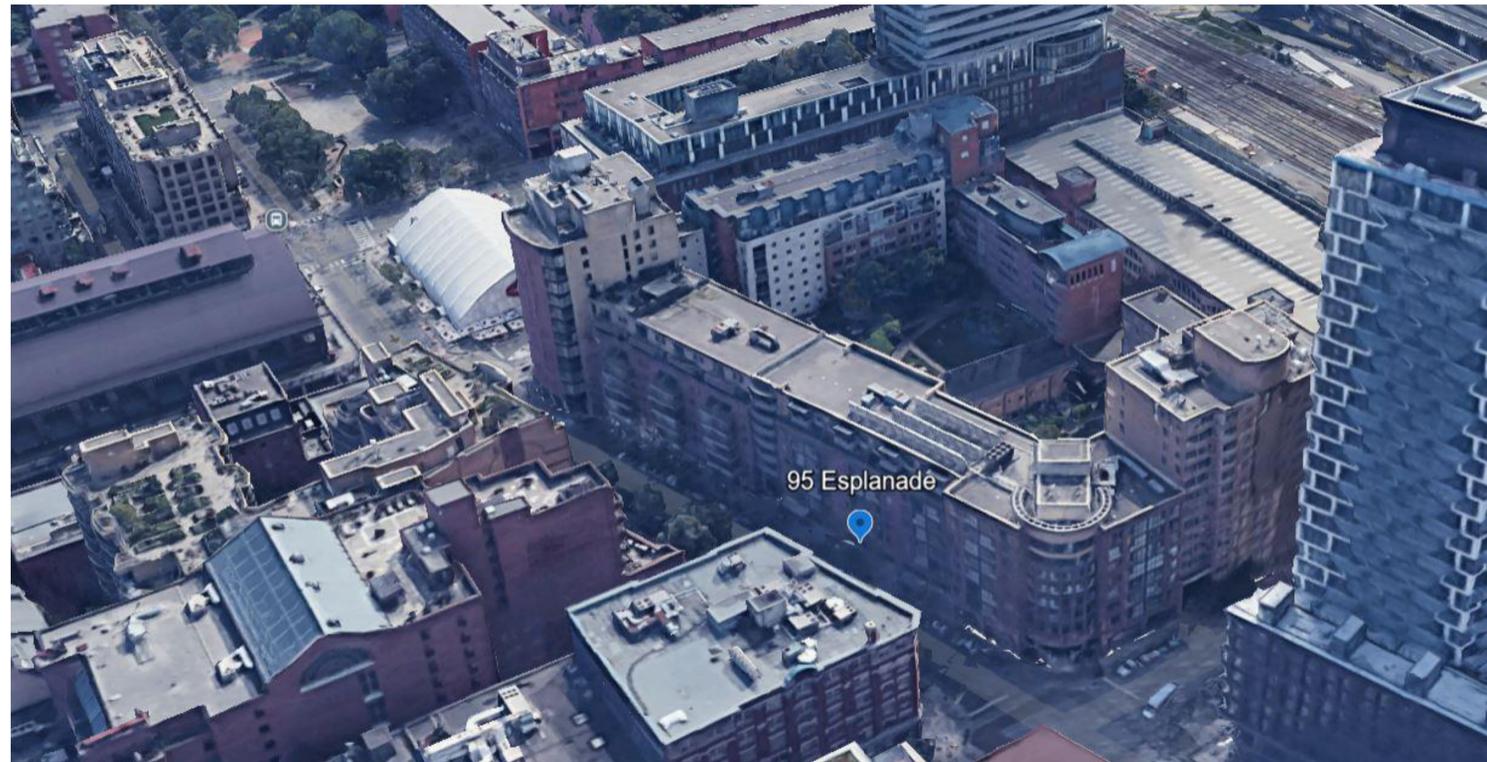


# Office Modernization for Toronto Water Office

148121

95 The Esplanade  
Toronto, ON M5E 1Y8



CITY OF TORONTO



100 Queen Street West, Toronto,  
ON, M5H 2N2

ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION - COST ESTIMATION	2024-11-05
B	ISSUED FOR 50% SUBMISSION	2024-11-19
C	ISSUED FOR 75% SUBMISSION	2024-12-12
D	ISSUED FOR 95% SUBMISSION / ISSUED FOR PERMIT	2025-01-24
E	ISSUED FOR 100% / PERMIT	2025-02-07

Office Modernization for  
Toronto Water Office  
City of Toronto

**NOT FOR CONSTRUCTION**

**ISSUED FOR 100% / PERMIT**



100 - 175 Galaxy Blvd,  
Toronto, ON M9W 0C9, Canada  
tel 416 679 1930  
www.arcadis.com

PROJECT NO: 148121	
DATE: 2025-02-07	
SHEET NUMBER G0001	ISSUE E

GENERAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
G0001	COVER PAGE & DRAWING LIST
G0002	INDEX & CODE MATRIX (OBC)
G0003	EGRESS PLAN - GROUND FLOOR
G0004	GENERAL NOTES, SYMBOLS & ABBREVIATIONS
G0005	CONSTRUCTION ASSEMBLIES
ARCHITECTURAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
A1001	DEMOLITION PLAN - GROUND FLOOR
A1002	DEMOLITION REFLECTED CEILING PLAN - GROUND FLOOR
A1003	PARTITION PLAN - GROUND FLOOR
A1004	RESERVED
A1005	REFLECTED CEILING PLAN - GROUND FLOOR
A1006	POWER & COMMS - GROUND FLOOR
A1007	FURNITURE PLAN - GROUND FLOOR
A1008	FINISHES PLAN - GROUND FLOOR
A1009	SIGNAGE PLAN - GROUND FLOOR
ENLARGED PLANS & ELEVATIONS DRAWING INDEX	
SHEET NUMBER	SHEET NAME
A2001	UNIVERSAL WASHROOM ENLARGED PLANS & ELEVATIONS
A2002a	KITCHEN LUNCH ROOM ENLARGED PLANS, ELEVATION & SECTIONS
A2002b	KITCHEN LUNCH ROOM SECTIONS CONT.
A2003	BUSINESS CENTRE ENLARGED PLANS & ELEVATIONS
A2004	STAIRS ENLARGED PLANS & DETAILS
A2005	DEMOUNTABLE PARTITIONS & TV LOCATIONS - ELEVATIONS
A2006a	CLIENT IN TAKE - ENLARGED PLANS & ELEVATIONS
A2006b	ELEVATIONS CONT.
A2007	EXTERIOR PARTITION- ELEVATIONS

CONSTRUCTION DETAIL INDEX	
SHEET NUMBER	SHEET NAME
A4001	INTERIOR DETAILS
A4003	ACOUSTICAL FELT WALL DETAILS
SCHEDULE INDEX	
SHEET NUMBER	SHEET NAME
A5001	DOOR SCHEDULE
A5002	SIGNAGE SCHEDULE
TYPICALS INDEX	
SHEET NUMBER	SHEET NAME
D1001	ACCESSIBILITY DESIGN STANDARDS AND DOOR CLEARANCES
D1002	ACCESSIBLE WASHROOM, SHOWER & ACCESSORIES DETAIL
D1004	TRANSITION AND BASE DETAILS
D1005	MISCELLANEOUS DETAILS
D1006	SIGNAGE & WAYFINDING DETAILS - GENERAL SPECIFICATIONS
D1007	SIGNAGE & WAYFINDING DETAILS - B1 DOOR TAG
D1008	SIGNAGE & WAYFINDING DETAILS - E2 ROOM ID
D1009	SIGNAGE & WAYFINDING DETAILS - H1.1 AMENITY ID
D1010	SIGNAGE & WAYFINDING DETAILS - H2.1 PROJECTING AMENITY ID
D1011	SIGNAGE & WAYFINDING DETAILS - J4 ACCESSIBLE ENTRANCE

<b>Firm Name:</b> ARCADIS (CANADA) PROFESSIONAL SERVICES INC. <b>CERTIFICATE OF PRACTICE NUMBER 5605</b>  100-175 Galaxy Boulevard Toronto, ON M9W 0C9 T 416 679 1930 F 416 675 4620		<b>Toronto Waters ModernTO Office Renovation</b>  <b>Location</b> 95 The Esplanade Toronto, ON M5E 1Y8	
<b>Ontario's 2012 Building Code Data Matrix Part 3 or 9</b>		<b>OBC REFERENCE</b> References are to Division B unless noted (A) for Division A or (C) for Division C	
<b>ITEM</b>		<b>REMARKS</b>	
<b>1. PROJECT DESCRIPTION</b> <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> Alteration <input checked="" type="checkbox"/> PART 11 11.1 to 11.4		<input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9	
<b>2. MAJOR OCCUPANCY(S)</b> GROUP C - RESIDENTIAL <b>SUBSIDIARY OCCUPANCY(S)</b> GROUP D - BUSINESS AND PERSONAL SERVICE OCCUPANCIES		3.1.2.1. (1) 9.10.2. EXISTING NO CHANGE	
<b>3. BUILDING AREA (m²)</b> EXISTING - NEW - 0 TOTAL - EXISTING NO CHANGE		1.4.1.2. [A] 1.4.1.2. [A] EXISTING NO CHANGE	
<b>4. GROSS AREA (m²)</b> EXISTING - NEW - 0 TOTAL - EXISTING NO CHANGE		1.4.1.2. [A] 1.4.1.2. [A] EXISTING NO CHANGE	
<b>5. NUMBER OF STOREYS</b> ABOVE GRADE - 8 BELOW GRADE - 1		1.4.1.2. [A] & 3.2.1.1. 1.4.1.2. [A] & 9.10.4. EXISTING NO CHANGE	
<b>6. NUMBER OF STREETS/FIRE FIGHTER ACCESS - 1</b> EXISTING NO CHANGE		3.2.2.10. & 3.2.5. 9.10.20. EXISTING NO CHANGE	
<b>7. BUILDING CLASSIFICATION -</b> GROUP C AND D		3.2.2.48. 9.10.2. EXISTING NO CHANGE	
<b>8. SPRINKLER SYSTEM PROPOSED</b> <input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED		3.2.2.48. 9.10.8.2. EXISTING NO CHANGE 3.2.1.5 3.2.2.17 INDEX INDEX	
<b>9. STANDPIPE REQUIRED</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <b>STANDPIPE PROVIDED</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.2.9. N/A EXISTING NO CHANGE	
<b>10. FIRE ALARM REQUIRED</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <b>FIRE ALARM PROVIDED</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.2.4. 9.10.18. EXISTING NO CHANGE	
<b>11. WATER SERVICE/SUPPLY IS ADEQUATE</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.2.5.7. N/A EXISTING NO CHANGE	
<b>12. HIGH BUILDING</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.2.6. N/A	
<b>13. CONSTRUCTION RESTRICTIONS</b> <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH PERMITTED REQUIRED <b>ACTUAL CONSTRUCTION</b> <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH		3.2.2.48. 9.10.6. EXISTING NO CHANGE	
<b>14. MEZZANINE (S) AREA m²</b> N/A		3.2.1.1. (3) - (8) 9.10.4.1. EXISTING NO CHANGE	
<b>15. OCCUPANT LOAD BASED ON</b> <input type="checkbox"/> m²/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING 59 <b>1ST FLOOR:</b> OCCUPANCY GROUP D LOAD PERSONS <b>2ND TO 8TH FLOOR:</b> OCCUPANCY NO CHANGE LOAD PERSONS		3.1.17. 4.9.13. EXISTING NO CHANGE	
<b>16. BARRIER FREE DESIGN</b> <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)		3.8. 9.5.2. ONLY PROPOSED AREA OF WORK - COMPLIANT WITH CITY OF TORONTO ACCESSIBILITY DESIGN GUIDELINE 2021 AND MODERNTO GUIDELINES WHEN POSSIBLE	
<b>17. HAZARDOUS SUBSTANCES</b> <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.3.1.2 & 3.3.1.19 9.10.1.3.(4) EXISTING NO CHANGE	
<b>18a. REQUIRED FIRE RESISTANCE RATING (FRR)</b> <b>HORIZONTAL ASSEMBLIES FRR (HOURS)</b> FLOORS NO CHANGE ROOF NO CHANGE MEZZANINE N/A <b>LISTED DESIGN NO. OR DESCRIPTION (SB-2)</b> 3.2.2.48. & 3.2.1.4. 9.10.8. 9.10.9.			

ITEM		Ontario's 2024 Building Code Data Matrix Part 3 or 9		OBC REFERENCE		REMARKS	
		References are to Division B unless noted (A) for Division A or (C) for Division C					
18b. REQUIRED FIRE RESISTANCE RATING (FRR)		FRR OF SUPPORTING MEMBERS FLOORS NO CHANGE ROOF NO CHANGE MEZZANINE		LISTED DESIGN NO. OR DESCRIPTION (SB-2)			
19. SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS		3.2.3. 9.10.14.				EXISTING NO CHANGE	
		WALL AREA OF EBF (m²)		LD (M) L/H OR H/L		PERMITTED MAX. % OF OPENINGS	
		NORTH				PROPOSED % OF OPENINGS	
		SOUTH				FRR (HOURS)	
		EAST				LISTED DESIGN OR DESCRIPTION	
		WEST				COMB. CONST.	
						COMB. CONST. NONC-GLASSING	
						NON-COMB. CONST.	
20. PLUMBING FIXTURE REQUIREMENTS		MALE / FEMALE COUNT @ EXCEPT AS NOTED OTHERWISE 50% / 50 %		OCCUPANT LOAD		OBC TABLE NUMBER	
		MAJOR OCCUPANCY GROUP D		FIXTURES REQUIRED		FIXTURES PROVIDED	
		NEW UNIVERSAL WASHROOM ADDED		29 MALE		3 5 3.7.4.7.	
				30 FEMALE		3 4 3.7.4.7.	
21. EXITS/ ACCESS TO EXIT-				OBC REFERENCE		PART 3 PART 9	
22. OTHER (DESCRIBE) - N/A						EXISTING NO CHANGE	
ITEM		Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building		OBC REFERENCE		REMARKS	
11.1 EXISTING BUILDING CLASSIFICATION:		DESCRIBE EXISTING USE: CONSTRUCTION INDEX: HAZARD INDEX: <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)		11.2.1. TABLE 11.2.1.1.A. TABLE 11.2.1.1.B. TO N			
11.2 ALTERATION TO EXISTING BUILDING IS:		BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION <input type="checkbox"/>		11.3.3.1. 11.3.3.2.			
11.3 REDUCTION IN PERFORMANCE LEVEL:		STRUCTURAL: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES BY INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES BY CHANGE OF MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES SEWAGE SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		11.4.2. 11.4.2.1. 11.4.2.2. 11.4.2.3.			
11.4 COMPENSATING CONSTRUCTION:		STRUCTURAL: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) BY INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) BY CHANGE OF MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) SEWAGE SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)		11.4.3. 11.4.3.2. 11.4.3.3. 11.4.3.4. 11.4.3.5. 11.4.3.6.			
11.5 COMPLIANCE ALTERNATIVES PROPOSED:		<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBERS)		11.5.1.			

CLIENT  
**CITY OF TORONTO**  
  
 Corporate Real Estate Management  
 Project Management Office  
 Metro Hall Toronto, ON  
 M5V 3C6

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 Arcadis Professional Services (Canada) Inc.

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No.	DESCRIPTION	DATE
A	50% SUBMISSION - COST ESTIMATION	2024-11-05
B	ISSUED FOR 50% SUBMISSION	2024-11-19
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CONSULTANTS

SEAL

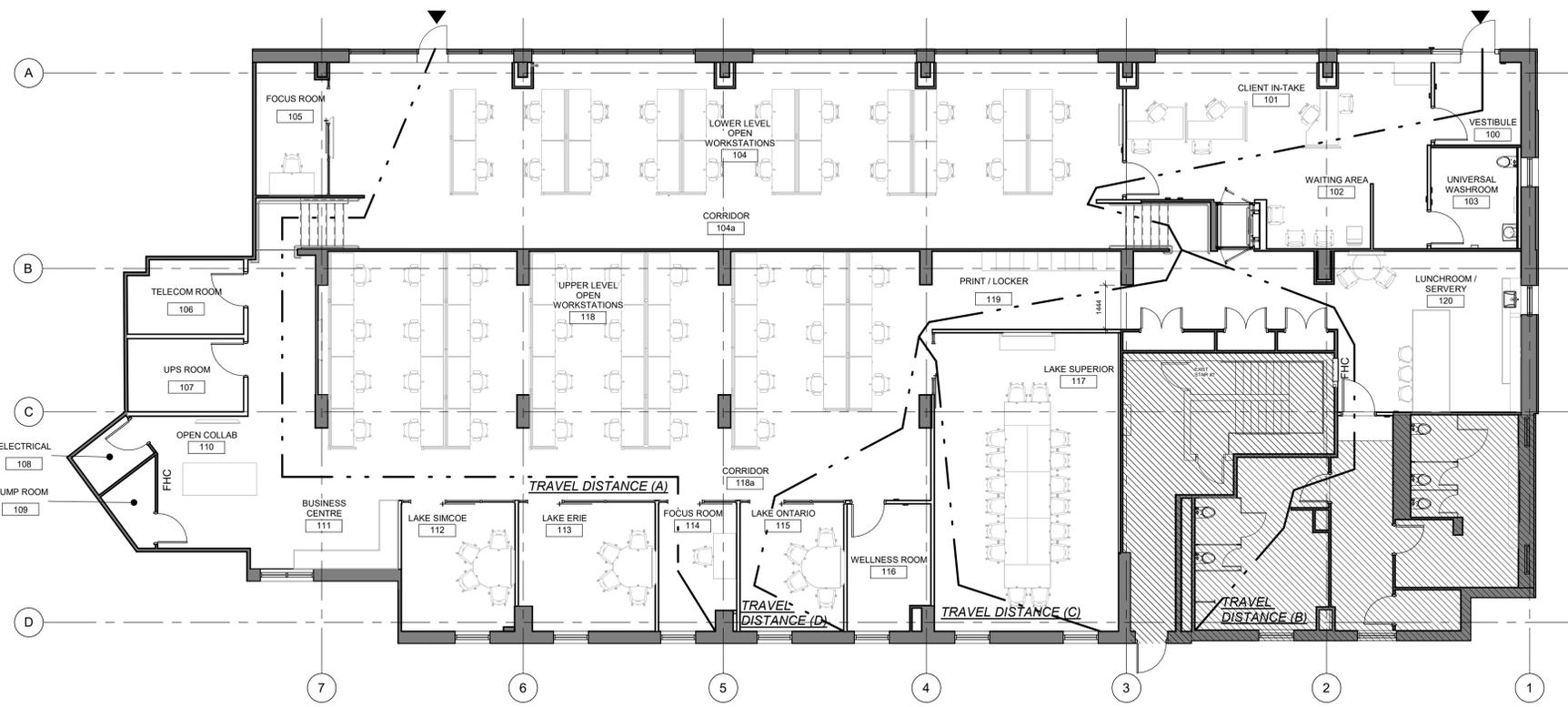
PRIME CONSULTANT  
  
 100 - 175 Galaxy Blvd,  
 Toronto, ON M9W 0C9, Canada  
 tel 416 679 1930  
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PROJECT TITLE  
**Office Modernization for Toronto Water Office**

PROJECT ADDRESS  
 95 The Esplanade  
 Toronto, ON M5E 1Y8

PROJECT NO:  
 148121  
 DRAWN BY:  
**Q.BOMBASE**  
 PROJECT MGR:  
**F. BOLOURIAN**  
 SHEET TITLE  
**INDEX & CODE MATRIX (OBC)**

CHECKED BY:  
**L. BANDIERA**  
 APPROVED BY:  
**E. FENUTA**  
 SHEET NUMBER  
**G0002**  
 ISSUE  
**E**



EGRESS PLAN LEGEND

-  AREA NOT IN CONTRACT
-  EXISTING CORE WALLS & / OR PARTITION TO REMAIN
-  NEW PARTITION
-  TRAVEL DISTANCE
-  FIRE HOSE CABINET
-  EXIT DOOR

CODE ANALYSIS

TRAVEL DISTANCE (3.4.2.4) (3.3.1.5)	
TRAVEL DISTANCE (A)	37.2 M (122'-0")
TRAVEL DISTANCE (B)	37.63 M (123'-6")
TRAVEL DISTANCE (C)	42.14 M (138'-4")
TRAVEL DISTANCE (D)	43 M (141'-2")

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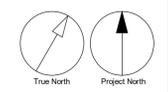
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DRAWN BY: <b>Q. BOMBASE</b>	CHECKED BY: <b>L. BANDIERA</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>

SHEET TITLE  
**EGRESS PLAN - GROUND FLOOR**

SHEET NUMBER <b>G0003</b>	ISSUE <b>E</b>
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# ABBREVIATIONS

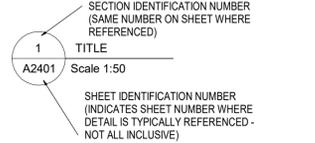
AVB	AIR VAPOUR BARRIER	GA	GAUGE	PREFAB	PREFABRICATED
ABV	ABOVE	GALV	GALVANIZED	PF	PREFINISHED
ACT	ACCTIC CEILING TILE	GB	GYPSSUM BOARD	PR	PRESSURE
ACP	ACOUSTIC PANELS	GL	GLAZING	PRM	PRIMED
ADD	ADDENDUM	GLT	GLASS TILE GLUE LAMINATED	PROP	PROPERTY
AF	ACCESS FLOORING	GLULAM	GLUE LAMINATED	PROJ	PROJECTOR
AFF	ABOVE FINISH FLOOR	GMT	GLASS MOSAIC TILE	PROS	PROJECTION SCREEN
ALT	ALTERNATE	GPD	GALLONS PER DAY	PS	PASSAGE SET
ALUM	ALUMINUM	GRM	GRAMS PER SQUARE INCH	PSI	POUNDS PER SQUARE INCH
ANN	ANNUNCIATOR	GR	GRADE	PTBD	PARTICLE BOARD
ANOD	ANODIZED	GRB	GRAB BAR	PTD	PAINTED
AP	ACCESS PANEL	GRB	GRAB BAR	PTLB	PTL TO LOCK BUTTON
APPROX	APPROXIMATE	GRNC	GRANITE CAN	PTT	PAPER TOWEL TISSUE DISPENSER
APSF	ALUMINUM PARTITION SYSTEM FRAMING	GRND	GROUND	PTTD	PAINT
ARCH	ARCHITECTURAL	GRN	GRANITE	PTD	PAPER TOWEL DISPENSER AND DISPOSAL
ASSN	ASSIGNMENT	GRG	GLASS FIBRE REINFORCED-GYPSUM	PTN	PARTITION
ASSY	ASSEMBLY	GRT	GRIT	PVC	PVC
AUTO	AUTOMATIC	GRN	GRANITE	PWT	PORCELAIN WALL TILE
AVG	AVERAGE	GT	GRANITE TILE	QTY	QUANTITY
AV	AUDIO VISUAL, AIR/ VAPOUR	GVB	GYPSUM TILE BACKER BOARD	R	RADIUS
BEV	BEVELLED	GWB	GYPSUM TILE BACKER BOARD	RB	RESILIENT BASE
BD	BOARD	GWT	GYPSUM TILE BACKER BOARD	RBF	RUBBER SHEET FLOORING
BFB	BARRIER FREE PUSH BUTTON	H&S	HARDENER & SEALER	RBR	RUBBER
BTUM	BUTYROMINOUS	HC	HANDICAP	RBT	RUBBER TILE
BH	BOREHOLE	HCW	HOLLOW CORE WOOD	RCP	REFLECTED CEILING PLAN
BKHD	BULKHEAD	HDR	HANDRAIL	RD	ROOF DRAIN
BLD	BUILDING	HRD	HARDWARE	REC	RECESSED
BLK	BLOCK	HD	HEAVY DUTY	RECT	RECTANGULAR
BM	BELM	HDD	HAND DRYER	REF	REFERENCE
BR	BRICK	HDD	HAND DRYER	REIN	REINFORCING/REINFORCEMENT
BRKT	BRACKET	HDWD	HARDWOOD	REM	REMOVABLE
B TO B	BACK TO BACK	HM	HOLLOW METAL	REQ	REQUIRED
BF	BARRIER FREE	HOD	HOLD OPEN DEVICE	REV	REVISION
BFM	BARRIER FREE MIRROR	HORIZ	HORIZONTAL	RH	RIGHT HAND
CAP	CAPACITY	HR	HOUR	RM	ROOM
CB	CATCH BASIN	HT	HEIGHT	RND	ROUND
CCT	CERAMIC CEILING TILE	HW	HAND WASH	RO	ROUGH OPENING
CBLK	CONCRETE BLOCK	HWT	HOT WATER TANK	RPM	REVOLUTIONS PER MINUTE
CHDR	CONCRETE HARDENER	IFP	INTUMESCENT FIREPROOFING-PAINT	RST	RESILIENT STAIR TREAD
CLF	CHAIN LINK FENCE	IMP	INSULATED HOLLOW METAL	RTN	RUBBER WALL BASE
CLG	CELLING	IMP	INSULATED METAL PANEL	RWB	RUBBER WALL BASE
CLG	DIFF CEILING DIFFUSER	IMP	INSULATED METAL PANEL	RWL	RAIN WATER LEADER
CLGHT	CEILING HEIGHT	INCL	INCLINE	RSFB	RESILIENT SHEET FLOORING
CM	CEMENT	INCL	INCLINE	RSFT	RUBBER SPORTS FLOOR TILE
CIP	CAST IN PLACE CONCRETE	INSPNL	INSULATED PANEL	SA	SAFETY ANCHOR
CF	CORK FLOORING	INS	INSULATION	SAN	SANITARY
CFT	CERAMIC FLOOR TILE	INT	INTERIOR	SC	SOLID CORE
CFM	CUBIC FEET PER MINUTE	IB	IRON BAR	SCW	SOLID CORE WOOD
CH	COAT HOOK	ILB	ILLUMINATED BUTTON	SCHD	SCHEDULE
CL	CENTRE LINE	ID	INSIDE DIAMETER	SD	SECTION DISPENSER
CLO	CLOSET	IF	INSIDE FACE	SECT	SECTION
CJ	CONTROL JOINT	ITGL	INSULATED TEMPERED (SAFETY) GLASS	SFFPRF	SPRAY FIREPROOFING
COL	COMBINATION	JS	JANITOR SHELF	SGL	SINGLE GLAZED
COMB	COMPOSITE	JT	JOINT	SH	SHOWER SEAT
CONC	CONCRETE	K	KILO	SHR	SHOWER ROD
CONU	CONCRETE MASONRY UNIT	KG	KILOGRAM	SHCU	SHOWER CURTAIN
COND	CONDUIT	KN	KILO NEWTON	SIM	SIMILAR
CONF	CONFERENCE	KPA	KILOPASCAL	SL	SLIDE/SLIDING
CONN	CONNECTION	KD	KNOCKDOWN	SND	SANITARY NAPKIN DISPOSAL
CONST	CONSTRUCTION	LQ/S	LIQUID SEALER	SNV	SANITARY NAPKIN VENDING UNIT
CONTS	CONTINUOUS	LQ/S	LIQUID SEALER	SP	SETTING OUT POINT
CONTR	CONTRACTOR	L/S	LITRES PER SECOND	SPEC	SPECIFICATION
CORR	CORRIDOR	LAM	LAMINATE	SPLB	SPECIAL PAINT FINISH
CP	CONCRETE PAVERS, CONTROL PANEL	LB	POUND	SQ	SQUARE
CPL	CERAMIC PLATE	LB/FT	POUNDS PER FOOT	SQ FT	SQUARE FEET
CPT	CARPET	LAV	LAVATORY	SQ.M	SQUARE METRE
CPTT	CARPET TILE	LFX	LIGHT FIXTURE	SQ.MI	SQUARE MILE
CR	CARD READER	LH	LEFT HAND	SQ.YD	SQUARE YARD
CS	CLEAR SEALER	LND	LONGITUDINAL	SST, SS	STAINLESS STEEL
CSK	COUNTER SINK	LP	LOW POINT	STG	STAGGERED
CSLT	CONCRETE SEALER	LQ	LOOK SET	STD	STANDARD
CTR	CENTRE	LTG	LIGHTING	STL	STEEL
CCTV	CLOSED CIRCUIT TELEVISION	LVR	LOUVER	STOR	STORAGE
CJFT	CUBIC FEET	L.O.	LOOK SET	STR	STRUCTURE
CUM	CUBIC METERS	LQ	LOOK SET	STN	SOUND TRANSMISSION CLASSIFICATION
CY.U.D.	CUBIC YARDS	LVS	LAMINATED SAFETY GLASS	STRUC	STRUCTURAL/STRUCTURE
CW	CURTAIN WALL	LQ	LOOK SET	SUR	SURFACE
CIC	CENTRE TO CENTRE	LQ	LOOK SET	SUSP	SUSPENDED
CW	COMPLETE WITH	M	METRE	SUVF	SHEET VINYL FLOORING
CWB	CEMENT WALL BOARD	MACH	MACHINE	SICEL	SUSPENDED CEILING
CWT	CERAMIC WALL TILE	MAINT	MAINTENANCE	T	TONNE
DBL	DOUBLE	MARB	MARBLE	TB	TOWEL BAR
DCP	DOOR CONTROL PANEL	MAT	MATERIAL	TC	TRAFFIC COATING
DEMO	DEMOLITION	MAX	MAXIMUM	TEMP	TEMPERATURE
DEPT	DEPARTMENT	MCC	MOTOR CONTROL CENTRE	TEX CT	TEXTURED COATING
DET	DETAIL	MD	METAL DECK	TERR	TERRAZZO
°C	DEGREE CELSIUS	MCB	METAL CORNER BEAD	TGL	TEMPERED GLASS
°F	DEGREE FAHRENHEIT	MCP	METAL CEILING PANEL	THRESH	THRESHOLD
DF	DRINKING FOUNTAIN	MECH	MECHANICAL	TM	MEMBRANE
DFT	DRY FILM THICKNESS	MED	MEDIUM	TOC	TOP OF CURB
DGL	DOUBLE GLAZED	MEMB	MEMBRANE	TPD	TOILET PAPER DISPENSER
DIAG	DIAGONAL	MEZZ	MEZZANINE	TR	TRANSIT
DIA	DIAMETER	MFR	MANUFACTURER	TRD	TREAD
DM	DIMENSION	MH	MANHOLE/MAINTENANCE HOLE	TS	TRANSITION STRIP
DISP	DISPENSER	MJ	MOVEMENT JOINT	TYP	TYPICAL
DIV	DIVISION	MIR	MIRROR	T&B	TOP AND BOTTOM
DL	DOOR LOUVRE	MISC	MISCELLANEOUS	TIO	TOP OF
DN	DOWN	ML	METAL LINER	TRZT	TERRAZZO TILE
DO	DOOR OPENING	MLD	MOULDING	TSGL	TEMPERED SAFETY GLASS
DR	DEEP	MLO	MANUAL LIFT OPERATOR	TOS	(HP) TOP OF STEEL (HIGH POINT)
DR(P)	DOOR RELEASE (PANIC)	MLW	MILLIMETRE	T&B	TAKEN AT GRID LINE INTERSECTION UN"
DW	DISHWASHER	MM	MILLIMETRE	T&B	TAKEN AT GRID LINE INTERSECTION UN"
DWG	DRAWING	MM	MILLIMETRE	T&B	TAKEN AT GRID LINE INTERSECTION UN"
EA	EACH	MOD	MODIFIED	UC	UNDERCUT
EBO	ELEVATOR CALL BUTTON	MOD	MODIFIED	UNEX	UNEXCAVATED
ECD	ELECTRIC DOOR OPERATOR	MP	METAL PANEL	UF	UNFINISHED
EHD	ELECTRIC HAND DRYER	MPA	MEGAPASCAL	UNO	UNLESS NOTED OTHERWISE
EJ	EXPANSION JOINT	MR	MIRROR	UR	URINAL
ELEV	ELEVATION	MSP	METAL SINK	UTL	UTILITY
ELEV	ELEVATOR	MSH	MECHANICAL SHADE	US	UNDERSIDE
ELECT	ELECTRIC/ELECTRICAL	MSNRY	MASONRY	V	VOLT
EMER	EMERGENCY	MT	MOUNTED	VB	VAPOUR BARRIER
EPS	EMERGENCY PUSH STRIP	MTD	MOUNTED	VCT	VINYL COMPOSITE TILE
ENCL	ENCLOSURE	MTL	METAL	VERT	VERTICAL
ENT	ENTRANCE	MTP	METAL TOILET PARTITION	VEST	VESTIBULE
EP	EPOXY PAINT	MUL	MULLION	VOL	VOLUME
EPF	EPOXY FLOORING	MW	MICROWAVE OVEN	VSF	VINYL SHEET FLOORING
EPC	EPOXY COATING	MWP	MEMBRANE WATERPROOFING	VVF	VINYL FLOORING
ESP	ELECTROSTATIC PAINT	MWU	MILLWORK	VSDT	VINYL STATIC DISSIPATIVE TILE
ES	ELECTRIC STRIKE	NA	NOT APPLICABLE	VWC	VINYL WALL COVERING
EQU	EQUIPMENT	NIC	NOT IN CONTRACT	W	WATT
EW	EYE WASH	NM	NON METALLIC HARDENER	W	WITH
EX	EXISTING	NO	NON METALLIC HARDENER	WC	WATERCLOSET
EXST	EXISTING	NOM	NOMINAL	WD	WOOD
EXP	EXPANSION	NTS	NOT TO SCALE	WDP	WOOD PANELING
EXP JT	EXPANSION JOINT	NR	NON RATED	WF	WOOD FLOORING
EXT	EXTERIOR	OA	OVERALL	WFT	WET FILM THICKNESS
EXTR	EXTRUDED/EXTRUSION	OC	ON CENTRE	WG	WIRE GLASS
FB	FLUSH BOLT	OD	OUTSIDE DIAMETER	WH	WATER HEATER
FD	FLOOR DRAIN	OF	OUTSIDE FACE	WHC	WOOD HOLLOW CORE
FPE	FINISHED FLOOR ELEVATION	OFC	OPEN GRID CEILING	WMP	WIRE MESH PARTITION
FFH	FORCED FLOW HEATER	OGL	OPENING	WP	WORKING POINT
FFL	FINISH FLOOR	OPG	OPPOSITE	WSC	WOOD SOLID CORE
FH	FIRE HYDRANT	OH	OUNCE	WSC	WOOD SOLID CORE VENEER
FHC	FIRE HOSE CABINET	PA	PUBLIC ADDRESS SYSTEM	WSP	WEATHERSTRIP
FEC	FIRE EXTINGUISHER CABINET	P/CON	PRECAST CONCRETE	WT	WEIGHT
FINGER	FINISH GRADE	PERF	PERFORATED	WWT	WINDOW WASHING TRACK
FIX	FIXTURE	PFT	PORCELAIN FLOOR TILE	WYTB	WINDOW WASHING TIE BACK
FL	FLOOR	PL	PLATE	WD	WASHER DRYER
FLUOR	FLUORESCENT	PLT	PLASTIC LAMINATE	W/O	WITHOUT
FPM	FEET PER MINUTE	PLAM	PLASTIC LAMINATE	WR	WASHROOM
FR	FIRE RATED	PLC	PLASTIC LOCK	WS	WAS STATION
FR	FIBER REINFORCED COMPOSITE	PLYW	PLYWOOD	WV	WOOD VENEER
FRDG	REFRIGERATOR	PNL	PRESSURE TREATED PLYWOOD	YD	YARD
FS	FULL SIZE	POL	POLISHED		
FSL	FIRE SHUTTER WITH FUSIBLE LINK	PPL	PUSH PLATE		
FT	FOOT/FEET	PPT	PURTYNTE PAINT		
FUR	FURRING	PR	PAIR		
FURN	FURNITURE				
FWC	FABRIC WALL COVERING				

# REFERENCE SYMBOLS

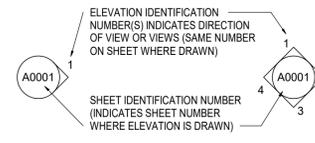
## PLAN IDENTIFICATION



## TITLE IDENTIFICATION



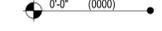
## ELEVATION LOCATION IDENTIFICATION



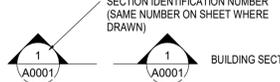
## ELEVATION INDICATION - (FLOORS, ETC...)



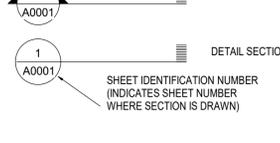
## SPOT ELEVATION



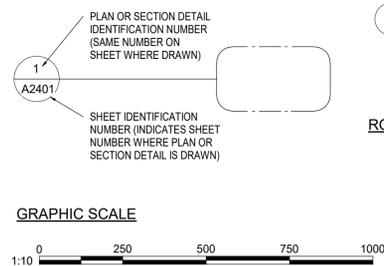
## SECTION LOCATION IDENTIFICATION



## DETAIL LOCATION IDENTIFICATION



## GRAPHIC SCALE



## PARTITION TYPE INDICATION



## MATERIAL OR WORK DIVISION INDICATION



## MATCH LINE INDICATION



## GRID LINE INDICATION



## ROOM NAME AND NUMBER INDICATION



## NEW DOOR NUMBER INDICATION



## WINDOW NUMBER INDICATION



## LOUVER NUMBER INDICATION



## CEILING TAG



## ROOF OR RAMP SLOPE INDICATION



## KEYNOTE SYMBOLS



## FLOOR FINISH TAG



## REVISION INDICATION



## CAMERA VIEW



# GENERAL NOTES

- PERFORM THE WORK IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE, AND ANY OTHER APPLICABLE REQUIREMENT OF AUTHORITIES HAVING JURISDICTION AND/OR LEGISLATION, PROVIDED THAT, IN THE CASE OF CONFLICT OR DISCREPANCY.
- THE CONSULTANT IS NOT RESPONSIBLE FOR INFORMATION CONCERNING THE SITE AND SURVEY INFORMATION PREPARED BY OTHERS.
- DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS AND THE ASSOCIATED STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS AND ALL OTHER RELEVANT CONSULTANT DRAWINGS.
- CONTRACTOR TO SITE VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO CONSULTANT.
- CONTRACTOR SHALL VERIFY THE SITE INFORMATION PRIOR TO PROCEEDING WITH THE WORK. FAILURE TO REPORT ANY DISCREPANCIES SHALL CONSTITUTE ACCEPTANCE OF THE SITE CONDITIONS.
- THE CONTRACTOR SHALL REVIEW THE DRAWINGS FOR SCOPE OF DEMOLITION AND NEW WORK, INCLUDING ALL DISCIPLINES, AND SHALL COORDINATE WITH NEW WORK DRAWINGS FOR EXACT EXTENT OF DEMOLITION.
- SCOPE OF WORK SHALL NOT BE LIMITED TO THAT SHOWN ON THE DRAWINGS AND SHALL INCLUDE WORK REQUIRED TO ELIMINATE ALL EXISTING, ABANDONED OR REDUNDANT COMPONENTS, AND TO FACILITATE PROPER EXECUTION OF THE WORK.
- ALL DIMENSIONS, INCLUDING EXISTING DIMENSIONS AND SETTING-OUT GEOMETRIES, SHALL BE SITE VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH THE WORK.
- COORDINATE AND PROVIDE APPROPRIATE CUTS TO ALL PARTITIONS FOR THE INSTALLATION OF DOOR FRAMES AS REQUIRED.
- PROVIDE 16-18 GA SHEET METAL REINFORCEMENT INSTALLED ON THE STUDS PRIOR TO INSTALLING THE GYPSUM BOARD IN THE LOCATIONS REQUIRED TO SUPPORT WALL MOUNTED ITEMS.
- ISOLATE ALL MECHANICAL PIPES DUCTS AND EQUIPMENT FROM INTERIOR PARTITIONS TO AVOID ACOUSTIC NOISE TRANSFER.
- MAINTAIN CONTINUITY OF BUILDING ENVELOPE AIR / VAPOUR BARRIER TRANSITIONS AND PENETRATIONS WITH MEMBRANES LAPPED AND APPROVED SEALANTS COMPATIBLE WITH MEMBRANE PRODUCTS USED.
- REINSTATE INTEGRITY OF FIRE SEPARATION WHEN PATCHING. PROVIDE AND INSTALL FIRE STOPPING AND SMOKE SEALS AT ALL NEW SERVICE PENETRATIONS THROUGH FLOORS, WALLS AND CEILINGS IN ACCORDANCE WITH OBC, LATEST EDITION REQUIREMENTS. REFER TO MECHANICAL DRAWINGS FOR ANY FIRE DAMPER REQUIREMENTS.
- ENSURE THAT FOR ALL FIRE SEPARATIONS INDICATED ON THE DRAWINGS, ALL COMPONENTS OF THE ASSEMBLY SHALL BE OF APPROVED MATERIALS, AND INSTALLATION/FABRICATION PROCEDURES ARE PER DIRECTION OF THE INDICATED "UNDERWRITERS LABORATORIES OF CANADA LTD." LATEST EDITION MANUAL AND OTHERWISE MEETING THE REQUIREMENTS OF THE ONTARIO BUILDING CODE. ALL FIRE SEPARATIONS MUST BE CONTINUOUS, AND ALL JOINTS TO BE SMOKE TIGHT. MAINTAIN CONTINUITY OF ALL FIRE SEPARATIONS AND PENETRATIONS WITH APPROVED U.L.C. LISTED FIRE STOPPING SYSTEMS AND FIRE SEALANTS BOTH SIDES OF PARTITIONS.
- ULC LISTED FIRE-RATED SEALANT IS TO BE APPLIED TO ALL FIRE-RATED PARTITIONS AND LEFT EXPOSED FOR INSPECTION PURPOSES
- FOR ALL SUPPORTS AND CONNECTIONS OF EQUIPMENT PROVIDE SHOP DRAWINGS DESIGNED AND STAMPED BY A PROFESSIONAL ENGINEER LICENCED IN THE PROVINCE OF ONTARIO.
- WHERE ITEMS NOTED TO BE DEMOLISHED MEET EXISTING WALLS/CEILING AND/OR FLOOR TO REMAIN, PATCH REPAIR AND MAKE GOOD EXISTING SURFACES. PROVIDE NEW INFILL MATERIAL TO MATCH EXISTING AND MAINTAIN ALL FIRE RATED WALL CONSTRUCTION.
- PROVIDE CUTTING, PATCHING AND CORING OF ALL WALLS, CEILING, ROOF AND OTHER SURFACES AS REQUIRED TO PERFORM THE WORK. PRIOR TO CUTTING OR CORING, SCAN THE SLAB/WALL/ROOF AND COORDINATE DRILLING/CUTTING TO AVOID CUTTING REINFORCING, CONDUITS, WIRING AND OTHER HIDDEN ITEMS. OBTAIN WRITTEN VERIFICATION OF PROPOSED DRILLING AND CUTTING LOCATIONS FROM THE STRUCTURAL ENGINEER.
- RESERVED.
- BEFORE COMMENCING WORK, ESTABLISH LOCATION AND EXTENT OF EXISTING SERVICE LINES IN AREA OF WORK AND NOTIFY CONSULTANT OF FINDINGS. WHERE UNKNOWN SERVICES ARE ENCOUNTERED, IMMEDIATELY ADVISE AND CONFIRM FINDINGS IN WRITING.
- PROVIDE FOR DEMOLITION OF INCLUDING BUT NOT LIMITED TO, EXISTING WALLS, FLOORS, CEILINGS, ASSOCIATED FINISHES, MECHANICAL AND ELECTRICAL FIXTURES, DEVICES, DUCTS TO ALLOW FOR NEW WORK TO BE INSTALLED. COORDINATE BETWEEN TRADES FOR REMOVAL.
- CONCEAL ALL MECHANICAL AND ELECTRICAL WORK IN WALLS AND CEILINGS, EXCEPT AS INDICATED OTHERWISE OR APPROVED. VAPOUR BARRIER TO BE CONTINUOUS UNDER ALL NEW FLOOR SLABS. PATCH ALL CONCRETE CORE TEST AREAS, DEFECTS AND DEMOLITION LOCATIONS.
- ALL SPECIFIED MATERIALS SHALL BE INSTALLED AND FINISHED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS. SHOULD SUCH INSTRUCTIONS DIFFER FROM THE SPECIFICATIONS OR DETAILS, ADVISE CONSULTANT IMMEDIATELY FOR DIRECTION.
- DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL SIMILAR CONDITIONS UNLESS NOTED OR DETAILED OTHERWISE.
- BRING ALL OMISSIONS AND DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE CONSULTANT PRIOR TO COMMENCEMENT OF ANY WORK.
- RESERVED.
- WALL ASSEMBLIES SHALL EXTEND TO UNDERSIDE OF ROOF OR STRUCTURE ABOVE UNLESS NOTED OR DETAILED OTHERWISE.
- REFER TO ELECTRICAL DRAWINGS FOR LOCATION OF ALL ELECTRICAL EQUIPMENT, CONDUIT, LIGHTING AND RECEPTACLE LOCATIONS.
- REFER TO MECHANICAL DRAWINGS FOR LOCATION OF ALL MECHANICAL EQUIPMENT AND PROVISIONS.
- REFER TO STRUCTURAL DRAWINGS FOR LOCATION AND SIZING OF ALL STRUCTURAL ELEMENTS.
- DIMENSIONS ARE SHOWN IN MILLIMETERS UNLESS OTHERWISE NOTED.
- REMOVAL AND DISPOSAL OF HAZARDOUS MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL REGULATIONS AND AUTHORITIES HAVING JURISDICTION.
- UNLESS NOTED OTHERWISE, MAKE GOOD ALL AREAS DISTURBED BY EXCAVATION AND/OR INSTALLATION OF CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL SERVICES. REFER TO CIVIL, STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS.
- PROPER HOARDING AROUND ALL NEW EXTERIOR WORK LOCATIONS TO BE PROVIDED.

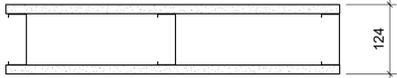
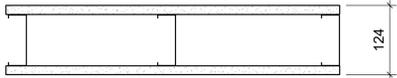
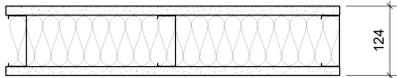
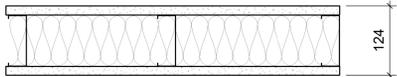
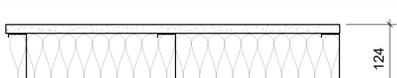
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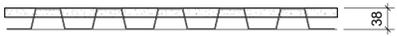
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ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION - COST ESTIMATION	2024-11-05
B	ISSUED FOR 50% SUBMISSION	2024-11-19
C	ISSUED FOR 75% SUBMISSION	2024-12-12
D	ISS	

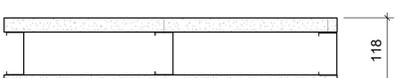
## METAL STUD - DRYWALL

TYPE NO.	ASSEMBLY	DESCRIPTION	FRR	STC
W2		- Type X 16mm GYPSUM BOARD - 92mm METAL STUDS @ 400 O.C. - 16mm GYPSUM BOARD - EXTEND WALL TO U/S OF DECK	1.0 HR ULC W407	38 (OBC S4C)
W2a		- 16mm GYPSUM BOARD - 92mm METAL STUDS @ 400 O.C. - 16mm GYPSUM BOARD		
W2b		- 16mm GYPSUM BOARD - 92mm METAL STUDS @ 400 O.C. - 92mm ACOUSTIC/THERMAL NON COMBUSTIBLE BATT INSULATION - 16mm GYPSUM BOARD - TO BE BUILT ON TOP OF THE EXISTING HALF HEIGHT PARTITION TO U/S OF SLAB AND/OR CEILING		45
W2c		- 16mm GYPSUM BOARD - 92mm METAL STUDS @ 400 O.C. - 92mm ACOUSTIC / THERMAL NON COMBUSTIBLE BATT INSULATION - 16mm GYPSUM BOARD - EXTEND WALL TO U/S OF SLAB		45
W2d		- 1 LAYERS OF Type X 16mm GYPSUM BOARD - 92mm METAL STUDS @ 400 O.C. MAXIMUM - 92mm ACOUSTIC / THERMAL NON COMBUSTIBLE BATT INSULATION - 1 LAYER OF Type X 16mm GYPSUM BOARD - EXTEND WALL TO U/S OF SLAB	1.0 HR ULC W414	55
W2e		- 16mm GYPSUM BOARD - 152mm METAL STUDS @ 400 O.C. - 152mm ACOUSTIC / THERMAL NON COMBUSTIBLE BATT INSULATION - 16mm GYPSUM BOARD - EXTEND WALL TO U/S OF DECK		51 (OBC S7A)
W2f		- 16mm GYPSUM BOARD - 152mm METAL STUDS @ 400 O.C. - 16mm GYPSUM BOARD		
W2g		- 2 LAYERS OF 16MM GYPSUM BOARD - 92mm METAL STUDS @ 400 O.C. - 92mm ACOUSTIC / THERMAL NON COMBUSTIBLE BATT INSULATION - 16mm GYPSUM BOARD - EXTEND WALL TO U/S OF DECK		50 (OBC S5B)

## FURRING WALL TYPES - INTERNAL

TYPE NO.	ASSEMBLY	DESCRIPTION	FRR
W3a		38mm FURRING - TO 150mm ABOVE FIN. CEILING - 16mm GYPSUM BOARD - 22mm MIN HAT CHANNEL @ 400 O.C.	
W3b		80mm FURRING - TO 150mm ABOVE FIN. CEILING - 16mm GYPSUM BOARD - 64mm MIN STEEL STUDS @ 400 O.C.	
W3c		108mm FURRING - TO 150mm ABOVE FIN. CEILING UNLESS OTHERWISE NOTED - 16mm GYPSUM BOARD - 92mm MIN STEEL STUDS @ 400 O.C. - EXTEND WALL TO U/S OF SLAB	
W3d		108mm FURRING - TO 150mm ABOVE FIN. CEILING UNLESS OTHERWISE NOTED - 16mm GYPSUM BOARD - 92mm MIN STEEL STUDS @ 400 O.C. - 92mm ACOUSTIC NON COMBUSTIBLE BATT INSULATION	

## SHAFT WALL TYPES - INTERNAL

TYPE NO.	ASSEMBLY	DESCRIPTION	FRR	STC
W4a		- Type X 25.4mm GYPSUM BOARD - 102mm "C-H" SHAPED STUD @600 O.C. - 16mm GYPSUM BOARD TO U/S OF DECK/ SLAB ABOVE	1.0 HR ULC W452	
W4b		- Type X 25.4mm GYPSUM BOARD - 102mm "C-H" SHAPED STUD @600 O.C. - 102mm ACOUSTIC / THERMAL NON COMBUSTIBLE BATT INSULATION - 19.1mm GYPSUM BOARD TO U/S OF DECK/ SLAB ABOVE	2.0 HR ULC W508	52

### WALL TYPE NOTES:

- ACOUSTIC BATT INSULATION TO EXTEND FULL HEIGHT OF WALL ASSEMBLIES UNLESS NOTED OTHERWISE.
- PROVIDE MOISTURE RESISTANT GYPSUM BOARD ON ALL WALLS OF WASHROOMS, KITCHEN AREAS AND BEHIND DRINKING FOUNTAINS.
- PROVIDE TILE BACKER BOARD BEHIND ALL CERAMIC TILE APPLICATIONS.
- ANY PENETRATIONS THROUGH FIRE RATED WALLS SHOULD BE PROTECTED WITH ULC LISTED FIRE STOPPING TO MATCH EXISTING WALL OR FLOOR RATING.
- AT FIRE RATED WALLS AND SMOKE BARRIERS ABOVE ACCESSIBLE CEILING, PROVIDE IDENTIFICATION SIGNAGE, SPACED AT NOT MORE THAN 9 METRE MEASURED HORIZONTALLY, INDICATING "FIRE AND/OR SMOKE BARRIER - PROTECT OPENINGS AS PER OBC 3.1.9".
- FURRING WALLS AROUND COLUMNS, SHAFTS AND PIPING THAT ARE ALSO DEMISING WALLS BETWEEN ROOMS SHALL GO TO U/S OF DECK/ SLAB ABOVE AND CARRY ACOUSTIC INSULATION CONTINUITY FROM ADJACENT WALLS.

CLIENT

CITY OF TORONTO



Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
M5V 3C6

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ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION - COST ESTIMATION	2024-11-05
B	ISSUED FOR 50% SUBMISSION	2024-11-19
C	ISSUED FOR 75% SUBMISSION	2024-12-12
D	ISSUED FOR 95% SUBMISSION / ISSUED FOR PERMIT	2025-01-24
E	ISSUED FOR 100% / PERMIT	2025-02-07

CONSULTANTS

SEAL

PRIME CONSULTANT



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PROJECT TITLE

Office Modernization for Toronto  
Water Office

PROJECT ADDRESS

95 The Esplanade  
Toronto, ON M5E 1Y8

PROJECT NO:

148121

DRAWN BY:

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CHECKED BY:

L. BANDIERA

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

CONSTRUCTION  
ASSEMBLIES

SHEET NUMBER

G0005

ISSUE

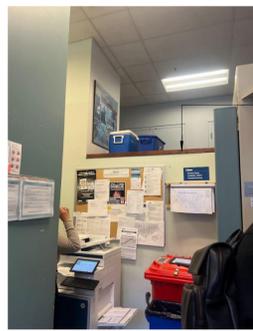
E



REMOVE EXISTING WOOD CAP

LIFT TO REMAIN

2 EXISTING LIFT TO REMAIN  
Scale: NTS



REMOVE EXISTING WOOD CAP

REPAIR EXISTING PARTITIONS. PATCH AND MAKE GOOD TO RECEIVE NEW FINISHES.

3 HALF HEIGHT WALL  
Scale: NTS



REMOVE NOSING STRIPS

REMOVE CARPET

REMOVE EXISTING TACTILE INDICATORS

4 EXISTING STAIRS  
Scale: NTS



REMOVE TILE FLOORING

REMOVE EXISTING VINYL FINISH FROM THE TOP AND TILE FINISH FROM THE SIDES OF EXISTING WINDOW SILL. REFER TO SHEET A2007.

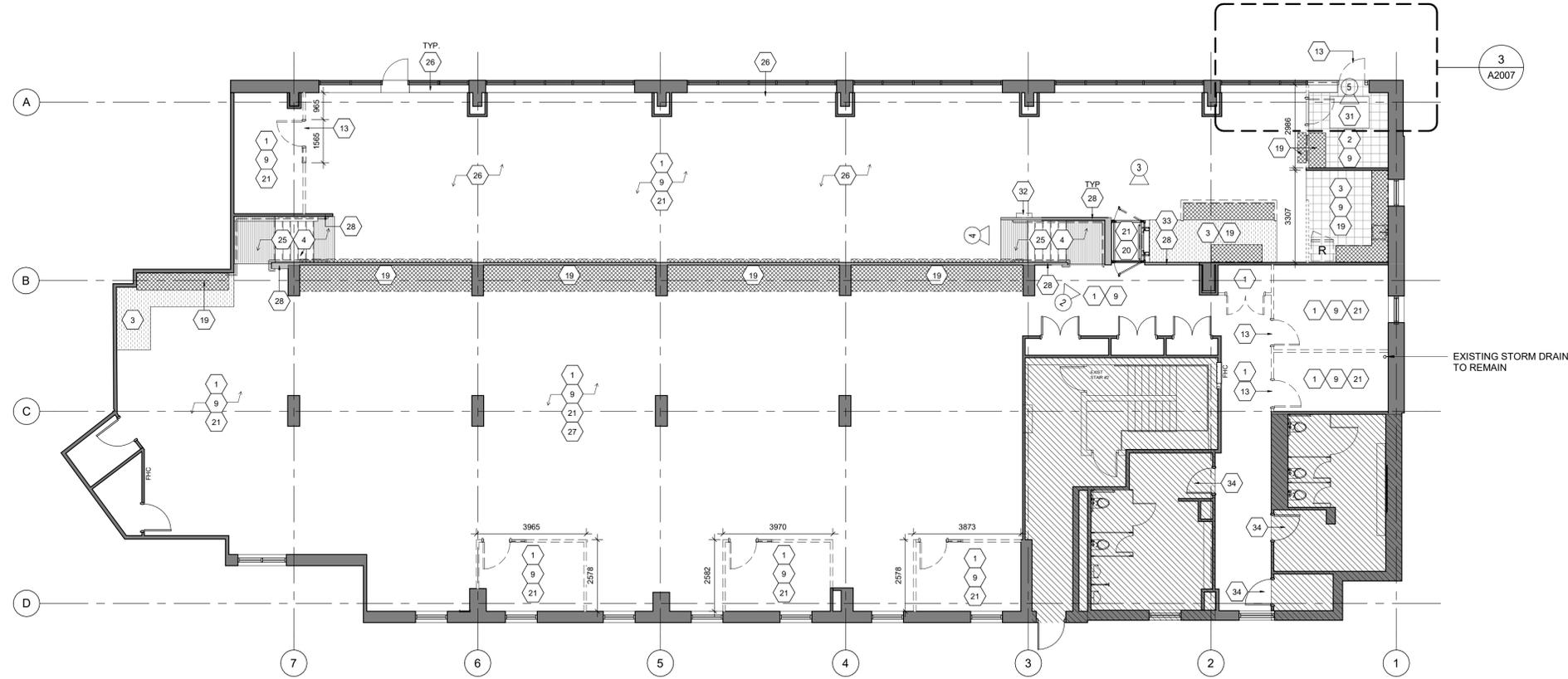
5 VESTIBULE FLOORING  
Scale: NTS

**DEMOLITION KEY LEGEND**

- EXISTING TO BE DEMOLISHED
- - - - EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- █ EXISTING EXTERIOR WALL TO REMAIN
- █ EXISTING PARTITION TO REMAIN
- █ EXISTING HALF PARTITION WALL
- EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE TO BE REMOVED
- EXISTING DOOR TO REMAIN
- ▨ HATCHED AREA NOT IN CONTRACT
- ▨ EXISTING MILLWORK TO BE DEMOLISHED
- ▨ EXISTING CARPET TO BE DEMOLISHED
- ▨ EXISTING TILE TO BE DEMOLISHED
- ▨ EXISTING LVT TO BE DEMOLISHED
- ▨ EXISTING STATIC DISSIPATIVE TILE TO BE DEMOLISHED
- ▨ EXISTING TACTILE INDICATOR FLOORING TO BE DEMOLISHED

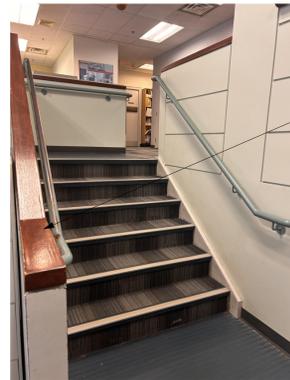
**DEMOLITION KEY NOTES**

NO	DESCRIPTION
1	REMOVE EXISTING CARPET FLOORING, REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW FLOOR FINISHES. FIRE STOP ALL FLOOR PENETRATIONS.
2	REMOVE EXISTING TILE FLOORING. PATCH, REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW FLOOR FINISHES. FIRE STOP ALL FLOOR PENETRATIONS.
3	REMOVE EXISTING LVT FLOORING. PATCH, REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW FLOOR FINISHES. FIRE STOP ALL FLOOR PENETRATIONS.
4	REMOVE EXISTING TACTILE INDICATOR. PATCH, REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW FINISHES.
9	REMOVE EXISTING WALL BASE. REPAIR AND CLEAN SURFACE READY TO RECEIVE NEW BASE.
13	REMOVE EXISTING DOOR, WINDOW AND FRAME TO ACCOMMODATE NEW.
19	REMOVE EXISTING MILLWORK. FILL AND PATCH WALL, CEILING AND FLOOR AS REQUIRED. MAKE GOOD ALL ADJACENT SURFACES. MAKE READY TO RECEIVE NEW FINISHES.
20	EXISTING LIFT TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. LIFT TO BE STRIPPED AND PREPPED FOR NEW PAINT FINISH.
21	REPAIR EXISTING PARTITIONS TO REMAIN. PATCH AND MAKE GOOD ALL ADJACENT SURFACES DAMAGED DURING CONSTRUCTION.
25	STAIRS TO BE STRIPPED OF CARPET AND NOSING STRIPS, INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. PROTECT EXISTING TREADS.
26	REMOVE EXISTING FURNITURE WHIPS AS REQUIRED. PROVIDE NEW - COORDINATE WITH POWER AND COMMUNICATIONS PLAN AND ELECTRICAL ENGINEERS DRAWINGS.
27	ALL EXISTING FURNITURE POWER POLES TO BE REMOVED - REPLACE CUT TILES AS REQUIRED WITH ATTIC STOCK.
28	REMOVE EXISTING WOOD CAP FROM HALF HEIGHT WALL.
31	REMOVE EXISTING PEDIMAT. KEEP THE FRAME. REPAIR, LEVEL, AND CLEAN THE SURFACE READY TO RECEIVE NEW MAT.
32	FIRST AID KIT AND THE LOG BOOK TO BE REMOVED AND RELOCATED TO A NEW SPOT AS INDICATED ON PARTITION PLAN.
33	EXISTING ELEVATOR DRAWING RACK TO BE REMOVED AND RELOCATED TO A NEW SPOT AS INDICATED ON PARTITION PLAN.
34	REMOVE EXISTING WASHROOM SIGN, NAME TAG SIGN, AND ACCESSORIES ON DOOR. PATCH AND MAKE GOOD ALL ADJACENT SURFACES FOR NEW PAINT FINISH.



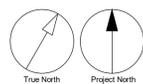
EXTENT OF MILLWORK TO BE REMOVED AT MEZZANINE WALL

6 HALF HEIGHT WALL AT MEZZANINE  
Scale: NTS



WOOD CAP TO BE REMOVED TO ALLOW FOR FULL HEIGHT PARTITION

7 WOOD CAP AT STAIR  
Scale: NTS



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C	ISSUED FOR 75% SUBMISSION	2024-12-12
D	ISSUED FOR 95% SUBMISSION / ISSUED FOR PERMIT	2025-01-24
E	ISSUED FOR 100% / PERMIT	2025-02-07

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PROJECT TITLE  
**Office Modernization for Toronto Water Office**

PROJECT ADDRESS  
**95 The Esplanade  
Toronto, ON M5E 1Y8**

PROJECT NO:  
148121

DRAWN BY:  
**Q. BOMBASE**

CHECKED BY:  
**L. BANDIERA**

PROJECT MGR:  
**F. BOLOURIAN**

APPROVED BY:  
**E. FENUTA**

SHEET TITLE  
**DEMOLITION PLAN - GROUND FLOOR**

SHEET NUMBER  
**A1001**

ISSUE  
**E**

**RCP DEMOLITION KEY LEGEND**

----- LINE INDICATES CEILING AND/OR BULKHEADS TO BE DEMOLISHED

█ EXISTING BULKHEAD AND/OR DROPPED CEILING TO REMAIN

█ EXISTING PARTITION TO REMAIN

⤵ EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE TO BE REMOVED

⤵ EXISTING DOOR TO REMAIN

▨ HATCHED AREA NOT IN CONTRACT

**CEILING TYPES LEGEND**

▧ EXISTING ACT TO REMAIN

▧ EXISTING GB TO REMAIN

▧ EXISTING ACOUSTICAL CEILING TILES AND GRIDS TO BE DEMOLISHED. TO BE READ WITH RCP AND PARTITION PLANS FOR THE EXTENT OF DEMOLITION.

▧ EXISTING DROP CEILING GRIDS TO BE DEMOLISHED. CEILING TILES TO BE REMOVED AND RELOCATED TO THE T-BAR GRID ABOVE

▧ REMOVE EXISTING TRIM AND DROPPED T-BAR GRIDS AND TILES. TO BE READ WITH PARTITION AND REFLECTED CEILING PLAN FOR THE EXTENT OF DEMOLITION.

▧ EXISTING EXPOSED CEILING

----- LINE INDICATES BORDER OF ACT AND GRIDS TO BE DEMOLISHED WHERE NEW PARTITIONS ARE TO BE BUILT. REFER TO RCP AND PARTITION PLANS FOR THE EXTENT OF DEMOLITION.

TO BE READ WITH RCP AND PARTITION PLANS FOR THE EXTENT OF DEMOLITION

**CEILING GENERAL NOTES**

- RESERVED
- RESERVED
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- REFER TO ELECTRICAL DRAWINGS FOR THE LOCATION AND TYPE OF ALL OTHER ELECTRICAL FIXTURES OTHER THAN LIGHT FIXTURES, INCLUDING BUT NOT LIMITED TO EXIT SIGNS
- REFER TO MECHANICAL DRAWINGS FOR THE LOCATION, TYPE & QUANTITY OF MECHANICAL EQUIPMENT.
- ALL LIGHT FIXTURES ARE TO BE CENTERED ON ACOUSTIC CEILING TILE UNLESS OTHERWISE NOTED

**DEMOLITION KEY NOTES**

NO	DESCRIPTION
14	REMOVE EXISTING GB CEILING/BULKHEAD. MAKE GOOD ALL ADJACENT SURFACES. MAKE READY TO RECEIVE NEW FINISHES.
17	REMOVE EXISTING LIGHTING FIXTURES AND REPLACE WITH NEW. REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS. DAMAGED ACT TO BE REPLACED WITH LANDLORDS ATTIC STOCK. PATCH AND REPAIR EXISTING CEILING AND MAKE GOOD TO RECEIVE NEW FINISH
22	EXISTING BULKHEAD TO REMAIN. PREPARE AND CLEAN SURFACE READY TO RECEIVE NEW PAINT FINISH. TO BE READ WITH FINISHES SCHEDULE.
29	REMOVE EXISTING TRIM AND DROPPED T-BAR GRIDS. RELOCATE EXISTING TILES TO T-BAR ABOVE.
30	REMOVE EXISTING TRIM AND DROPPED T-BAR GRIDS AND TILES. TO BE READ WITH PARTITION PLAN AND REFLECTED CEILING PLAN FOR THE EXTENT OF DEMOLITION.

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CHECKED BY:  
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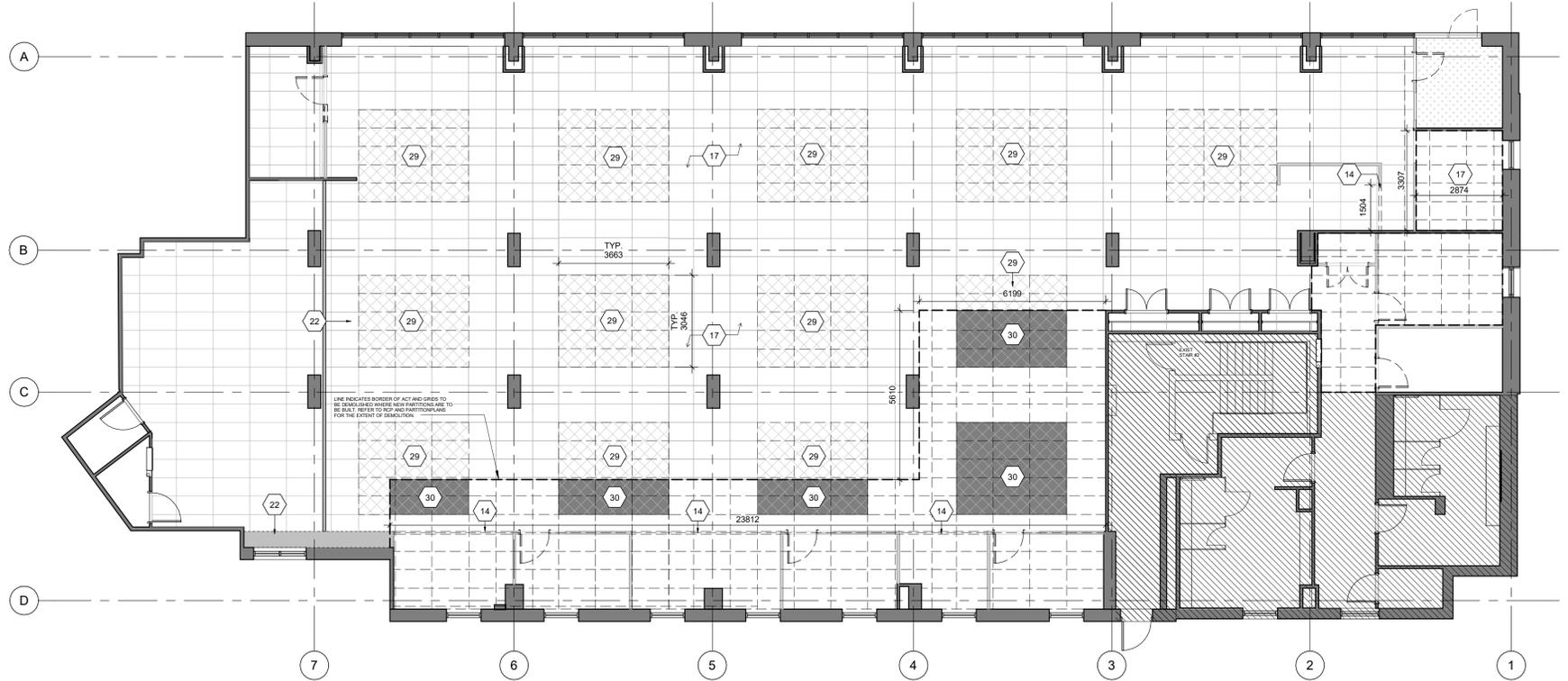
PROJECT MGR:  
**F. BOLOURIAN**

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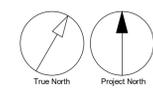
SHEET TITLE  
**DEMOLITION REFLECTED CEILING PLAN - GROUND FLOOR**

SHEET NUMBER  
**A1002**

ISSUE  
**E**



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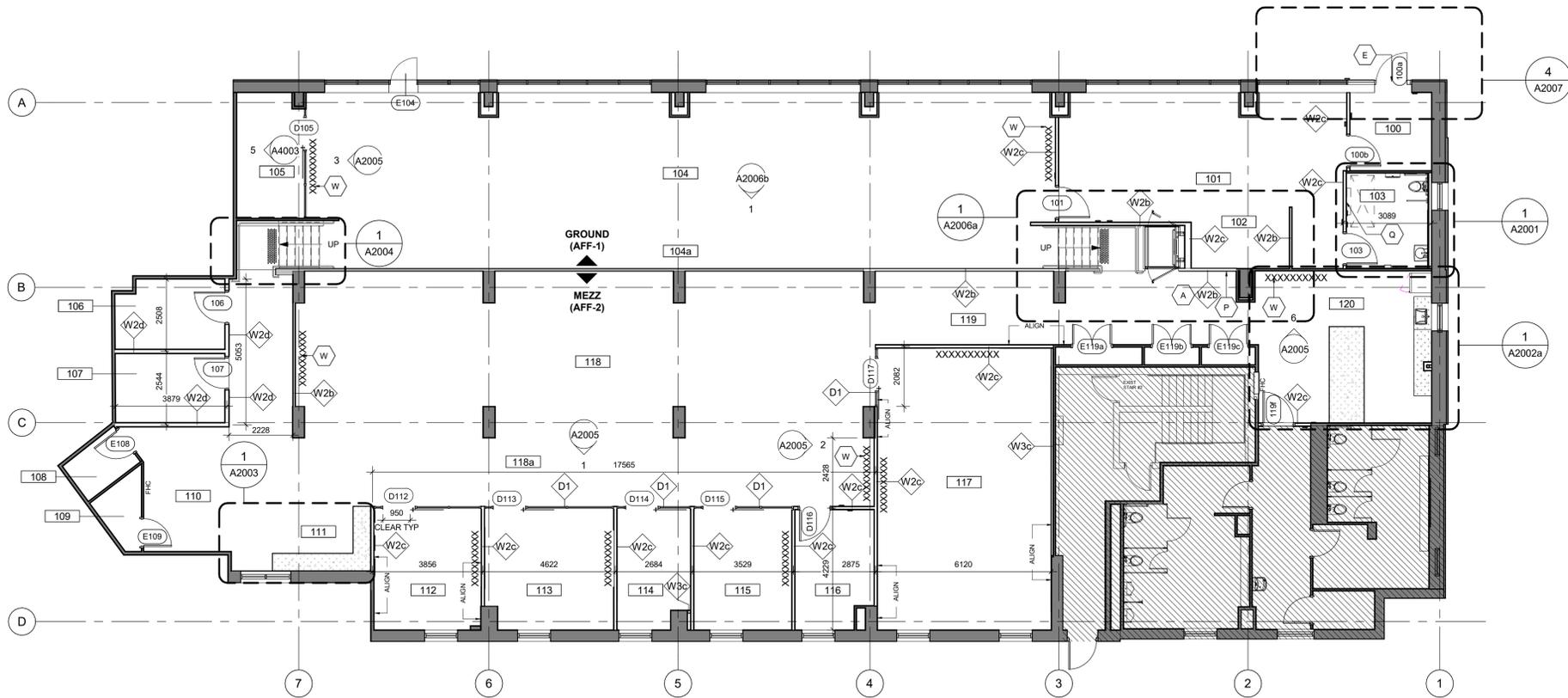
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**DEMOLITION REFLECTED CEILING PLAN - GROUND FLOOR**

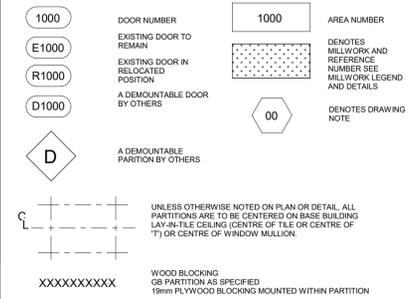
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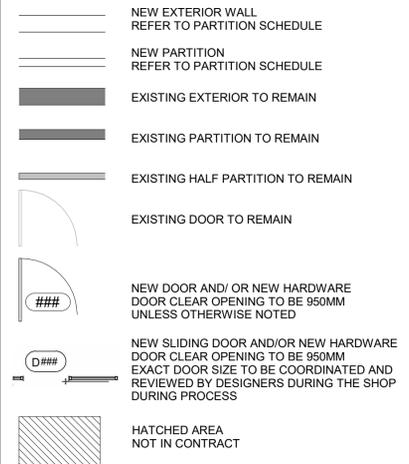
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**PARTITION PLAN LEGEND**



**CONSTRUCTION KEY LEGEND**



**PARTITION TYPES**

- W2b- INTERIOR PARTITION** PARTITION TYPE **W2b**
  - 16mm GYPSUM BOARD
  - 92mm METAL STUDS @ 400 O.C.
  - 92mm ACOUSTIC/THERMAL NON COMBUSTIBLE BATT INSULATION
  - 16mm GYPSUM BOARD
  - TO BE BUILT ON TOP OF THE EXISTING HALF HEIGHT PARTITION TO U/S SLAB AND/OR CEILING
- W2c- INTERIOR PARTITION** PARTITION TYPE **W2c**
  - 16mm GYPSUM BOARD
  - 92mm METAL STUDS @ 400 O.C.
  - 92mm ACOUSTIC / THERMAL NON COMBUSTIBLE BATT INSULATION
  - 16mm GYPSUM BOARD
  - EXTEND WALL TO U/S OF SLAB
- W2d- INTERIOR PARTITION** PARTITION TYPE **W2d**
  - 1 LAYERS OF Type X 16mm GYPSUM BOARD
  - 92mm METAL STUDS @ 400 O.C. MAXIMUM
  - 92mm ACOUSTIC / THERMAL NON COMBUSTIBLE BATT INSULATION
  - 1 LAYER OF Type X 16mm GYPSUM BOARD
  - EXTEND WALL TO U/S OF SLAB
- W3c- INTERIOR FURRING PARTITION** PARTITION TYPE **W3c**
  - 108mm FURRING - TO 150mm ABOVE FIN. CEILING UNLESS OTHERWISE NOTED
  - 16mm GYPSUM BOARD
  - 92mm MIN STEEL STUDS @ 400 O.C.
  - EXTEND WALL TO U/S OF SLAB
- D1- DEMOUNTABLE PARTITION** PARTITION TYPE **D1**
  - 92mm METAL STUDS @400 O.C FROM TOP OF THE DEMOUNTABLE PARTITION TO U/S OF SLAB
  - 1 LAYER 16mm GYPSUM BOARD ON EITHER SIDE FROM TOP OF THE DEMOUNTABLE PARTITION TO U/S OF SLAB
  - 92mm SOUND INSULATION
  - DEMOUNTABLE PARTITION AS SPECIFIED (AGARDY GLASS OR SIMILAR)

**CONSTRUCTION KEY NOTES**

- NO** DESCRIPTION
- A** REFER TO ENLARGED PLANS FOR ELEVATION AND DETAIL VIEWS.
- E** INSTALL NEW DOOR AND FRAME AND/OR SIDELIGHT AS INDICATED. TO BE READ WITH DOOR SCHEDULE AND DETAILS. ALL ADJACENT PARTITIONS TO BE REPAINTED TO MATCH EXISTING FINISH UNLESS OTHERWISE NOTED. FOR FIRE RATED DOORS & SIDELIGHTS, CONTRACTOR TO PROVIDE ALL SUPPORTING DOCUMENTS THAT SUPPORT THE REQUIRED FIRE RATING AS DESCRIBED FOR REVIEW.
- P** RELOCATE EXISTING ELEVATOR DRAWING RACK. TO BE LOCATED ON SITE
- Q** PROVIDE WALL REINFORCEMENT TO SUPPORT FUTURE ADULT CHANGE TABLE. MINIMUM LOAD NOF 1.33KN AND POWER OUTLET
- W** PROVIDE BLOCKING FOR TVS. TO BE READ WITH ELEVATIONS FOR HEIGHT.

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PROJECT TITLE  
**Office Modernization for Toronto Water Office**

PROJECT ADDRESS  
 95 The Esplanade  
 Toronto, ON M5E 1Y8

PROJECT NO:  
148121  
 DRAWN BY:  
**Q. BOMBASE**  
 PROJECT MGR:  
**F. BOLOURIAN**

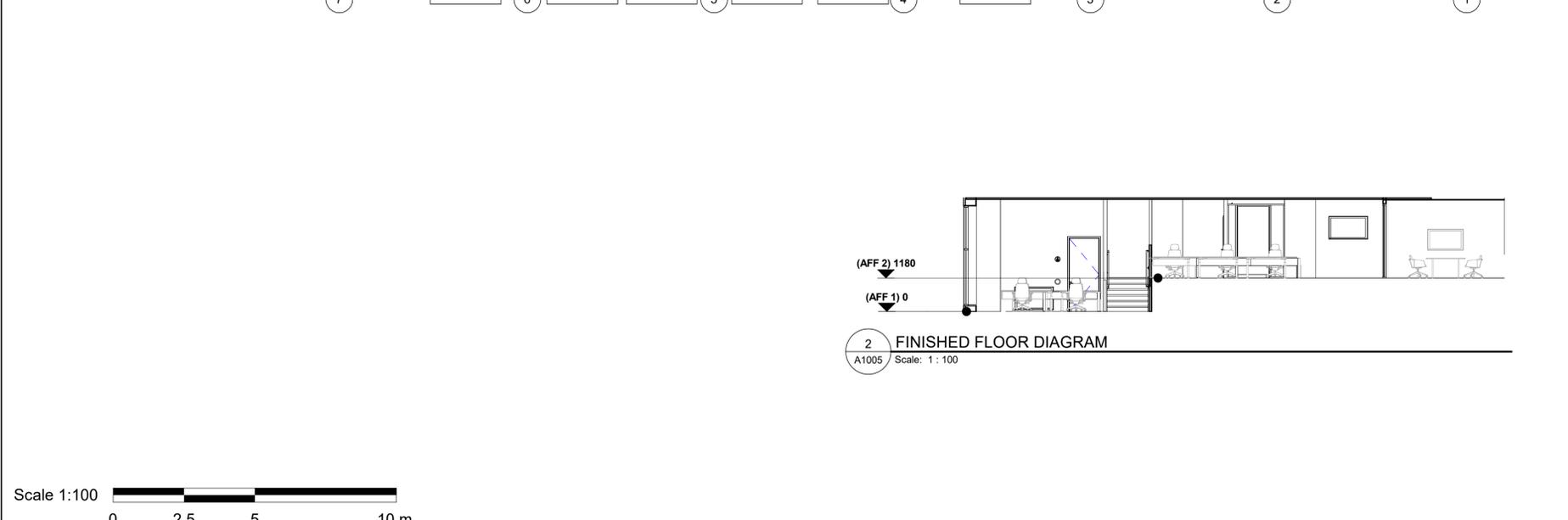
CHECKED BY:  
**L. BANDIERA**  
 APPROVED BY:  
**E. FENUTA**

SHEET TITLE  
**PARTITION PLAN - GROUND FLOOR**  
 SHEET NUMBER  
**A1003**  
 ISSUE  
**E**

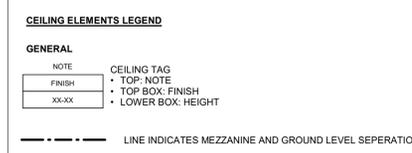
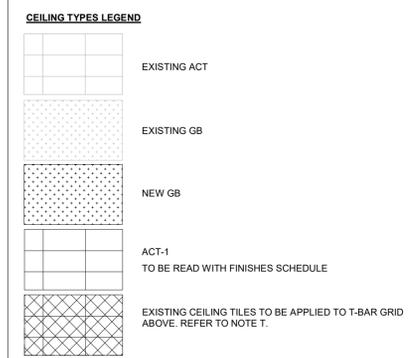
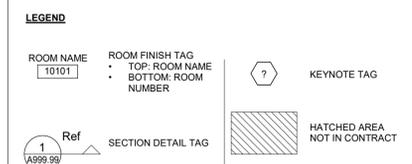
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**CEILING LEGEND**



**CEILING GENERAL NOTES**

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**CONSTRUCTION KEY NOTES**

- | NO | DESCRIPTION   |
|----|---|
| L  | REFER TO ELECTRICAL DRAWINGS AND SPEC FOR THE LIGHTING QUANTITY AND SPECIFICATION.  |
| M  | PROVIDE SEPARATE PRICING FOR INSTALLING NEW CEILING GRIDS AND CEILING TILES IN ALL AREAS CURRENTLY DESIGNATED TO KEEP THE EXISTING GRID AND TILE. INCLUDING ALL THE OPEN OFFICE AREAS, CLIENT IN-TAKE, SERVERY AND ALL THE SERVICE ROOMS. |
| R  | CEILING HEIGHT TO MATCH EXISTING HEIGHT IN ROOM 105   |
| T  | RELOCATED EXISTING CEILING TILES TO T-BAR ABOVE   |

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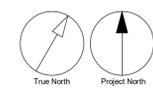
**PROJECT ADDRESS**  
 95 The Esplanade  
 Toronto, ON M5E 1Y8

**PROJECT NO:** 148121  
**DRAWN BY:** Q.BOMBASE  
**CHECKED BY:** L. BANDIERA  
**PROJECT MGR:** F. BOLOURIAN  
**APPROVED BY:** E. FENUTA

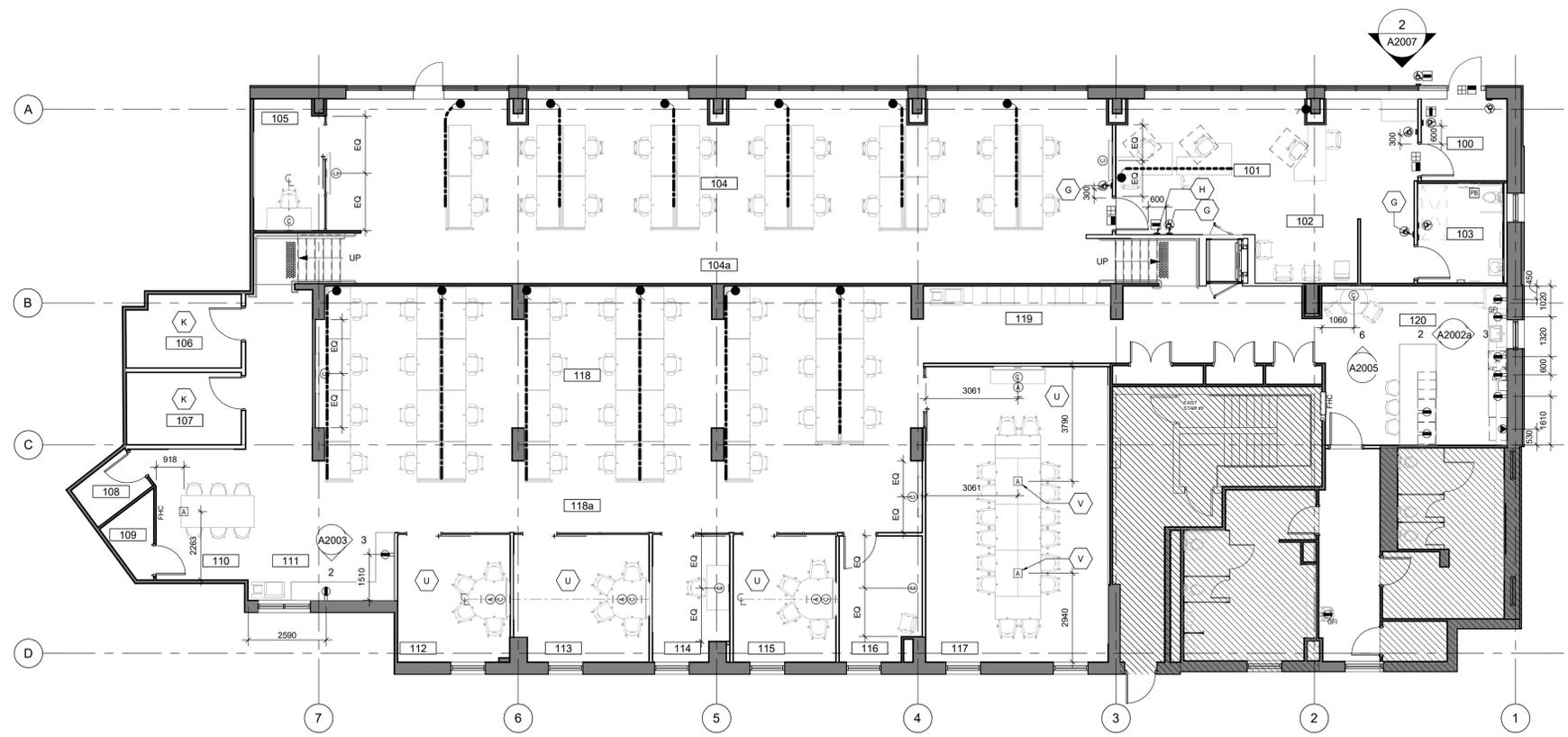
**SHEET TITLE**  
 REFLECTED CEILING PLAN - GROUND FLOOR

**SHEET NUMBER** A1005  
**ISSUE** E

2025-02-12 2:00:29 PM

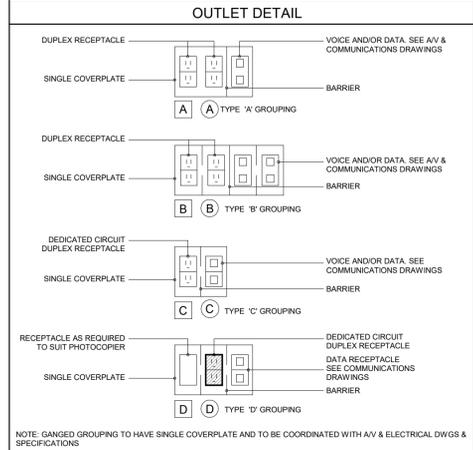


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**POWER AND COMMUNICATIONS PLAN LEGEND**

- HATCHED AREA NOT IN CONTRACT
- DUPLEX RECEPTACLE WALL MOUNTED
- DUPLEX RECEPTACLE C/W GROUND FAULT INTERRUPTER WALL MTD.
- DIRECT CONNECTION
- DATA OUTLET WALL MOUNTED
- GANGED GROUP (SEE DETAIL) WALL MOUNTED
- POWER FEED-IN TO SYSTEMS FURNITURE WALL MOUNTED
- DUPLEX RECEPTACLE DEDICATED CIRCUIT FLOOR MOUNTED
- GANGED GROUP (SEE DETAIL) FLOOR MOUNTED
- WIREMOLD, MOUNTED ON FLOOR/WALL. SEE PLAN
- POWERED PANEL
- CONNECTRAC AS SPEC.D BY ELEC. ENGINEERS.
- CARD READER
- DOOR CONTACT
- ELECTRO-MAGNETIC LOCK
- ELECTRIC STRIKE
- PULL STATION
- HANDICAP DOOR PADDLE
- PANIC BUTTON
- ELECTRONIC KEYPAD
- EGRESS BUTTON
- COPY
- PRINTER
- FAX MACHINE
- MULTI-FUNCTION DEVICE



**CONSTRUCTION KEY NOTES**

NO	DESCRIPTION
G	PROVIDE BFPB - TO BE COORDINATED WITH ELECTRICAL DRAWINGS
H	PROVIDE CARD READER- TO BE COORDINATED WITH ELECTRICAL DRAWINGS.
K	SEE ELECTRICAL DRAWINGS FOR SERVER AND UPS ROOM REQUIREMENTS
U	AV MOUNTING HEIGHTS TO BE COORDINATED WITH ELECTRICAL/AV DRAWING SET - SEE SHEETS E4116-E4118 FOR DETAILS
V	PROVIDE FLOOR BOXES. REFER TO ELECTRICAL/AV DRAWINGS FOR SPECIFICATIONS

- NOTES**
- REFER TO ELECTRICAL DRAWINGS FOR CONVENIENCE OUTLETS AS REQUIRED.
  - THIS DRAWING IS FOR LOCATION PURPOSE ONLY. REFER TO ELECTRICAL CIRCUITING, GROUNDING, ETC. REPORT ANY DISCREPANCIES.
  - REFER TO ELECTRICAL DRAWINGS FOR DESIGNATION OF ALL OUTLETS INDICATED ON DRAWINGS.
  - WHERE DETAIL SYMBOL OCCURS ON PLAN, CONTRACTOR MUST REFER TO ELEVATION OR ENLARGED PLAN FOR SPECIFIC LOCATION AND HEIGHT OF ELECTRICAL REQUIREMENT.
  - ALL ELECTRICAL AND TELEPHONE WORK TO COMPLY WITH REQUIREMENTS OF BUILDING LANDLORD AND AUTHORITIES HAVING JURISDICTION. ALL REQUIRED CHANGES ARE TO BE APPROVED BY DESIGNER PRIOR TO PROCEEDING WITH CHANGES FROM THE SUBMITTED CONSTRUCTION DOCUMENTS.
  - ARCHITECT TO APPROVE ALL LOCATIONS OF OUTLETS AND FLOOR DRILLING PRIOR TO WORK PROCEEDINGS. ALL OUTLETS ARE TO BE MARKED ON FLOOR SLAB PRIOR TO INSTALLATION.
  - UNLESS OTHERWISE NOTED ON DRAWINGS, MOUNT RECEPTACLES, TELEPHONE OUTLETS AND DATA OUTLETS AT 460MM A.F.F. ON CENTRE.
  - ALL OUTLETS MOUNTED ABOVE MILLWORK MAY BE MOUNTED HORIZONTALLY. SEE ELEVATIONS AND MILLWORK DETAILS.
  - WHERE OUTLETS ARE MOUNTED ON OPPOSITE SIDES OF SAME PARTITION, STAGGER TO RETAIN ACOUSTIC ATTENUATION OF PARTITION.
  - WHERE WIREMOLD OCCURS ALONG PERIMETER/FACE OF CONVECTOR UNITS, CO-ORDINATE LOCATIONS OF OUTLETS AND POWER/DATA FEEDS WITH SYSTEMS FURNITURE LAYOUTS. COORDINATE LOCATION OF WIREMOLD TO ENSURE CONVECTORS IS NOT OBSTRUCTED.
  - ELECTRICAL CONTRACTOR TO MAKE ALL HARD WIRE CONNECTIONS BETWEEN BASE BUILDING ELECTRIC CIRCUITS AND SYSTEMS FURNITURE POWER FEEDS.
  - WHERE ELECTRICAL OUTLETS OCCUR GANGED TOGETHER, PROVIDE SINGLE PLATE.
  - WHERE BUILDING CORE AND COLUMNS ARE LAMINATED WITH GWB, CARRY COST TO REMOVE AND RE-INSTALL EXISTING OUTLETS, SWITCHES AND THERMOSTATS. SEE PARTITION PLAN.
  - ALL NEW OUTLETS TO BE CENTERED ON THE COLUMNS
  - STUB UP AND FLOOR MONUMENT LOCATIONS TO BE COORDINATED WITH FURNITURE VENDOR
  - ALL OUTLETS MUST BE MIN. 460MM TO MAX. 1050MM AFF FOR ACCESSIBILITY

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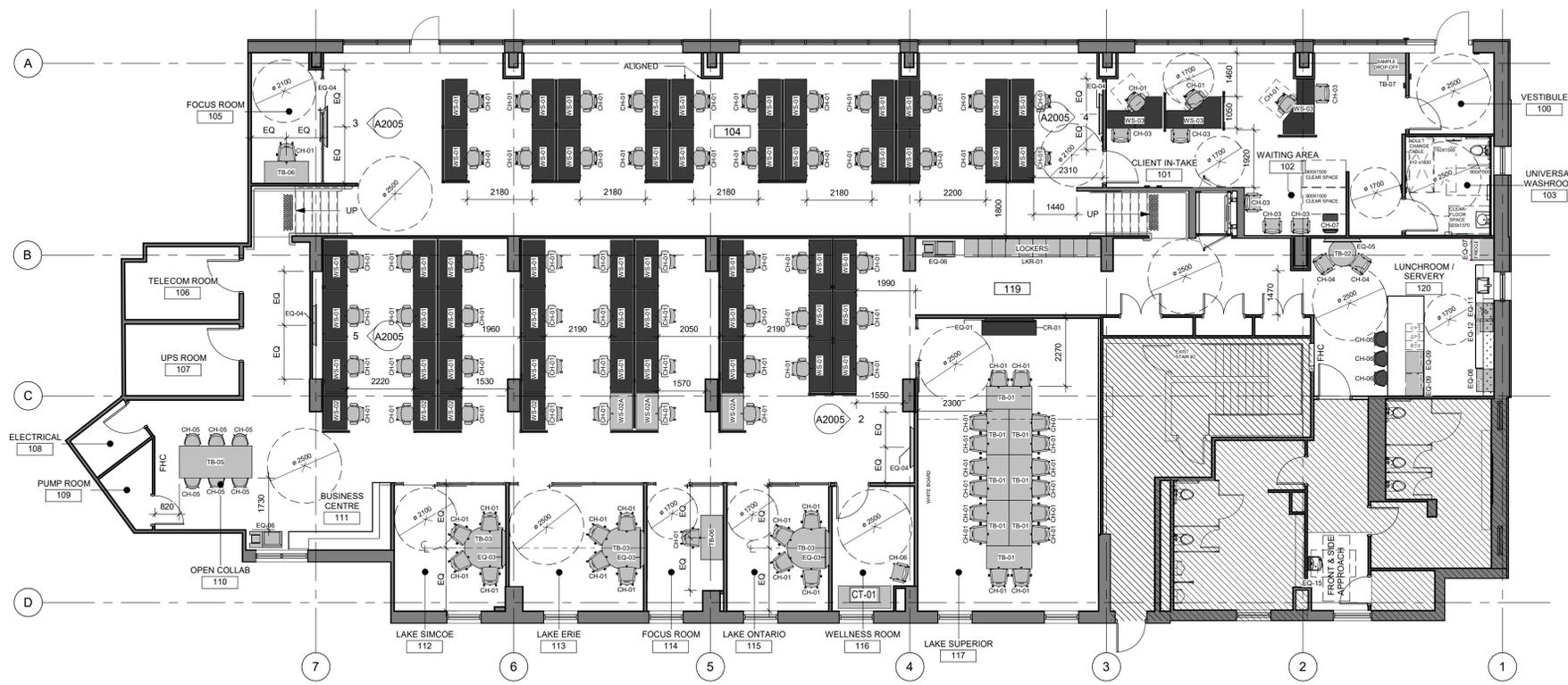
SHEET TITLE  
**POWER & COMMS - GROUND FLOOR**

SHEET NUMBER  
**A1006**  
 ISSUE  
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**FURNITURE PLAN LEGEND**



NOTE: DRAWING TO BE READ WITH THE INVENTORY LIST

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**Office Modernization for Toronto Water Office**

PROJECT ADDRESS  
 95 The Esplanade  
 Toronto, ON M5E 1Y8

PROJECT NO:  
 148121  
 DRAWN BY:  
**Q. BOMBASE**  
 PROJECT MGR:  
**F. BOLOURIAN**

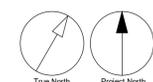
CHECKED BY:  
**L. BANDIERA**  
 APPROVED BY:  
**E. FENUTA**

SHEET TITLE  
**FURNITURE PLAN - GROUND FLOOR**

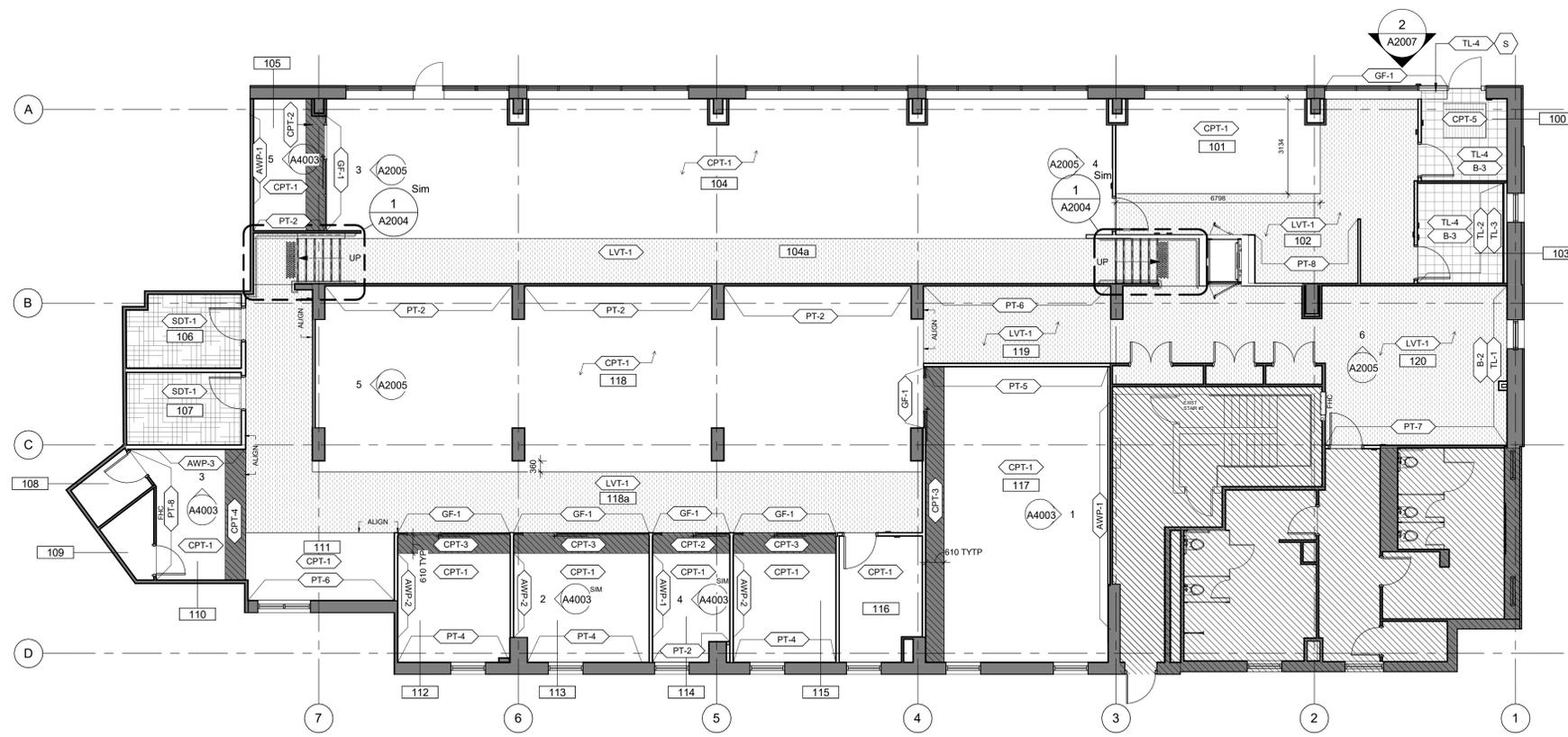
SHEET NUMBER  
**A1007**

ISSUE  
**E**

2025-02-12 1:58:59 PM



Autodesk Docs/ACA-00148121-C01-95 The Esplanade/148121-ARC-SERPLND-BLDG-ID-R24.rvt 1/11



**FLOOR FINISHES LEGEND**

- CARPET TILE
- ACCENT CARPET TILE
- LVT
- STATIC DISSIPATIVE TILE
- TILE
- WALK-OFF MAT
- TACTILE DOME INDICATORS  
REFER TO DETAILS SHEET A2004
- TACTILE NOSING STRIPS
- TACTILE WAYFINDING BARS
- DASHED AREA INDICATES  
AREA OF WORK
- HATCHED AREA INDICATES  
REFER TO OTHER DRAWING
- HATCHED AREA  
NOT IN CONTRACT

**FINISHES LEGEND**

- DENOTES PAINT FINISH
- DENOTES FLOOR FINISH.
- DENOTES BASE FINISH.
- DENOTES TRANSITION STRIP
- DENOTES WALLCOVERING
- DENOTES STONE
- DENOTES TILE
- DENOTES WOOD PANELLING
- DENOTES ACOUSTIC FABRIC WALL SYSTEM  
PROVIDE SHOP DRAWINGS FOR APPROVAL
- DENOTES GLAZING FILM APPLICATION - REFER TO ELEVATIONS

NOTE:  
REFER TO FINISHES SCHEDULE FOR DETAILED DESCRIPTION

**FINISHES GENERAL NOTES**

- 1 ALL BASE TO BE B-1 UNLESS OTHERWISE NOTED.
- 2 ALL WALLS TO RECEIVE PT-1 UNLESS OTHERWISE NOTED.
- 4 WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS. TO BE READ WITH FINISHES SCHEDULE & DETAILS D1004
- 5 CHANGE OF FLOORING MATERIAL TO OCCUR AT THE CENTER LINE OF DOOR UNLESS OTHERWISE INDICATED.
- 6 ALIGN ALL FLOOR THRESHOLD WITH PARTITIONS UNLESS OTHERWISE NOTED.
- 7 CONTRACTOR TO REFER TO FINISHES SCHEDULE AND SPECIFICATION BOOK FOR ALL FLOOR FINISHES AND BASE SPECIFICATIONS.
- 8 CARPET TILE TO BE INSTALLED PRIOR TO INSTALLATION OF SYSTEMS FURNITURE.
- 9 CONTRACTOR TO PROTECT ALL NEW FLOOR FINISHES UPON COMPLETION OF INSTALLATION, WITH PLYWOOD OR EQUIVALENT SHEETS WHERE CONSTRUCTION WORK IS INCOMPLETE.
- 10 REFER TO REFLECTED CEILING PLAN FOR CEILING FINISHES.
- 11 FLOOR TRANSITIONS BETWEEN CARPET/VINYL AND TILE ARE TO BE TS-1 - REFER TO D1004 AND FINISHES SCHEDULE.
- 12 FLOOR TRANSITIONS BETWEEN CARPET AND VINYL ARE TO BE TS-2 - REFER TO D1004 AND FINISHES SCHEDULE.

**CONSTRUCTION KEY NOTES**

NO	DESCRIPTION
S	EXISTING SILL TO BE RESURFACED WITH TL-X ON ALL EXPOSED FACES

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No.	DESCRIPTION	DATE
A	50% SUBMISSION - COST ESTIMATION	2024-11-05
B	ISSUED FOR 50% SUBMISSION	2024-11-19
C	ISSUED FOR 75% SUBMISSION	2024-12-12
D	ISSUED FOR 95% SUBMISSION / ISSUED FOR PERMIT	2025-01-24
E	ISSUED FOR 100% / PERMIT	2025-02-07

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www.arcadis.com

PROJECT TITLE  
**Office Modernization for Toronto Water Office**

PROJECT ADDRESS  
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PROJECT NO:  
148121

DRAWN BY:  
**Q. BOMBASE**

PROJECT MGR:  
**F. BOLOURIAN**

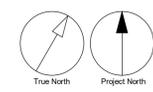
CHECKED BY:  
**L. BANDIERA**

APPROVED BY:  
**E. FENUITA**

SHEET TITLE  
**FINISHES PLAN - GROUND FLOOR**

SHEET NUMBER  
**A1008**

ISSUE  
**E**



ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION - COST ESTIMATION	2024-11-05
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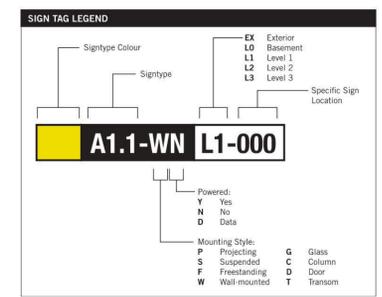
PROJECT NO:  
148121  
 DRAWN BY:  
**Q.BOMBASE**  
 PROJECT MGR:  
**F. BOLOURIAN**

CHECKED BY:  
**Checker**  
 APPROVED BY:  
**Approver**

SHEET TITLE  
**SIGNAGE PLAN - GROUND FLOOR**

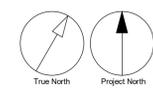
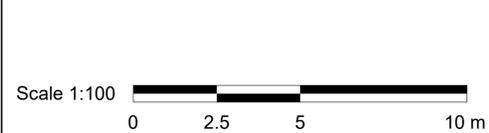
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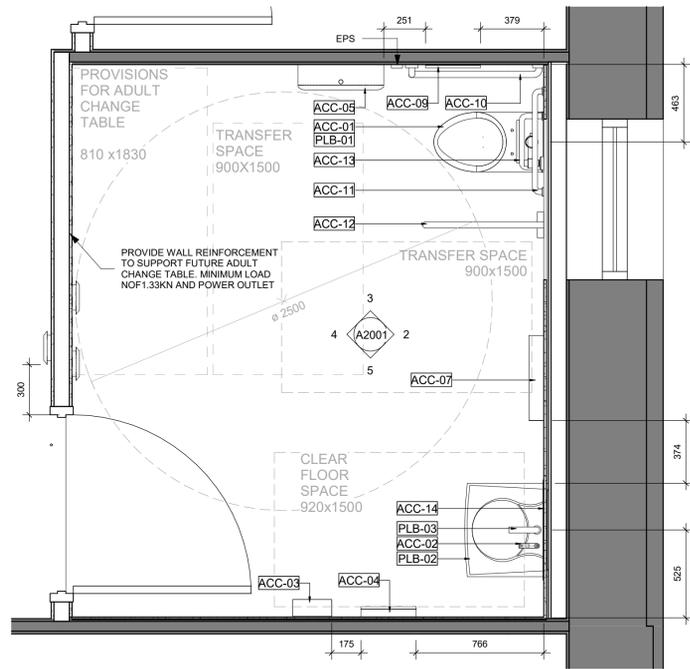
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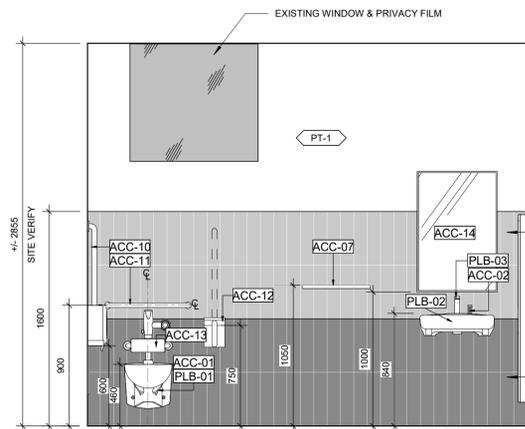
**SIGN TAG LEGEND**

<b>B</b> LX-000 Directional	<b>H</b> LX-000 Amenity	<b>S</b> LX-000 Stair ID
<b>E</b> LX-000 Room ID	<b>J</b> LX-000 Entrance	

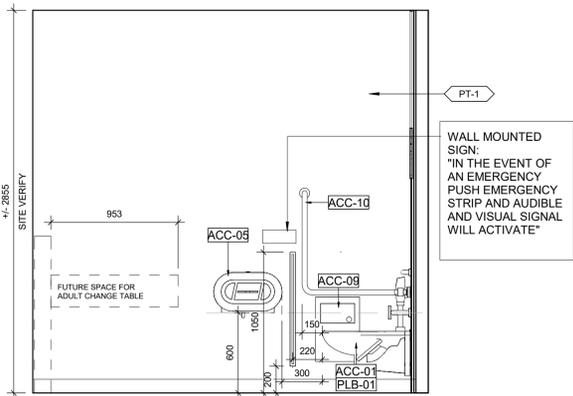




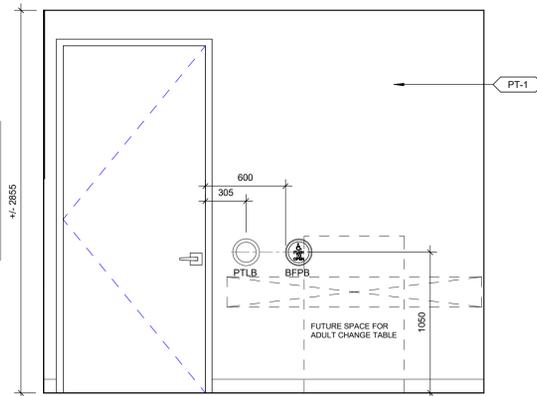
1 UNIVERSAL WASHROOM - ENLARGED PLAN  
A2001 Scale: 1 : 20



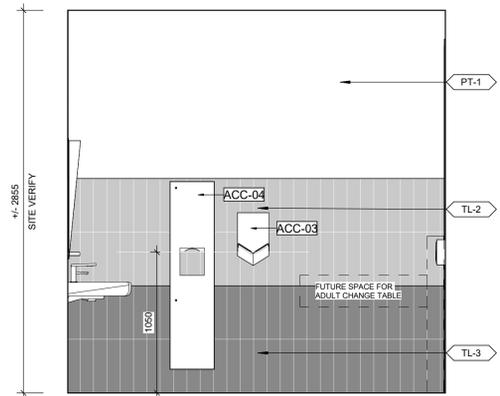
2 UNIVERSAL WASHROOM - EAST ELEVATION  
A2001 Scale: 1 : 25



3 UNIVERSAL WASHROOM - NORTH ELEVATION  
A2001 Scale: 1 : 25



4 UNIVERSAL WASHROOM - WEST ELEVATION  
A2001 Scale: 1 : 25



5 UNIVERSAL WASHROOM - SOUTH ELEVATION  
A2001 Scale: 1 : 25

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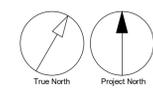
PROJECT MGR:  
**F. BOLOURIAN**

APPROVED BY:  
**E. FENUTA**

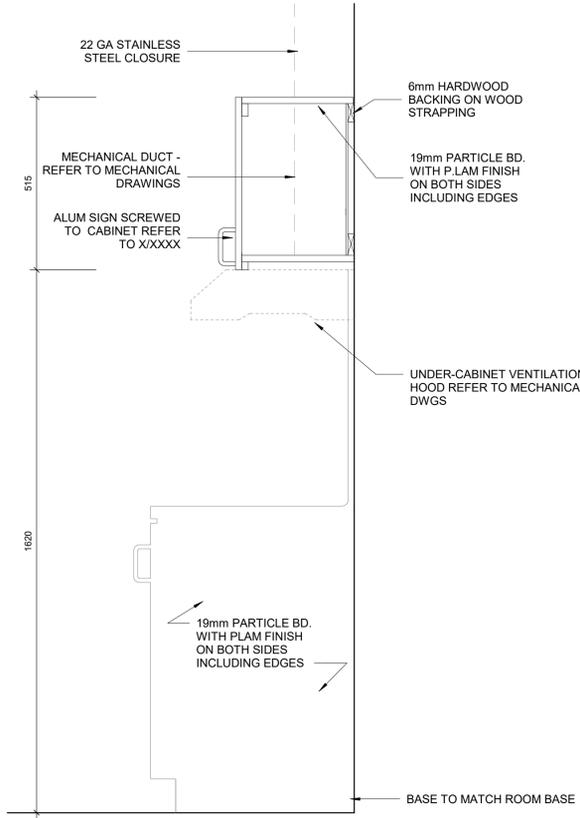
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**UNIVERSAL WASHROOM  
ENLARGED PLANS &  
ELEVATIONS**

SHEET NUMBER  
**A2001**

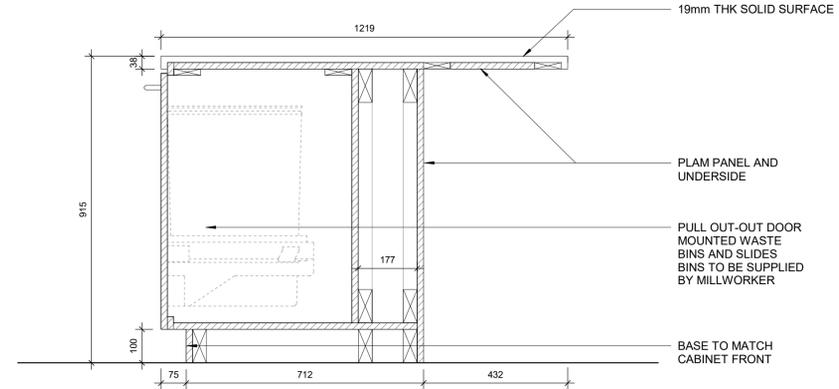
ISSUE  
**E**



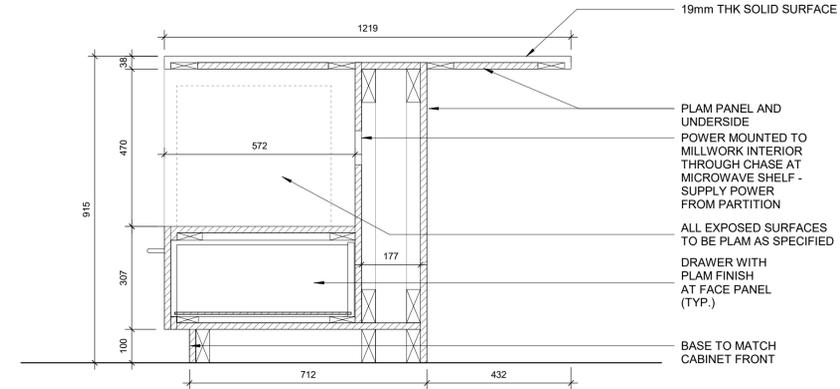




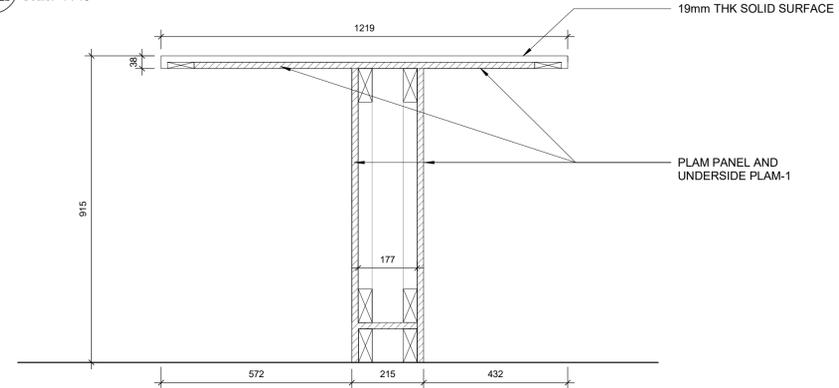
1 KITCHEN - RANGE UPPER RANGE SECTION  
A2002b Scale: 1 : 10



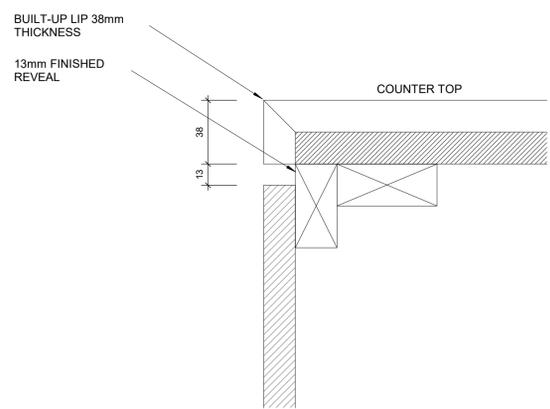
2 KITCHEN - ISLAND WASTE SECTION  
A2002b Scale: 1 : 10



3 KITCHEN - ISLAND MICROWAVE SHELF W. DRAWER  
A2002b Scale: 1 : 10



4 KITCHEN - ISLAND BARRIER FREE COUNTER  
A2002b Scale: 1 : 10



5 TYPICAL BUILT-UP NOSING DOOR COUNTER TOP  
A2002b Scale: 1 : 2

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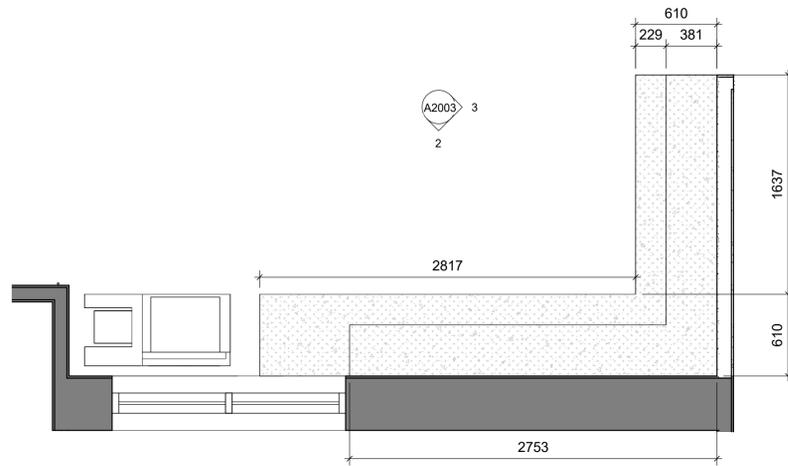
PROJECT MGR:  
**F. BOLOURIAN**

APPROVED BY:  
**E. FENUTA**

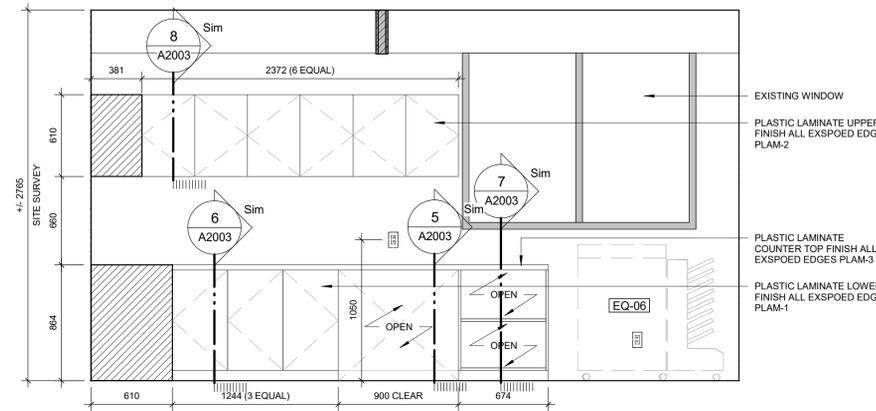
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**KITCHEN LUNCH ROOM SECTIONS CONT.**

SHEET NUMBER  
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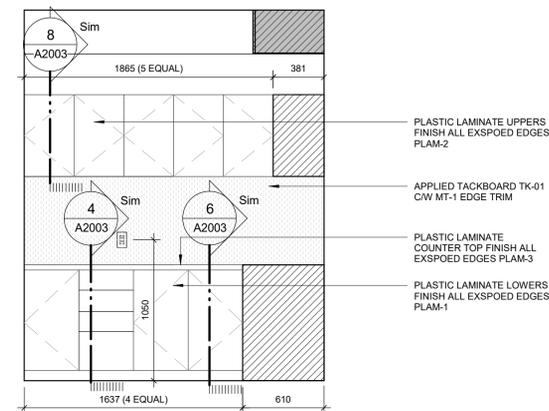
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**E**



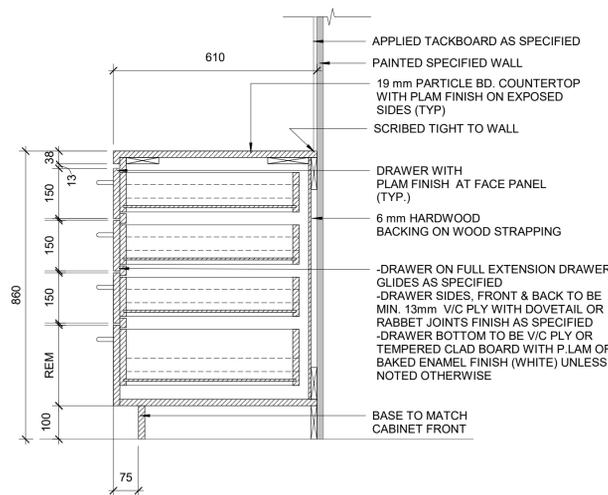
1 BUSINESS CENTRE ENLARGED PLAN  
A2003 Scale: 1:25



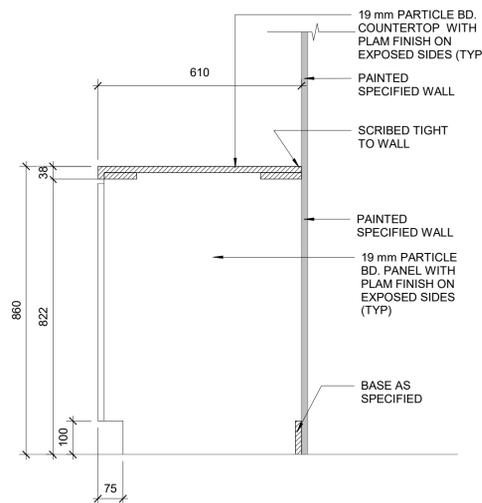
2 BUSINESS CENTRE - SOUTH ELEVATION  
A2003 Scale: 1:25



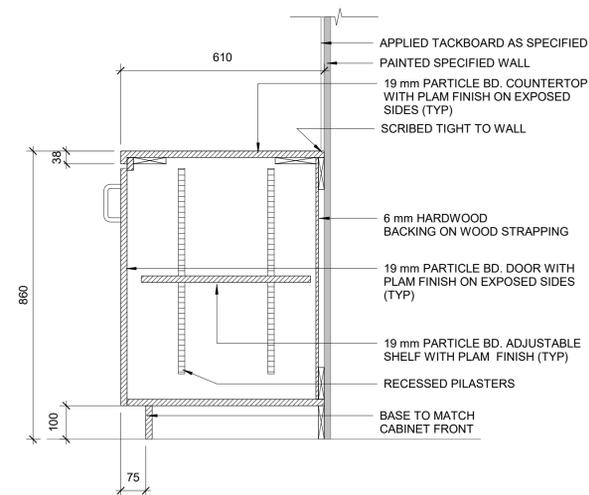
3 BUSINESS CENTRE - EAST ELEVATION  
A2003 Scale: 1:25



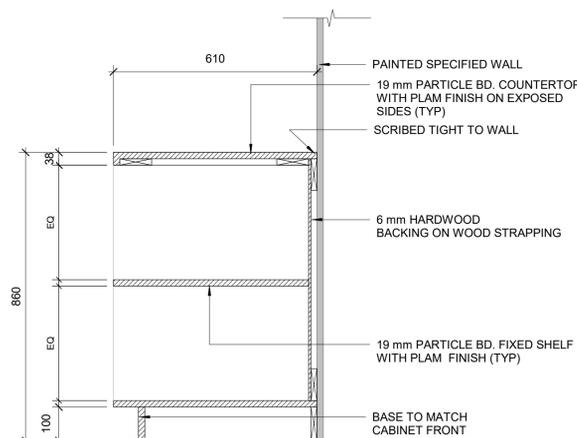
4 BUSINESS CENTER - DRAWER SECTION  
A2003 Scale: 1:10



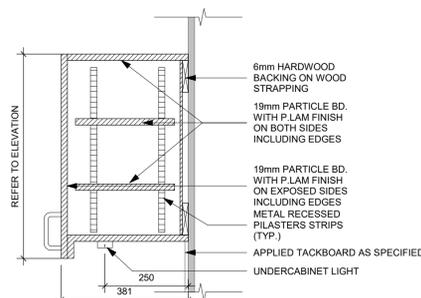
5 BUSINESS CENTER - BARRIER FREE COUNTER  
A2003 Scale: 1:10



6 BUSINESS CENTER - CABINET SECTION  
A2003 Scale: 1:10



7 BUSINESS CENTER - OPEN SHELF SECTION Copy 1  
A2003 Scale: 1:10



8 BUSINESS CENTER - TYPICAL UPPER CABINET SECTION  
A2003 Scale: 1:10

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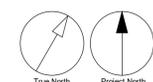
PROJECT MGR:  
**F. BOLOURIAN**

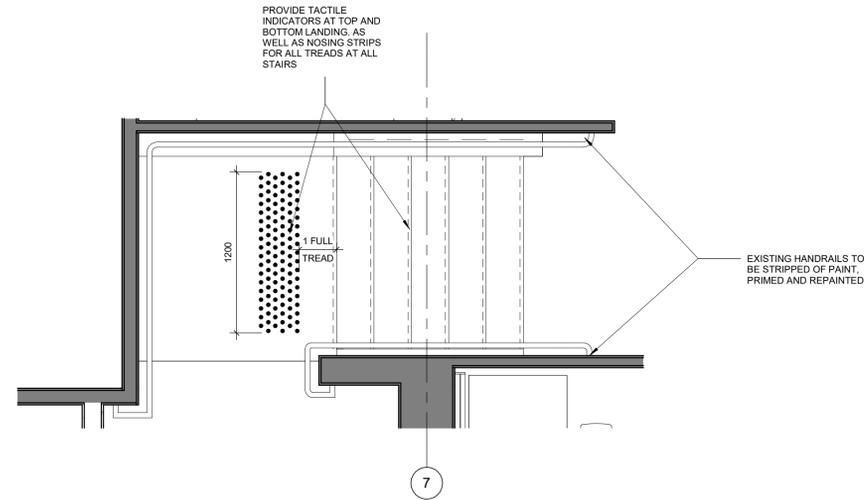
APPROVED BY:  
**E. FENUTA**

SHEET TITLE  
**BUSINESS CENTRE ENLARGED PLANS & ELEVATIONS**

SHEET NUMBER  
**A2003**

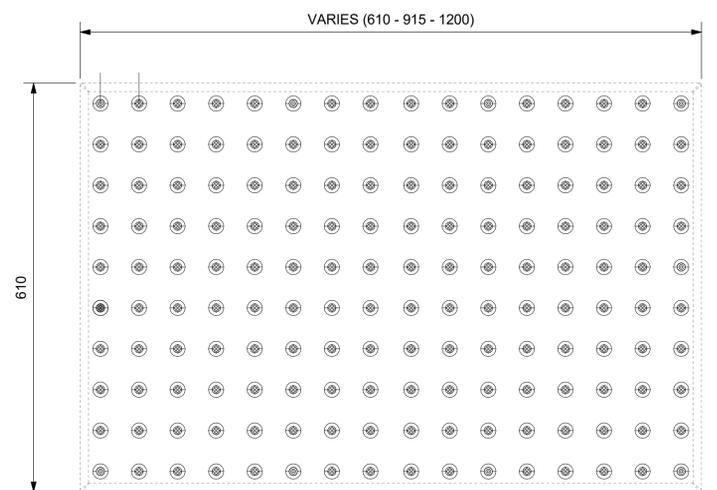
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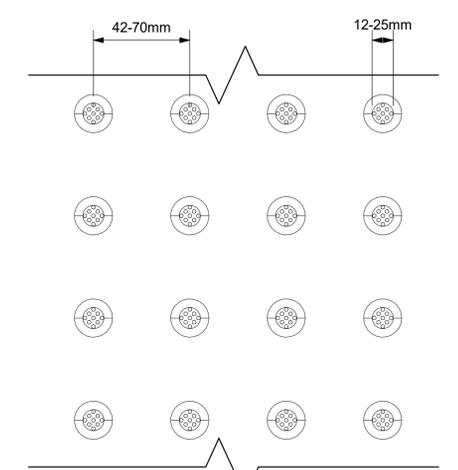
**1 STAIRS ENLARGED PLANS**  
A2004 / Scale: 1 : 25

**TA-1a**  
EXTERIOR AND INTERIOR APPLICATION



**2 TACTILE ATTENTION INDICATOR**  
A2004 / Scale: 1 : 5

**TA-7, TA-7a & TA-9**



**3 TACTILE ATTENTION INDICATORS - INDIVIDUAL DOMES**  
A2004 / Scale: 1 : 2

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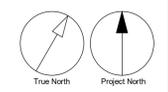
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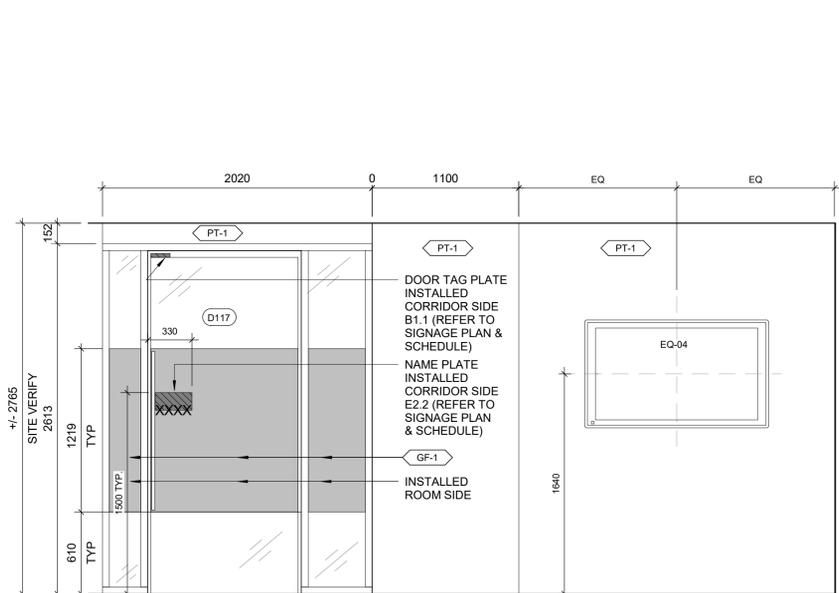
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SHEET NUMBER  
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ISSUE  
**E**

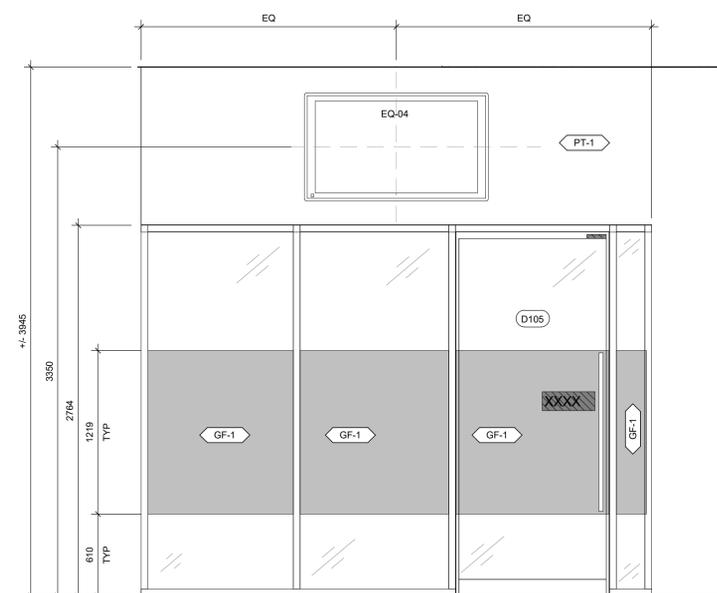




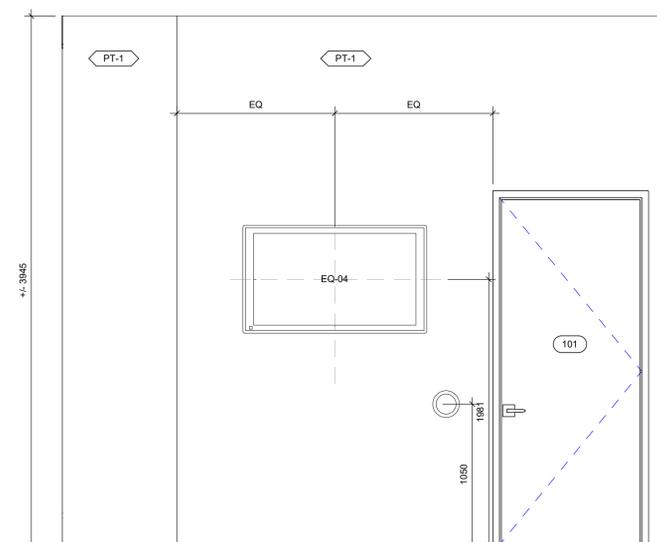
1 UPPER LEVEL DEMOUNTABLE PARTITIONS - SOUTH ELEVATION  
A2005 Scale: 1 : 25



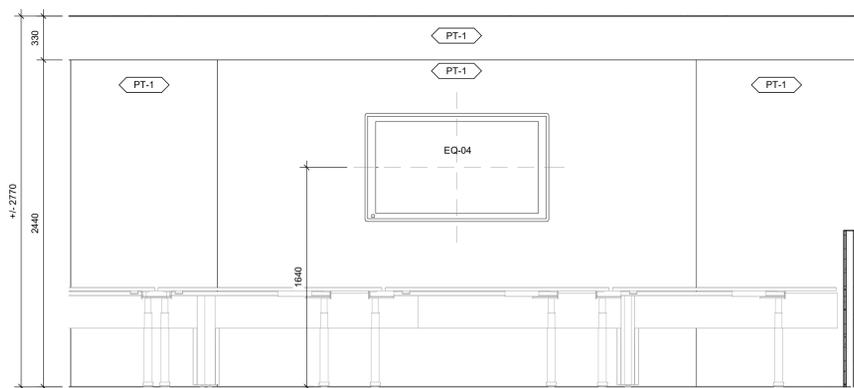
2 UPPER LEVEL DEMOUNTABLE PARTITIONS - EAST ELEVATION  
A2005 Scale: 1 : 25



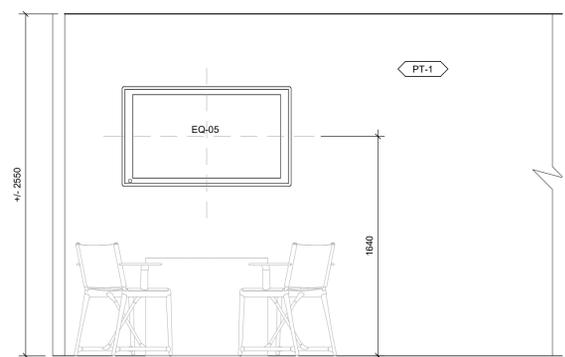
3 GROUND FLOOR FOCUS ROOM 105 DEMOUNTABLE PARTITION - WEST ELEVATION  
A2005 Scale: 1 : 25



4 TELEVISION ELEVATION - GROUND FLOOR ROOM 114 EAST WALL  
A2005 Scale: 1 : 25



5 TELEVISION ELEVATION - GROUND FLOOR ROOM 118 WEST WALL  
A2005 Scale: 1 : 25



6 TELEVISION ELEVATION - KITCHEN/LUNCH ROOM  
A2005 Scale: 1 : 25

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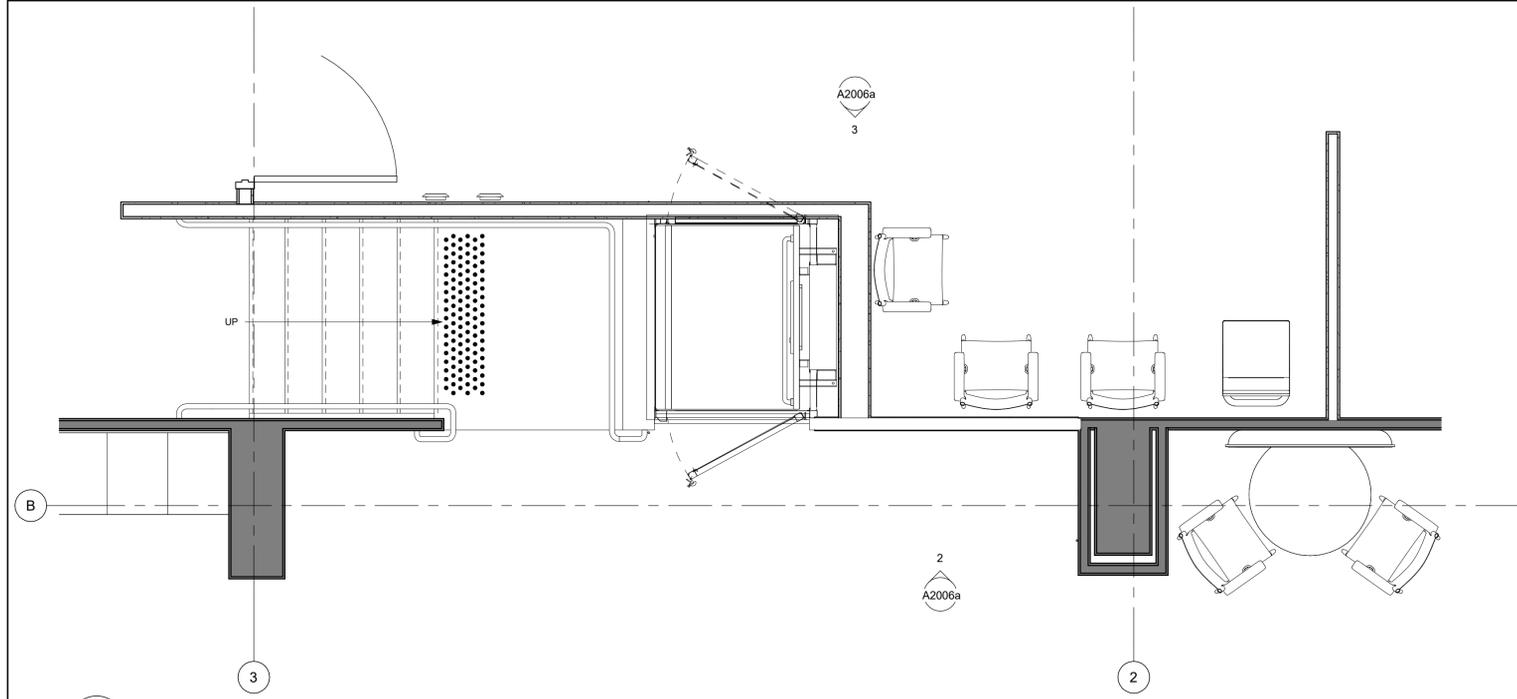
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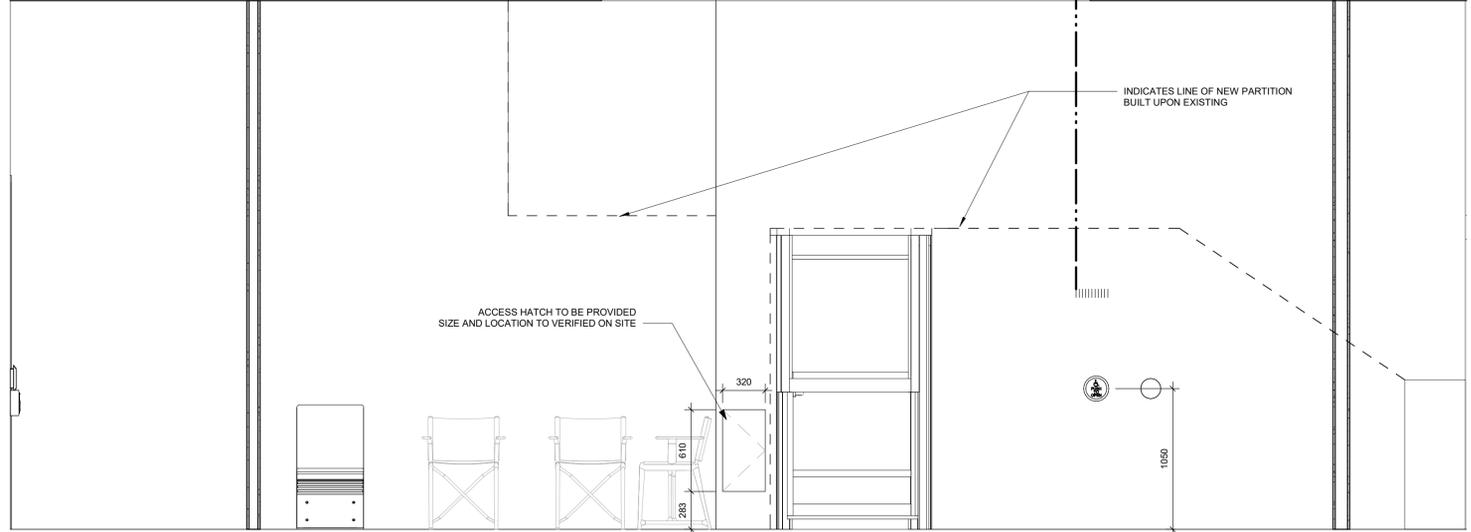
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148121  
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PROJECT MGR:  
**F. BOLOURIAN**  
CHECKED BY:  
**L. BANDIERA**  
APPROVED BY:  
**E. FENUTA**

SHEET TITLE  
**DEMOUNTABLE PARTITIONS & TV LOCATIONS - ELEVATIONS**

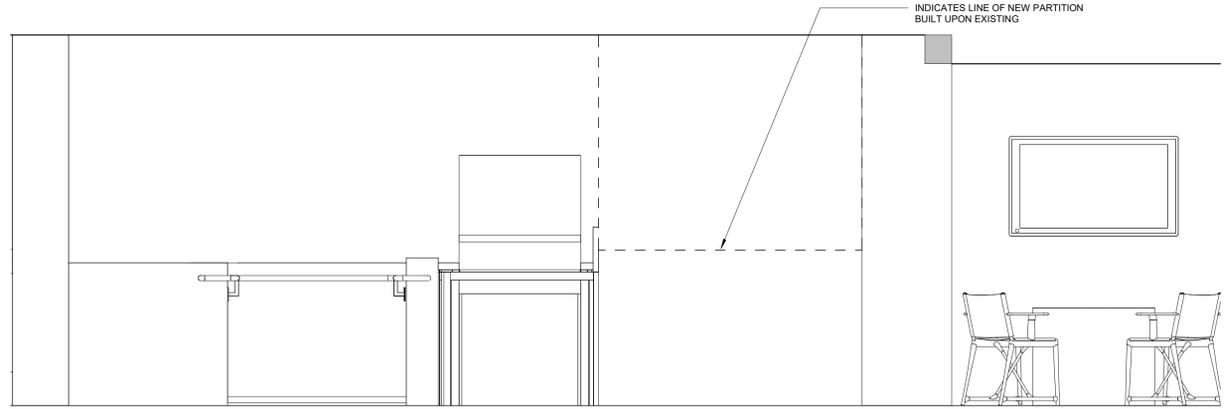
SHEET NUMBER  
**A2005**  
ISSUE  
**E**



1 CLIENT IN-TAKE ENLARGED PLANS  
A2006a / Scale: 1 : 25



3 CLIENT IN-TAKE - SOUTH ELEVATION  
A2006a / Scale: 1 : 25



2 UPPER LEVEL CORRIDOR VIEW- NORTH ELEVATION  
A2006a / Scale: 1 : 25

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No.	DESCRIPTION	DATE
A	50% SUBMISSION - COST ESTIMATION	2024-11-05
B	ISSUED FOR 50% SUBMISSION	2024-11-19
C	ISSUED FOR 75% SUBMISSION	2024-12-12
D	ISSUED FOR 95% SUBMISSION / ISSUED FOR PERMIT	2025-01-24
E	ISSUED FOR 100% / PERMIT	2025-02-07

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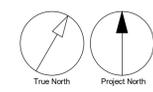
PROJECT TITLE  
**Office Modernization for Toronto Water Office**

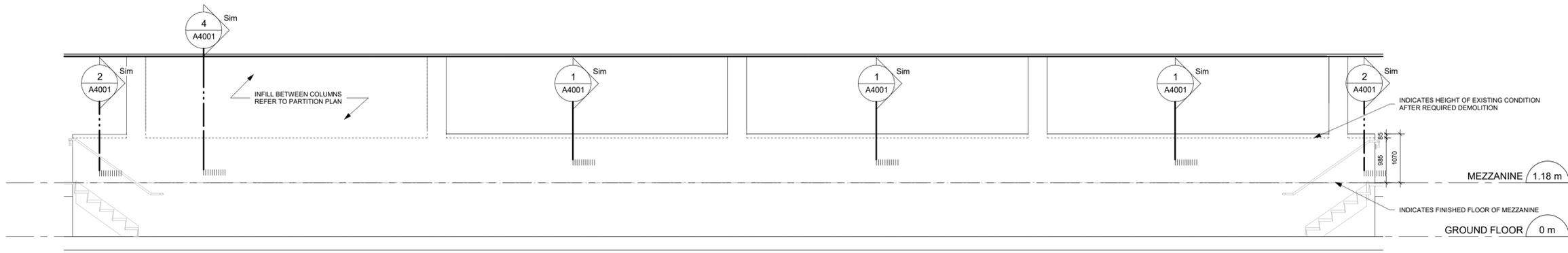
PROJECT ADDRESS  
**95 The Esplanade  
Toronto, ON M5E 1Y8**

PROJECT NO:  
148121  
DRAWN BY:  
**Q. BOMBASE**  
PROJECT MGR:  
**F. BOLOURIAN**  
CHECKED BY:  
**L. BANDIERA**  
APPROVED BY:  
**E. FENUTA**

SHEET TITLE  
**CLIENT IN TAKE - ENLARGED PLANS & ELEVATIONS**

SHEET NUMBER  
**A2006a**  
ISSUE  
**E**





1 MEZZANINE ELEVATION  
A2006b Scale: 1 : 50

CLIENT  
CITY OF TORONTO  
Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
M5V 3C6

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PROJECT TITLE  
Office Modernization for Toronto  
Water Office

PROJECT ADDRESS  
95 The Esplanade  
Toronto, ON M5E 1Y8

PROJECT NO:  
148121  
DRAWN BY: Author  
CHECKED BY: Checker  
PROJECT MGR: F. BOLOURIAN  
APPROVED BY: Approver

SHEET TITLE  
ELEVATIONS CONT.

SHEET NUMBER  
A2006b  
ISSUE  
B

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 Toronto, ON M9W 0C9, Canada  
 tel 416 679 1930  
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PROJECT TITLE  
**Office Modernization for Toronto Water Office**

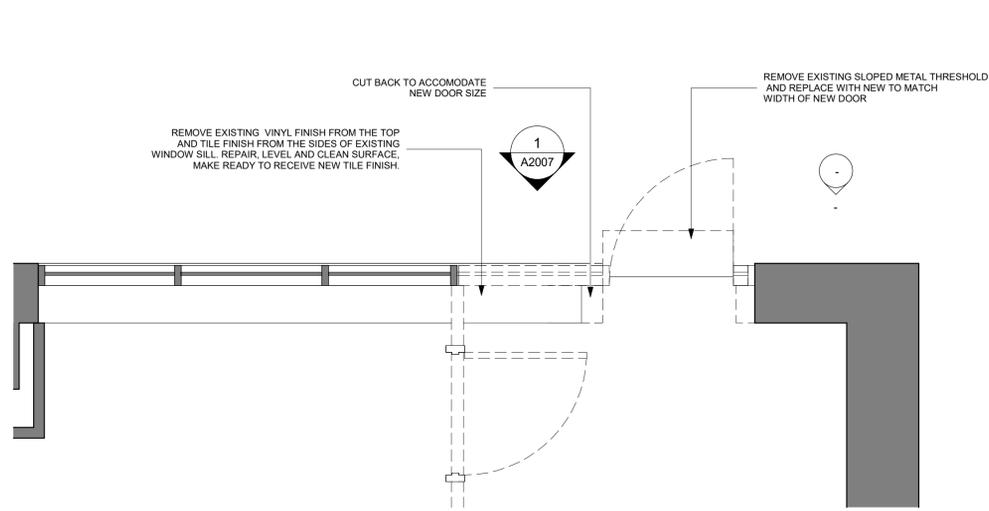
PROJECT ADDRESS  
 95 The Esplanade  
 Toronto, ON M5E 1Y8

PROJECT NO:  
148121  
 DRAWN BY:  
**Q. BOMBASE**  
 PROJECT MGR:  
**F. BOLOURIAN**

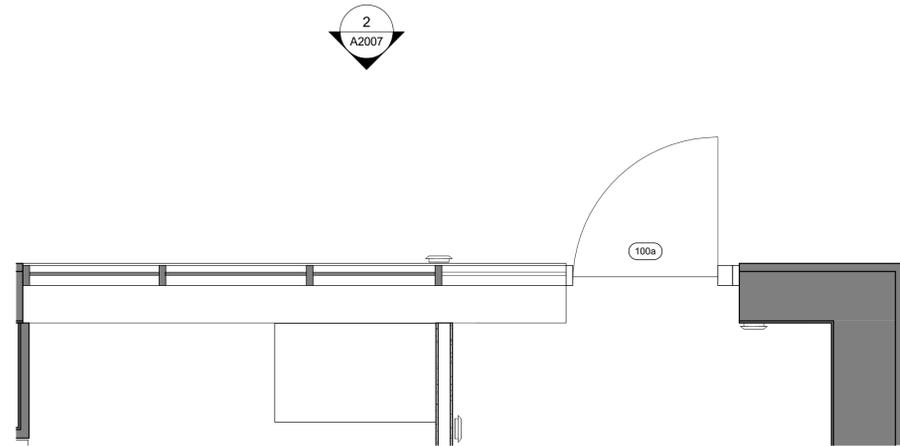
CHECKED BY:  
**L. BANDIERA**  
 APPROVED BY:  
**E. FENUTA**

SHEET TITLE  
**EXTERIOR PARTITION-ELEVATIONS**

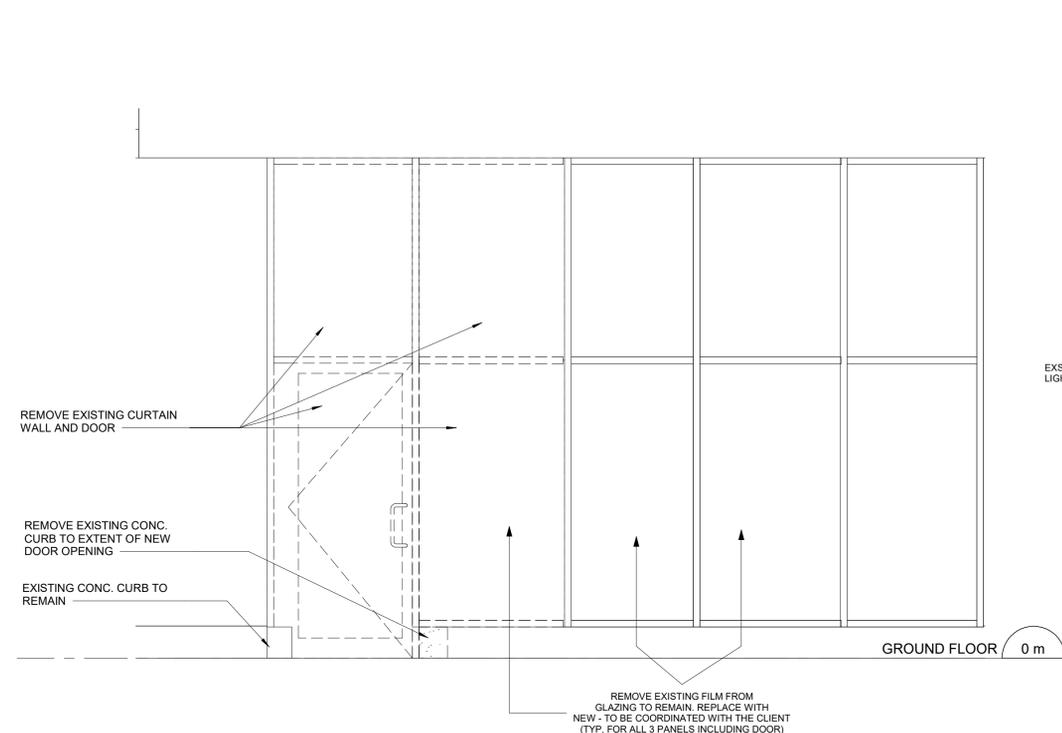
SHEET NUMBER  
**A2007**  
 ISSUE  
**E**



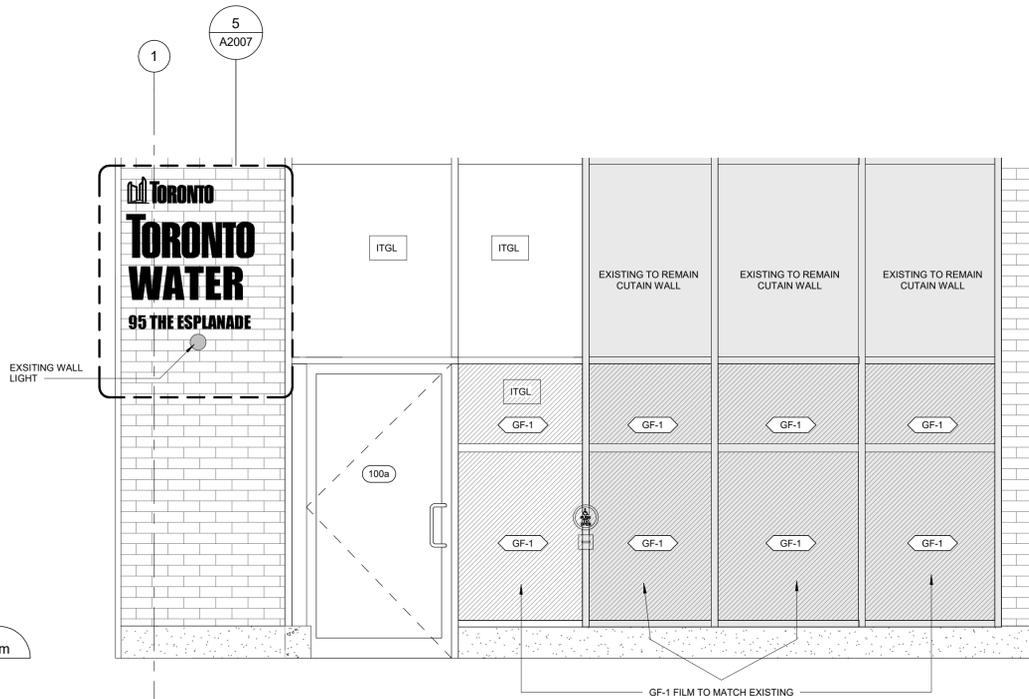
**3 ENLARGED DEMOLITION PLAN**  
 A2007 Scale: 1 : 25



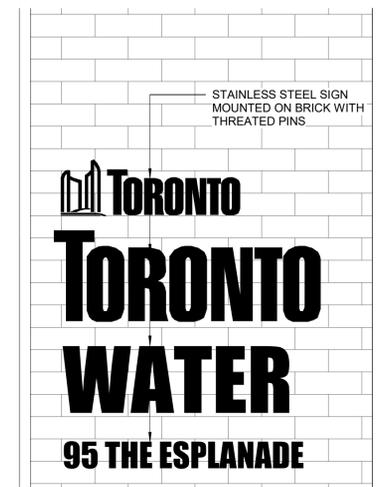
**4 ENLARGED PARTITION PLAN**  
 A2007 Scale: 1 : 25



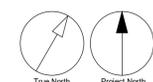
**1 DEMOLITION ELEVATION AT EXTERIOR DOOR**  
 A2007 Scale: 1 : 25

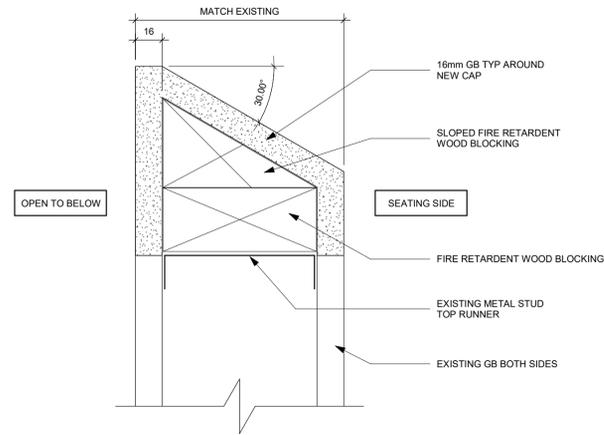


**2 PROPOSED ELEVATION AT EXTERIOR DOOR**  
 A2007 Scale: 1 : 25

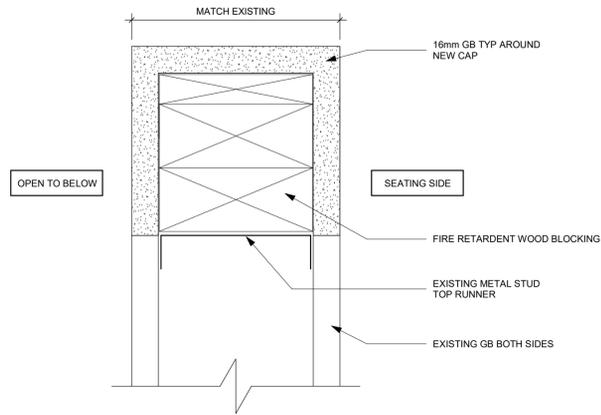


**5 EXTERIOR BUILDING SIGNAGE**  
 A2007 Scale: 1 : 12

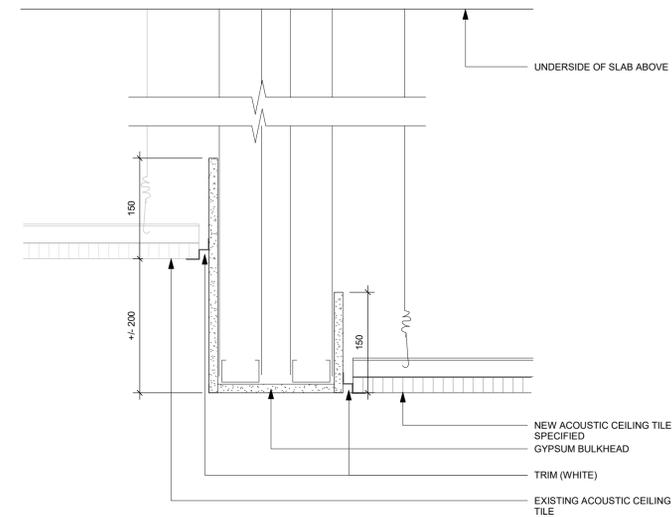




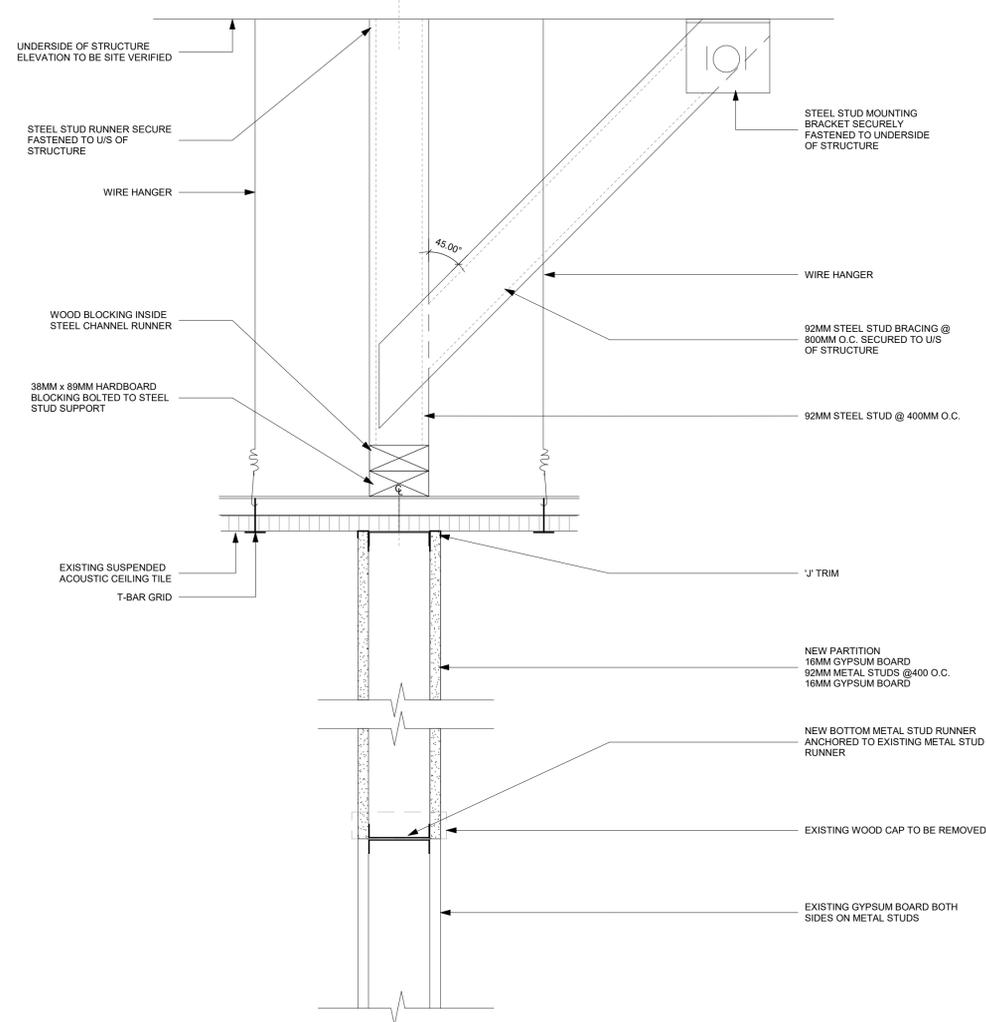
1 NEW SLOPED GB CAP AT LOW PARTITION  
A4001 Scale: 1:2



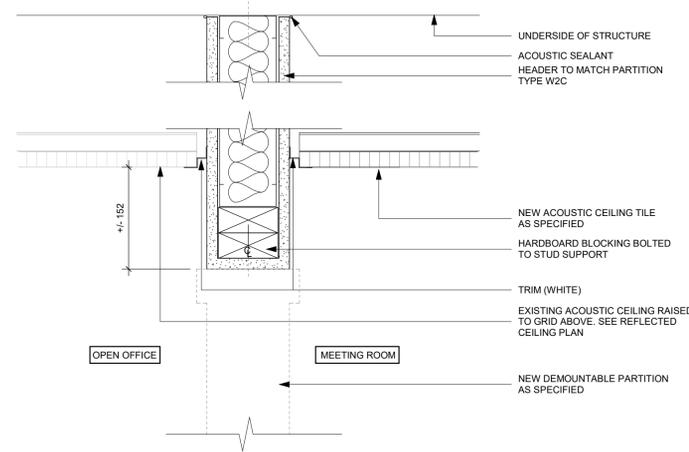
2 NEW FLAT CAP AT LOW PARTITION  
A4001 Scale: 1:2



3 ACT TO GYPSUM BULKHEAD  
A4001 Scale: 1:5



4 SECTION DETAIL AT LOW WALL EXTENDED TO U/S OF CEILING  
A4001 Scale: 1:5



5 SECTION DETAIL AT DEMOUNTABLE PARTITION - D1  
A4001 Scale: 1:5

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PROJECT TITLE  
**Office Modernization for Toronto  
Water Office**

PROJECT ADDRESS

95 The Esplanade  
Toronto, ON M5E 1Y8

PROJECT NO:  
148121

DRAWN BY:  
Q. BOMBASE

CHECKED BY:  
L. BANDIERA

PROJECT MGR:  
F. BOLOURIAN

APPROVED BY:  
E. FENUTA

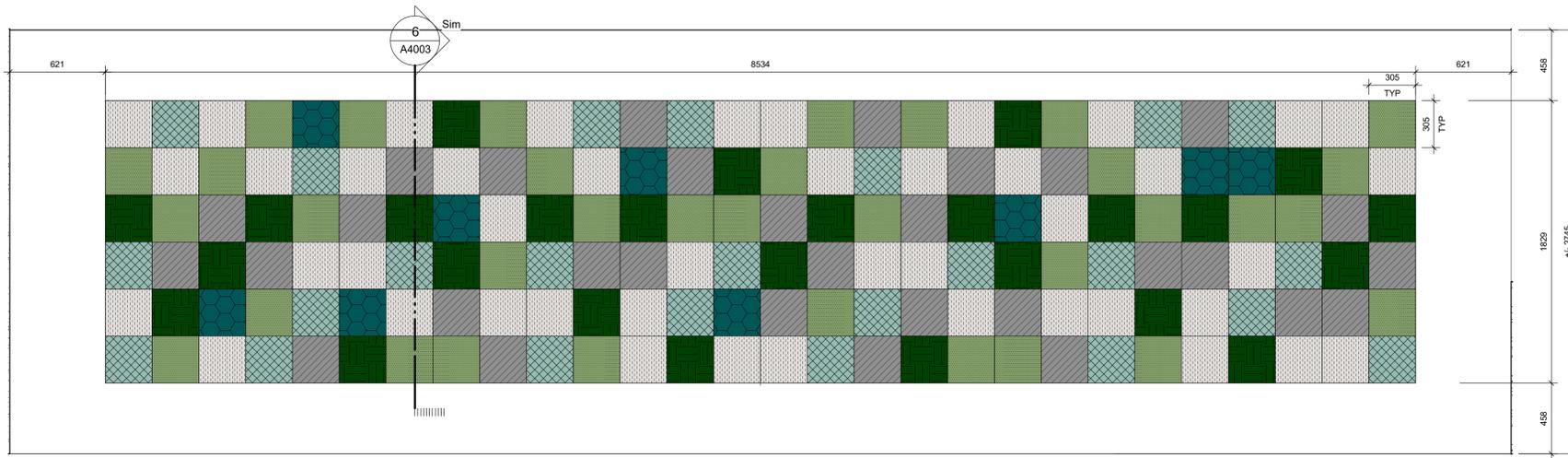
SHEET TITLE  
**INTERIOR DETAILS**

SHEET NUMBER

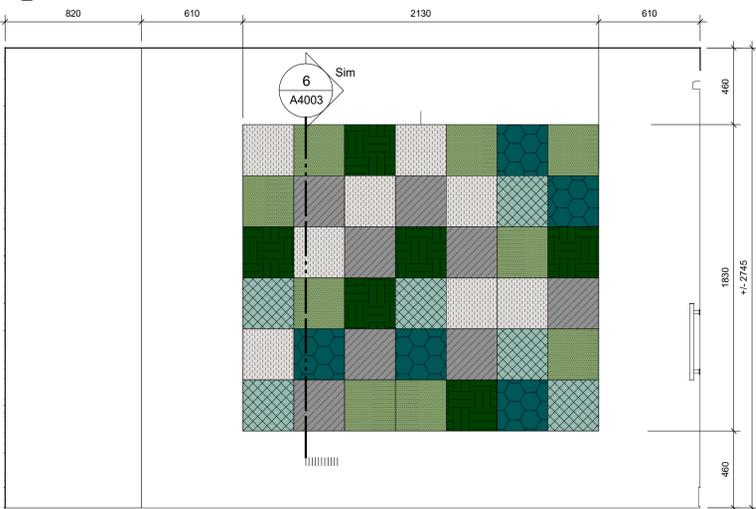
**A4001**

ISSUE

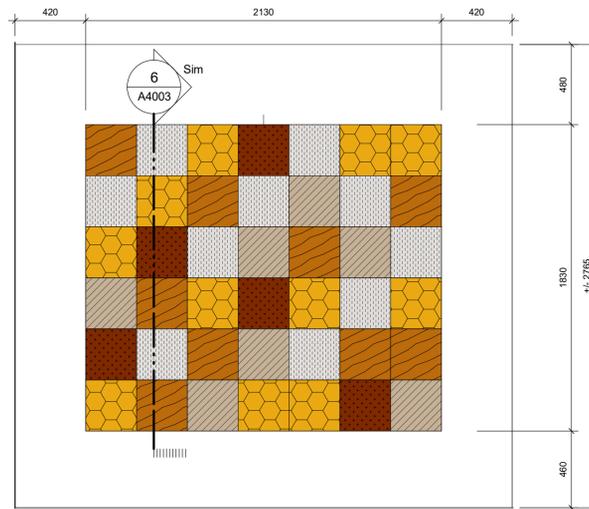
**E**



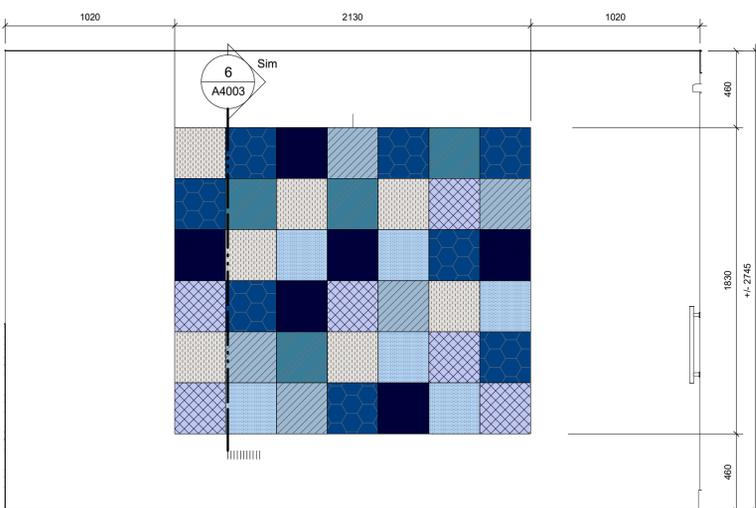
1 LARGE MEETING ROOM 117- ACOUSTIC WALL FELT BOARD (AWP-2)  
A4003 Scale: 1 : 20



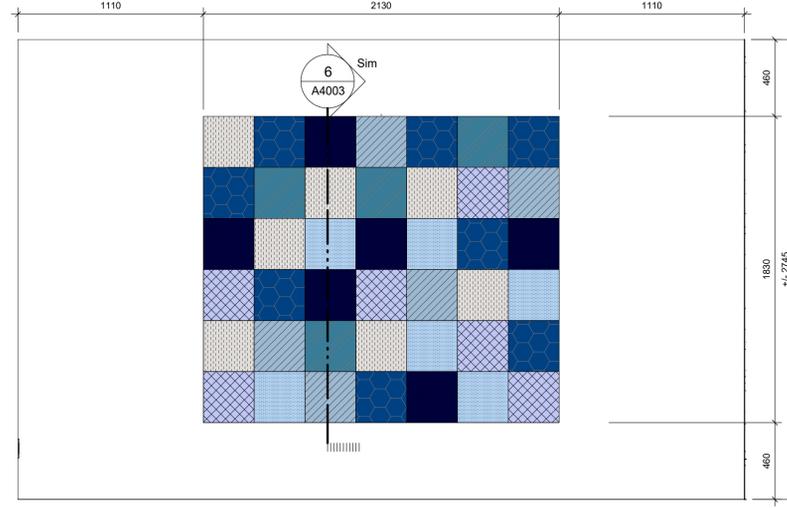
2 MEETING ROOM 112, 113, 115 - ACOUSTICAL WALL FELT BOARD (AWP-2)  
A4003 Scale: 1 : 20



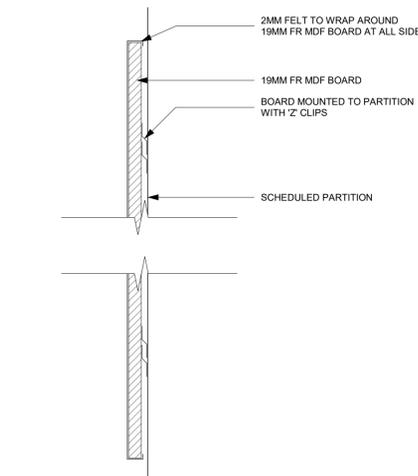
3 OPEN COLLAB ZONE 110 - ACOUSTICAL WALL FELT BOARD (AWP-3)  
A4003 Scale: 1 : 20



4 FOCUS ROOM 114 -ACOUSTICAL WALL FELT BOARD (AWP-1)  
A4003 Scale: 1 : 20



5 FOCUS ROOM 105 -ACOUSTICAL WALL FELT BOARD (AWP-1)  
A4003 Scale: 1 : 20



6 ACOUSTIC PANEL SECTION  
A4003 Scale: 1 : 5

**FINISHES LEGEND**

**AWP-1 FOCUS ROOMS**

- AF1 [Pattern]
- AF2 [Pattern]
- AF3 [Pattern]
- AF4 [Pattern]
- AF5 [Pattern]
- AF6 [Pattern]
- AF7 [Pattern]

NOTE: DRAWING TO BE READ WITH FINISHES SCHEDULE

**AWP-2 MEETING ROOMS**

- AF7 [Pattern]
- AF8 [Pattern]
- AF9 [Pattern]
- AF10 [Pattern]
- AF11 [Pattern]
- AF12 [Pattern]

NOTE: DRAWING TO BE READ WITH FINISHES SCHEDULE

**AWP-3 MEETING ROOMS**

- AF13 [Pattern]
- AF14 [Pattern]
- AF15 [Pattern]
- AF16 [Pattern]
- AF17 [Pattern]

NOTE: DRAWING TO BE READ WITH FINISHES SCHEDULE

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PROJECT TITLE  
**Office Modernization for Toronto Water Office**

PROJECT ADDRESS  
**95 The Esplanade  
Toronto, ON M5E 1Y8**

PROJECT NO:  
148121  
DRAWN BY:  
**Author**  
PROJECT MGR:  
**F. BOLOURIAN**

CHECKED BY:  
**Checker**  
APPROVED BY:  
**Approver**

SHEET TITLE  
**ACOUSTICAL FELT WALL DETAILS**

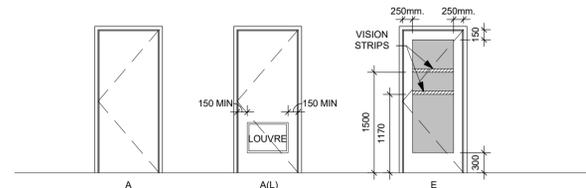
SHEET NUMBER  
**A4003**

ISSUE  
**B**

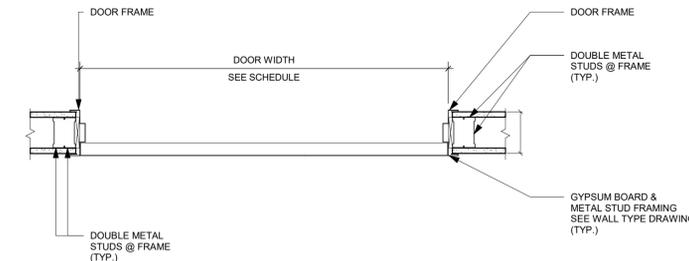
Door and Frame Schedule												
No.	Location	Door							Frame		Fire Rating (minutes)	Comments
		Width	Height	Thickness	Type	Material	Finish	Glazing	Material	Finish		
GROUND FLOOR												
100a	VESTIBULE	1088	REFER TO ELEVATION		N/A	IALUM	ANOD	ITGL	ALUM	ANOD		C/W ADO, CARD READER
100b	VESTIBULE	1067	2135	45	E	HM	PT-8	<-->	HM	PT-8		C/W ADO, CARD READER
101	CLIENT IN-TAKE	1067	2135	45	E	HM	PT-8	<-->	HM	PT-8		C/W ADO, CARD READER
103	UNIVERSAL WASHROOM	1067	2135	45	A(L)	HM	PT-8	<-->	HM	PT-8		C/W ADO, PUSH TO LOCK, DURESS BUTTON, 25MM UNDERCUT BELOW DOOR
E104	EXIT (RICHMOND ST)	EXISTING	EXISTING		N/A	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING		EXISTING TO REMAIN
MEZZANINE												
106	TELECOM ROOM	1067	2135	45	A	HM	PT-8	GWG	HM	PT-8	45	
107	UPS ROOM	1067	2135	45	A	HM	PT-8	<-->	HM	PT-8	45	
116	WELLNESS ROOM	1067	Refer to Elevations - A2005	45	A	HM	PT-8	<-->	HM	PT-8		
119f	WASHROOM CORRIDOR	1067	2135	45	A(L)	HM	PT-8	<-->	HM	PT-8		
E108	ELECTRICAL ROOM	EXISTING	EXISTING	45	N/A	EXISTING	PT-8	N/A	<-->	PT-8	NA	EXISTING DOOR TO REMAIN.PATCH AND REPAIR. NEW PAINT WHEN SIGN ON DOOR IS REMOVED
E109	PUMP ROOM	EXISTING	EXISTING	45	N/A	EXISTING	PT-8	N/A	<-->	PT-8	NA	EXISTING DOOR TO REMAIN.PATCH AND REPAIR. NEW PAINT WHEN SIGN ON DOOR IS REMOVED
E119a	CLOSET	EXISTING	EXISTING	45	N/A	EXISTING	PT-8	EXISTING	EXISTING	PT-8	NA	EXISTING (2) 680 DOOR PANELS TO REMAIN - NEW PAINT
E119b	CLOSET	EXISTING	EXISTING	45	N/A	EXISTING	PT-8	EXISTING	EXISTING	PT-8	NA	EXISTING (2) 680 DOOR PANELS TO REMAIN - NEW PAINT
E119c	CLOSET	EXISTING	EXISTING	45	N/A	EXISTING	PT-8	EXISTING	EXISTING	PT-8	NA	EXISTING (2) 680 DOOR PANELS TO REMAIN - NEW PAINT
E121	MALE WASHROOM	EXISTING	EXISTING	45	N/A	EXISTING	PT-8	EXISTING	EXISTING	PT-8	NA	EXISTING DOOR TO REMAIN.PATCH AND REPAIR. NEW PAINT WHEN SIGN ON DOOR IS REMOVED
E122	FEMALE WASHROOM	EXISTING	EXISTING	45	N/A	EXISTING	PT-8	EXISTING	EXISTING	PT-8	NA	EXISTING DOOR TO REMAIN.PATCH AND REPAIR. NEW PAINT WHEN SIGN ON DOOR IS REMOVED
E123	JANITOR ROOM	EXISTING	EXISTING	45	N/A	EXISTING	PT-8	EXISTING	EXISTING	PT-8	NA	EXISTING DOOR TO REMAIN.PATCH AND REPAIR. NEW PAINT WHEN SIGN ON DOOR IS REMOVED

Demountable Door Schedule									
No.	Location	Door				Frame		Comments	
		Width	Height	Hardware	Finish	Material	Finish		
D105	Focus Room #1	1150	Refer to Elevations - A2005	Elongated Pull	To Match PT-8	ALUM	To Match PT-8	Minimum 950 Clear Opening - Refer to A2005 for extent of demountable system	
D112	Meeting Room #1	1150	Refer to Elevations - A2005	Elongated Pull	To Match PT-8	ALUM	To Match PT-8	Minimum 950 Clear Opening - Refer to A2005 for extent of demountable system	
D113	Meeting Room #2	1150	Refer to Elevations - A2005	Elongated Pull	To Match PT-8	ALUM	To Match PT-8	Minimum 950 Clear Opening - Refer to A2005 for extent of demountable system	
D114	Focus Room #2	1150	Refer to Elevations - A2005	Elongated Pull	To Match PT-8	ALUM	To Match PT-8	Minimum 950 Clear Opening - Refer to A2005 for extent of demountable system	
D115	Meeting room #3	1150	Refer to Elevations - A2005	Elongated Pull	To Match PT-8	ALUM	To Match PT-8	Minimum 950 Clear Opening - Refer to A2005 for extent of demountable system	
D117	Large Meeting Room	1150	Refer to Elevations - A2005	Elongated Pull	To Match PT-8	ALUM	To Match PT-8	Minimum 950 Clear Opening - Refer to A2005 for extent of demountable system	

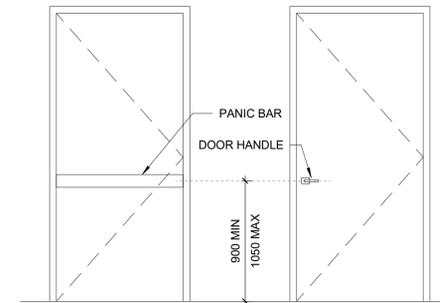
NOTE:  
 DEMOUNTABLE SYSTEM DOORS TO BE PROVIDED BY DEMOUNTABLE SYSTEM MANUFACTURER.  
 DIMENSIONS TO TO BE VERIFIED ON SHOP DRAWING REVIEW. DOOR SIZE TO BE DETERMINED BY THE  
 MANUFACTURER. ENSURE CLEAR OPENING OF 950 MIN.  
 FH INCLUDES REVEAL AND FRAME TO UIS OF BULKHEAD ABOVE.



2 DOOR TYPES  
 A5001 Scale: 1 : 50



3 DOOR OPENING DETAIL AT DRYWALL  
 A5001 Scale: 1 : 10



CLIENT  
 City of Toronto  
 Street Address  
 City, State, ZIP Code

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NOT FOR CONSTRUCTION

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 Toronto, ON M9W 0C9, Canada  
 tel 416 679 1930  
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PROJECT  
 Office Modernization for Toronto Water Office  
 95 The Esplanade  
 Toronto, ON M5E 1Y8

PROJECT NO:  
 148121  
 DRAWN BY:  
 Q. BOMBASE  
 PROJECT MGR:  
 F. BOLOURIAN  
 CHECKED BY:  
 L. BANDIERA  
 APPROVED BY:  
 E. FENUTA

SHEET TITLE  
 DOOR SCHEDULE

SHEET NUMBER  
 A5001  
 ISSUE  
 B

Signage Schedule					
SIGN TYPE	LEVEL	LOC#	SIGN TYPE DESCRIPTION	MESSAGE - SIDE A (English)	MESSAGE - SIDE B (English)
J4.2	EX	100	Accessible Entrance	ENTRANCE BRAILLE	
B1.1	L1	100	Door Frame Tag	95E-100	
H1.1	L1	101	Amenity ID	ACCESSIBLE LIFT	
H1.1	L1	103	Amenity ID	[TOILET PICTO + ACCESSIBILITY PICTO] UNIVERSAL WASHROOM BRAILLE	
B1.1	L1	103A	Door Frame Tag	95E-103A	
B1.1	L1	104	Door Frame Tag	95E-104	
E2.2	L1	105	Room ID - Two Lines	FOCUS ROOM 105 BRAILLE	
B1.1	L1	105A	Door Frame Tag	95E-105A	
E2.1	L2	106	Room ID - One Line	TELECOM ROOM BRAILLE	
B1.1	L2	106A	Door Frame Tag	95E-106A	
E2.1	L2	107	Room ID - One Line	UPS ROOM BRAILLE	
B1.1	L2	107A	Door Frame Tag	95E-107A	
E2.1	L2	108	Room ID - One Line	ELECTRICAL ROOM BRAILLE	
E2.1	L2	109	Room ID - One Line	PUMP ROOM BRAILLE	
E2.1	L2	111	Room ID - One Line	BUSINESS CENTRE BRAILLE	
E2.2	L2	112	Room ID - Two Lines	LAKE SIMCOE 112 BRAILLE	
B1.1	L2	112A	Door Frame Tag	95E-112A	
E2.2	L2	113	Room ID - Two Lines	LAKE ERIE 113 BRAILLE	
B1.1	L2	113A	Door Frame Tag	95E-113A	
E2.2	L2	114	Room ID - Two Lines	FOCUS ROOM 114 BRAILLE	
B1.1	L2	114A	Door Frame Tag	95E-114A	
E2.2	L2	115	Room ID - Two Lines	LAKE ONTARIO 115 BRAILLE	
B1.1	L2	115A	Door Frame Tag	95E-115A	
E2.1	L2	116	Room ID - One Line	WELLNESS ROOM 116 BRAILLE	

Signage Schedule					
SIGN TYPE	LEVEL	LOC#	SIGN TYPE DESCRIPTION	MESSAGE - SIDE A (English)	MESSAGE - SIDE B (English)
B1.1	L2	116A	Door Frame Tag	95E-116A	
E2.2	L2	117	Room ID - Two Lines	LAKE SUPERIOR 117 BRAILLE	
B1.1	L2	117A	Door Frame Tag	95E-117A	
H1.1	L2	119	Amenity ID	ACCESSIBLE LIFT	
E2.1	L2	120	Room ID - One Line	LUNCH ROOM / SERVERY BRAILLE	
H1.1	L2	121	Amenity ID	[MALE PICTO + ACCESSIBILITY PICTO] MALE WASHROOM BRAILLE	
H1.1	L2	122	Amenity ID	[FEMALE PICTO + ACCESSIBILITY PICTO] FEMALE WASHROOM BRAILLE	
H1.1	L2	123	Amenity ID	[WASHROOM SYMBOL] WASHROOMS BRAILLE	

SIGN CODE	SIGN TYPE DESCRIPTION	COUNT
B1.1	Door Frame Tag	13
E2.1	Room ID - One Line	7
E2.2	Room ID - Two Lines	7
H1.1	Amenity ID	6
J4.2	Accessible Entrance	1

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A	ISSUED FOR 75% SUBMISSION	2024-12-12
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PROJECT TITLE  
**Office Modernization for Toronto  
 Water Office**

PROJECT ADDRESS  
 95 The Esplanade  
 Toronto, ON M5E 1Y8

PROJECT NO:  
148121  
 DRAWN BY:  
**Q.BOMBASE**  
 PROJECT MGR:  
**F. BOLOURIAN**  
 CHECKED BY:  
**L. BANDIERA**  
 APPROVED BY:  
**E. FENUTA**

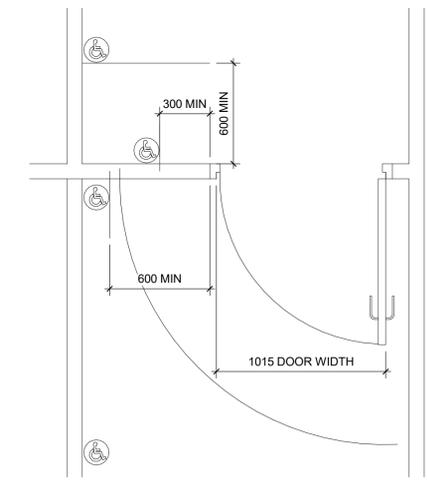
SHEET TITLE  
**SIGNAGE SCHEDULE**

SHEET NUMBER  
**A5002**  
 ISSUE  
**C**

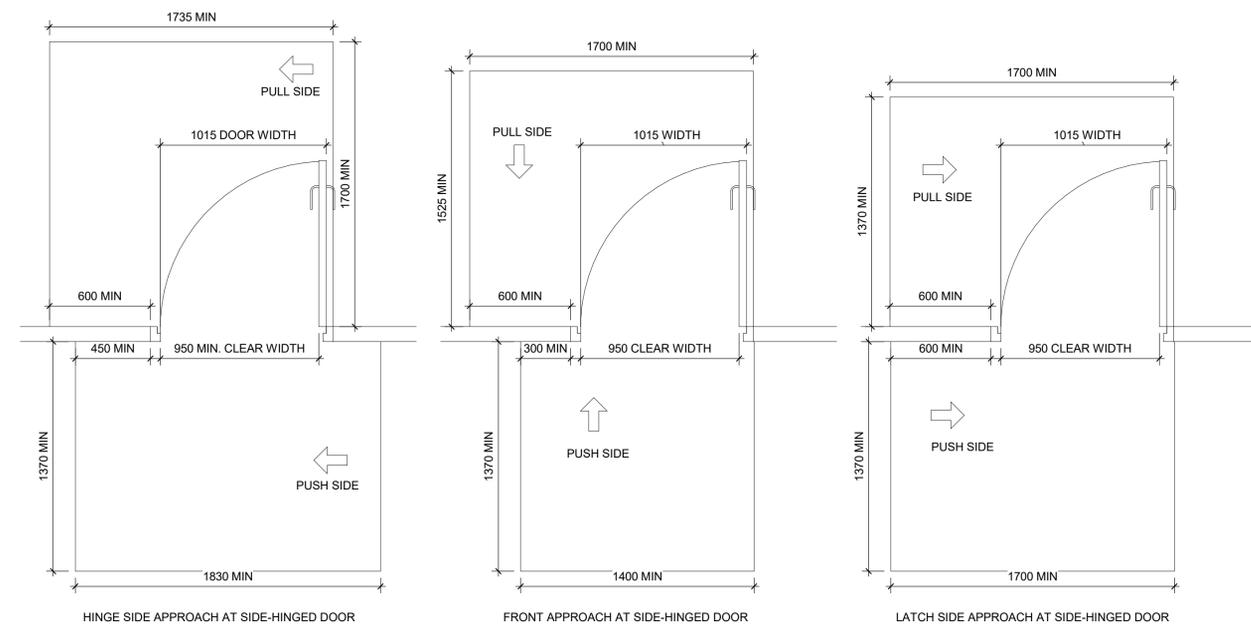
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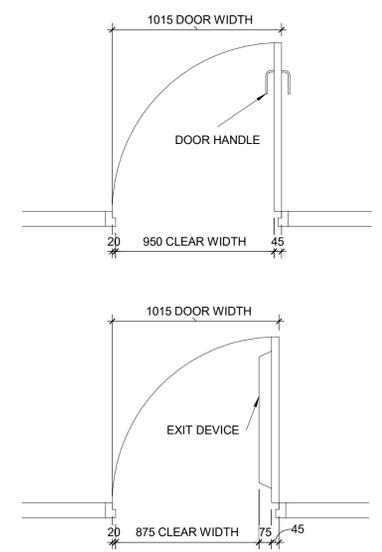
ISSUES		
No.	DESCRIPTION	DATE
A	ISSUED FOR 50% SUBMISSION	2024-11-19
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C	ISSUED FOR 95% SUBMISSION / ISSUED FOR PERMIT	2025-01-24
D	ISSUED FOR 100% / PERMIT	2025-02-07



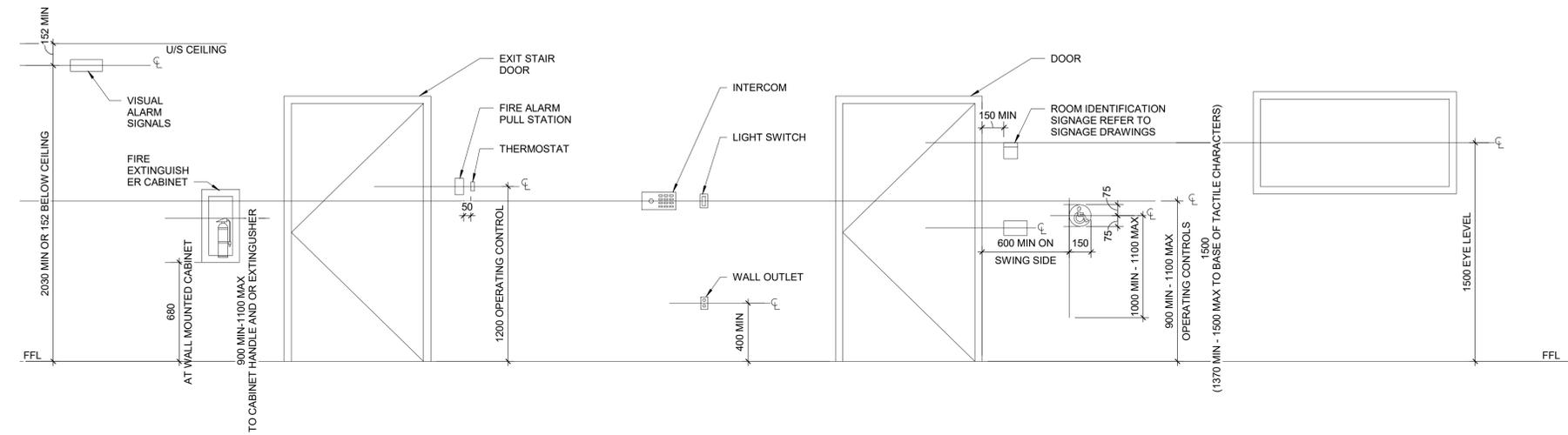
**2 POWER DOOR CONTROL OPERATOR LOCATION**  
 D1001 Scale: 1 : 20



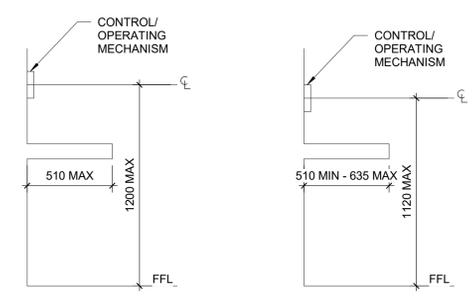
**3 DOOR APPROACH CLEARANCES**  
 D1001 Scale: 1 : 20



**4 DOOR CLEAR WIDTHS**  
 D1001 Scale: 1 : 20



**1 MOUNTING HEIGHTS**  
 D1001 Scale: 1 : 20



**5 MOUNTING HEIGHTS AT OBSTRUCTIONS**  
 D1001 Scale: 1 : 20

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PROJECT TITLE  
**Office Modernization for Toronto Water Office**

PROJECT ADDRESS  
 95 The Esplanade  
 Toronto, ON M5E 1Y8

PROJECT NO:  
 148121  
 DRAWN BY:  
**Q. BOMBASE**  
 PROJECT MGR:  
**F. BOLOURIAN**

CHECKED BY:  
**L. BANDIERA**  
 APPROVED BY:  
**E. FENUTA**

SHEET TITLE  
**ACCESSIBILITY DESIGN STANDARDS AND DOOR CLEARANCES**

SHEET NUMBER  
**D1001**

ISSUE  
**D**

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PROJECT TITLE  
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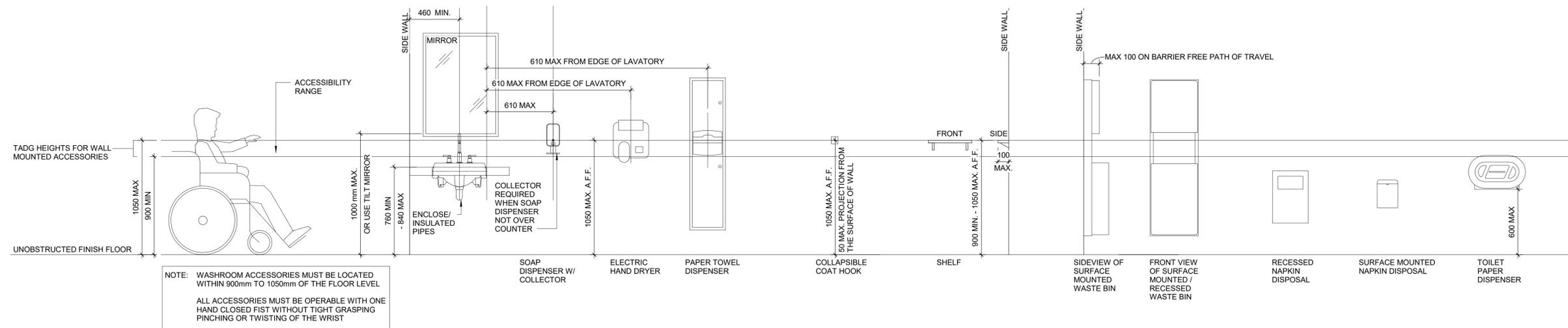
PROJECT ADDRESS  
 95 The Esplanade  
 Toronto, ON M5E 1Y8

PROJECT NO:  
 148121

DRAWN BY: <b>Q. BOMBASE</b>	CHECKED BY: <b>L. BANDIERA</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>

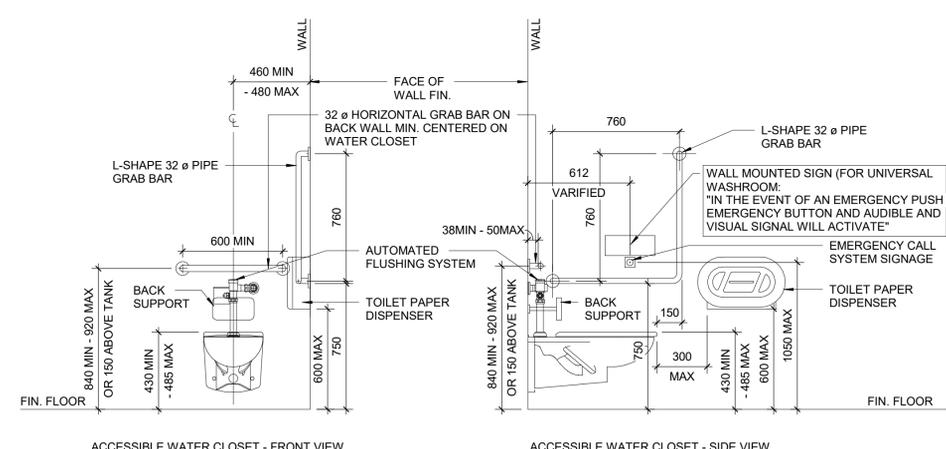
SHEET TITLE  
**ACCESSIBLE WASHROOM, SHOWER & ACCESSORIES DETAIL**

SHEET NUMBER <b>D1002</b>	ISSUE <b>D</b>
------------------------------	-------------------

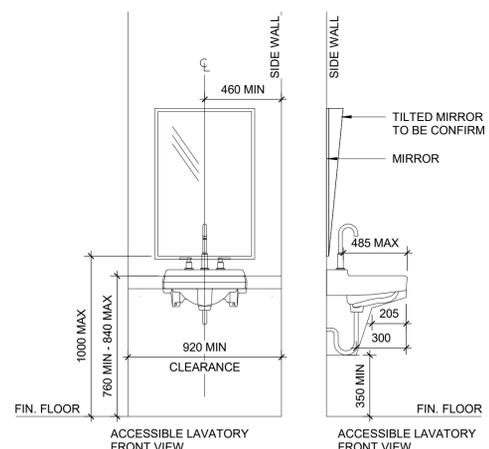


NOTE: WASHROOM ACCESSORIES MUST BE LOCATED WITHIN 900mm TO 1050mm OF THE FLOOR LEVEL  
 ALL ACCESSORIES MUST BE OPERABLE WITH ONE HAND CLOSED FIST WITHOUT TIGHT GRASPING PINCHING OR TWISTING OF THE WRIST

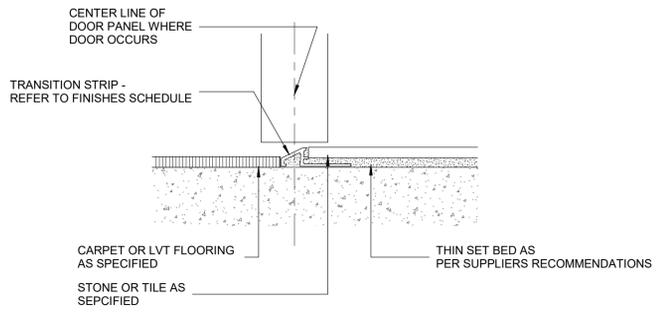
**1 ACCESSIBLE WASHROOM ACCESSORIES**  
 D1002 Scale: 1 : 20



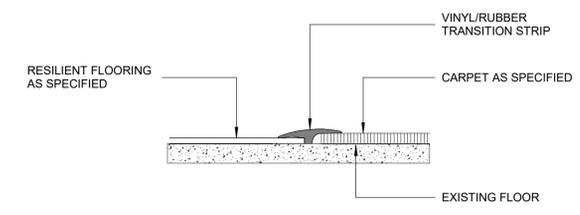
**2 ACCESSIBLE WASHROOM - WATER CLOSET**  
 D1002 Scale: 1 : 20



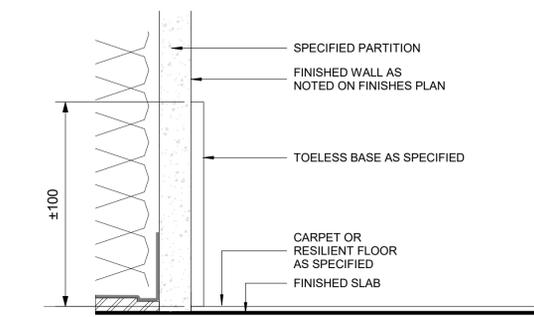
**3 ACCESSIBLE WASHROOM - LAVATORY**  
 D1002 Scale: 1 : 20



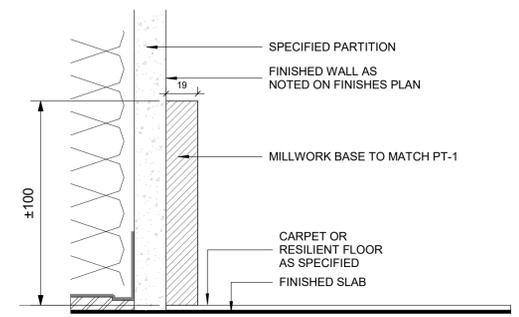
**1 FLOOR TRANSITION - CARPET OR LVT / TILE - TS-1**  
 D1004 Scale: NTS



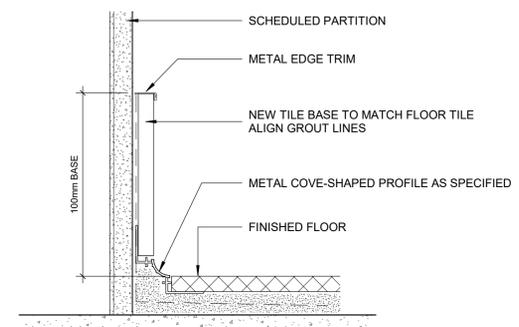
**2 FLOOR TRANSITION - RESILIENT / CARPET - TS-2**  
 D1004 Scale: NTS



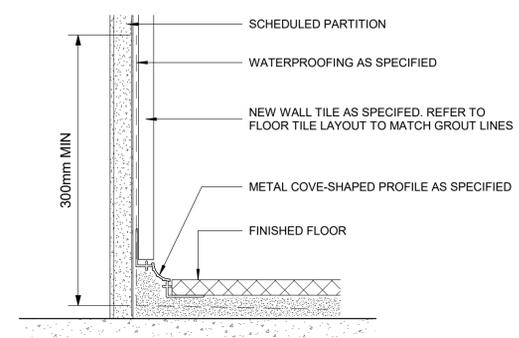
**3 TOE LESS RUBBER BASE - B-1**  
 D1004 Scale: NTS



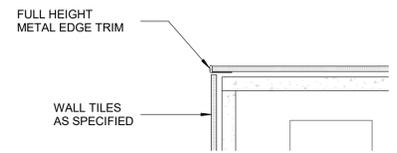
**4 MILLWORK BASE - B-2**  
 D1004 Scale: 1 : 2



**5 TILE BASE WITH COVE - B-3**  
 D1004 Scale: NTS



**6 WALL TILE - FLOOR COVE TRANSITION**  
 D1004 Scale: NTS



**x OUTSIDE CORNER TRANSITION - WALL TILES**  
 D1004 Scale: NTS

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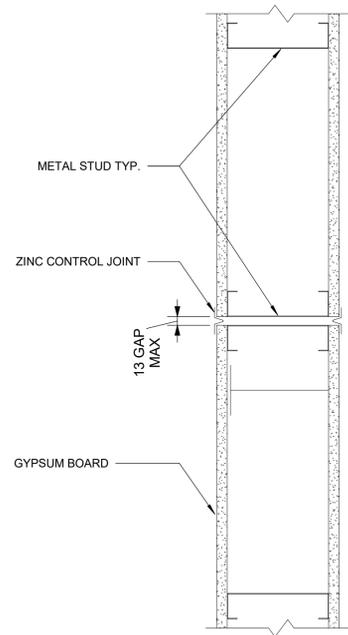
PROJECT TITLE  
**Office Modernization for Toronto Water Office**

PROJECT ADDRESS  
 95 The Esplanade  
 Toronto, ON M5E 1Y8

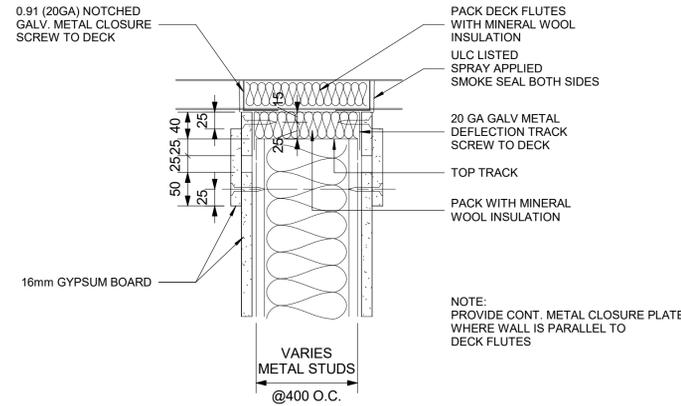
PROJECT NO:  
 148121  
 DRAWN BY:  
**Q.BOMBASE**  
 PROJECT MGR:  
**F. BOLOURIAN**  
 CHECKED BY:  
**L. BANDIERA**  
 APPROVED BY:  
**E. FENUTA**

SHEET TITLE  
**TRANSITION AND BASE DETAILS**

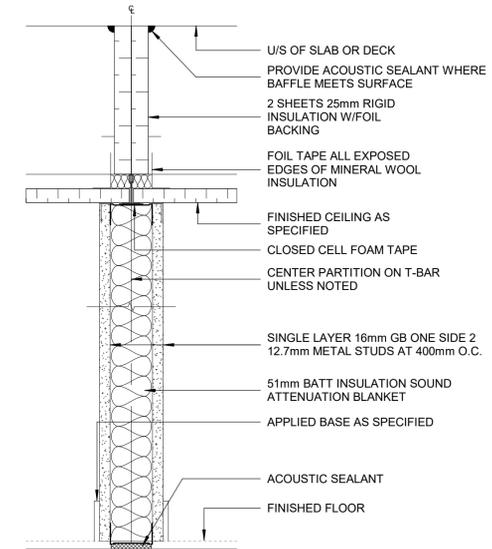
SHEET NUMBER  
**D1004**  
 ISSUE  
**D**



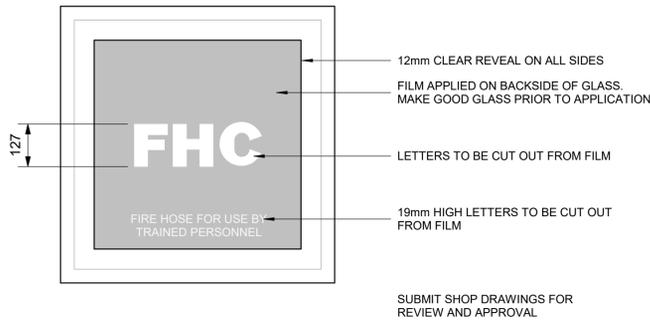
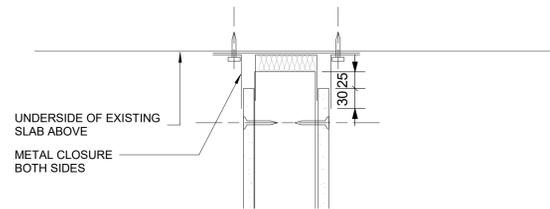
1 CONTROL JOINT PLAN DETAIL - GYPSUM BOARD  
D1005 / Scale: 1 : 5



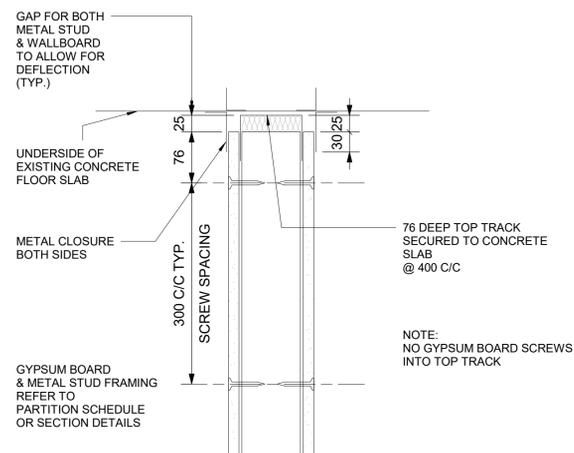
3 HEAD GYPSUM BOARD FIRE RATED PARTITION  
D1005 / Scale: 1 : 5



4 GYPSUM BOARD PARTITION - ACOUSTICAL TREATMENT ABOVE CEILING  
D1005 / Scale: 1 : 5



2 FIRE HOSE CABINET GRAPHICS  
D1005 / Scale: 1 : 10



5 HEAD DETAIL - NON RATED GYPSUM BOARD PARTITION  
D1005 / Scale: 1 : 5

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PROJECT TITLE  
**Office Modernization for Toronto Water Office**

PROJECT ADDRESS  
**95 The Esplanade  
Toronto, ON M5E 1Y8**

PROJECT NO:  
148121  
DRAWN BY:  
**Q.BOMBASE**  
PROJECT MGR:  
**F. BOLOURIAN**  
CHECKED BY:  
**L. BANDIERA**  
APPROVED BY:  
**E. FENUITA**

SHEET TITLE  
**MISCELLANEOUS DETAILS**

SHEET NUMBER  
**D1005**  
ISSUE  
**D**



ISSUES		
No.	DESCRIPTION	DATE
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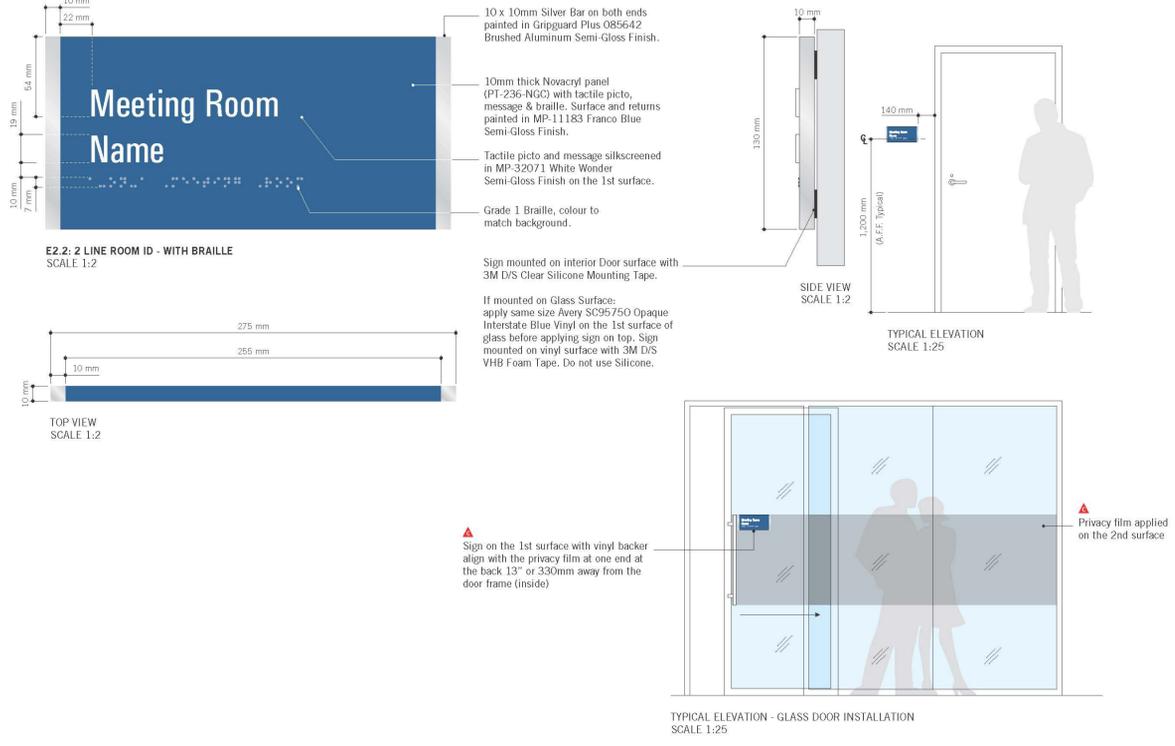
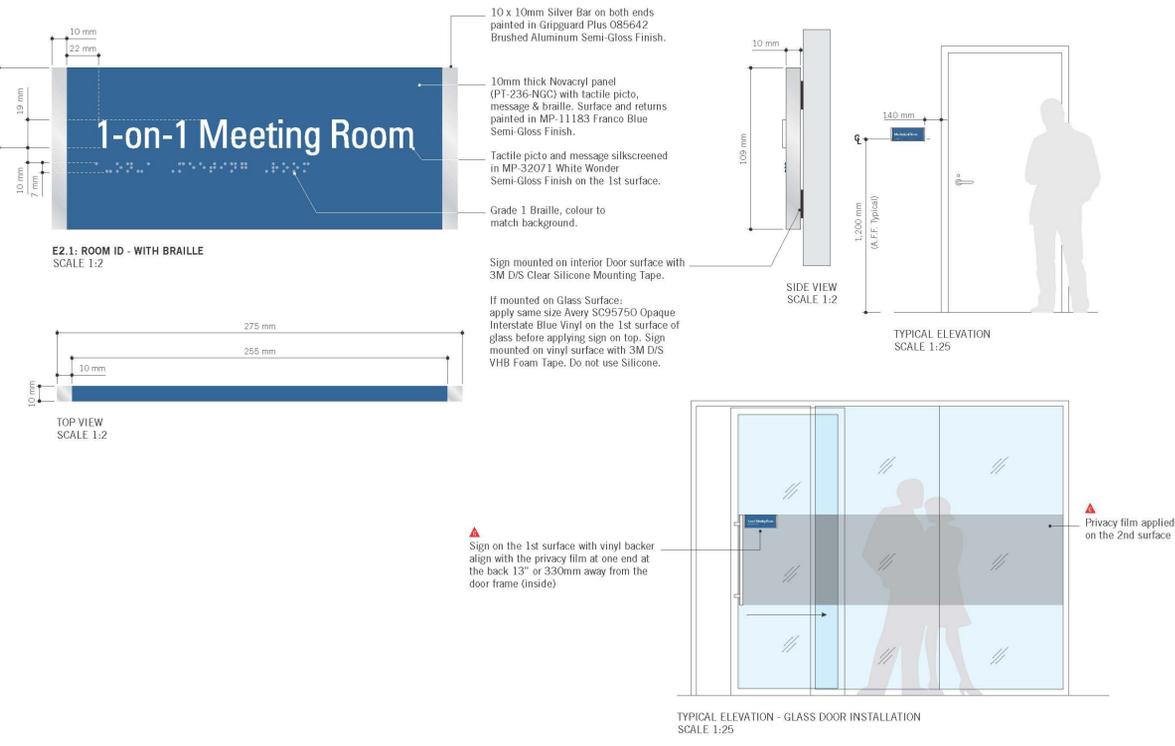
PROJECT TITLE  
**Office Modernization for Toronto Water Office**

PROJECT ADDRESS  
 95 The Esplanade  
 Toronto, ON M5E 1Y8

PROJECT NO:  
 148121  
 DRAWN BY:  
**Q.BOMBASE**  
 PROJECT MGR:  
**F. BOLOURIAN**  
 CHECKED BY:  
**L. BANDIERA**  
 APPROVED BY:  
**E. FENUITA**

SHEET TITLE  
**SIGNAGE & WAYFINDING  
 DETAILS - E2 ROOM ID**

SHEET NUMBER  
**D1008**  
 ISSUE  
**C**



VARIATIONS  
 SCALE 1:3



VARIATIONS  
 SCALE 1:3



VARIATIONS  
 SCALE 1:3



VARIATIONS  
 SCALE 1:3

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PROJECT TITLE  
**Office Modernization for Toronto Water Office**

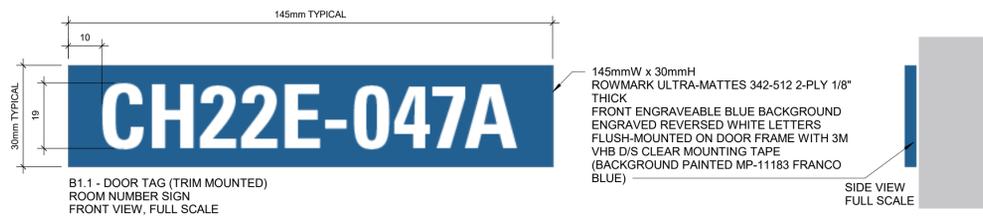
PROJECT ADDRESS  
 95 The Esplanade  
 Toronto, ON M5E 1Y8

PROJECT NO:  
148121

DRAWN BY: <b>Q. BOMBASE</b>	CHECKED BY: <b>L. BANDIERA</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>

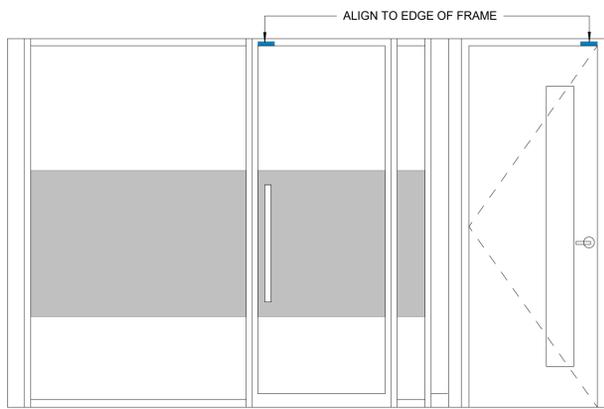
SHEET TITLE  
**SIGNAGE & WAYFINDING  
 DETAILS - B1 DOOR TAG**

SHEET NUMBER <b>D1007</b>	ISSUE <b>C</b>
------------------------------	-------------------



B1.1 - DOOR TAG (TRIM MOUNTED)  
 ROOM NUMBER SIGN  
 FRONT VIEW, FULL SCALE

SIDE VIEW  
 FULL SCALE



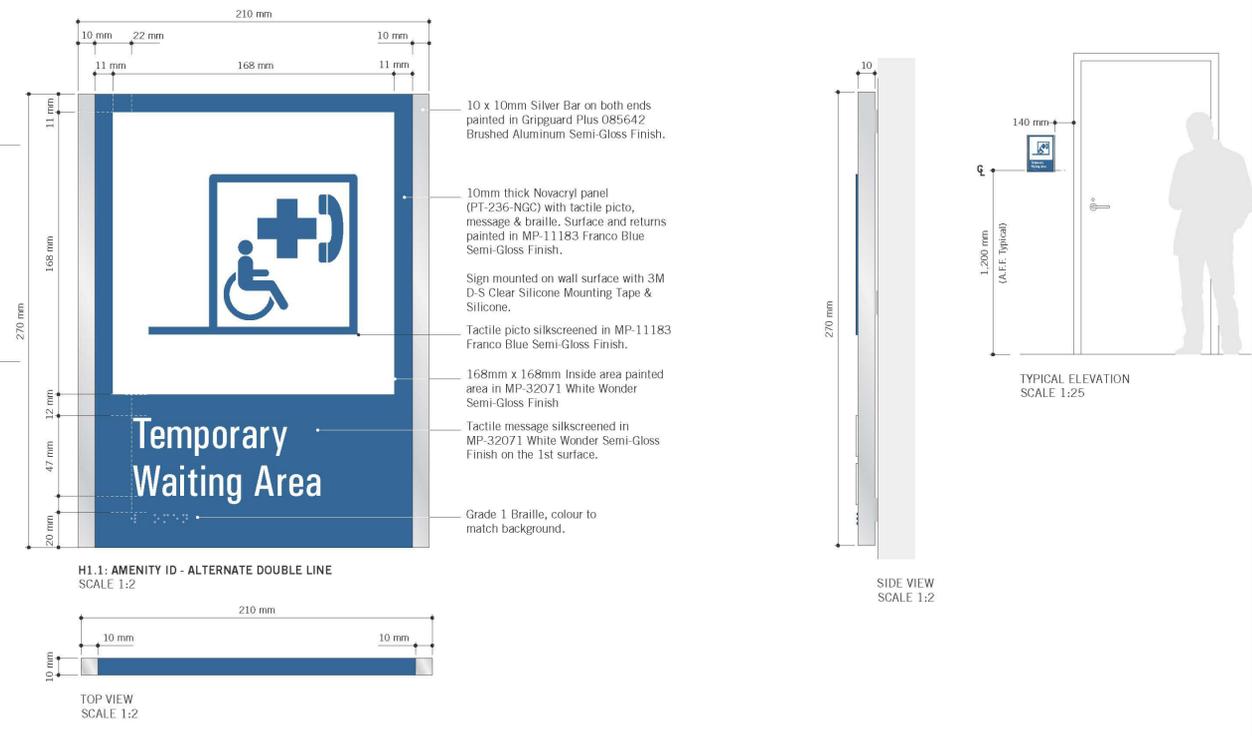
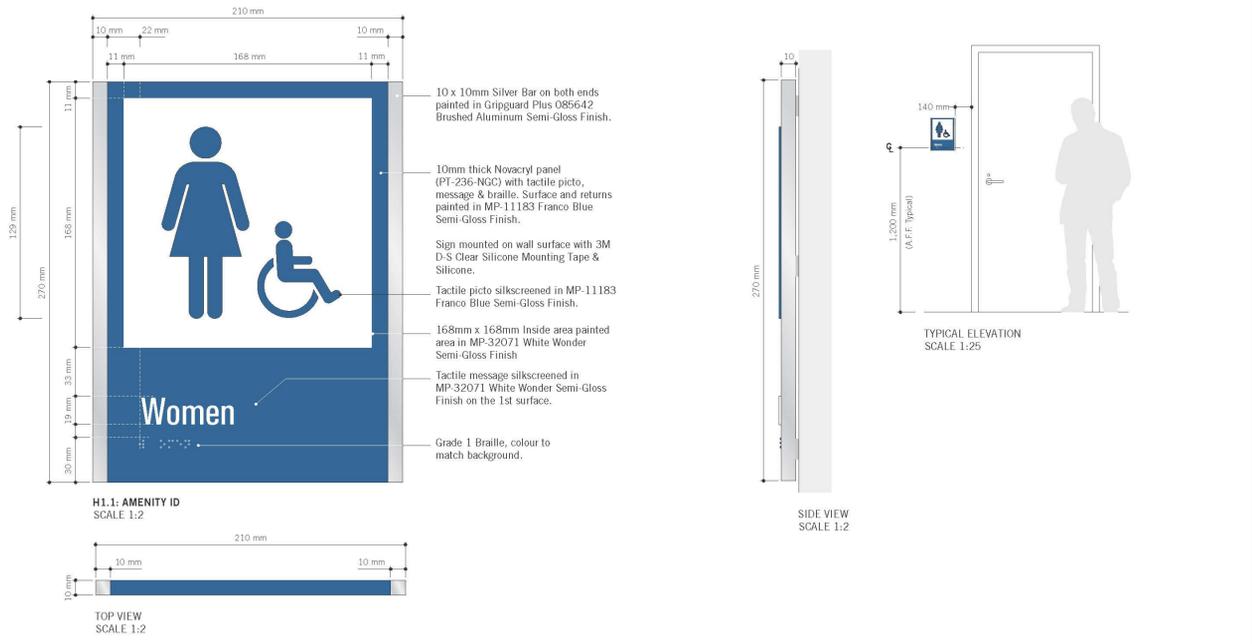
ALIGN TO EDGE OF FRAME

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PROJECT NO:  
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DRAWN BY: <b>Q.BOMBASE</b>	CHECKED BY: <b>L. BANDIERA</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>

SHEET TITLE  
**SIGNAGE & WAYFINDING DETAILS - H1.1 AMENITY ID**

SHEET NUMBER <b>D1009</b>	ISSUE <b>C</b>
------------------------------	-------------------

**ISSUES**

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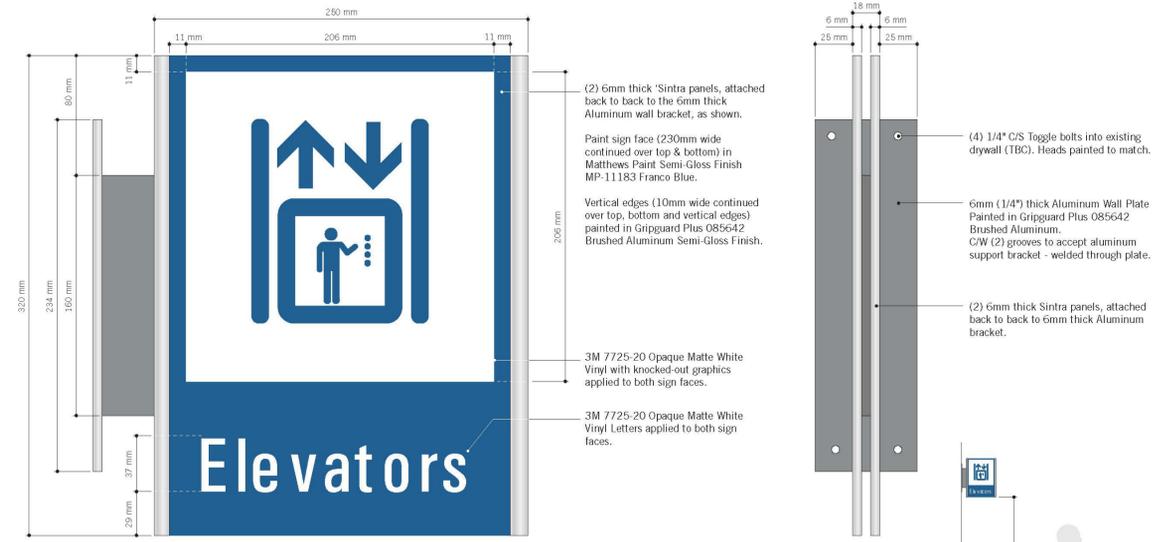
PROJECT TITLE  
**Office Modernization for Toronto Water Office**

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 95 The Esplanade  
 Toronto, ON M5E 1Y8

PROJECT NO:  
 148121  
 DRAWN BY:  
**Q.BOMBASE**  
 PROJECT MGR:  
**F. BOLOURIAN**  
 CHECKED BY:  
**L. BANDIERA**  
 APPROVED BY:  
**E. FENUTA**

SHEET TITLE  
**SIGNAGE & WAYFINDING  
 DETAILS - H2.1 PROJECTING  
 AMENITY ID**

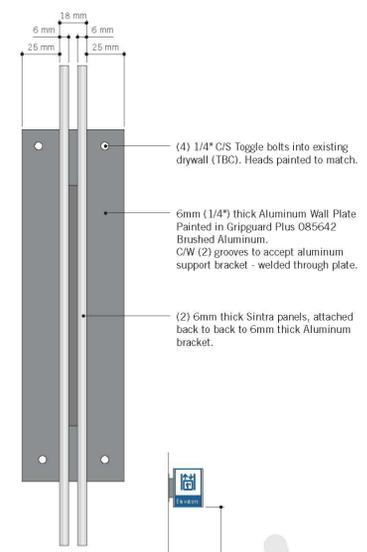
SHEET NUMBER  
**D1010**  
 ISSUE  
**C**



H2.1: PROJECTING AMENITY ID  
 SCALE 1:2



TOP VIEW  
 SCALE 1:2



SIDE VIEW  
 SCALE 1:2



TYPICAL ELEVATION  
 SCALE 1:25



ISSUES		
No.	DESCRIPTION	DATE
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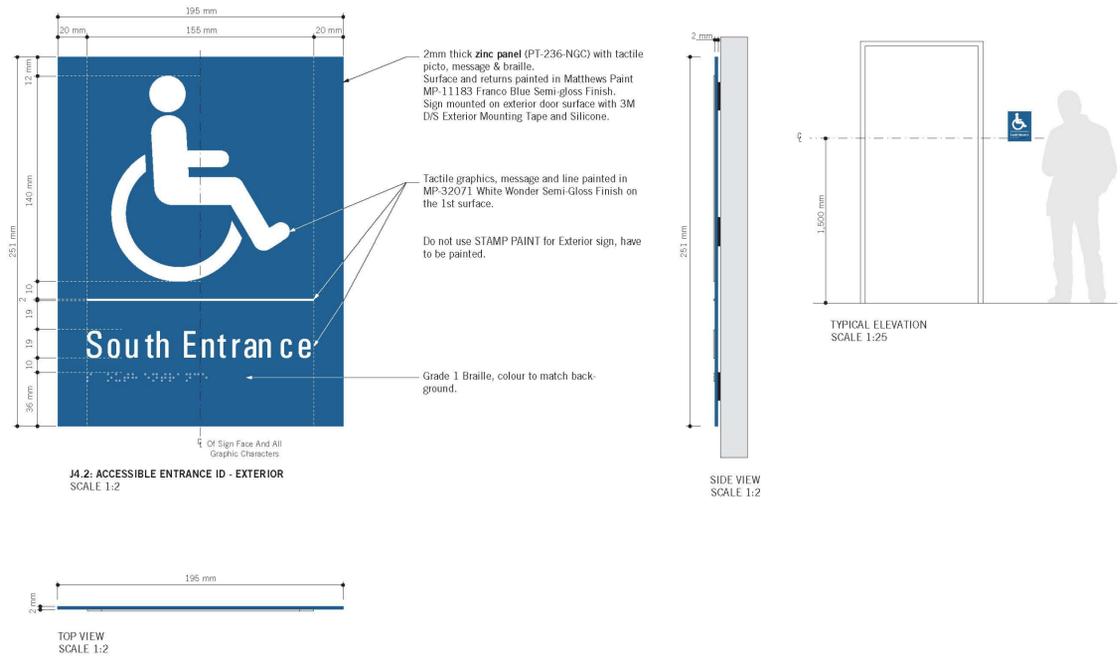
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 PROJECT MGR:  
**F. BOLOURIAN**  
 CHECKED BY:  
**L. BANDIERA**  
 APPROVED BY:  
**E. FENUTA**

SHEET TITLE  
**SIGNAGE & WAYFINDING  
 DETAILS - J4 ACCESSIBLE  
 ENTRANCE**

SHEET NUMBER  
**D1011**  
 ISSUE  
**B**



VARIATIONS  
 SCALE 1:3



VARIATIONS  
 SCALE 1:3