P2024-2081 Holbrook Elementary School Gym Renovation

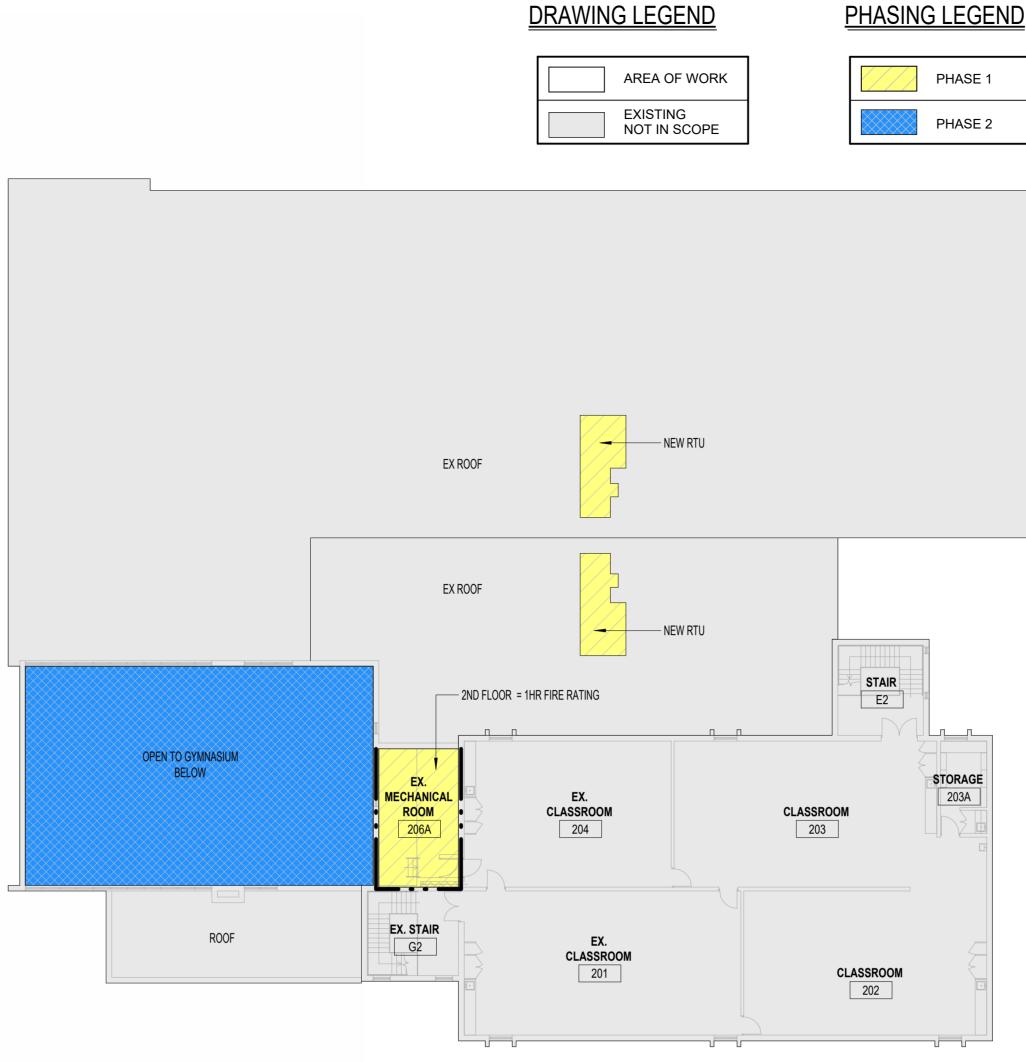


450 Sanatorium Road Hamilton, Ontario

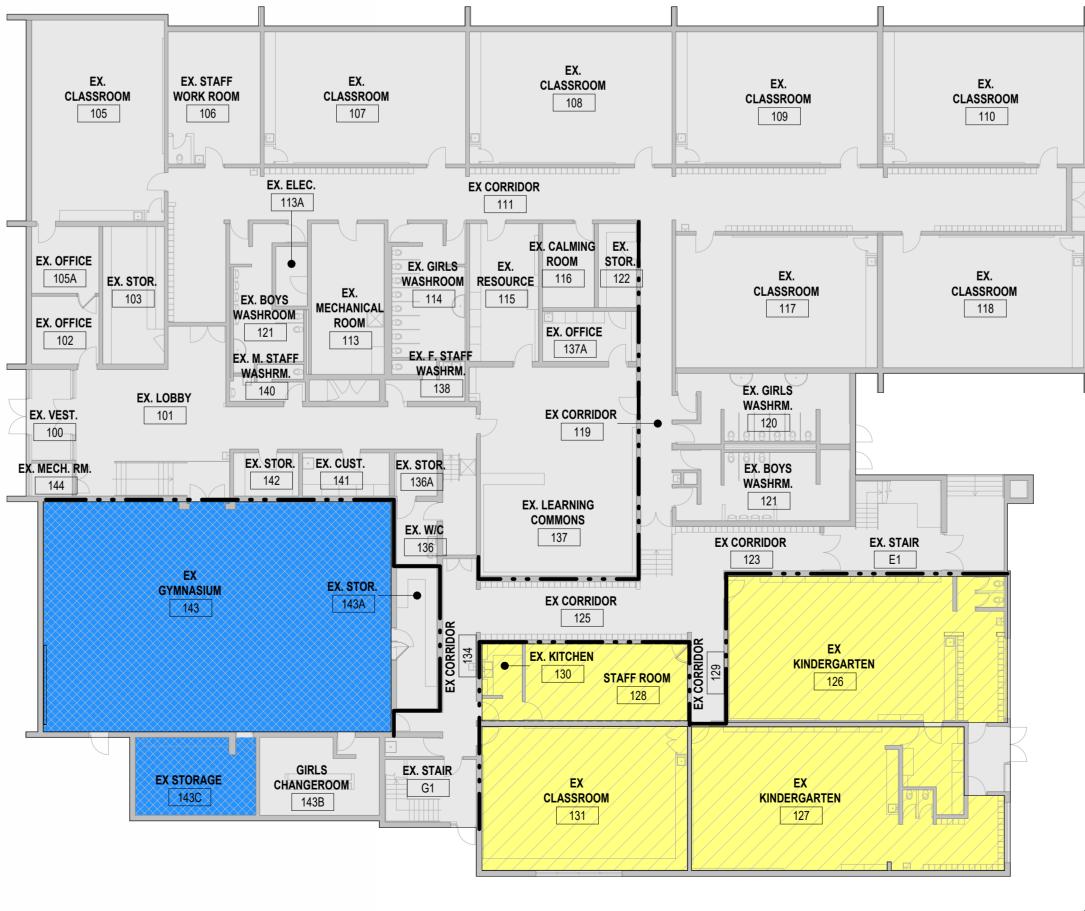
			DRAWING LIST
		SHEET	ARCHITECTURAL DRAWINGS
		A0.00	COVER PAGE
		A0.01 A1.01	GENERAL NOTES, LEGENDS, SCOPE OF WORK, DEMOLITION PLAN ENLARGED DEMOLITION PLANS, DEMOLITION
		A1.01	NOTES, LEGENDS GYMNASIUM DEMOLITION ELEVATIONS
		A2.0	PROPOSED GROUND & SECOND FLOOR PARTIAL PLANS
		A2.1 A2.2 A3.0	GYMNASIUM GAME LINES LOWER ROOF PLAN REFLECTED CEILING PLAN, CEILING LEGEND,
		A4.0	NOTES GYMNASIUM INTERIOR ELEVATIONS
		A4.01	PROPOSED MILLWORK
			MECHANICAL DRAWINGS
	IRA J	M1.01	
	FECTS INC.	M1.02 M1.03 M1.04	LEVEL 1 HVAC NEW CONSTRUCTION LEVEL 2 / LOWER ROOF HVAC DEMOLITION LEVEL 2 / LOWER ROOF HVAC NEW
C.E.S Engineer		M6.01	CONSTRUCTION GAS PIPING SCHEMATIC AND RTU ROOF CURBS
#709 - 2550 Vic Toronto ON, M2 T:+1 437 747 01	oria Park Avenue J5A9 71	M7.01 M7.02	RTU-5 CONTROL SCHEMATIC RTU-6 CONTROL SCHEMATIC
F: 604.221.8714 www.cesgroup.o		M7.03 M8.01	TERMINAL UNITS VAVS AND FA CONTROL SCHEMATIC MECHANICAL SCHEDULES
		M9.01	MECHANICAL DETAILS
	20		ELECTRICAL DRAWINGS
	ERING	E0.01 E1.01	COVER PAGE KEYPLAN FIRST FLOOR
		E1.02 E1.03	FIRST FLOOR DEMOLITION AND NEW CONSTRUCTION POWER LAYOUT FIRST FLOOR DEMOLITION LIGHTING LAYOUT A
		E1.04 E1.05	FIRST FLOOR DEMOLITION LIGHTING LAYOUT FIRST FLOOR NEW CONSTRUCTION LIGHTING
		E1.06	LAYOUT A FIRST FLOOR NEW CONSTRUCTION LIGHTING LAYOUT B
		E2.01 E2.02	KEYPLAN SECOND FLOOR SECOND FLOOR DEMOLITION AND NEW
			CONSTRUCTION POWER LAYOUT
			STRUCTURAL DRAWINGS
		S1 S2	LEVEL 1 ROOF FRAMING PLAN AND NOTES LEVEL 2 ROOF FRAMING PLAN AND NOTES
		S3	SECTION
project number 24-19	DRAWING NO.		
	, 10.00		

Amra J	of Practice: Architects Inc.		
	vbridge Cresent er, Ontario		
NT	(D. 1.)		
	o f Project: 2081 Holbrook Elemer	ntary School Gym Renovation	
Locatio			
	natorium Road on, Ontario		
Date:			
January	2025		D 111
		Ontario Building Code Data Matrix Part 11 – Renovation	Building Code Referenc
11.00	Building Code	<u>O. Reg. 332/12</u> Last Amendment <u>O. Reg. 89/23</u>	Kelerenc
11.01	Version: Project Type:	Addition Renovation Addition and renovation	[A] 1.1.2.6.
11.01	The sector spectrum sector spec	□ Change of use	[/] 1.1.2.0.
		Description: Renovation of the Gym, Storage Rm and Classrooms.	
		Replacement of the Mechanical Units	
11.02	Major Occupancy Classification:	Occupancy Use A2 Elementary School	3.1.2.1.(1), ar 11.2.1.
11.03	Superimposed	No □ Yes	11.2 and 3.2.
	Major Occupancies:	Description:	to 3.2.2.8.
11.04	Building Area (m ²)	Description: Existing New Total	[A] 1.4.1.2., 1
			and 11.3
	Insert additional lines as	Total <u>0</u> <u>0</u>	
	needed		
11.05	Building Height	2 Storeys above grade 8.5 (m) Above grade	[A] 1.4.1.2. & 3.2.1.1., and
		0 Storeys below grade	
11.06	Number of Streets/ Firefighter access	street(s)	3.2.2.10., 3.2 and 11.3
11.07	Building Size	□ Small □ Medium ⊠ Large □ > Large	T.11.2.1.1.B-
11.08	Existing Building Classification:	Change in Major Occupancy: Yes Not Applicable (no change of major occupancy)	11.2.1.1.
		Construction Index: 0	T 11.2.1.1.A
		Hazard Index: 0 Importance Category : Low	T 11.2.1.1.B 4.2.1.(3), and
		High Dost-disaster	5.2.2.1.(2)
11.09	Renovation type:	⊠ Basic Renovation □ Extensive Renovation	11.3.3.1. 11.3.3.2.
11.10	Occupant Load	Floor Level/Area Occupancy Based On Occupant Load Type (Persons)	3.1.17., 11.4.
	1		
	Insert additional lines as needed		
11.11	Plumbing Fixture	Ratio: M:F = 50:50 Except as otherwise noted	3.7.4., 11.3.4
	Requirements		11.3.5., 11.4. and 11.4.2.5.
		Floor Level/Area Occupant OBC WCs WCs Load Reference Required Provided	
	Insert additional lines as	EXISTING N/A N/A N/A	
11.12	Barrier-free Design:	□ Yes □ No <u>N/A</u>	11.3.3.2.(2)
	Barrier-free	Number N/A	
	Entrances:		
11.13	Reduction in Performance Level:	Structural: Image: No Image: Yes By Increase in occupant load: Image: No Image: Yes	11.4.2.1. 11.4.2.2.
		By change of major occupancy: No Yes	11.4.2.3.
		Plumbing: 🛛 No 🗆 Yes	11.4.2.4.
		Sewage-systems: Image: No Image: Yes Extension of buildings of Image: No Image: Yes	11.4.2.5. 11.4.2.6.
		combustible construction: 🛛 No 🗆 Yes	
11.14	Compensating Construction:		11.4.3.1,
		Structural:	11.4.3.2, 11.4.3.3,
		Increase in occupant load: 🛛 No 🗆 Yes <u>N/A</u>	11.4.3.4,
		Change of major occupancy: ⊠ No □ Yes N/A Plumbing: ⊠ No □ Yes N/A	11.4.3.5,
		Plumbing. \boxtimes No \square Yes N/A Sewage systems: \boxtimes No \square Yes N/A	11.4.3.6,
		Extension of buildings of combustible construction:	11.4.3.7.
11.15	Compliance	⊠ No □ Yes	11.5.1.

1 All references are to Division B of the OBC, unless preceded by [A] for Division A and [C] for Division C.

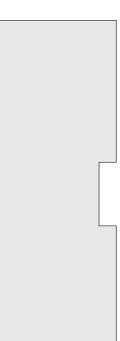


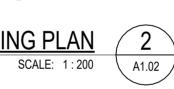
SECOND FLOOR PHASING PLAN (2)



GROUND FLOOR PHASING PLAN









AREA OF WORK

NOTES AND SPECIFICATIONS

1. GENERAL:

THE PROJECT SCOPE INCLUDES RENOVATION OF THE EXISTING GYM AND REPLACEMENT / UPGRADES OF THE HVAC SYSTEM.

THERE IS NO CHANGE IN OCCUPANCY.

THE PROJECT SCOPE INCLUDES TWO PHASES.

- PHASE 1 SCOPE INCLUDES:
- DEMOLITION OF ALL EX MECHANICAL EQUIPMENT AS SHOWN ON MECHANICAL DRAWINGS. DEMOLITION ASSOCIATED WITH THE MECHANICAL WORK IN THE ROOMS HIGHLIGHTED AS
- PHASE 1 INSTALLATION OF TWO NEW RTUS INCLUDING ALL ASSOCIATED DUCTWORK & STRUCTURAL REINFORCEMENT

PHASE 2 SCOPE INCLUDES: - ALL WORK SHOWN WITHIN THE GYMNASIUM EXCLUDING DUCTWORK PROVIDED

UNDER PHASE 1

THE AREA OF RENOVATION IS 532 SQ. M.

REVIEW THE ENTIRE SET OF DRAWINGS, INCLUDING MECHANICAL, ELECTRICAL AND STRUCTURAL FOR THE FULL SCOPE OF WORK.

INCLUDE PROVISIONS FOR ALL REPAIRS OF MATERIALS DISTURBED BY MECHANICAL, ELECTRICAL & STRUCTURAL WORK.

ENSURE THAT THE CONSTRUCTION COMPLIES WITH CURRENT ONTARIO BUILDING CODE REQUIREMENTS AND THAT EXISTING FIRE RATING IS MAINTAINED WHERE APPLICABLE.

VERIFY ALL DIMENSIONS ON-SITE AND MAKE NECESSARY MODIFICATIONS TO SUIT EXISTING SITE CONDITIONS.

REPORT ANY CONTEMPLATED DEVIATIONS FROM THE DRAWINGS PRIOR TO MAKING CHANGES.

ENSURE THAT ALL AREAS DISTURBED OR DAMAGED DURING CONSTRUCTION, WHETHER SHOWN ON THE DRAWINGS OR NOT, ARE RESTORED TO THEIR ORIGINAL CONDITION. CONTRACTOR SHALL FULLY ENCLOSE CONSTRUCTION AREA AND COORDINATE ALL DEMOLITION

AND NEW WORK IN SUCH A MANNER AS TO NOT TO DISTURB DAY-TO-DAY OPERATION OF THE SURROUNDING AREAS.

SCHOOL BOARD NEEDS TO APPROVE THE STAGING AREA PRIOR TO MOBILIZATION.

ABBREVIATION LEGEND

STANDARDS

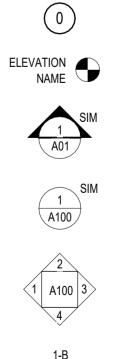
- A.F.F. ABOVE FINISHED FLOOR c/w COMPLETE WITH DN DOWN EL. ELEVATION EX. EXISTING EXP. EXPOSED FIN. FINISHED FTG FOOTING G.C. GENERAL CONTRACTOR GL GRID LINE G/R GUARDRAIL H/R HANDRAIL H.D.G. HOT DIPPED GALVENIZED N.I.C. NOT IN CONTRACT N.T.S. NOT TO SCALE
- SIM. SIMILAR STRU. STRUCTURE
- T/ TOP OF
- TYP. TYPICAL
- u/s UNDERSIDE

MATERIAL

ACT ACOUSTICAL CEILING TILE

- CAR CARPET CMU CONCRETE MASONRY UNIT CONC CONCRETE GWB GYPSUM WALL BOARD GW GEORGIAN WIRE
- HM HOLLOW METAL INT INTEGRAL
- PT PAINT
- RB RUBBER BASE
- SC SOLID CORE
- SHT SHEET S.S. STAINLESS STEEL
- ST STAIN TG TEMPERED GLASS
- VCT VINYL COMPOSITE TILE

SYMBOL LEGEND



SECTION REFERENCE

DETAIL REFERENCE

STRUCTURAL GRID

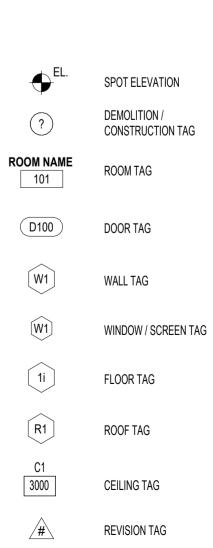
ELEVATION REFERENCE

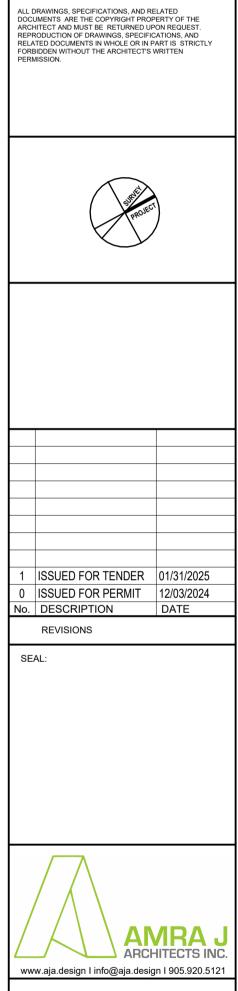
EXTERIOR ELEVATION REFERENCE

REFERENCE

DEMOLITION LINE

EX 1HR FIRE RATING





DO NOT SCALE DRAWING. DIMENSIONS ARE TO BE CHECKED AND VERIFIED BY THE CONTRACTOR ON SITE





P2024-2081 Holbrook Elementary School Gym Renovation 450 Sanatorium Road Hamilton, Ontario drawing title: GENERAL NOTES, LEGENDS, SCOPE OF WORK, DEMOLITION

project title:

date: 12/2024

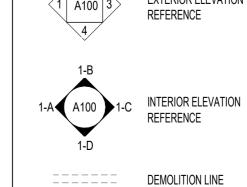
PLAN

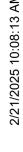
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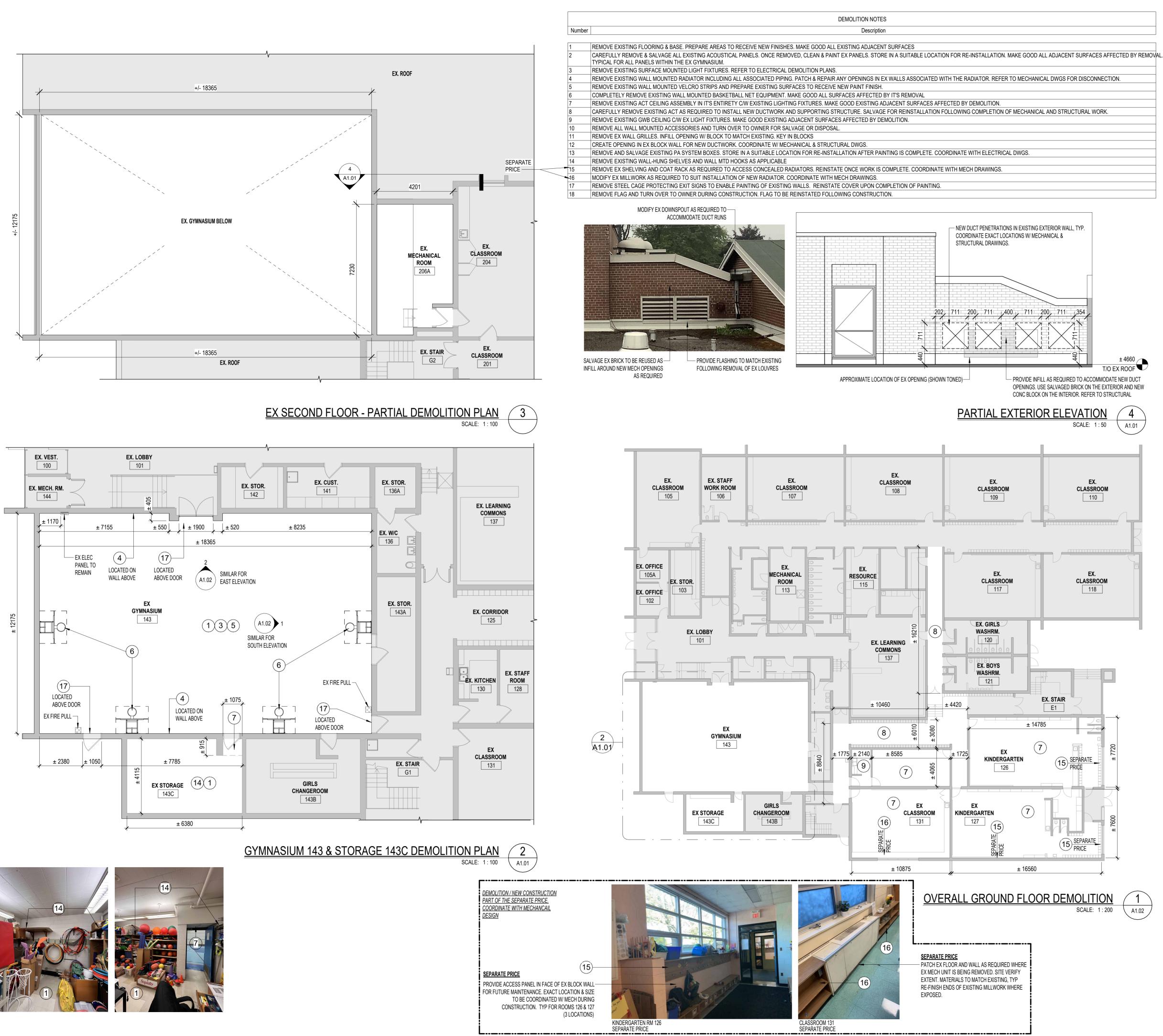
A0.01

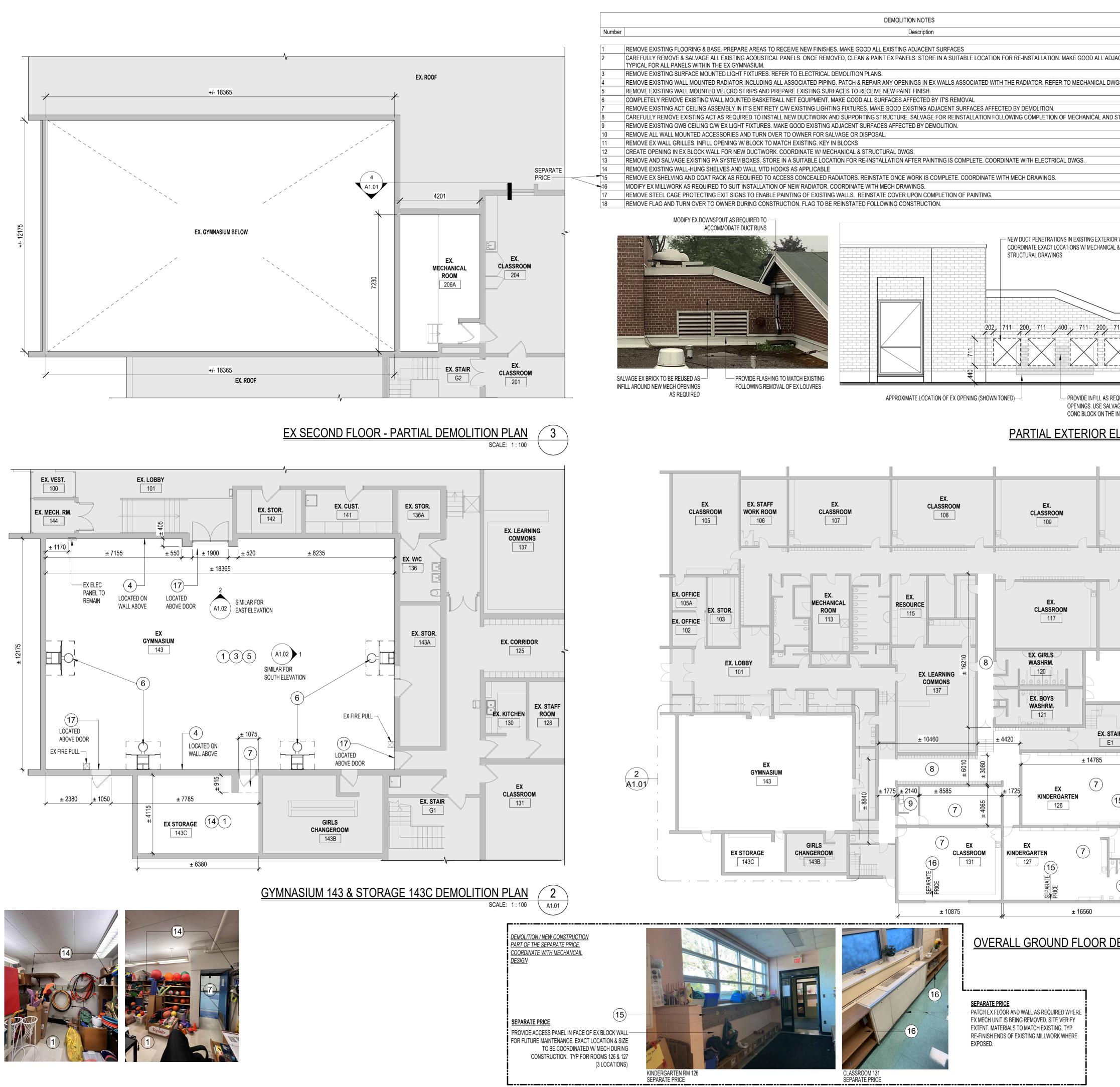
| 1

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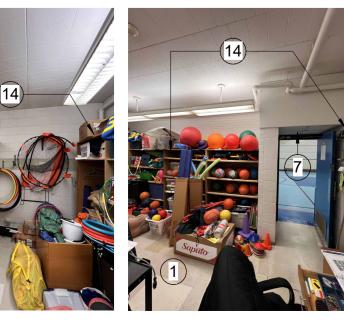




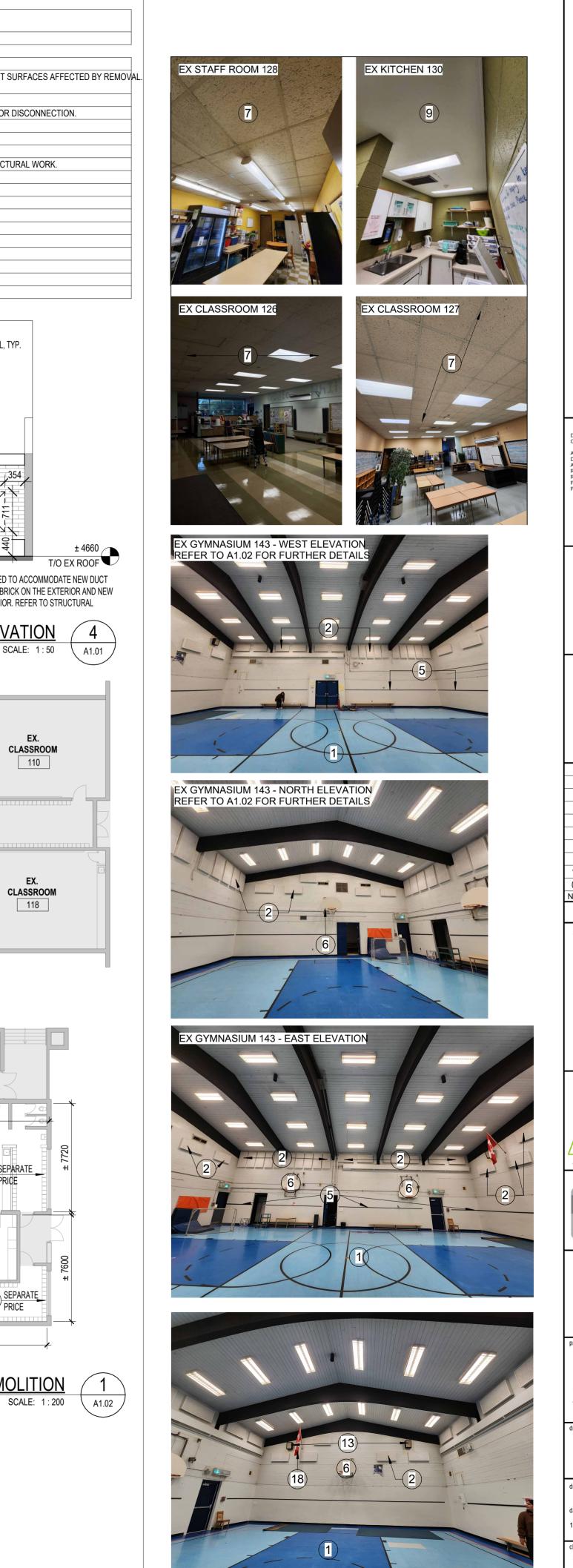












EX GYMNASIUM 143 - SOUTH ELEVATION

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EX.

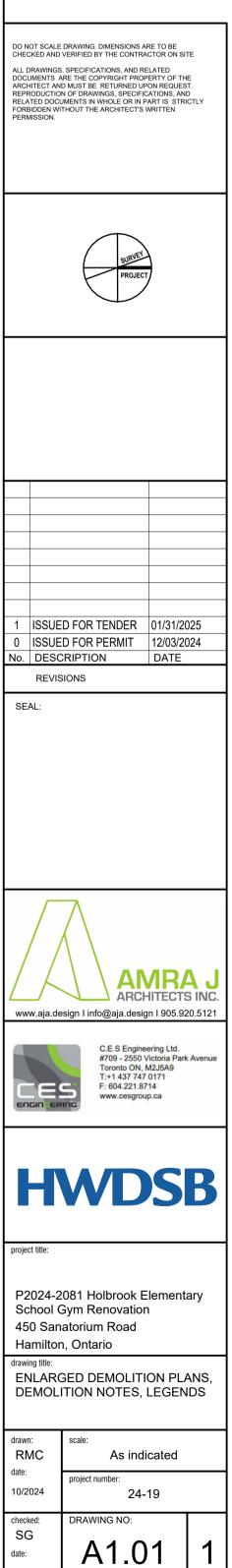
CLASSROOM

110

EX.

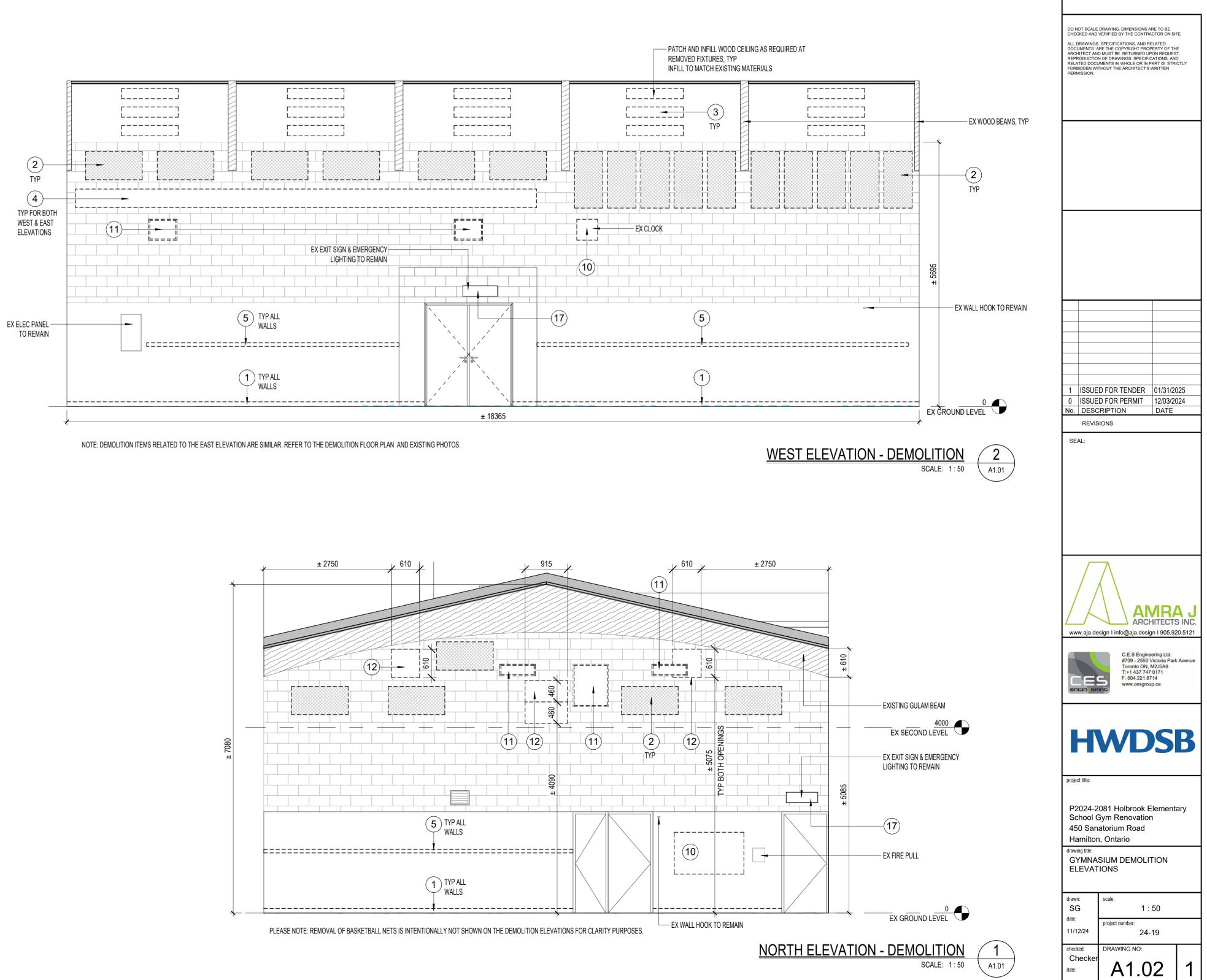
CLASSROOM

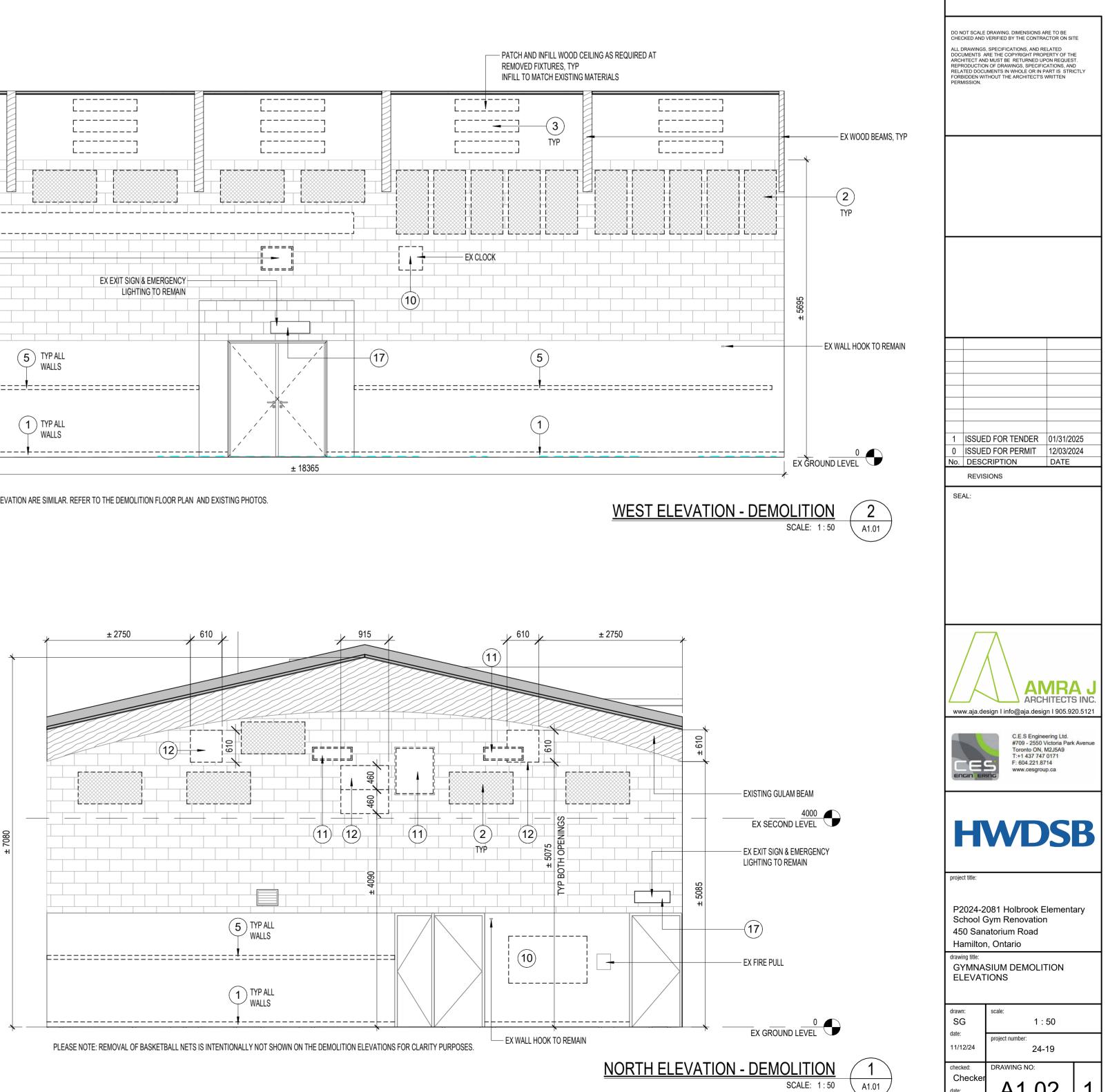
118



12/2024

	DEMOLITION NOTES
Number	Description
1	REMOVE EXISTING FLOORING & BASE. PREPARE AREAS TO RECEIVE NEW FINISHES. MAKE GOOD ALL EXISTING ADJACENT SURFACES
2	CAREFULLY REMOVE & SALVAGE ALL EXISTING ACOUSTICAL PANELS. ONCE REMOVED, CLEAN & PAINT EX PANELS. STORE IN A SUITABLE LOCATION FOR RE-INSTALLATION. MAKE GOOD ALL ADJACENT SURFACES AFFECTED BY REMOVA TYPICAL FOR ALL PANELS WITHIN THE EX GYMNASIUM.
3	REMOVE EXISTING SURFACE MOUNTED LIGHT FIXTURES. REFER TO ELECTRICAL DEMOLITION PLANS.
4	REMOVE EXISTING WALL MOUNTED RADIATOR INCLUDING ALL ASSOCIATED PIPING. PATCH & REPAIR ANY OPENINGS IN EX WALLS ASSOCIATED WITH THE RADIATOR. REFER TO MECHANICAL DWGS FOR DISCONNECTION.
5	REMOVE EXISTING WALL MOUNTED VELCRO STRIPS AND PREPARE EXISTING SURFACES TO RECEIVE NEW PAINT FINISH.
6	COMPLETELY REMOVE EXISTING WALL MOUNTED BASKETBALL NET EQUIPMENT. MAKE GOOD ALL SURFACES AFFECTED BY IT'S REMOVAL
7	REMOVE EXISTING ACT CEILING ASSEMBLY IN IT'S ENTIRETY C/W EXISTING LIGHTING FIXTURES. MAKE GOOD EXISTING ADJACENT SURFACES AFFECTED BY DEMOLITION.
8	CAREFULLY REMOVE EXISTING ACT AS REQUIRED TO INSTALL NEW DUCTWORK AND SUPPORTING STRUCTURE. SALVAGE FOR REINSTALLATION FOLLOWING COMPLETION OF MECHANICAL AND STRUCTURAL WORK.
9	REMOVE EXISTING GWB CEILING C/W EX LIGHT FIXTURES. MAKE GOOD EXISTING ADJACENT SURFACES AFFECTED BY DEMOLITION.
10	REMOVE ALL WALL MOUNTED ACCESSORIES AND TURN OVER TO OWNER FOR SALVAGE OR DISPOSAL.
11	REMOVE EX WALL GRILLES. INFILL OPENING W/ BLOCK TO MATCH EXISTING. KEY IN BLOCKS
12	CREATE OPENING IN EX BLOCK WALL FOR NEW DUCTWORK. COORDINATE W/ MECHANICAL & STRUCTURAL DWGS.
13	REMOVE AND SALVAGE EXISTING PA SYSTEM BOXES. STORE IN A SUITABLE LOCATION FOR RE-INSTALLATION AFTER PAINTING IS COMPLETE. COORDINATE WITH ELECTRICAL DWGS.
14	REMOVE EXISTING WALL-HUNG SHELVES AND WALL MTD HOOKS AS APPLICABLE
15	REMOVE EX SHELVING AND COAT RACK AS REQUIRED TO ACCESS CONCEALED RADIATORS. REINSTATE ONCE WORK IS COMPLETE. COORDINATE WITH MECH DRAWINGS.
16	MODIFY EX MILLWORK AS REQUIRED TO SUIT INSTALLATION OF NEW RADIATOR. COORDINATE WITH MECH DRAWINGS.
17	REMOVE STEEL CAGE PROTECTING EXIT SIGNS TO ENABLE PAINTING OF EXISTING WALLS. REINSTATE COVER UPON COMPLETION OF PAINTING.
18	REMOVE FLAG AND TURN OVER TO OWNER DURING CONSTRUCTION. FLAG TO BE REINSTATED FOLLOWING CONSTRUCTION.



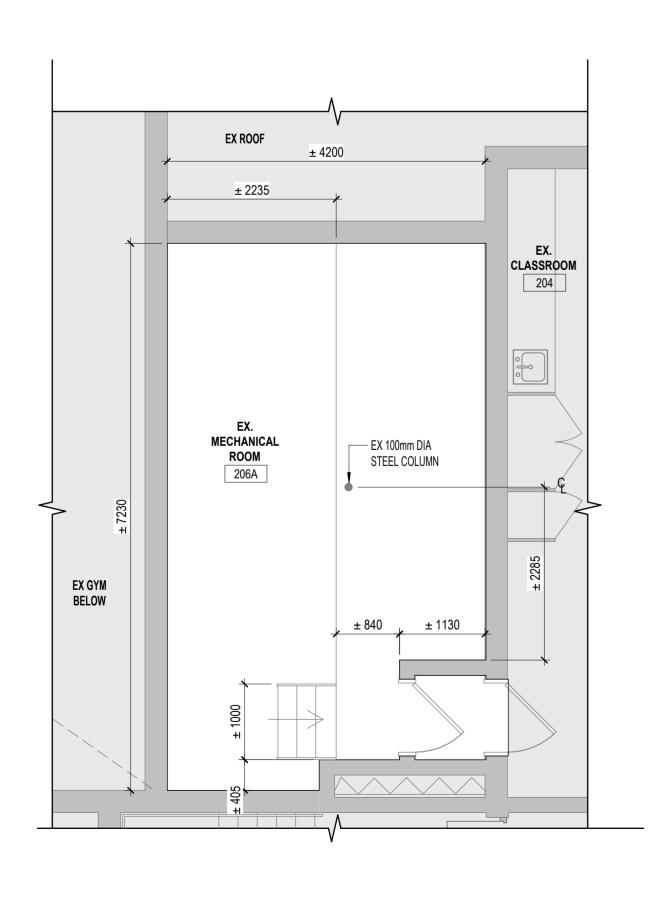


12/2024

<u></u>			
DESIGNATION	QUANTITY	EQUIPMENT DESCRIPTION	PRODUCT
	22	REMOVABLE WALL PADDING - 50MM X 1220MM X 1830MM	WP-2004 BY GYMNASIUM & HEALTH EQUIP. LTD
GYMNASIUM WALLS	10	VELCRO WALL-MOUNTING STRIPS 3M LONG EACH	VEL-69A BY GYMNASIUM & HEALTH EQUIP. LTD
	1	WALL MOUNTED MOTORIZED PROJECTION SCREEN	PREMIER (9' X 12') BY DRAPER INC.
	1	WALL MOUNTED DIGITAL CLOCK	TBD: CARRIED UNDER CASH ALLOWANCE
	1	WALL MOUNTED WHITE BOARD	SERIES 9800 (4' X 6') BY ASI VISUAL DISPLAY PRODUCTS
VOLLEYBALL,	18	FIXED FLOOR SOCKETS	FS - 1 1/2 BY GYMNASIUM & HEALTH EQUIP. LTD
BADMINTON & STORAGE	6	ADAPTER BUSHINGS	AD-93BAB BY GYMNASIUM & HEALTH EQUIP. LTD
	2	MOTORIZED RETRACTABLE BASKETBALL BACKBOARD	EZ FOLD DUW (72" X 42") BASKETBALL BASKTOP BY DRAPER
	2	TORQUE WINCH C/W KEYSWITCH	EZ-BACKSTOP WINCH BY DRAPER
BASKETBALL – COURTS	2	MOTORIZED HEIGHT ADJUSTER	503093 ELECTRIC (8' - 10') MOTORIZED HEIGHT ADJUSTER BY
	4	MANUAL HEIGHT ADJUSTER	503092 MANUAL (8' - 10') HEIGHT ADJUSTER BY DRAPER
	4	FIXED RECTANGULAR GLASS BASKETBALL BACKBOARD	EZ FOLD 503136 (72" X 42") BY DRAPER INC.
	6	BREAKAWAY GOAL	EZ FOLD 503576 BY DRAPER INC.
	6	SAFETY STRAP FOR BASKETBALL BACKBOARD	503029 PASILOK BY DRAPER
	12	CUSHION EDGING/ SAFE-EDGE PADDING	5032XX SAFE-EDGE PADDING BY DRAPPER

FINISH NOTES

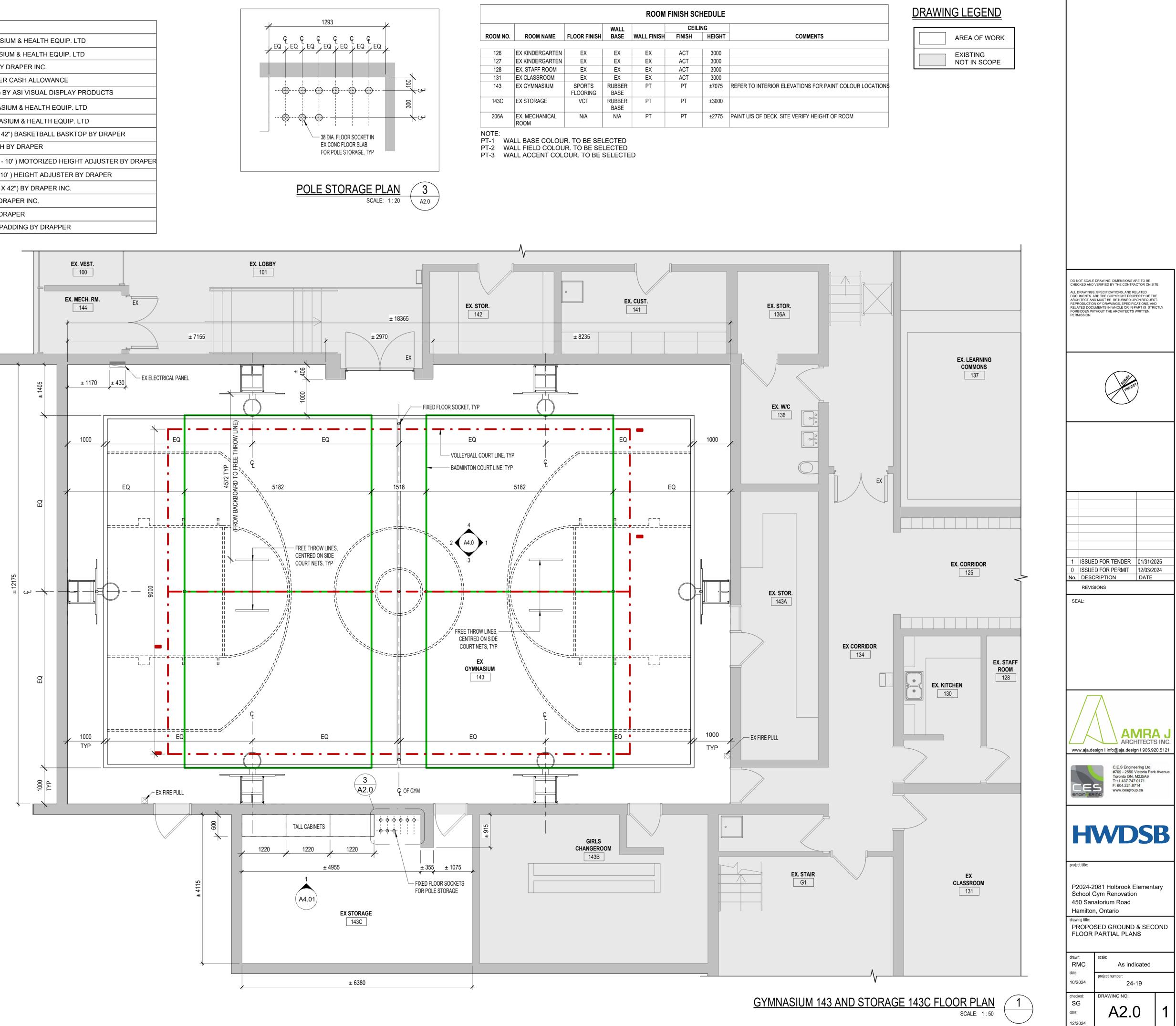
- 1. ALL DOORS & FRAMES INTO GYMNASIUM TO BE PRIMED AND PAINTED, BOTH SIDES, TYP
- 2. ALL EX ACOUSTIC PANELS TO BE CLEANED & PAINTED PRIOR TO REINSTALLATION.
- ALL CONC BLOCK INFILL TO BE FLUSH WITH FACE OF EX 3. BLOCK WALL WITHIN THE GYMNASIUM.
- 4. ALL WALL MOUNTED ACCESSORIES NOT NOTED OTHERWISE ON THE DRAWINGS TO BE REMOVED DURING DEMOLITION, SALVAGED AND TURNED OVER TO OWNER TO COORDINATE REINSTALLATION AS REQUIRED. EXISTING WALL MOUNTED HOOKS TO REMAIN.
- 5. ALL NEW DUCTWORK TO BE PREFINISHED WHITE.
- 6. ALL EX WALL GRILLES REMAINING TO BE PRIMED AND PAINTED.
- 7. ALL EXISTING BEAMS TO BE PREPPED, PRIMED AND PAINTED.
- EX WOOD PAINTED CEILINGS TO BE PREPPED, PRIMED AND 8. PAINTED.
- GC TO CONFIRM WITH CLIENT BEFORE REMOVING ANY WALL 9. MOUNTED HOOKS.

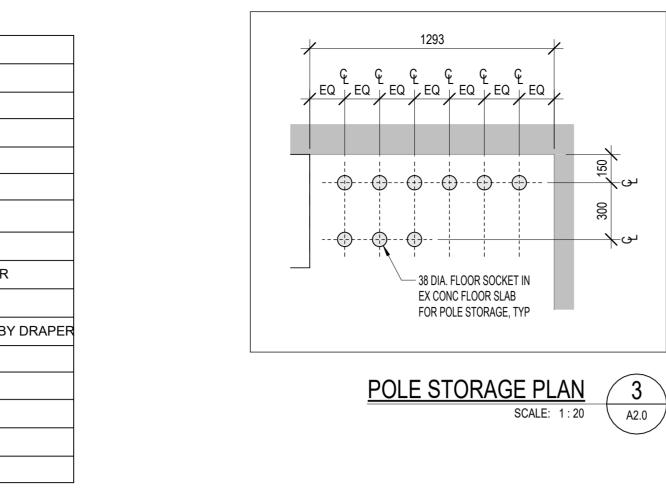


MECHANICAL ROOM 206A FLOOR PLAN

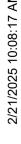
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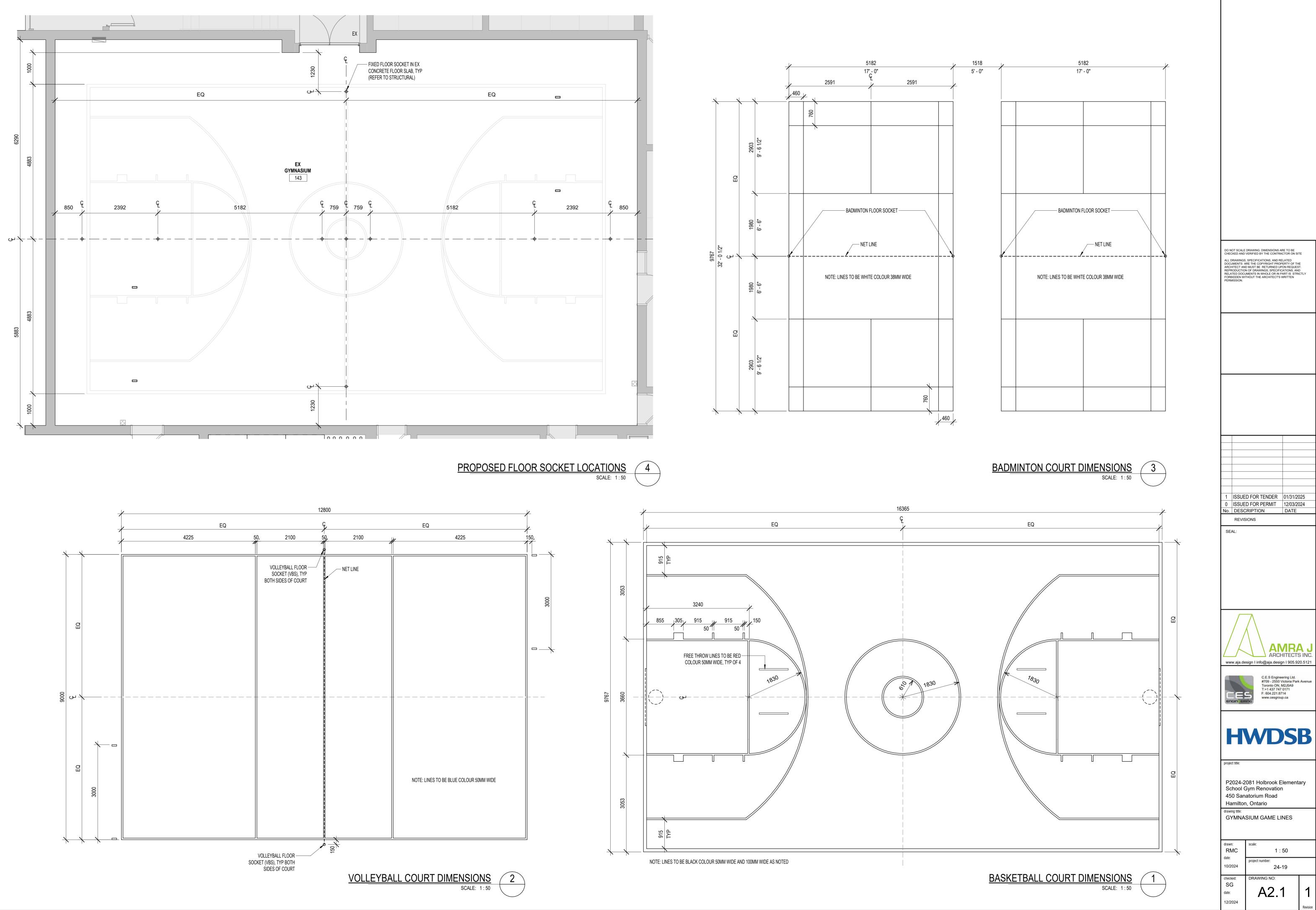
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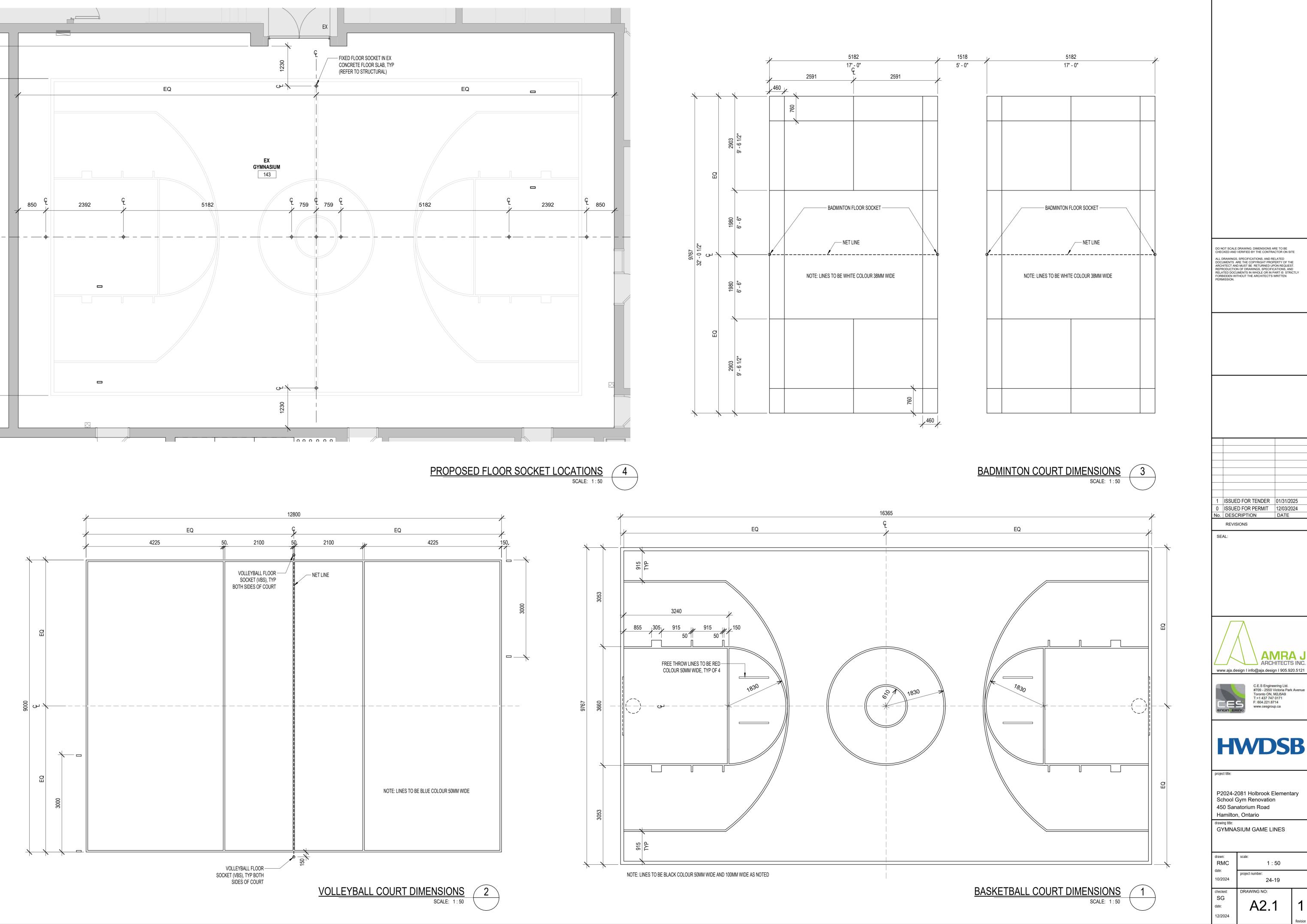


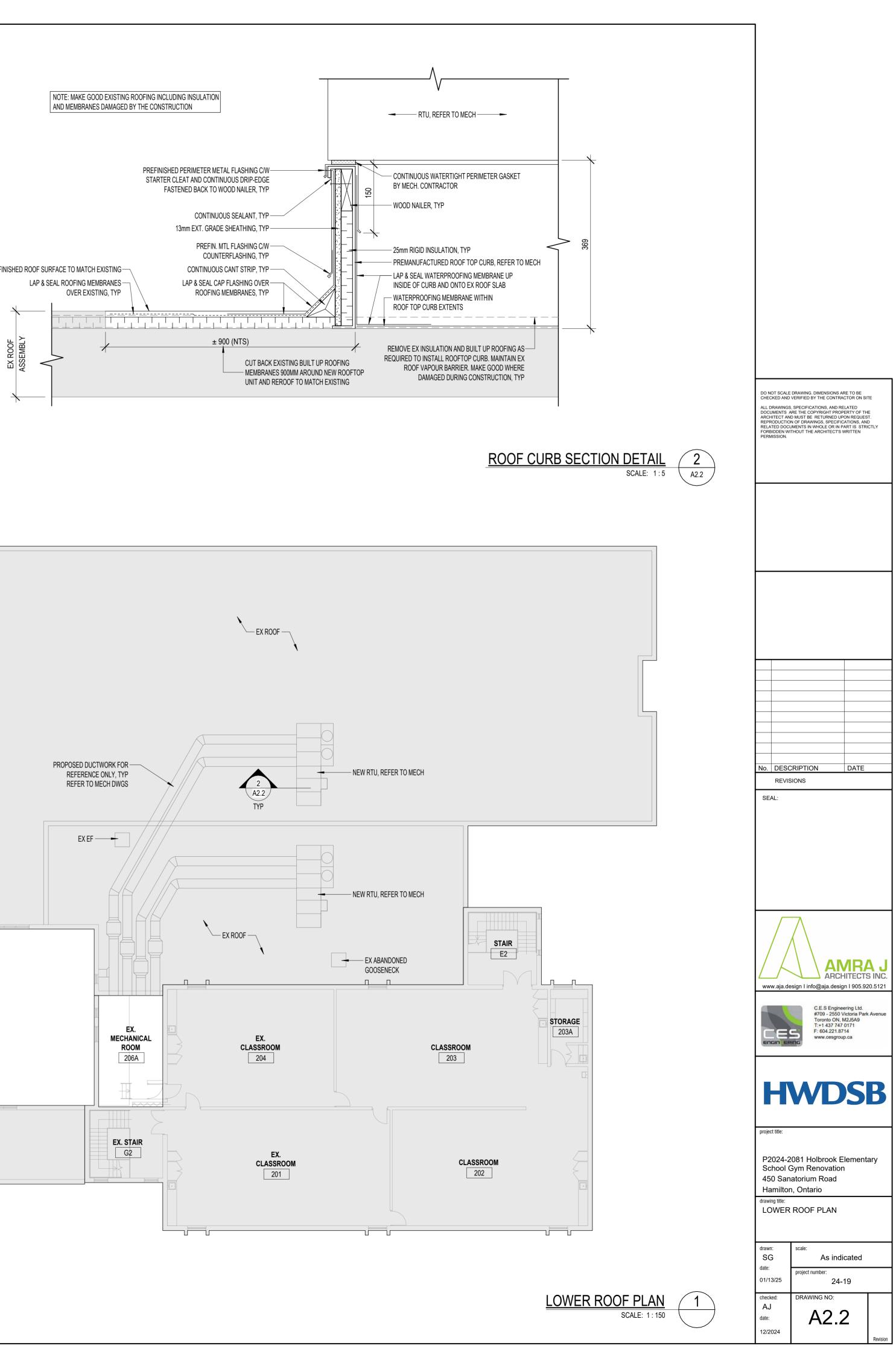


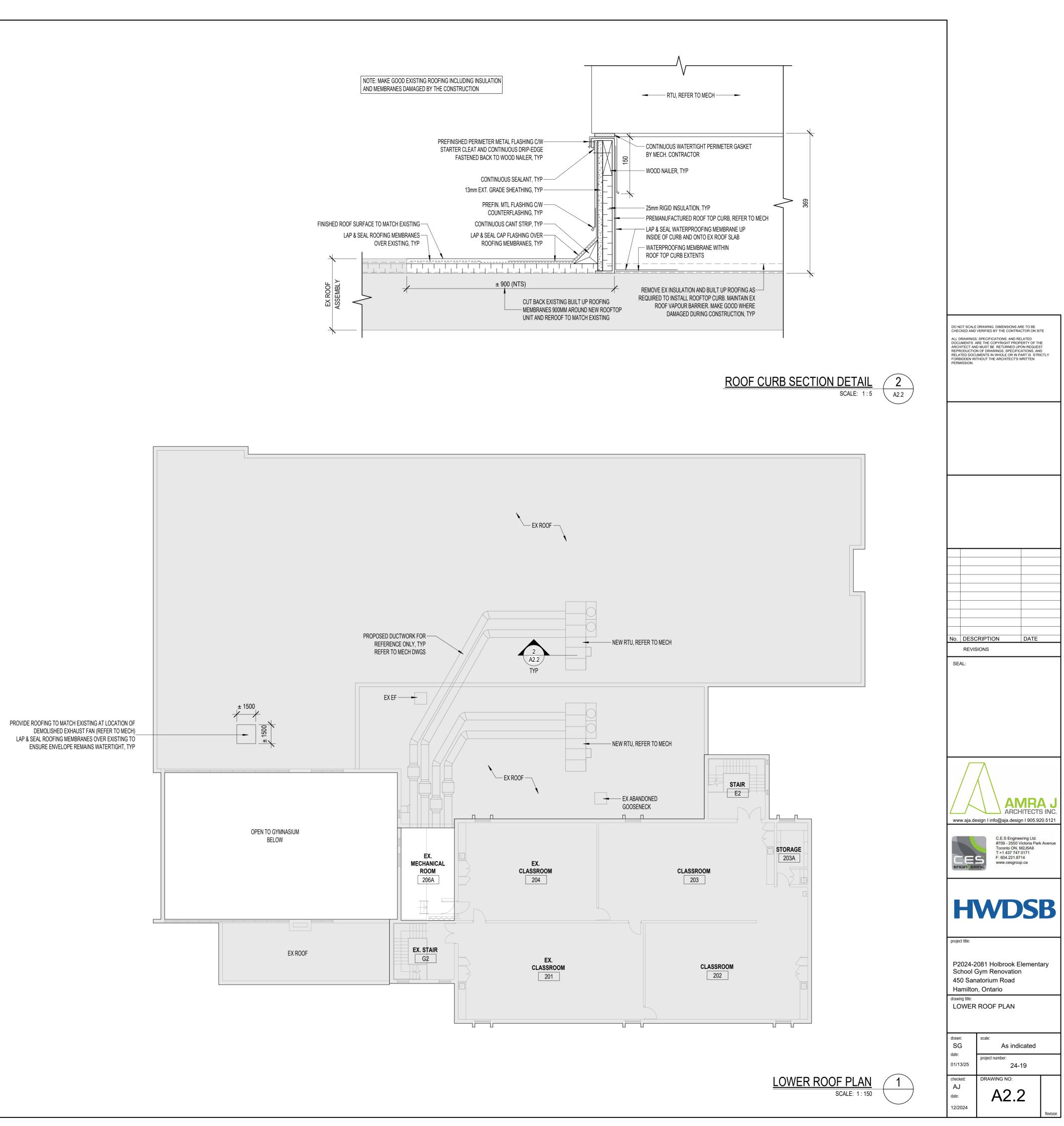
			WALL		CE	
ROOM NO.	ROOM NAME	FLOOR FINISH	BASE	WALL FINISH	FINISH	
126	EX KINDERGARTEN	EX	EX	EX	ACT	
127	EX KINDERGARTEN	EX	EX	EX	ACT	
128	EX. STAFF ROOM	EX	EX	EX	ACT	
131	EX CLASSROOM	EX	EX	EX	ACT	
143	EX GYMNASIUM	SPORTS FLOORING	RUBBER BASE	PT	PT	
143C	EX STORAGE	VCT	RUBBER BASE	PT	PT	
206A	EX. MECHANICAL ROOM	N/A	N/A	PT	PT	



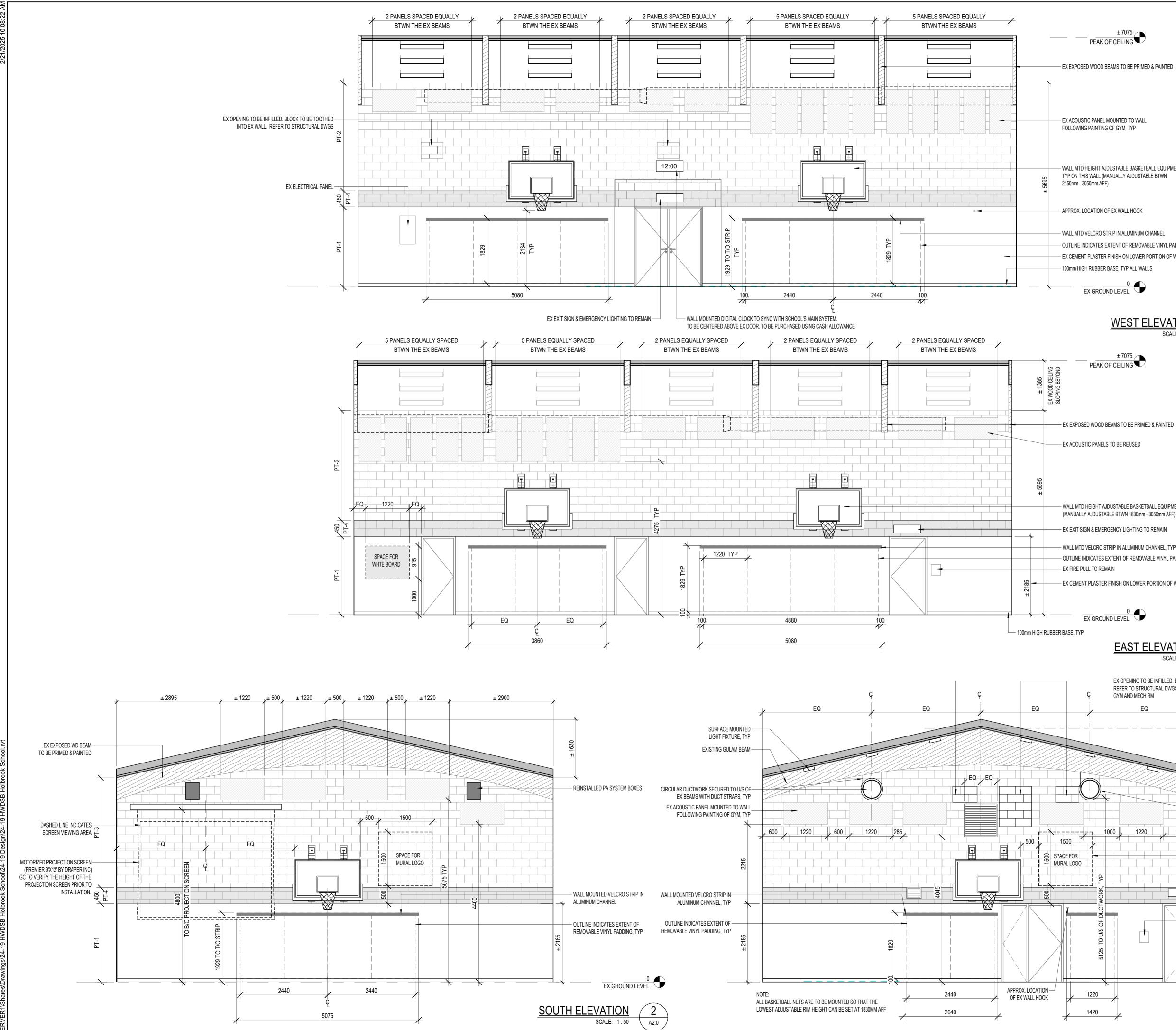












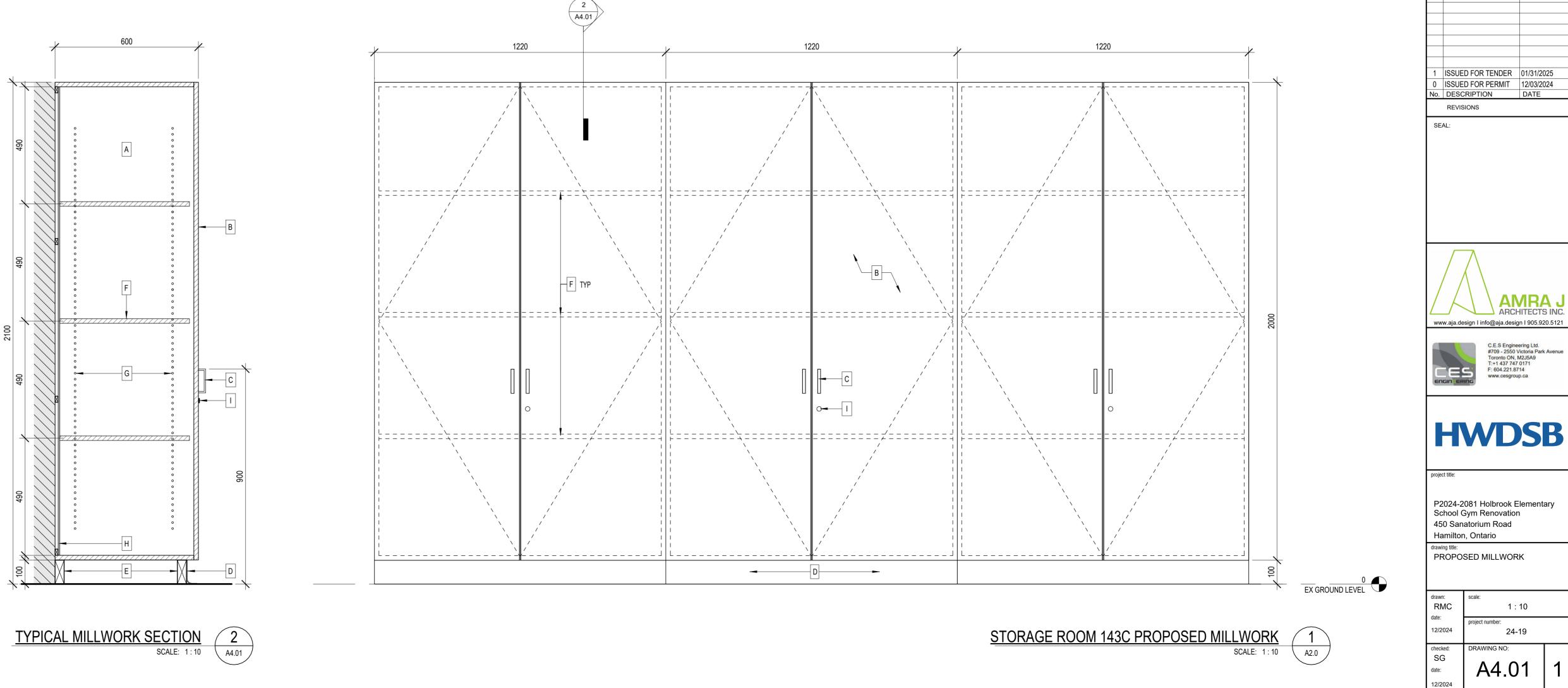
POSED WOOD BEAMS TO BE PRIMED & PAINTED	2. 3.	ALL EX ACOUSTIC PANELS TO BE CLEANED & PAINTED PRIOR TO REINSTALLATION. ALL CONC BLOCK INFILL TO BE FLUSH WITH FACE OF EX			
	3.				
		BLOCK WALL WITHIN THE GYMNASIUM.			
OUSTIC PANEL MOUNTED TO WALL WING PAINTING OF GYM, TYP	4.	ALL WALL MOUNTED ACCESSORIES NOT NOTED OTHERWISE ON THE DRAWINGS TO BE REMOVED DURING DEMOLITION, SALVAGED AND TURNED OVER TO OWNER TO COORDINATE REINSTALLATION AS REQUIRED. EXISTING WALL MOUNTED HOOKS TO REMAIN.			
	5.	ALL NEW DUCTWORK TO BE PREFINISHED WHITE.			
MTD HEIGHT AJDUSTABLE BASKETBALL EQUIPMENT, N THIS WALL (MANUALLY AJDUSTABLE BTWN	6.	ALL EX WALL GRILLES REMAINING TO BE PRIMED AND PAINTED.			
m - 3050mm AFF)	7.	ALL EXISTING BEAMS TO BE PREPPED, PRIMED AND PAINTED.			
DX. LOCATION OF EX WALL HOOK	8.	EX WOOD PAINTED CEILINGS TO BE PREPPED, PRIMED AND PAINTED.			
MTD VELCRO STRIP IN ALUMINUM CHANNEL	9.	GC TO CONFIRM WITH CLIENT BEFORE REMOVING ANY WALL MOUNTED HOOKS.			
NE INDICATES EXTENT OF REMOVABLE VINYL PADDING					
MENT PLASTER FINISH ON LOWER PORTION OF WALL TO REI 1 HIGH RUBBER BASE, TYP ALL WALLS	Main, Itp				
			CHECKED AND	DRAWING. DIMENSIONS ARE TO BI VERIFIED BY THE CONTRACTOR O	JE JN SITE
WEST ELEVATION SCALE: 1:50	4 A2.0		DOCUMENTS A ARCHITECT AN REPRODUCTIO RELATED DOCU	I, SPECIFICATIONS, AND RELATED IRE THE COPYRIGHT PROPERTY OID D MUST BE RETURNED UPON REQ N OF DRAWINGS, SPECIFICATIONS JMENTS IN WHOLE OR IN PART IS 3 THOUT THE ARCHITECT'S WRITTEN	QUEST. 5, AND STRICTLY
PEAK OF CEILING					
POSED WOOD BEAMS TO BE PRIMED & PAINTED					
OUSTIC PANELS TO BE REUSED					
MTD HEIGHT AJDUSTABLE BASKETBALL EQUIPMENT, TYP ON JALLY AJDUSTABLE BTWN 1830mm - 3050mm AFF)	N THIS WALL				
IT SIGN & EMERGENCY LIGHTING TO REMAIN					
MTD VELCRO STRIP IN ALUMINUM CHANNEL, TYP NE INDICATES EXTENT OF REMOVABLE VINYL PADDING, TYP					
RE PULL TO REMAIN MENT PLASTER FINISH ON LOWER PORTION OF WALL TO RE	MAIN TYP		0 ISSUE	D FOR PERMIT 12/03	1/2025 3/2024
	inizana, 111		No. DESC REVIS		ΓE
			SEAL:		
TYP EAST ELEVATION SCALE: 1:50	3 A2.0				
	BE TOOTHED INTO EX	(WALL.			
REFER TO STRUCTURAL DWGS. MAINTAIN GYM AND MECH RM					
EQ	Ł	+ 7075		\bigwedge	
'	·	PEAK OF CEILING			ZΛ
			www.aja.de	ARCHITEC	
	-+			C.E.S Engineering Lt #709 - 2550 Victoria I Toronto ON, M2J5A9	Park Ave
				T:+1 437 747 0171 F: 604.221.8714 www.cesgroup.ca	,
		PROVIDE FIRESTOPPING AROUND CIRCULAR DUCT OPENING TO MAINTAIN EX			
	PT-3	1HR FIRE RATING BTWN GYM AND MECH RM		WDS	S P
R +		MURAL LOGO TO BE PROVIDED UNDER CASH ALLOWANCE, TYP FOR BOTH LOCATIONS			
		EX EXIT SIGN & EMERGENCY LIGHTING TO REMAIN	project title:		
	450			081 Holbrook Eleme Gym Renovation	entary
		EX FIRE PULL TO REMAIN	450 San Hamiltor	atorium Road n, Ontario	
5125 TO U/S OF DUC	PT-1		drawing title: GYMNA ELEVAT	SIUM INTERIOR TONS	
2			drawn: RMC	_{scale:} As indicated	d
			date: 10/2024	project number: 24-19	
1220 1420 NOR	TH ELEV	ATION 1	checked: SG	DRAWING NO:	
		CALE: 1:50 A2.0	date:	A4.0	
		~		L	Rev

FINISH NOTES

1. ALL DOORS & FRAMES INTO GYMNASIUM TO BE PRIMED AND

PAINTED, BOTH SIDES, TYP

± 7075



MILLWORK AND WOOD PANELING:

1. MATERIALS

- A. MELAMINE CLAD CABINET WORK
- a. ALL CABINET FRAMES WHETHER FOR BASE, WALL OR TALL STANDING CASES, SHALL BE FABRICATED SO EACH IS A SELF-CONTAINED MODULE NOT LONGER THAN 1800 mm. FRONT SIDE TOP AND BOTTOM, EXTERIOR AND INTERIOR SURFACES SHALL BE FINISHED ALLOWING FUTURE RELOCATION OF ANY MODULE, INTO ANY BENCH ARRANGEMENT, WITHOUT NEED OF ANY ADDITIONAL FINISHING.
- b. GABLES AND PANELS SHALL BE FABRICATED FROM 19 mm THICK MELAMINE SURFACED PANELS WITH SOLID MAPLE, VARNISHED EDGING APPLIED TO EXPOSED EDGES.
- c. BOTTOMS SHALL BE FABRICATED UTILIZING THE SAME MATERIALS AND EDGE FINISH AS GABLES. FRONT EDGE WILL BE EDGED WITH SOLID MAPLE. ALL OTHER EDGES WILL BE THOROUGHLY SEALED AND MOISTURE PROOFED PRIOR TO ATTACHMENT TO GABLES.
- d. RAILS SHALL BE FABRICATED AND MACHINED TO JOIN AND FORM A RIGID CABINET FRAME.
- e. TOPS (APPLIES TO WALL AND TALL UNITS ONLY) SHALL BE FABRICATED UTILIZING THE SAME MATERIAL AND EDGE FINISH AS GABLES. FRONT EDGE WILL BE EDGED WITH P.V.C. EDGING.
- f. TOE KICK RAIL SHALL HAVE A 100 mm X 19 mm SECTION, MACHINED TO RECEIVE FOUR SCREW NAILS FOR ATTACHMENT TO BOTTOM FRONT EDGE OF GABLES. CABINET BASE SHALL BE PLYWOOD ATTACHED TO MELAMINE CABINET SEPARATELY, INSURING THE MELAMINE PARTICLE CORE GABLES DO NOT COME IN CONTACT WITH THE FLOOR.
- g. BACKS IN BASE CUPBOARDS SHALL BE FABRICATED FROM 6 mm HARDBOARD.
- h. BACKS IN WALL AND TALL CABINETS SHALL BE FABRICATED FROM 13 mm THICK MELAMINE SURFACED PANELS SECURELY GLUED AND SCREW NAILED INTO THE CHECK OUT PROVIDED IN THE BACKS OF GABLES, TOPS AND BOTTOMS.
- i. DOORS SHALL BE FABRICATED FROM 19 mm THICK MELAMINE SURFACED PANELS. ALL FOUR EDGES SHALL BE FINISHED WITH VARNISHED SOLID MAPLE.
- j. DRAWER FRONTS SHALL BE FABRICATED UTILIZING THE SAME MATERIAL AND EDGE FINISH AS DOORS. ALL FOUR EDGES SHALL BE FINISHED. FRONTS WILL BE SECURED TO DRAWER BODIES WITH FIVE SCREWS THROUGH THE FRONT OF THE DRAWER BODY INTO THE CORE OF THE DRAWER FRONT.
- K. FILLER MILLWORK PANEL (FMP). FMP TO BE OF SAME MATERIAL AS ADJACENT MILLWORK AND INCLUDES FRONT AND BASE PANEL.
- n. FINISH: MELAMINE SURFACED PANELS SHALL BE WILSON ART OR APPROVED EQUAL. COLOUR TO BE: HARVEST MAPLE 7953

MILLWORK MATERIALS NOTES

A	CONCEALED CABINET INTERIORS TO BE WHITE MELAMINE FINISH PARTICLE BOARD THROUGHOUT C/W MATCHING TAPES EDGEBANDING
В	ALL EXPOSED CABINET BODIES TO BE PLASTIC LAMINATE FINISH BOARD C/W 3 MM MATCHING PVC EDGEBANDING THROUGHOUT
С	PULL HANDLE (REFER TO SPECS)
D	100 MM HIGH RUBBER BASE BOARD AS PER ROOM FINISH SCHEDULE
E	WOOD SUPPORT BLOCKING (OR CABINET LEVELING LEGS) TO SUI
F	REMOVABLE ADJUSTABLE SHELF TO BE PLASTIC LAMINATE

DO NOT SCALE DRAWING. DIMENSIONS ARE TO BE CHECKED AND VERIFIED BY THE CONTRACTOR ON SITE

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- G BORING SHELF & PIN, TYP.
- H BACKER PANEL (6MM, TYP)

DOOR LOCK