

The following information changes the competitive process documents issued on January 30, 2025.

CLARIFICATIONS

Item 1: Refer to appended architectural addendum No. 3 (7 pages), prepared by Grguric Architects Inc. and dated February 25, 2025.

QUESTIONS AND RESPONSES

- Q1 TSSA requires elevator cab lighting to have a fused disconnect in machine room, yet it is not shown on drawings. Please clarify.
- R1 **Refer to appended architectural addendum No. 3 (7 pages), prepared by Grguric Architects Inc. and dated February 25, 2025.**
- Q2 Are smoke detectors outside of new elevator to be tied in with auto recall of elevator? If so, a new zone will be required for auto recall in elevator controller. Please provide fire alarm panel location so that new zone can be wired to elevator area
- R2 **Refer to appended architectural addendum No. 3 (7 pages), prepared by Grguric Architects Inc. and dated February 25, 2025.**
- Q3 New elevator pit has a heat detector labelled as existing to remain, however this device is required to be tied into a new zone for elevator recall. Please clarify.
- R3 **Refer to appended architectural addendum No. 3 (7 pages), prepared by Grguric Architects Inc. and dated February 25, 2025.**
- Q4 Type F3 (2X2) fixture is on legend, however we cannot find it on the drawings. Please clarify.
- R4 **Refer to appended architectural addendum No. 3 (7 pages), prepared by Grguric Architects Inc. and dated February 25, 2025.**
- Q5 Can we get clarification on what steel is getting sprayed with fireproofing
- R5 **Refer to appended architectural addendum No. 3 (7 pages), prepared by Grguric Architects Inc. and dated February 25, 2025.**
- Q6 To get the Beams in the crawl space area we have what I see is 2 options. Please confirm how the engineers would like this completed? a. Cut a hole through the foundation wall and slide the beams in that way. If this is required, please provide details. b. Cut the

beams and get a splice detail from our engineer and weld back together once in the crawl space.

R6 Refer to appended architectural addendum No. 3 (7 pages), prepared by Grguric Architects Inc. and dated February 25, 2025.

Q7 We noticed some plumbing that will need to be moved so the steel can be installed. Please provide details on this requirement.

R7 Refer to appended architectural addendum No. 3 (7 pages), prepared by Grguric Architects Inc. and dated February 25, 2025.

Q8 Would it be possible to site visit crawl space again, as did not have proper lighting to review during original walk thru.

R8 Access to the crawl space was provided at the previously scheduled walkthrough on February 4, 2025. No further walkthrough's will be provided.

Q9 Can we get clarification on what steel is getting sprayed fireproofing?

refer A1.40 we found only 1 exposed lintel in barrier free washroom 213 to be sprayed with Fibre fireproofing as per note C3. please advise if this is the only needed.

R9 Refer to appended architectural addendum No. 3 (7 pages), prepared by Grguric Architects Inc. and dated February 25, 2025.

Q10 Can you please provide the actual crawl space height?

R10 Refer to appended architectural addendum No. 3 (7 pages), prepared by Grguric Architects Inc. and dated February 25, 2025.

ARCHITECTURAL

- Item 1** In washrooms 108A, 108B and washroom vestibule 108D, allow for the removal of the existing plaster ceiling as shown in included sketch SK-01 to allow for the installation of the 2nd floor structural steel beams.. Allow for the reinstallation of 2 layers of 16mm type 'x' gypsum board on 22mm metal hat channels at 400mm o/c in the area of the removed plaster as shown in sketch SK-02. Allow for the temporary removal and reinstallation of the existing light fixtures in washroom 108A and 108B.
- Item 2** In washrooms 108A and 108B, allow for the temporary removal and reinstallation of the existing plumbing fixtures, shown to remain, to allow for the installation of the 2nd floor structural steel beams.
- Item 3** Specifications **Section 10001 – Manufactured Specialties**
Paragraph 2.1 “Fixtures” **add**
“2. Coat Racks (CR):
- .1 Model STL 1001 Student Line as manufactured by ASI, Architectural School Products, Mississauga as selected by Consultant. Standard arrangement of 2 ABS hooks arranged on 2nd and 4th tubes. Spacing of hooks to be 150mm center to center
 - .2 Colours:
 - .1 Single Colour Frame: BAYCO ANODIZED
 - .2 ABS double hooks: BLACK
 - .3 Locations:
 - .1 Classroom 203 – provide one (1) – 4.3m long segment in Classroom Alcove 203A on the east wall.
 - .2 Classroom 211 – provide one (1) – 3.9m long segment in Classroom Alcove 211A on the east wall”
- Item 4** In Classroom Alcove 211A, remove and dispose of existing base cabinets with sink. Cap and abandon the existing water and sanitary connection to the sink. Remove and dispose of existing 1200mm tall x 3400mm long tack board with wood frame along east wall and 1200mm tall x 450mm long segment on the south wall. Allow for plastering of existing east wall to repair wall where tackboard and cabinets were removed. Repaint wall.
- Item 5** In Classroom Alcoves 203A and 211A provide one (1) SH-2 millwork cabinet. In alcove 203A, position the cabinet in the southwest corner of the room. In alcove 211A, position the cabinet in the northwest corner of the room.

ELECTRICAL

Refer to attached SEI **Addendum E-2** dated February 25, 2025: 2 pages.

Question & Responses: Architectural Responses

Q1. TSSA requires elevator cab lighting to have a fused disconnect in machine room, yet it is not shown on drawings. Please clarify.

R1 Response

Refer to attached electrical addendum

Q2. Are smoke detectors outside of new elevator to be tied in with auto recall of elevator? If so, a new zone will be required for auto recall in elevator controller. Please provide fire alarm panel location so that new zone can be wired to elevator area

R2 Response

Refer to attached electrical addendum

Q3. New elevator pit has a heat detector labelled as existing to remain, however this device is required to be tied into a new zone for elevator recall. Please clarify.

R3 Response

Refer to attached electrical addendum

Q4. Type F3 (2X2) fixture is on legend, however we cannot find it on the drawings. Please clarify.

R4 Response

Refer to attached electrical addendum

Q5. Can we get clarification on what steel is getting sprayed with fireproofing

R5 Response

The only steel that requires spray fireproofing is the structural lintel as indicated by note C3 on A1.40

Q6. To get the Beams in the crawl space area we have what I see is 2 options. Please confirm how the engineers would like this completed? a. Cut a hole through the foundation wall and slide the beams in that way. If this is required, please provide details. b. Cut the beams and get a splice detail from our engineer and weld back together once in the crawl space.

R6 Response

Refer to question Q2 in architectural addendum #2.

Q7. We noticed some plumbing that will need to be moved so the steel can be installed. Please provide details on this requirement.

R7 Response

Refer to architectural addendum item #2 above.

Q9 Can we get clarification on what steel is getting sprayed fireproofing?

refer A1.40 we found only 1 exposed lintel in barrier free washroom 213 to be sprayed with Fibre fireproofing as per note C3. please advise if this is the only needed.

R9 Response

Refer to Q5 above.

Q10. Can you please provide the actual crawl space height?

R10 Response

Refer to question Q1 in architectural addendum #2.

End of Addendum

ELECTRICAL ADDENDUM

TO:
DWIGHT WAGG
Architectural Technologist

ADDENDUM #
E-2

COMPANY:
GRGURIC ARCHITECTS
INCORPORATED
28 King Street East, Unit B
Stoney Creek, Ontario L8G 1J8

DATE
February 25, 2025

PROJECT #
24027

PROJECT NAME:
HWDSB Parkdale ES Accessibility

THIS ADDENDUM IS ISSUED PRIOR TO TENDER CLOSING TO PROVIDE CERTAIN REVISIONS TO THE WORKS. REVISIONS COVERED BY THIS ADDENDUM SHALL BE IN ACCORDANCE WITH SPECIFICATION REQUIREMENTS AND CONTRACT DOCUMENTS. INCORPORATE THE REVISIONS REQUESTED HEREIN IN THE TENDER PRICE.
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DESCRIPTION

Electrical clarifications to RFI .

No drawings issued for this addendum

1. Clarifications

1. Q20. TSSA requires elevator cab lighting to have a fused disconnect in machine room, yet it is not shown on drawings. Please clarify.

Provide fused disconnects in location as stipulated by TSSA requirements.

2. Q21. Are smoke detectors outside of new elevator to be tied in with auto recall of elevator? If so, a new zone will be required for auto recall in elevator controller. Please provide fire alarm panel location so that new zone can be wired to elevator area

This device shall be wired as a separate zone.

3. Q22. New elevator pit has a heat detector labelled as existing to remain, however this device is required to be tied into a new zone for elevator recall. Please clarify.

Detector is shown as an existing device to be relocated and used in the pit, this is done in an effort to be cost effective with viable devices on site, wire to fire alarm as required by code. This device and smoke at top of shall be wired as a separate zone.

4. Q23. Type F3 (2X2) fixture is on legend, however we cannot find it on the drawings. Please clarify.

Fixture is not required for this project.

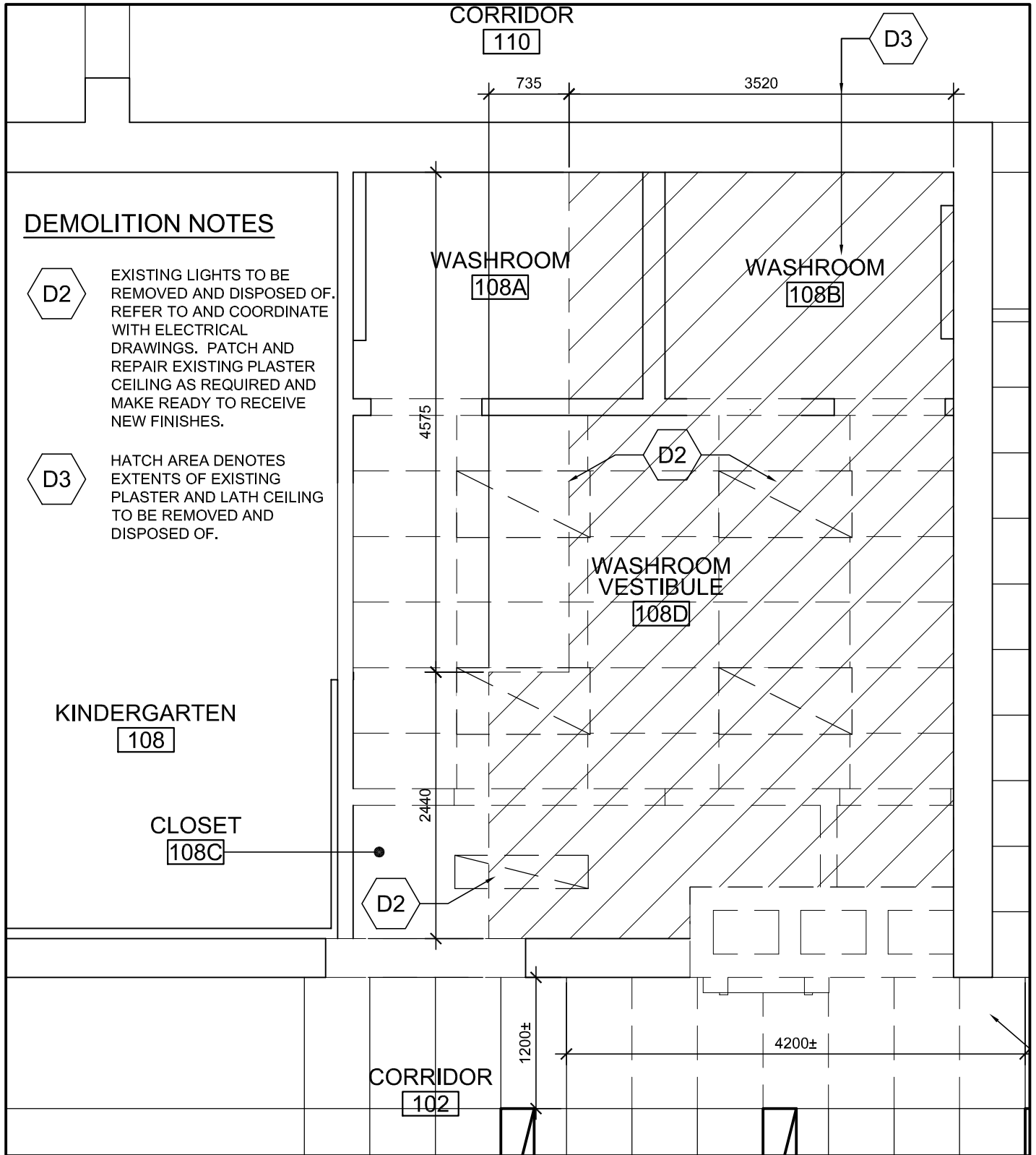
5. All fire alarm work shall be completed by the Electrical contractor under their scope and the owners stipulated fire vendor is Hamilton Fire Control (905-527-7042, Michael Fleet), coordinate all requirements and verification with same.

Existing Fire alarm panel is located in main office. Panel is addressable Autocall #4007, provide new zone as indicated in plans.

Update annunciator in lobby with new zoning changes.

6. Provide 20A t slot receptacle in elevator machine room, wire to existing local panel and provide new 20A 1P breaker.

End of Addendum #E-2



1
A1.10

PARTIAL GROUND FLOOR DEMOLITION RCP

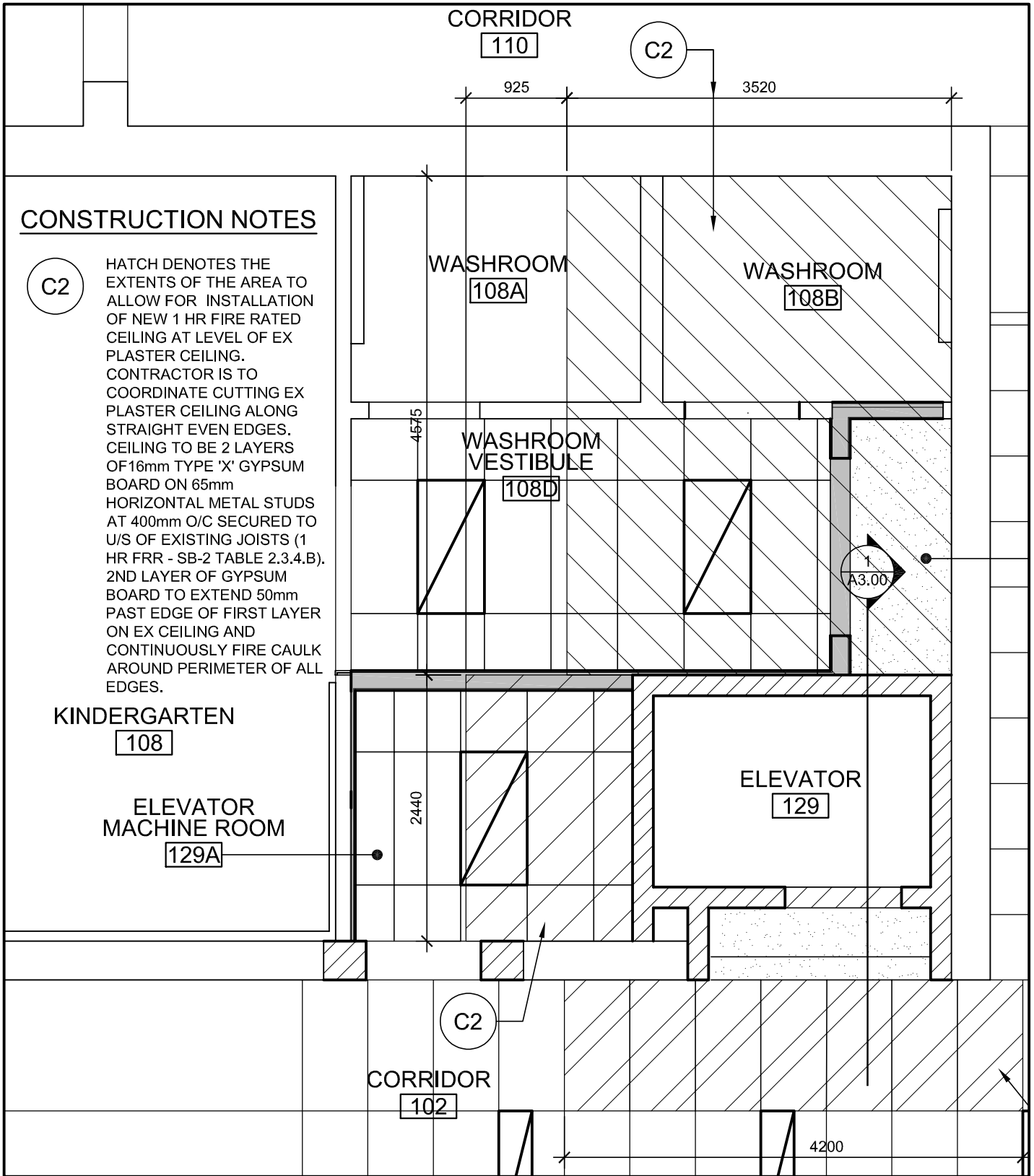
SCALE 1:50

PARKDALE ELEMENTARY SCHOOL ACCESSIBILITY
RENOVATIONS
GROUND FLOOR DEMOLITION RCP
(REFERENCE: 1/A1.10)

PROJ: 2024-15
SCALE: AS NOTED
DRAWN: DW
DATE: 2025-02-21

**GRGURIC
ARCHITECTS
INCORPORATED**
Web: www.2gai.com

**ADD-3
SK-01**



CONSTRUCTION NOTES

C2 HATCH DENOTES THE EXTENTS OF THE AREA TO ALLOW FOR INSTALLATION OF NEW 1 HR FIRE RATED CEILING AT LEVEL OF EX PLASTER CEILING. CONTRACTOR IS TO COORDINATE CUTTING EX PLASTER CEILING ALONG STRAIGHT EVEN EDGES. CEILING TO BE 2 LAYERS OF 16mm TYPE 'X' GYPSUM BOARD ON 65mm HORIZONTAL METAL STUDS AT 400mm O/C SECURED TO U/S OF EXISTING JOISTS (1 HR FRR - SB-2 TABLE 2.3.4.B). 2ND LAYER OF GYPSUM BOARD TO EXTEND 50mm PAST EDGE OF FIRST LAYER ON EX CEILING AND CONTINUOUSLY FIRE CAULK AROUND PERIMETER OF ALL EDGES.

KINDERGARTEN
108

ELEVATOR MACHINE ROOM
129A

ELEVATOR
129

CORRIDOR
102

1 PARTIAL GROUND FLOOR REFLECTED CEILING PLAN
A1.35 SCALE 1:50

PARKDALE ELEMENTARY SCHOOL ACCESSIBILITY RENOVATIONS GROUND FLOOR REFLECTED CEILING PLAN (REFERENCE: 1/A1.35)	PROJ: 2024-15	GRGURIC ARCHITECTS INCORPORATED Web: www.2gai.com	ADD-3 SK-02
	SCALE: AS NOTED		
	DRAWN: DW		
	DATE: 2025-02-21		