



## **Addendum No. 2 To Proposal**

### **P25-02 New Construction of a Fire Hall, Fire #4, in the community of Alliston, ON**

**February 07, 2025**

This addendum forms an integral part of the RFP and may contain important information, including significant changes to the RFP and/or the related Agreement. Proponents are responsible for obtaining all addenda issued by the Town. Solicitation and/or Agreement document(s) are hereby amended as follows:

#### **Question No. 1**

Can we request a one-week extension on this project?

#### **Answer No. 1**

RFP Key Dates are amended as follows:

<b>Activity</b>	<b>Date / Time</b>
Deadline for Questions	February 5, 2025, 2:00:00pm local time (closed)
Deadline for Issuing Addenda	February 13, 2025, 2:00:00pm local time
Submission Deadline	February 18, 2025, 2:00:00pm local time
Anticipated Ranking of Proponents	March 7, 2025
Anticipated Execution of Agreement	March 28, 2025

#### **Question No. 2**

P25-02 Annex 7 - Electrical Drawing Set Drawing E-1. On the drawing it shows that the existing metal clad building is to have new interior disconnects and transformers to be install and states to refer to the electrical drawing. There are no drawing to refer to, please provide.

#### **Answer No. 2**

This is deleted from the scope of work.

#### **Question No. 3**

Drawing A104 indicates that a new automatic gate is to be installed to match existing.



- a. The civil drawings show no indication of a new gate on any of the site plans, please confirm this is a required scope.
- b. Please confirm location of the new gate. The arrow seems to be pointing at an area where no chain link fence is present.
- c. Can the model/spec of the existing gate be provided so that we can acquire accurate pricing to match the requested design?
- d. The drawings indicate that a double swing gate is to be placed where the existing automatic gate is currently located. Could that existing gate, which is to be removed, be used for this new location?

Repeat question: Architecture drawing A-104 mentioned about "New automatic gate to match existing automatic gate to be supplied & installed by G.C. & subtrades inc. All necessary ex. Fence modifications & electrical conduit & connections". Could you please provide us more details and specification for that?

Repeat question: Can we please get the specifications for the existing automatic gate that we are to match.

Repeat question: Drawing A-101 has a note for a New automatic gate to match existing. We failed to find this gate on site plans, landscaping and we did not find details for this gate. Please clarify.

### **Answer No. 3**

- a. This scope of work is only shown on the architectural drawings.
- b. The new gate shall be installed at the location within the existing chain-link fencing. The arrow should have been pointing to the area where the existing chain link fence is currently located.
- c. The existing gate is HERAS Delta Sliding Gate  
<https://export.heras.com/products/entrance-control/sliding-gates/sliding-gate-delta/>
- d. The current automatic sliding gate and controls and power will be relocated to new depot 1 entrance. Please provide provisional pricing for the relocation work.

A new manual swing gate will be installed in place of the existing automated sliding gate, the cost of which is to be included in bid price.



#### **Question No. 4**

On drawing A-101, south side of the site, there is a note asking for the removal of the fence and returning to the owner with reference to civil drawings. We failed to find this item on the civil drawings. Please clarify.

#### **Answer No. 4**

For clarity: The note on the architectural drawings refers to both the Civil and Landscaping drawings for additional information. If no additional information for this item is on the Civil drawings, then no additional works is required.

#### **Question No. 5**

Unable to locate these items: L11

OPTION 1: TAPE LIGHT STANPRO TAPE/16.4/4.4/30K/24V1P22/180//8MM/STD.  
OPTION 2: LED RECESSED STANPRO # PREFERRED OPTION L3KOU-LENGTH-L-375LM-80-120-35K

Does this L and L1 fixture have anything to do with above? Unable to locate these fixtures on drawings.

62 L-4LS4 40K 'L' L-4LS4 40K 'L' 22 L-3LS4 'L1' L(1-2-3)KOU-03LS480-XX-40K

Repeat question: Please confirm if fixture type L11 is on the lighting drawings, I do not see this on the drawings.

#### **Answer No. 5**

For Clarity: All references to L, L1 and L11 on the electrical drawings and all references to EF-12 on the architectural drawings shall be recessed and flush soffit LED downlighting by Stanpro: KOLIKA- L3K0U led linear recessed in a matt black finished trim with an opal acrylic frosted lens (length to suit application as noted on drawings). Furthermore, the subtrade should contact the Stanpro representative as they have all the required items for this project specified & itemized.

#### **Question No. 6**

Drawing E2 grid 4-6-B there is light fixture EF12 that is not listed on the light fixtures schedule. Can you advise the type?

Repeat Question: Please provide information for the fixture type EF12 that is located on the drawings. I do not see this type on the fixture schedule

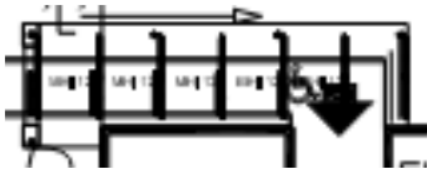


#### **Answer No. 6**

For Clarity, all references to L, L1 and L11 on the electrical drawings and all references to EF-12 on the architectural drawings shall be recessed and flush soffit LED downlighting by Stanpro: KOLIKA- L3K0U led linear recessed in a matt black finished trim with an opal acrylic frosted lens (length to suit application as noted on drawings). Furthermore, the subtrade should contact the Stanpro representative as they have all the required items for this project specified & itemized.

#### **Question No. 7**

Site drawings show type L with qty of 62 however drawings show a continuous line is this led tape? Is the qty the total length?



#### **Answer No. 7**

For Clarity: All references to L, L1 and L11 on the electrical drawings and all references to EF-12 on the architectural drawings shall be recessed and flush soffit LED downlighting by Stanpro: KOLIKA- L3K0U led linear recessed in a matt black finished trim with an opal acrylic frosted lens (length to suit application as noted on drawings). Furthermore, the subtrade should contact the Stanpro representative as they have all the required items for this project specified & itemized.

#### **Question No. 8**

Please confirm the qty of fixtures are on the site plan are correct. Drawings are showing more WP, L1,P

#### **Answer No. 8**

As clarification & correction to the quantity of fixtures on the site plan. Provide and install the following quantities of exterior fixtures: Type 'WP'= 10 fixtures, type 'P'= 6 fixtures, type 'BB'= 3 double head fixtures.



For further clarity: All references to L, L1 and L11 on the electrical drawings and all references to EF-12 on the architectural drawings shall be recessed and flush soffit LED downlighting by Stanpro: KOLIKA- L3K0U led linear recessed in a matt black finished trim with an opal acrylic frosted lens (length to suit application as noted on drawings). Furthermore, the subtrade should contact the Stanpro representative as they have all the required items for this project specified & itemized.

#### **Question No. 9**

Couple questions regarding the pile foundation construction and the fill layer. In the Soils Report section 4.4.1 - table2 indicates a founding bearing elevation for conventional foundation construction, does that fill layer need to be removed? Foundation is supported with helical piles, if this is the case can the fill layer remain under the floor slab? Can the fill layer remain under the asphalt and gravel parking areas?

#### **Answer No. 9**

As stated in the Geotechnical report all unsuitable material including the fill must be removed prior to placement of any foundation. This will include Helical piles and below the asphalt and gravel parking areas.

#### **Question No. 10**

May the owner please provide a Detail Site Plan for the west portion of site?

#### **Answer No. 10**

See attached updated drawing A-103 for additional information.

#### **Question No. 11**

Please provide details for the garbage concrete pad. Structural drawings do not seem to indicate this as noted on drawing A102. Also, please provide a detail for the slab on grade patio areas.

#### **Answer No. 11**

The GC shall supply and install 3 concrete pads as identified on the architectural drawings with an exterior concrete mix appropriate for exterior use, 305mm thick with 15M reinforcing bars top and bottom, each way.

(a) for the refuse & recycle pad (3.224 m X 5.35 m),



(b) for the Concrete Pad (12.192 m X 10.668 m)

(c) generator pad (1.204 m X 4.0 m).

**Question No. 12**

Please provide a detail for the concrete pad shown north of the dry swm pond on Drawing A101.

**Answer No. 12**

The GC shall supply and install 3 concrete pads as identified on the architectural drawings with an exterior concrete mix appropriate for exterior use, 305mm thick with 15M reinforcing bars top and bottom, each way.

(a) for the refuse & recycle pad (3.224 m X 5.35 m)

(b) for the Concrete Pad (12.192 m X 10.668 m)

(c) generator pad (1.204 m X 4.0 m).

**Question No. 13**

Epoxy Flooring Section 1.6 Provide a signed Sealant and Waterproofing Associate warranty, but there's no waterproofing requested in the garage. Can you confirm if there is waterproofing in the garage or if this should be considered a more general warranty?

**Answer No. 13**

Waterproofing garage is not part of the scope. As per Epoxy Flooring Section 1.6, a 2-year warranty shall be provided to the Owner for all areas to receive epoxy flooring.

**Question No. 14**

Epoxy Flooring Section 3.2.4 says fill joints with epoxy materials, but Section 3.3.2 says stop epoxy at joints and fill with polyurethane. Can you clarify which one? Ideally, we'd prefer to fill the joints with polyurethane and go over them for the best finish.

**Answer No. 14**

For Clarity, fill all joints with a self-leveling, non-sag polyurethane sealant as per Epoxy Flooring Section 3.3.2.



**Question No. 15**

Epoxy Flooring Section 3.3.7 says coved base but the plans say tile base. Can you confirm which one?

**Answer No. 15**

For Clarity, for all floor areas receiving an epoxy finish a tile base (type-T4 @ 100 mm height) shall be installed as noted on drawing A-103.

**Question No. 16**

Please confirm no tile base is required where full height Wall Tiles are mentioned?

**Answer No. 16**

For Clarity: No tile base is required for full height wall tiles. The wall tiles shall extend from the finished floor to the ceiling.

**Question No. 17**

Please confirm no tiles required for ceilings in shower RM 124 & RM 126.

**Answer No. 17**

For Clarity: No tiles are required for the ceilings in shower room nos. 124 & 126.

**Question No. 18**

Detail #2 on pg. A-210 mentions T4 Tile: Centura Ardoise Plombe Matte as tile base for Corridor 128 where T1, Floor Tile is mentioned?

Spec mentioned above doesn't match with T-4 spec provided on pg. A-205?

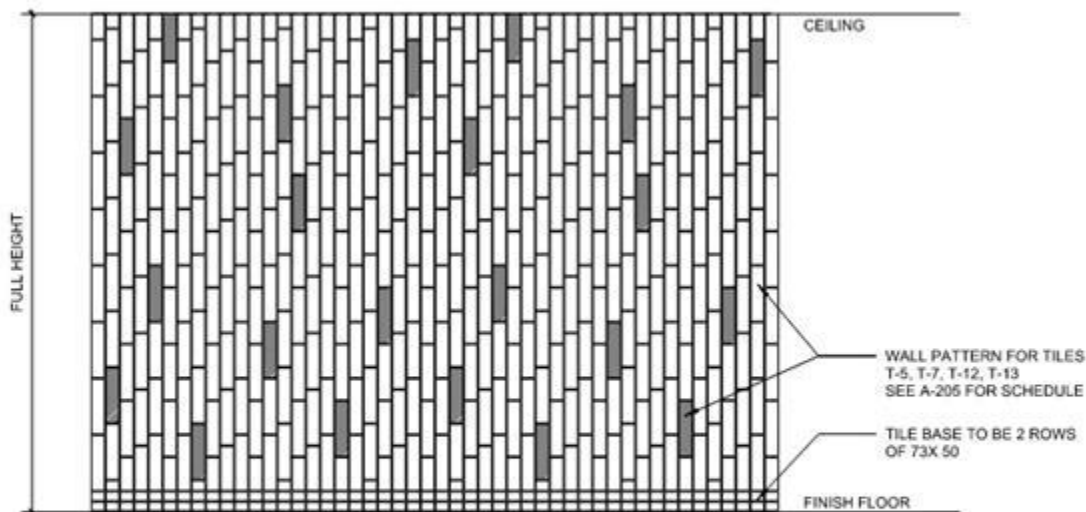
Room finish schedule calls for T-1, Tile Base to match adjacent flooring (T-1, Floor Tile)

**Answer No. 18**

For Clarity: Detail #2 on drawing A-210 should be a T1 tile as per drawing A-205 to match the T1 adjacent floor tiles in room nos. 100, 109, 115, 120, 127 & 128.

**Question No. 19**

Snippet below shows two rows off Tile Base (73x50). Could you please advise what this entails



3 95% / 5 % WALL TILE PATTERN FOR WASHROOMS ( TYP.)  
A - 210 1 : 25

### **Answer No. 19**

For Clarity: The tile base (with 2 rows of 73x50) shown on detail 3/A-210 has been deleted from all washroom walls. The vertical wall tile patten as shown on 3/A-210 shall extend from the finished floor to the ceiling.

### **Question No. 20**

As per drawing on pg. A-204 mentions SWP-1, Avonite Panels for Shower Walls in RM 124 & RM 126. But room finish schedule mentions T-7, Wall Tile? Please advise which is correct.

### **Answer No. 20**

For Clarity: The SWP-1 (Avonite Panel) has been deleted from this project. Refer to drawing A -205 for shower wall finish in tile (T7) for room nos. 124 & 126.

### **Question No. 21**

Please confirm all Wall Base finish is 4"H

### **Answer No. 21**

For Clarity: The typical wall base finish height is 100 mm.





**Question No. 22**

SB-1, Shower Base mentioned in RM121/122. Please advise what is the wall finish around the shower base?

**Answer No. 22**

For Clarity: The wall finish around the shower base in room 121/122 shall be a T5 tile as noted on the A-205 drawing.

**Question No. 23**

Is ENT (Iplex COR-Line) conduit ok to use in underground slab?

**Answer No. 23**

The General Contractor shall price this project as per the tender drawings and specifications.

As shown in the solicitation document, the Town may have specified certain product and brand names throughout the solicitation document and the Annexes. Equivalents will not be considered during the bidding period. In most instances, the Town would be willing to consider an equivalent for the specified item, during negotiations. However, the determination of the item to be an "acceptable" equivalent will be at the sole discretion of the Town. Where a product, design, manufacturer, etc. has been stipulated and, there is no "equivalent" suggested, the Contractor must complete the work based on the specified item and, without substitution.

**Question No. 24**

As per Architectural Drawings A/301 & A/302 Finishes Schedule the Insulated Vision Glazing (Item #7) is to have the following glass composition: Laminated Outer Pane: 6mm Tempered Clear "PPG Starphire" Low Iron Glass w/ 1.56mm (0.060in) PVB Interlayer w/ Low-E PPG Solarban R100 on Surface #4 Interspace: 12mm Argon Filled Airspace Interior Pane: 6mm Clear Tempered Glass.

7	INSULATED VISION GLAZING - LAMINATED OUTER PANE: 6mm TEMPERED CLEAR "PPG STARPHIRE" LOW IRON GLASS w/ 1.56mm (0.060in) PVB INTERLAYER W/12mm ARGON FILLED AIRSPACE W/ 6mm TEMPERED	Colour: Clear "PPG Starphire" Low Iron Glass & PPG Solarban R100 on #4 surface
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Based on the requested glass composition above, we understand that probably the Laminated Outer Pane is to be composed as follows: 3mm Starphire Glass + 0.060" (1.56mm) Clear PVB + 3mm Starphire Glass w/ Solarban R100 on Surface #4.

If that is the case, please note that Solarban R-100 only comes in 6mm or thicker. In that case, the Insulated Vision Glazing Composition should be as follows (Suggested): Laminated Outer Pane: 4mm Starphire Glass + 0.060" (1.56mm) Clear PVB + 6mm Starphire Glass w/ Solarban R100 on Surface #4. Interspace: 12mm Argon Filled Airspace Interior Pane: 6mm Clear Tempered Glass This Insulated glass composition will have an O/A thickness of 29.5mm. Please note that the interior pane is not Starphire Glass.

**Answer No. 24**

For clarity, the glazing shall be:

Laminated Outer Pane: 4mm Starphire Glass + 0.060" (1.56mm) Clear PVB + 6mm Starphire Glass w/ Solarban R100 on Surface #4. Interspace: 12mm Argon Filled Airspace Interior Pane: 6mm Clear Tempered Glass. General Contractor to coordinate this glass assembly with all aluminum windows and doors frames.

**Question No. 25**

Corian Endura Hi performance porcelain counter materials has been discontinued. Please provide an alternate spec and color.

**Answer No. 25**

For all millwork noted in the architectural drawings that required the Corina Endura material will be substituted with Corian Quartz from Price Group 3. Final colour to be selected by Architect/Owner at a later date.

**Question No. 26**

Could you please confirm the telecommunication cabling will be done by the owner directly or we need to include telecommunication cabling in our quote?

**Answer No. 26**

This will be done by the Owner.



**Question No. 27**

Can you please tell us if we have to have the panels fabricated by SOBOTEC or we could use it any alocabond licensed panel fabricator?

**Answer No. 27**

As shown in the solicitation document, the Town may have specified certain product and brand names throughout the solicitation document and the Annexes. Equivalents will not be considered during the bidding period. In most instances, the Town would be willing to consider an equivalent for the specified item, during negotiations. However, the determination of the item to be an “acceptable” equivalent will be at the sole discretion of the Town. Where a product, design, manufacturer, etc. has been stipulated and, there is no “equivalent” suggested, the Contractor must complete the work based on the specified item and, without substitution.

**Question No. 28**

The specified murphy beds do not appear to be in line with the client's needs, or the intent. We have reached out to the listed supplier and they have advised that they do not carry this product. For the specified pre-fabricated ladder, this is an American company and they cost is unknown due to duties. They do not offer pricing directly and we cannot find a Canadian seller. This item could be fabricated by a miscellaneous metal fabricator. Please identify an alternate or confirm this can be fabricated similar to the spec'd prefab unit.

**Answer No. 28**

For the murphy beds, provide “Standard Mobile Sleeper with Chem-safe mattress” – Size: Twin XL in a black colour.

As shown in the solicitation document, the Town may have specified certain product and brand names throughout the solicitation document and the Annexes. Equivalents will not be considered during the bidding period. In most instances, the Town would be willing to consider an equivalent for the specified item, during negotiations. However, the determination of the item to be an “acceptable” equivalent will be at the sole discretion of the Town. Where a product, design, manufacturer, etc. has been stipulated and, there is no “equivalent” suggested, the Contractor must complete the work based on the specified item and, without substitution.

**Question No. 29**

Will they require storage around the Murphy Beds?



**Answer No. 29**

No storage is shown on drawings and therefore, no storage is required around the murphy beds.

**Question No. 30**

We cannot find the permeable paver areas on page L1-02 please confirm if there is any permeable paving required, it is shown on the legend. The detail on page LD-01 is not for permeable pavers it is for precast concrete pavers.

**Answer No. 30**

For clarity, although permeable pavers are noted in the legend on drawing L1-02 it has not been identified on the landscape drawings. The General Contractor is to coordinate this work and shall refer to the architectural drawing A-102 for the paver pad required for this project.

As noted on architectural drawing A-102, an area of 4.5 meters X 4.0 meters in front of the generator pad is proposed to have a pad of Unilock 'Turfstone' paver. These pavers are to be infilled with soil and sod. These Unilock 'Turfstone' pavers shall be installed on top of a 200mm granular 'A' base compacted to 100% S.P.M.D.D., which will be installed on top of a 630mm granular 'B' base compacted to 100% S.P.M.D.D. which installed on top of undisturbed soil or proof rolled soil.

**Question No. 31**

Do you have any specifications for the black river rock and light grey river rock?

**Answer No. 31**

Refer to the L1-02 (landscape drawing) for the 2 sizes proposed for the 2 different river rock. No other specifications are being provided.

**Question No. 32**

Regarding the finishes on the precast concrete walls: can white cement, white sand, and white stone be accepted as an alternative to white pigment?

**Answer No. 32**

White cement, white sand and white stone can be used instead of white pigment for the Insulated Architectural Precast Concrete panels for the wall type/material descriptions # 4 & # 5 in the architectural drawings only.



### **Question No. 33**

Wondering if Envirowirx bins manufactured near Kitchener, ON, can be an approved alternative on this site?

### **Answer No. 33**

Waste bins were eliminated from the scope of this project in Addendum 1; there is no requirement for waste bins.

Further, as shown in the solicitation document, the Town may have specified certain product and brand names throughout the solicitation document and the Annexes. Equivalents will not be considered during the bidding period. In most instances, the Town would be willing to consider an equivalent for the specified item, during negotiations. However, the determination of the item to be an “acceptable” equivalent will be at the sole discretion of the Town. Where a product, design, manufacturer, etc. has been stipulated and, there is no “equivalent” suggested, the Contractor must complete the work based on the specified item and, without substitution.

### **Question No. 34**

The Arch drawings indicate that two of the exterior columns at the entrance require painting. However, there are three columns at the entrance. Also, there's no mention of painting any of the other columns front or back (by the bay doors)?

### **Answer No. 34**

For clarity, please refer to all the architectural drawings in specific to drawing A-206 which states that, ‘all new exposed structural steel shall be painted “fort beausejour” by Para Paints. Noted on drawing A-205 as P13. (Exterior Columns Only).

For further clarity, there are 3 exterior & exposed columns at the front entrance, 8 exterior & exposed columns at the back covered patio canopy, 4 exterior & exposed columns at the front apparatus bay canopy and 4 exterior & exposed columns at the back of the apparatus bays.

### **Question No. 35**

Regarding question 51 in Addendum # 1, is the security contractor responsible for the back boxes, string and conduits for wifi, data, security etc? or are the conduits and back boxes the electrical contractor’s responsibility and the security and data contractor are just responsible for the wires?

### **Answer No. 35**

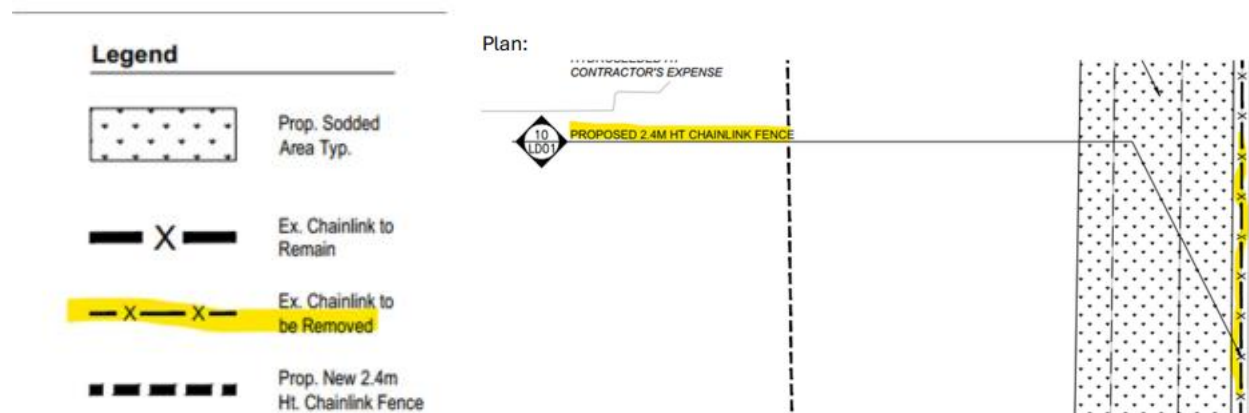
The conduits and back boxes are the General Contractor / subcontractor's responsibility and the security and data contractor are just responsible for the wires.

### **Question No. 36**

The legend for existing chain link fence seems to be also indicated for the proposed chain link fence. Please clarify.

Drawing L1-03

Legend:



### **Answer No. 36**

For clarity, please disregard the legend on drawing L1-03.

Please refer to the Landscape Enlargement drawing on L1-03 which clearly shows and is labelled correctly for the location and extend of the following:

- 1) the existing chain link fence to remain.
- 2) the existing chain link fence to be removed and returned to the property owner.
- 3) the new proposed 2.4 meter high chain link fence.

### **Question No. 37**

Is Pollution insurance coverage required?



**Answer No. 37**

Yes. As shown in P25-02 Annex 1\_Contract\_Cover Pages for Industry Contract: Sudden and Accidental Environmental Liability Insurance from an insurer licensed in the province of Ontario, for Two (2) Million Dollars (\$2,000,000.00), per occurrence, to indemnify and hold harmless the Corporation of the Town of New Tecumseth, Ontario and Alaimo Architecture Incorporated.

**Question No. 38**

Is the temporary gravel access road to be as per TNT.SD.120 or Granular Surface Detail on drawing C0.1?

**Answer No. 38**

For Clarity: The temporary gravel road shall be constructed as per TNT.SD.120

**Question No. 39**

Is the berm construction to the east of the existing building and the removal of the north westerly berm included in the scope of work? Can the grades / qty of proposed berm on the east vary in height or length to balance the site? or do we have import or export soils to meet proposed grades on the proposed east berm?

**Answer No. 39**

For Clarity: The defined scope of work is as per the tender documents. All material excavated from this property can be used to create the proposed berm.

For further clarity, no import fill will be required to create the proposed berm, and the extent of the proposed berm will be defined by the amount of fill material excavated for the project.

**Question No. 40**

Please confirm that as per Addendum #1 all fill is to remain on site and can be used on the berm, and no off site soil removal is required.

**Answer No. 40**

To confirm, all and any fill/soil is to remain on site and can be used to create the berm. There will be NO off-site soil removal for this project.





#### **Question No. 41**

It appears that the Town of New Tecumseth is missing the end of the sentence in GC 13.1.1, which is important because it outlines the general contractors' obligations to indemnify the township. Could you please clarify?

#### **Answer No. 41**

There is no missing sentence. The change to CCDC 2 GC 13.1.1 specified in our contract states that is a change only to the **first sentence**. The remaining sentences of the standard CCDC 2 general condition paragraph remain, as does its subsections 13.1.1.1 and 13.1.1.2.

However, the numbering used in our contract is inaccurate. GC 13.1 of our contract is therefore revised as follows:

#### **GC 13.1 Indemnification**

Delete the first sentence in paragraph 13.1.1 and substitute new first sentence in paragraph 13.1.1:

13.1.1 Without restricting the parties obligation to indemnity as described in paragraphs 13.1.4 and 13.1.5 the Contractor shall indemnify and hold harmless the Owner from and against all claims, demands, losses, costs, damages, actions, suits, or proceedings where in respect to losses suffered by them or in respect to claims by third parties that arise out of or are attributable in any respect to their involvement as parties to this Contract, provided such claims are:

delete sub-paragraph 13.1.6.2 in its entirety.

#### **Question No. 42**

Is using Procore, or another web-based Project Management Software a stringent requirement? Being in the industry for many years, many contractors have their own internal methods that work just as effectively (if not more effectively) than these platforms.

#### **Answer No. 42**

A web-based project management software is a stringent requirement.

#### **Question No. 43**

Can you please clarify the following ST that is located on the lighting drawings. Is this another fixture?





**Answer No. 43**

Disregard the ST on the electrical drawings.

**Question No. 44**

Could you please confirm the Gauge and the specification as per 4 & 5 / A-601 for "Aluminum Heavy Gauge Trim (Bent) Full Height No Joists Both Sides & Head of Door Opening. Secured To Steel Structure & Curtain Wall Assembly with Clips (No Visible Screws) Typical for All Three Doors".

**Answer No. 44**

The aluminum trim shall be 12 gauge.

Also, correction to the wording for this material is as follows:

"Aluminum Heavy Gauge Trim (Bent) Full Height No ~~Joists~~ joints Both Sides & Head of Door Opening. Secured To Steel Structure & Curtain Wall Assembly with Clips (No Visible Screws) Typical for All Three Doors".

**Question No. 45**

In the bidding platform it is requesting that the mandatory field be filled for references, however it was originally requesting to submit references as a document. this is the same for pricing and other forms. Can you please confirm how this project should be closed on the bidding platform. To both upload all the documents, and fill the fields in the final stages will take significant time.

**Answer No. 45**

Where there is a bidding system form, such as the reference table, subcontractor table, or pricing table, completing it within the bidding system will fulfill the document request. It is not necessary (or desirable) to also attach a document created outside of the bidding system.

**Question No. 46**

Could you please confirm the size of Steel angle Trim anchored to Precast panel for Over head Door as per 5/A-603?



**Answer No. 46**

The steel angle trim anchored to the precast panel shall be L102x102x6.4

**Question No. 47**

Is the contractor responsible to coordinate all progress meetings, including minutes and agendas?

**Answer No. 47**

Yes, the General Contractor is responsible for coordinating all progress meetings including minutes and agendas.

**Question No. 48**

Please confirm all work to be completed regular working hours?

**Answer No. 48**

Refer to the solicitation for hours of work.

**Question No. 49**

Is the Contractor Responsible for purchasing the Architect's 8'x16' Sign, as listed under Section 01 50 00 item 10?

**Answer No. 49**

Yes, the Contractor is responsible for purchasing and installing the Architect's sign as noted in the specification.

**Question No. 50**

(RE: Section 01 50 00 Temporary Controls and Facilities, Part 10 Project Identification (Architect's Sign)) With signage graphics and municipal timelines for approval unknown, please confirm that the successful Bidder's first application for payment will actually be held up if this sign is not in place. Please note the Prompt Payment legislation is in effect.

**Answer No. 50**

The bidders first application for payment will not be held up if the sign is not place.



**Question No. 51**

Which format will the owner want the (3) maintenance manuals? Will electronic copies suffice?

**Answer No. 51**

The maintenance manuals shall be provided in both hard copy and digital format.

**Question No. 52**

There is a discrepancy between the RFS and the Door Schedule for the Doors & Frames Painting, please confirm.

**Answer No. 52**

Refer to drawing A-205 for all door and framing paint colours.

**Question No. 53**

Please confirm this is non-union project?

**Answer No. 53**

This project is open to union or non-union.

**Question No. 54**

There are 40 lockers (LCKR-1) in Locker room 114, the fixture, furniture and equipment legend shows Typ. for 28. Please confirm the quantities required.

**Answer No. 54**

Please refer to drawing A-204, there shall be 40 lockers supplies and installed for this project in room 114.

**Question No. 55**

On drawing A-204, Legend calls for 1 SPB-3. There are two marked (Rm. 125, 121) on the floor plan. Please clarify the quantities. There seems to be a bench in the shower in room 121. This one is not marked.

On drawing A-204, legend calls for 1 SPB - 3. The floor has 3 SPB-3. Please clarify the quantities. Is there a bench in the shower space in room 121? Please clarify.



**Answer No. 55**

For Clarity: Supply and install the following: quantity of 1 for the SPB-3 bench in room 121, quantity of 2 for the SPB-2 bench in room nos. 123 & 125 and finally, quantity of 3 for the FDS-1 fold down shower seats in room nos. 121, 123 & 125.

**Question No. 56**

I want to inquire about the wall base in the fitness room 113. Is that integrated cove base? What is the height? 100mm/ 4' high?

**Answer No. 56**

For clarity: Fitness room 113 shall have an integrated rubber cove base to match rubber flooring with a height of 100 mm.

**Question No. 57**

Please advise if alternative supplier like Alpolic, Alfrex for ACM and system is acceptable. The color and system will match the product as per the specification.

**Answer No. 57**

As shown in the solicitation document, the Town may have specified certain product and brand names throughout the solicitation document and the Annexes. Equivalents will not be considered during the bidding period. In most instances, the Town would be willing to consider an equivalent for the specified item, during negotiations. However, the determination of the item to be an “acceptable” equivalent will be at the sole discretion of the Town. Where a product, design, manufacturer, etc. has been stipulated and, there is no “equivalent” suggested, the Contractor must complete the work based on the specified item and, without substitution.

**Question No. 58**

Zurn sinks are no longer available, please advise what to substitute for S-1, S-2 and S-3.

**Answer No. 58**

The General Contractor and their subtrade will be allowed to substitute these 3 sink types with a product of equal quality. Final review and approval will be provided by the Architect during shop drawing review.



**Question No. 59**

Please provide model for the IRH-1 infra red tube heaters.

**Answer No. 59**

The IRH-1 infrared heater shall be a Schwank STS-80-30-CN-PREMIER unit.

**Question No. 60**

Can you please confirm if the #4 is to be fabricated S/S or SOLID S/S. There will be a significant price difference and will require extra mounting and support behind the wall to hold the weight if you would like solid.

**Answer No. 60**

The # 4 as noted on drawing A-201 is to be fabricated in Solid Stainless Steel 15mm thick with all appropriate mounting fixtures and full mounting supports in behind the wall to hold the weight.

**Question No. 61**

As trades cannot be preselected, please advise what you are looking for in terms of Section C -Item No. 3 (G) Licences, where licensed trades are employed by GC.

**Answer No. 61**

All work that is done by a licenced contractor, provide the contractor and individuals license to the General Contractor for submission.

**Question No. 62**

Could you clarify the finish of the doors for the locking pantry cabinets. The call out on 7/A-802 notes "19mm TH Combi-Core (MDF) Panel Door and Gable Face, Interior Panel 16mm White Melamine". What is the finish of the doors?

**Answer No. 62**

For the locking pantry doors, the exterior laminate finish "Looks Likatree" shall be in HPL and the edge banding in a plastic laminate with 19 mm core free of formaldehyde in MDF. All interior cabinet panels shall be in 16mm white melamine.

**Question No. 63**

After review and much discussion, it has been identified that there is a potential for a large amount of cost savings through an alternate foundation system / soil improvement strategy. Utilizing Rapid Impact compaction on the existing soil, would eliminate the need for helical piles, and allow for a standard foundation. The reengineering and design of the foundation system would cost additional monies, that would be offset by the cost savings of eliminating helical piles and the engineering associated with that system. Please see attached document for some comparisons on the two systems - you will see that there is both a financial and a time saving with the proposed method.



Soil Improvement  
Proposal - Alliston FS.

**Answer No. 63**

The General Contractor shall price this project as per the tender drawings and specifications.

**Question No. 64**

Wall Type W-1 calls for 1mm Intumescent Paint to cover all Sprayfoam. Please provide the specification for the intumescent paint.

**Answer No. 64**

The intumescent paint shall be a DC 315 Fireproof paint in an 'ice grey matte' finish as supplied by International Fireproof Technology Inc.

**Question No. 65**

Please confirm if the subgrade for the paved and granular access roads are to be widened by 1m for shoulders as per the geotechnical report.

**Answer No. 65**

The paved and granular access roads are to be widened by 1m for shoulders as per the geotechnical report.



**Question No. 66**

Please confirm if subdrain is to be installed for the full length of all roadways as per the geotechnical report. If so, this is not indicated on the civil drawings.

**Answer No. 66**

All site servicing installations shall conform to the approved Civil Engineering Drawing set.

**Question No. 67**

On elevation 1/A-301, section 1/A-502 shown between lines 11 and 12 does not appear to be correct as section 1/A-502 does not show any precast wall panel (2). please clarify.

**Answer No. 67**

For clarity: On elevation 1/A-301, the section 1/A-502 should read as 2/A-502.

**Question No. 68**

Would it be possible to provide a cross-section between lines 8 and 9 on elevations 2/A-301 and 1/A-301? Or between lines B and Bx on elevations 2/A-302 and 1/A-302?

**Answer No. 68**

For a visual representation of the arrangement of exterior materials/finishes and component part refer to perspective view on drawing A-300.

**Question No. 69**

Detail / Plan 1/A604 shows a W3 wall tag (west side), and metal stud framing. Please clarify as this wall is also marked as W1 on A201.

**Answer No. 69**

For clarity: Disregard the W3 wall tag on drawing 1/A-604, as this is a W1 wall with an offset metal stud framing wall to encapsulate the structural framing (cross bracing).

**Question No. 70**

(RE: Section 01 41 00 Regulatory Requirements) 1. Please confirm the status of the Building Permit Application and advise on date of Building Permit issuance. Please



advise if Building Permit will be issued in its entirety or if the Town is breaking it up into sections (i.e. Foundations Only, Plumbing, etc.), 2. Please confirm that a permit has been applied separately for the Sprinkler System (designed by Disano Sprinkler Design).

**Answer No. 70**

The building permit has been approved and issued for all aspects of the project including the sprinkler design.

**Question No. 71**

(RE: Section 01 71 23 Field Engineering) For project/building layout and grading, some Contractors/Subcontractors use GPS software for coordination with their machines and ground equipment. It is a proven process that benefits everyone. This project will benefit more-so as helical piles are being installed. Drawings typically used are Surveys, Site Servicing and Grading Plans, Site Plans and Floor Plans. Will the Consultants make their CAD files available for this purpose and if so, at what cost?

**Answer No. 71**

The consultants will make the CAD files available, and those associated costs for CAD files have been identified in the specifications.

**Question No. 72**

(RE: Section 01 78 23 Operation and Maintenance Manuals, Paragraph 4 Drawings) As noted in Ontario Association of Architects? Practice Tip PT.14, the Contractor is typically responsible to turn over a set of As-Built drawings, paper copies marked-up in coloured pens, to the Architect for preparation of the Record Drawings (assuming the Architect is contracted by the Owner for this service). Paragraph 4.1 requires that the drawings be prepared in CAD. As per the OAA/OGCA Joint Best Practice Statement regarding As-Built and Record Drawings, costs for this additional service must be included in our Bid. Please advise and/or confirm the following:

1. For the purpose of calculating the Architect's CAD file purchasing fee identified in Section 01 78 39, Paragraph 2.12, please confirm via list what constitutes all required drawings?
2. If changes are made to the Contract, will the Architect and Consultants make the necessary changes to their CAD files and will those be given to the Contractor (if they've paid for the CAD files)?
3. What are the Owner's CAD/Revit requirements?





4. What are the Owner's or Consultants CAD/Revit Standards and Procedures?

**Answer No. 72**

1. For each separate consultant, there are 3 separate sets that can be requested:

- 1) all floor plans,
- (2) all building elevations and
- (3) all sections.

As identified in the specifications the cost of \$1,500 plus HST per set of drawings as identified above which will apply for each consultant.

2. The Architect and Consultants will not make any necessary changes to their CAD files if changes are made to the Contract as this will be the responsibility of the Contractor (even if they've paid for the CAD files) to update the CAD files.

3. The Owner's CAD & REVIT requirements are to be in a 2025 version.

4. There are no Owner's or Consultants CAD/Revit Standards and Procedures.

**Question No. 73**

(RE: Section 07 21 00 Thermal Insulation, Paragraph 2.1 Materials) Please specify the concrete-faced insulation material.

**Answer No. 73**

The Concrete Faced Insulated (CFI) wall panel shall be a minimum of 4" thick with a minimum of R20 in a 2' x 4' tongue & groove panel manufactured by Tech-Crete Processors Ltd. from British Columbia, Canada.

**Question No. 74**

Please advise if cash allowance quotes requested (3 for each item) must be included with bid at time of tender or are these items to be forwarded only by awarded contractor?

**Answer No. 74**

The 3 quotes will only be required from the awarded General Contractor.



#### **Question No. 75**

We would ask that the Service connection fees be added to the Cash Allowance as this is an unknown value at this time and accurate pricing may not be possible. This would help ensure a fair bidding process for this item. We understand that service connections (Water, Sewer and Sanitary) are by the Contractor and their subcontractors. Please confirm the contractor and their subcontractors are responsible for the work from the site, and beyond the property line, into the right-of-way, all the way to the final connection(s)?

Repeat question: Drawing #A102 - Development Engineering Notes item (G) states "The Contractor will be responsible for the costs of any utility relocations necessitated by the site plan" please identify which services and provide information for pricing purposes. We believe this should be a Cash Allowance item.

#### **Answer No. 75**

The Service connection fees will be paid through the Cash Allowance. Yes, the contractor and their subcontractors are responsible for the work from the site, and beyond the property line, into the right-of-way, all the way to the final connection(s), including all works identified in the Civil and Architectural drawings.

#### **Question No. 76**

Addendum 1 Q & A # 17 and 19 are conflict to each other. Could you please confirm section 08 71 13 Automatic Door Equipment and as mark in Door schedule drawing A-900 EDO with Automatic Door Openers / Buttons are part of Cash Allowance?

#### **Answer No. 76**

Answers provided in Addendum no.1 with reference to section 08 71 13 are superseded with the following: **Section 08 71 13 is included in the Cash Allowance.**

Furthermore, in the architectural specifications under section 01 21 00 Allowances clause 2.9 Include in the Bid Price the following cash allowance items has been updated:

The following subclause 2.9.6 on page 2 in section 01 21 00 Allowances has been updated as follows:

Finish Hardware. 08 70 00 & Automatic Door Equipment. 08 71 13 in the specifications (General Contractor to procure 3 quotations).



**Question No. 77**

Please confirm that note on third party testing and inspections services on Drawing S110 is to be included in cash allowance?

**Answer No. 77**

For Clarity: All third-party testing and inspection services shall be paid from the Cash Allowance.