MONTGOMERY SISAM ARCHITECTS INC. ARCHITECTURAL

> 21504.F04 ISSUED FOR TENDER APRIL 30, 2024

ROOF AND DUCTWORK INSULATION REPAIR AND REPLACEMENT
CUMMER LODGE
SENIOR SERVICES AND LONG-TERM CARE
205 CUMMER AVE., NORTH YORK



ABBREVIATION SCHEDULE APC ACOUSTIC PANELS CEILING GWB GYPSUM WALL BOARD RA ROOF ANCHOR CB CONCRETE BLOCK HIM HOLLOW INSULATED METAL RB RUBBER BASE CONTROL JOINT HSKP HOUSEKEEPING RCP REFLECTED CEILING PLAN CMU CONCRETE MASONRY UNIT ROOF ASSEMBLY CONC CONCRETE INT INTERIOR R.O. ROUGH OPENING LAT LAY-IN ACOUTIC TILE CT CERAMIC TILE RSF RESILIENT SHEET FLOORING DW DRYWALL MAT'L MATERIAL ROOF VENT SCUPPER DRAIN DIA. DIAMETER MAX MAXIMUM ELEV ELEVATION SAFETY FLOORING MIN MINIMUM EPX EPOXY SIM SLR M.GWB MOISTURE RESISTANT GWB SIMII AR E.GWB EXISTING WALL BOARD N/A NOT APPLICABLE SFALER. SHEET VINYL TOP OF EXP ST EXPOSED STRUCTURE NC NURSE CALL FA FIRE ALARM DEVICE N.I.C. NOT IN CONTRACT FEC FIRE EXTINGUISHER CABINET NTS NOT TO SCALE TYP TYPICAL FHC FIRE HOSE CABINET O.C. ON CENTRE U/S UNDERSIDE OF FIRE DAMPER O.F. OUTSIDE FACE U.N.O. UNLESS NOTED OTHERWISE O/H OVER HEAD VCT VINYL COMPOSITE TILE FIN FINISH PLAM PLASTIC LAMINATE V.I.F. VERIFY IN FIELD FLR FLOOR PLUS/MINUS VR VAPOUR RETARDER FRR FIRE RESISTANT RATING PT PAINT WOOD GB GRAB BAR WF WINDOW FILM WP WALL PROTECTION WS WINDOW SHADE W/ WITH

ROOF ASSEMBLY				
TYPE	ASSEMBLY	CONSTRUCTION	NOTES	
RF1 (EXISTING)		- RIVER STONE BALLAST (REMOVE AND REINSTATE WHERE POSSIBLE) - FILTER FABRIC (REMOVE AND REINSTATE WHERE POSSIBLE) - 6" XPS INSULATION (R-20) (REMOVE AND REINSTATE WHERE POSSIBLE) - POLYETHYLENE SLIP SHEET (DEMOLISH) - SBS HOT RUBBER MEMBRANE (DEMOLISH) - STRUCTURAL CONCRETE	EXISTING ROOF (BASED OFF ARCHIVAL DRAWINGS) DEMOLITION AND REMOVE & REINSTATE ON SOUTH-WEST POD ROOF ONLY. REF. TO PLANS	
RF2 (PROPOSED)		- RIVER STONE BALLAST (REINSTATE FROM EXISTING WHERE POSSIBLE) - FILTER FABRIC (REINSTATE FROM EXISTING WHERE POSSIBLE) - 6" XPS INSULATION (R-20) (REINSTATE FROM EXISTING WHERE POSSIBLE) - LIQUID APPLIED ROOFING MEMBRANE SYSTEM - STRUCTURAL CONCRETE (EXISTING)	DEMOLITION AND REMOVE & REINSTATE ON SOUTH-WEST POD ROOF ONLY. REF. TO PLANS	

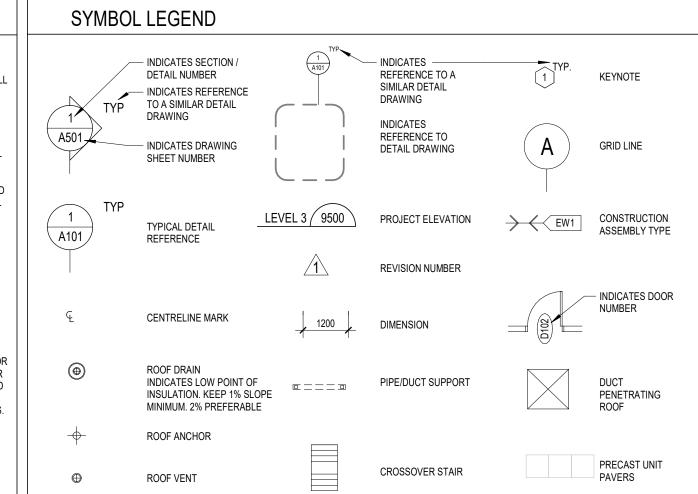
	DEMOLITION NOTES	CONSTRUCTION NOTES
	DEMOLITION NOTES DEMOLISH AND REMOVE EXISTING ROOF ASSEMBLY DEMOLISH EXISTING PARAPET SHEET METAL FLASHING REMOVE/REINSTATE AND REMAIN/PROTECT NOTES REMOVE EXISTING METAL STAIRS. PROTECT FOR RE-INSTALLATION EXISTING DUCT SUPPORTS AND PIPE SUPPORTS SYSTEM TO REMAIN. PROTECT FROM DAMAGE. REF. TO MECH. TYP. EXISTING SCREEN AND SCREEN SUPPORTS TO REMAIN. PROTECT FROM DAMAGE. TYP. REMOVE EXISTING PRECAST CONCRETE PAVER AND INSULATION BLOCKS. PROTECT UN-DAMAGED UNITS FOR RE-USE. DISPOSE OF AND REPLACE DAMAGED UNITS. TYP. EXISTING ROOF VENT TO REMAIN. PROTECT FROM DAMAGE. REF. TO MECH. TYP. EXISTING ROOF ANCHOR TO REMAIN. PROTECT FROM DAMAGE. TYP. EXISTING ROOF DRAIN TO REMAIN. PROTECT FROM DAMAGE. REF. TO MECH. TYP. EXISTING RTU TO REMAIN. PROTECT FROM DAMAGE. REF. TO MECH. TYP. EXISTING BECH/ELEC. PIPES TO REMAIN. PROTECT FROM DAMAGE. REF. TO MECH. TYP. EXISTING SCUPPER DRAIN TO REMAIN. PROTECT FROM DAMAGE. REF. TO MECH. TYP. EXISTING SCUPPER DRAIN TO REMAIN. REMOVE AND REINSTATE AS NECESSARY. PROTECT FROM DAMAGE. REF. TO MECH. TYP. EXISTING BUILDING EXPANSION JOINT. REMOVE AND REPLACE DAMAGED COMPRESSIBLE GASKET AND SEALANTS. REPLACE NEW FLASHING AND SEALANTS. TYP. EXISTING PARAPET STONE CAP TO REMAIN. PROTECT FROM	CONSTRUCTION NOTES O1 PROVIDE AND INSTALL NEW ROOF ASSEMBLY O2 REPLACE AND RE-INSTALL ANY DAMAGED PRE-CAST PAVER UNITS. TYP. O3 RE-INSTALL EXISTING METAL STAIRS O4 EXISTING DUCT SUPPORTS AND PIPE SUPPORTS SYSTEM TO REMAIN. PROTECT FROM DAMAGE. REF. TO MECH. TYP. O5 EXISTING SCREEN AND SCREEN SUPPORTS TO REMAIN. PROTECT FROM DAMAGE. TYP. O6 EXISTING ROOF VENT TO REMAIN. PROTECT FROM DAMAGE. REF. TO MECH. TYP. O7 EXISTING ROOF ANCHOR TO REMAIN. PROTECT FROM DAMAGE. TYP. O8 EXISTING ROOF DRAIN TO REMAIN. PROTECT FROM DAMAGE. REF. TO MECH. TYP. O9 EXISTING RTU TO REMAIN. PROTECT FROM DAMAGE. REF. TO MECH. TYP. O10 EXISTING SCUPPER DRAIN TO REMAIN. REMOVE AND REINSTATE AS NECESSARY. PROTECT FROM DAMAGE. REF. TO MECH. TYP. O2 DUCTWORK AND INSULATION REQUIRING REPAIR AND REPLACEMENT. REF. TO MECH. O3 PIPEWORK INSULATION REQUIRING REPAIR AND REPLACEMENT. REF. TO MECH. O4 EXISTING BUILDING EXPANSION JOINT. REPLACE DAMAGED COMPRESSIBLE GASKET AND SEALANTS. REPLACE NEW FLASHING AND SEALANTS. TYP. O5 EXISTING PARAPET STONE CAP TO REMAIN. PROTECT FROM DAMAGE. REMOVE AND REPLACE SEALANTS AT JOINTS. TYP.
R12 R13 R14	DAMAGE. REMOVE AND REPLACE SEALANTS AT JOINTS. TYP. DUCTWORK AND INSULATION REQUIRING REPAIR AND REPLACEMENT. REF. TO MECH. PIPEWORK INSULATION REQUIRING REPAIR AND REPLACEMENT. REF. TO MECH.	

GENERAL NOTES

- REPAIR, PATCH & MAKE GOOD ALL EXISTING STRUCTURE AND FINISHES AFFECTED BY CONSTRUCTION. ALL REQUIRED CUTTING & FITTING INCLUDING ELECTRICAL & MECHANICAL TO CONNECT THE EXISTING WORK WITH THE NEW WORK SHALL BE PERFORMED AS PART OF THIS CONTRACT AS AN ENTIRE OR COMPLETE WORK IN A PROFESSIONAL AND WHOLE MANNER.
- ALL NEW WORK TO MAKE GOOD EXISTING; SHALL MATCH EXISTING IN MATERIAL, CONSTRUCTION AND FINISH UNLESS OTHERWISE CONTRACTOR SHALL PERFORM ALL NECESSARY DEMOLITION, ALTERATIONS AND NEW CONSTRUCTIONS AS REQUIRED TO MAKE THE
- WORK A COMPLETE JOB. INCLUDING BUT NOT LIMITED TO WORK SHOWN ON DRAWINGS AND SPECIFICATIONS. ANY OPENINGS IN FIRE RATED WALLS, CEILINGS AND FLOORS TO BE RETURNED TO EQUIVALENT CONDITION PRIOR TO THE OPENING. ALL ELECTRICAL & MECHANICAL PENETRATIONS TO BE SEALED WITH FIRE STOP MATERIAL AS PER SPECIFICATION. ALL ELECTRICAL & MECHANICAL PENETRATIONS TO BE SEALED WITH FIRE STOP MATERIAL AS REQUIRED BY O.B.C. All ITEMS INDICATED IN THE CONTRACT DOCUMENTS AS 'COORDINATION ITEMS' OR ITEMS IDENTIFIED AS NIC, INCLUDING BUT NOT LIMITED TO FOLIPMENT AND OTHER SPECIALTY ITEMS IDENTIFIED AS TO BE SUPPLIED AND INSTALLED BY OTHER PARTIES OR ALLOWANCES WILL
- REQUIRE THE COMMON ACTION OR EFFORT OF THE GENERAL CONTRACTOR IN RELATION TO THE OVERALL PROJECT. WITH RESPECT TO ALL COORDINATION ITEMS IDENTIFIED, THE GENERAL CONTRACTOR IS EXPECTED TO: REVIEW ALL ITEMS IDENTIFIED AS 'COORDINATION ITEMS' IN THE DRAWINGS AND COMMUNICATE WITH THE REQUIRED RESPONSIBLE PARTIES OF THE DEVICES THE DETAILED REQUIREMENTS OF EACH ITEM AS IT IMPACTS THE WORK OF GENERAL
- CONTRACTOR AND AS IT RELATES TO THE OVERALL COMPLETION OF THE PROJECT. VERIFY THE EXISTING CONDITION AND ANY LIMITATIONS OF THE DEVICE AS INSTALLED IN THE PROPOSED LOCATION. PROVIDE ALL REQUIRED ROUGH-INS, RELATED CONSTRUCTIONS AND CONNECTIONS REQUIRED BY THE DEVICES OF OTHERS TO
- SUIT THE COORDINATION ITEM AND AS INDICATED IN THE CONTRACT DOCUMENTS. SCHEDULE AND COORDINATE THE WORK OF OTHERS INTO THE OVERALL CONSTRUCTION SEQUENCE TO AVOID UNNECESSARY DELAY TO THE COMPLETION OF THE OVERALL PROJECT. ENSURE THAT THE PROPOSED ITEM IS INSTALLED AS INTENDED AND IS MADE FULLY OPERATIONAL AT THE COMPLETION OF THE
- THE EXISTING PORTIONS OF THESE PLANS ARE TAKEN FROM ARCHIVE DRAWINGS AND LIMITED SITE SURVEY INFORMATION. CONTRACTOR TO SITE VERIFY ALL DIMENSIONS, CONDITIONS AND LEVELS ON SITE PRIOR TO FABRICATIONS/ INSTALLATIONS. ALL DIMENSIONS ARE PER SITE REVIEW AND EXIST. ARCH. DWGS. ALL DISCREPANCIES BETWEEN CONDITIONS SHOWN AND SITE CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT. PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE THE FOLLOWING: VERIFY EXISTING AREAS WITHIN THE SCOPE OF WORK WITH RESPECT TO THE PROPOSED FOR PROBLEMS AND ANY LIMITATIONS. VERIFY EXISTING ARCHITECTURE, STRUCTURE AND ALL ADJACENT FINISHES IMPACTED BY THE WORK. UPON EXAMINING ALL OF THE ABOVE AGAINST THE DRAWINGS AND SPECIFICATIONS AND TERMS OF THE CONTRACT, THE
- CONTRACTOR MUST SATISFY THEMSELVES THAT THE PROPOSED WORK CAN BE CARRIED OUT AS INTENDED, TO THE SATISFACTION OF THE OWNER, AT NO ADDITIONAL COST TO THE CONTRACT. PROTECT ALL FINISHES TO REMAIN PART OF THE FINAL PRODUCT. ALL FINISHES DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE
- MADE GOOD BY THE GC. COORDINATE ALL WORK WITH THE HOME AND FOLLOW ALL HOME PROTOCOLS.
- HOARDING SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE HOME. COORDINATE ALL WORK WITH ARCHITECTURAL / MECHANICAL / ELECTRICAL DRAWINGS AND SPECIFICATIONS. WHERE A DISCREPANCY IS DISCOVERED BETWEEN THE DOCUMENTS NOTIFY THE ARCHITECT. ALL REMOVED AND DEMOLISHED MATERIAL TO BE REMOVED FROM THE SITE. LOCATION OF REMOVAL RECEPTACLE TO BE CO-ORDINATED
- WITH BUILDING MAINTENANCE DEPARTMENT. THE WORK IDENTIFIED MAY REQUIRE WORK IN THE CEILINGS OF ADJACENT SPACES OR SPACES BELOW. ALLOW FOR SUCH WORK AND COORDINATE WITH THE HOME FOR ACCESS & SCHEDULE. THE GENERAL CONTRACTOR/ROOFING CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL CUT AND PATCH WORK BETWEEN THE
- EXISTING ROOF SYSTEM UNDER WARRANTY TO TREMCO LTD. CONTRACTOR TO ENGAGE TREMCO TO INSPECT ALL ROOFING WORKS AND MODIFICATIONS TO ROOFING SYSTEM DRAWINGS AND DETAILS BASED ON ARCHIVAL DRAWINGS. CONTRACTOR TO SITE VERIFY ALL DIMENSIONS.

PHASING & CONSTRUCTION NOTES

- NO PHASING REQUIRED. REFER TO MECHANICAL AND ELECTRICAL DOCUMENTATION. ALL SYSTEM INTERUPTIONS WILL BE SUBJECT TO APPROVAL FROM THE MANAGER OF BUILDING SERVICES AND AS IDENTIFIED IN THE MINISTRY OF HEALTH OPERATIONAL PLAN FOR THE
- ALL WORK WITHIN THIS PROJECT WILL BE COMPREHENSIVELY SCHEDULED WITH THE HOME PRIOR TO START-UP ON SITE. CONTRACTORS WILL BE REQUIRED TO ADHERE TO THIS SCHEDULE FOR THE DURATION OF THE WORK. NO WORK SHALL BE LEFT IN AN UNFINISHED STATE AT DAYS END. ALL AREAS OF WORK SHOULD BE MADE SAFE AND COMPLETELY OPERATIONAL AT THE END OF EACH DAYS WORK. REFER ALSO TO THE OPERATIONAL PLANS ISSUED FOR EACH HOME.



DRAWING LIST				
#	SHEET NAME			
A0.00	COVER PAGE			
A0.01	GENERAL INFORMATION & ASSEMBLIES			
A0.05	SITE PLAN & CONSTRUCTION CONTROL PLAN			
A0.11	EXISTING CONDITION PHOTOS			
A1.01	PLANS - AREA OF WORK			
A1.02	PLANS - SW POD ROOF - DEMOLITION			
A1.03	PLANS - SW POD ROOF - PROPOSED			
A9.01	DETAILS - ROOF			

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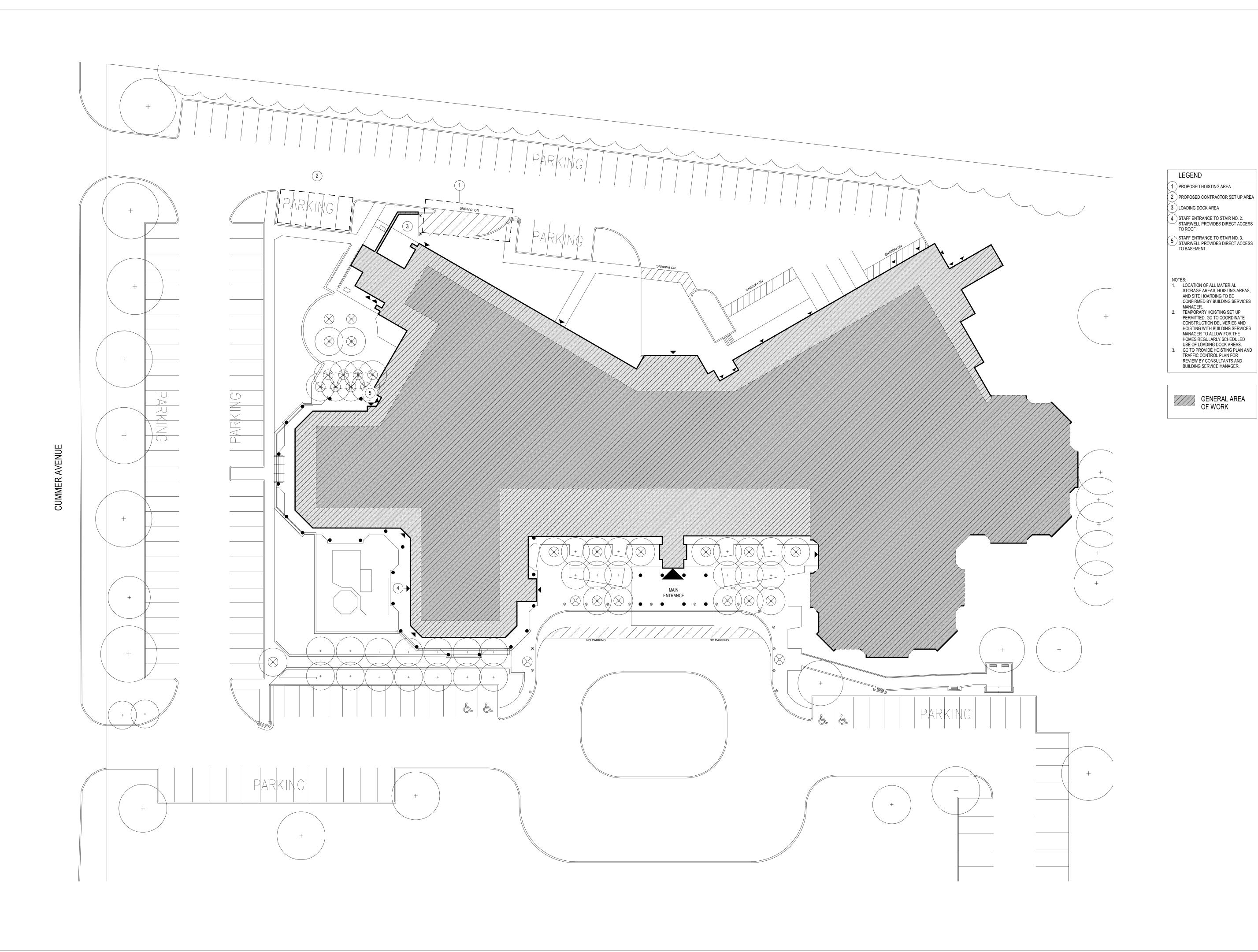
> All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before

CUMMER LODGE ROOF REPLACEMENT 205 CUMMER AVE., NORTH YORK

GENERAL INFORMATION & ASSEMBLIES

As indicated scal MY reviewed 21504.F04 2024-03-04

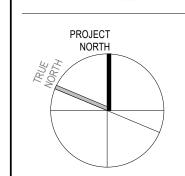
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205 CUMMER AVE., NORTH YORK

SITE PLAN & CONSTRUCTION CONTROL PLAN

As indicated reviewed 21504.F04 2024-03-04

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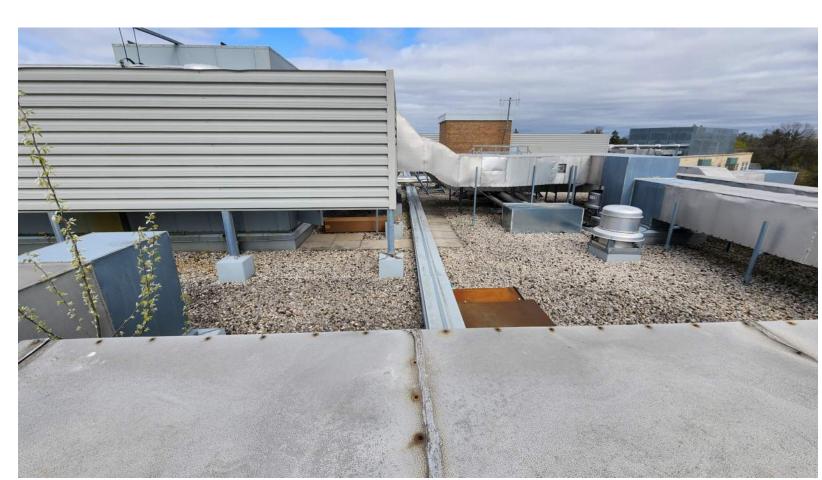
ECP #12_TYPICAL RTU



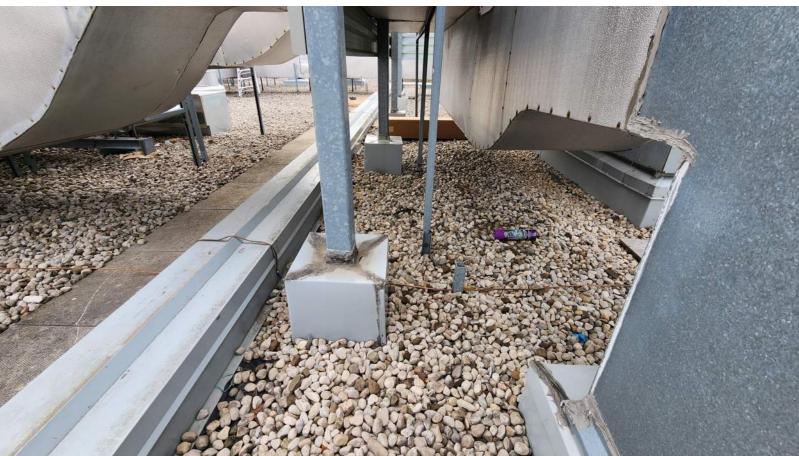
ECP #9_TYPICAL DUCT SUPPORT



ECP #6_TYPICAL DUCT PENETRATION ECP #6_TYPICAL PRECAST UNIT PAVERS



ECP #3_TYPICAL EXHAUST FAN



ECP #11_TYPICAL EXPANSION JOINT



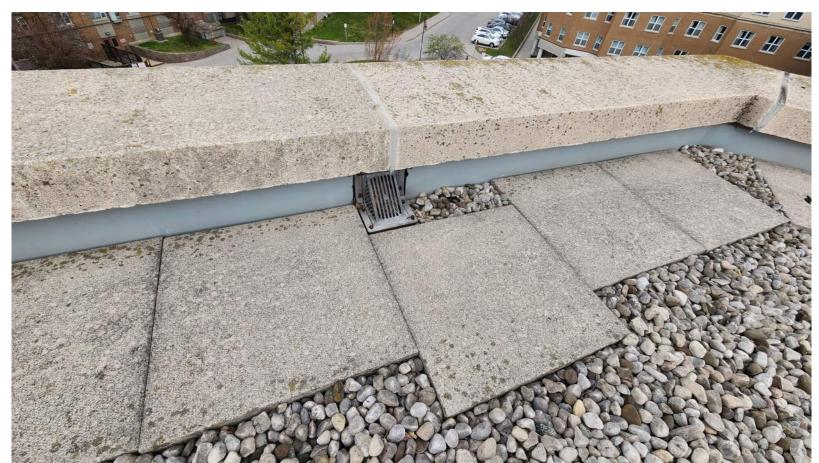
ECP #8_TYPICAL ENCLOSURE SCREEN



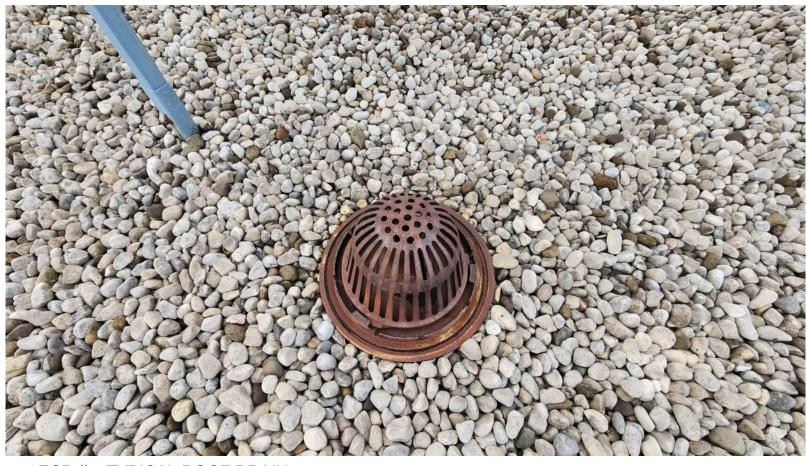
ECP #5_TYPICAL PIPE SUPPORT



ECP #2_TYPICAL CROSSOVER STAIR



ECP #10_TYPICAL OVERFLOW SCUPPER ECP #10_TYPICAL PARAPET



ECP #7_TYPICAL ROOF DRAIN



ECP #4_TYPICAL ROOF ANCHOR



ECP #1_TYPICAL ROOF VENT



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EXISTING CONDITION PHOTOS

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drawn	XH	
reviewed	MY	
job	21504.F04	
plot	2024-03-04	
drawing		_

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