

**ARCHITECTURAL**

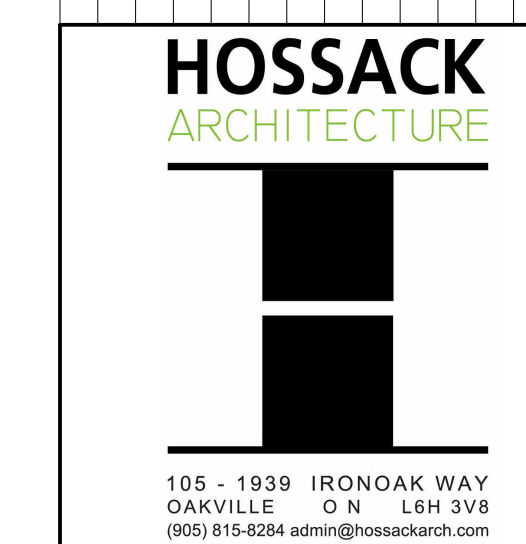
- A01 KEY PLANS, AND OBC MATRIX
- A02 DEMOLITION GROUND FLOOR PLAN
- A03 PROPOSED GROUND FLOOR PLAN
- A04 DEMOLITION SECOND FLOOR PLAN
- A05 PROPOSED SECOND FLOOR PLAN
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- A09 EXTERIOR ELEVATIONS
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INTERIOR ELEVATIONS  
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- A11

**MECHANICAL**

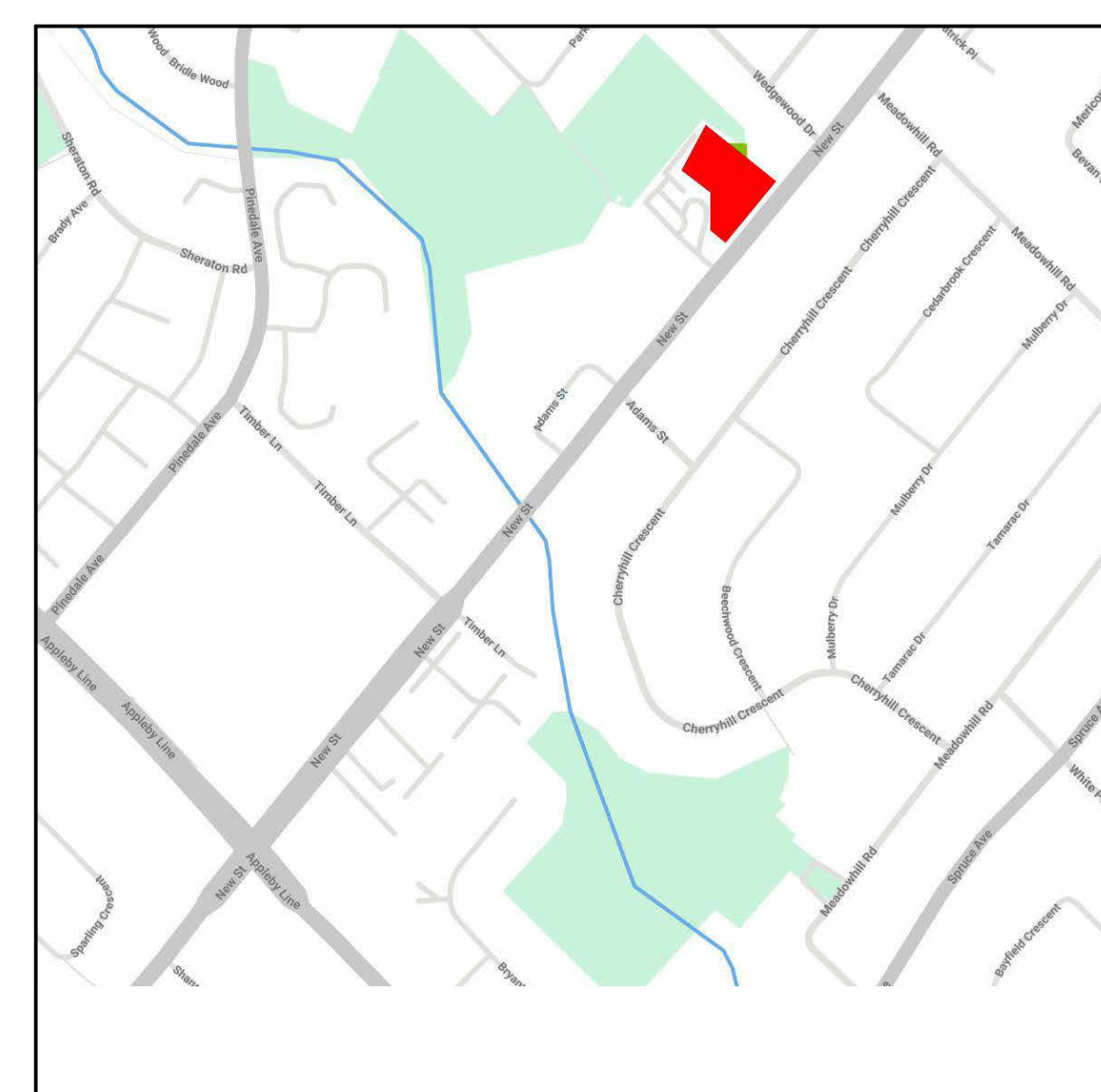
- M1.0 LEGENDS, GENERAL NOTES, EQUIPMENT
- M2.0 DEMOLITION PLUMBING & DRAINAGE LAYOUT
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**ELECTRICAL**

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- E1.2 ELECTRICAL PANEL SCHEDULES
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- E2.0 DEMOLITION LIGHTING GROUND FLOOR
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- E2.3 DEMOLITION FIRE ALARM SECOND FLOOR
- E2.4 DEMOLITION EXISTING EMERGENCY  
LIGHTING & EXIT SIGNS GROUND FLOOR
- E2.5 DEMOLITION EXISTING EMERGENCY  
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- E2.6 DEMOLITION GROUND FLOOR  
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- E2.7 DEMOLITION SECOND FLOOR  
WASHROOM POWER PLAN
- E3.0 PROPOSED LIGHTING GROUND FLOOR PLAN
- E3.1 PROPOSED LIGHTING SECOND FLOOR PLAN
- E3.2 PROPOSED FIRE ALARM GROUND FLOOR
- E3.3 PROPOSED FIRE ALARM SECOND FLOOR
- E3.4 PROPOSED EMERGENCY LIGHTING &  
EXIT SIGNS GROUND FLOOR PLAN
- E3.5 PROPOSED EMERGENCY LIGHTING &  
EXIT SIGNS SECOND FLOOR PLAN
- E3.6 PROPOSED GROUND FLOOR WASHROOM  
POWER PLAN
- E3.7 PROPOSED SECOND FLOOR WASHROOM  
POWER PLAN
- E4.0 ELECTRICAL SPECIFICATIONS - 1
- E4.1 ELECTRICAL SPECIFICATIONS - 2



KEY PLAN



# ASCENSION CATHOLIC ELEMENTARY SCHOOL INTERIOR RENOVATION

5205 NEW STREET, BURLINGTON ON L7L 1V3  
MARCH 2025

SET No.

PROJECT NUMBER

# 24137

**SYMBOLS AND REFERENCE BUBBLE LEGEND**

- DXXX → DETAIL REFERENCE - SEE DETAIL BOOK
- X → DETAIL No.
- XXX → DRAWING WHERE DETAIL IS SHOWN
- X → ELEVATION No.
- AXX → DRAWING WHERE ELEVATIONS IS SHOWN
- X → BUILDING SECTION No.
- AXX → DRAWING WHERE SECTION IS SHOWN
- X → WALL SECTION No.
- AXX → DRAWING WHERE WALL SECTION IS SHOWN
- XXXX → ELEVATION DATUM
- Sxx → SCREEN TYPE - SEE SECTION D800 IN DETAIL BOOK
- Wxx → WINDOW TYPE - SEE SECTION 801 IN DETAIL BOOK
- XXX → WALL TYPE
- XXXX → ROOM No. - SEE SPECS FOR ROOM FINISH SCHEDULE
- XXX → DOOR No. - SEE SPECS FOR DOOR AND HARDWARE SCHEDULE

**STUDENT OCCUPANT LOAD (FOR W/C COUNT ONLY)**

ROOM TYPE (EXISTING)	NUMBER OF ROOMS	OCC. LOAD PER ROOM	TOTAL OCC. LOAD	NOTES
<b>GROUND FLOOR</b>				
STANDARD CLASSROOM	5	30	150	
KINDERGARTEN CLASSROOM	2	26	52	
SPEC ED CLASSROOM	1	9	9	
COMPUTER LAB	1	30	30	
LIBRARY RESOURCE CENTRE	1	59	0	(1)
GENERAL PURPOSE ROOM	1	370	0	(1)
<b>SECOND FLOOR</b>				
STANDARD CLASSROOM	7	30	210	
ART CLASSROOM	1	30	30	
SCIENCE CLASSROOM	1	30	30	
MUSIC CLASSROOM	1	30	30	
<b>TOTAL OCCUPANT LOAD</b>			<b>489</b>	

NOTE (1) - OCCUPANT LOAD OF THIS ROOM IS ALREADY INCLUDED IN TEACHING AREA OCCUPANT LOAD.  
 489 (OCC. LOAD) DIVIDED BY 2 = 245 GIRLS & 245 BOYS  
 245 DIV. BY 30 BOYS = 8.16 (8) BOYS WASHROOMS REQUIRED  
 245 DIV. BY 26 GIRLS = 9.42 (10) GIRLS WASHROOMS REQUIRED

**STAFF OCCUPANT LOAD (FOR W/C COUNT ONLY)**

ROOM TYPE (EXISTING)	NUMBER OF ROOMS	OCC. LOAD PER ROOM	TOTAL OCC. LOAD	NOTES
<b>GROUND FLOOR</b>				
STANDARD CLASSROOM	5	1	5	
KINDERGARTEN CLASSROOM	2	1	2	
SPEC ED CLASSROOM	1	1	1	
COMPUTER LAB	1	0	0	(1)
LIBRARY RESOURCE CENTRE	1	1	1	
GENERAL PURPOSE ROOM	1	0	0	(1)
<b>ADMINISTRATION AREAS:</b>				
PRINCIPAL	1	1	1	
VICE PRINCIPAL	1	1	1	
COUNSELLOR	1	1	1	
RECEPTIONIST	1	2	2	
CUSTODIAN	1	2	2	
<b>SECOND FLOOR</b>				
STANDARD CLASSROOM	7	1	7	
ART CLASSROOM	1	1	1	
SCIENCE CLASSROOM	1	1	1	
MUSIC CLASSROOM	1	1	1	
<b>TOTAL OCCUPANT LOAD</b>			<b>26</b>	

NOTE (1) - OCCUPANT LOAD OF THIS ROOM IS ALREADY INCLUDED IN TEACHING AREA OCCUPANT LOAD.  
 26 (OCC. LOAD) DIVIDED BY 2 = 13 WOMEN & 13 MEN  
 13 DIV. BY 30 BOYS = 0.4 (1) MENS WASHROOM FIXTURE REQUIRED  
 13 DIV. BY 26 GIRLS = 0.5 (1) WOMENS WASHROOM FIXTURE REQUIRED

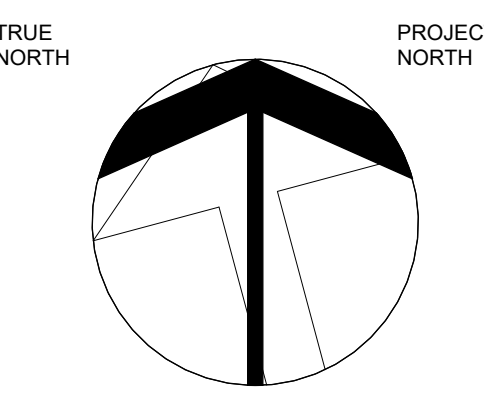
**LAVATORY COUNT**

WASHROOM TYPE	NO. OF WATER CLOSETS PROVIDED	NO. OF LAVATORIES
BOYS WASHROOM	16	(2) BRADLEY - 4-SPRAY
BOYS CHANGEROOM	2	1
GIRLS WASHROOM	14	(2) BRADLEY - 4-SPRAY
GIRLS CHANGEROOM	2	1
KINDERGARTEN	2	2
UNISEX (STAFF)	2	2
UNIVERSAL WASHROOM	1	2

**WATER CLOSET COUNT**

WASHROOM TYPE	NO. OF WATER CLOSETS & URINALS
<b>GROUND FLOOR</b>	
BOYS WASHROOMS	12
CHANGE ROOMS	= 1WC + 1U
GROUND FLOOR	= 4WC + 4U
GIRLS WASHROOMS	= 2
CHANGE ROOM	= 7
KINDERGARTEN WASHROOM	2
UNIVERSAL WASHROOM	1
<b>SECOND FLOOR</b>	
BOYS WASHROOMS	17
SECOND FLOOR	= 4WC + 4U
GIRLS WASHROOMS	= 7
UNISEX WASHROOMS (STAFF)	2

ONTARIO BUILDING CODE DATA MATRIX PART 11 - RENOVATION OF EXISTING BUILDING				OBC REFERENCE	
11.00	BUILDING CODE VERSION	O.Reg. 332/12	LAST AMENDMENT	O.Reg. 191/14	
11.01	PROJECT TYPE:	<input type="checkbox"/> ADDITION <input checked="" type="checkbox"/> RENOVATION <input type="checkbox"/> ADDITION AND RENOVATION	DESCRIPTION:	INTERIOR RENOVATION AND WINDOW UPGRADE	[A] 1.1.2
11.02	MAJOR OCCUPANCY CLASSIFICATION:	OCCUPANCY USE: <input type="checkbox"/> A2 <input checked="" type="checkbox"/> ELEMENTARY SCHOOL	HAZARD INDEX:	IMPACTANCE CATEGORY: <input type="checkbox"/> LOW <input type="checkbox"/> NORMAL <input type="checkbox"/> HIGH <input type="checkbox"/> POST-DISASTER	3.1.2.1.(1) and 11.2.1
11.03	SUPERIMPOSED MAJOR OCCUPANCY:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	DESCRIPTION:		11.2 and 3.2.2.5. to 3.2.2.8
11.04	BUILDING AREA (m <sup>2</sup> )	DESCRIPTION	EXISTING NEW TOTAL		[A] 1.4.1.2, 11.2, and 11.3
		GROUND FLOOR	2140 0 2140		
		SECOND FLOOR	1345 0 1345		
		TOTAL	3485 0 3485		
11.05	BUILDING HEIGHT	2 STOREYS ABOVE GRADE	7.6 (m) ABOVE GRADE		[A] 1.4.1.2 and 3.2.1.1, and 11.3
11.06	NUMBER OF STREETS / FIREFIGHTER ACCESS	2	STREETS(S)		3.2.2.10, 3.2.5, and 11.3
11.07	BUILDING SIZE	<input type="checkbox"/> SMALL <input type="checkbox"/> MEDIUM <input checked="" type="checkbox"/> LARGE <input type="checkbox"/> > LARGE			T.11.2.1.1.B.N
11.08	EXISTING BUILDING CLASSIFICATION:	CHANGE IN MAJOR OCCUPANCY: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO CHANGE	CONSTRUCTION INDEX:		11.2.1.1, 11.2.1.1.A, 11.2.1.1.B to N
11.09	RENOVATION TYPE:	<input checked="" type="checkbox"/> BASIC RENOVATION <input type="checkbox"/> EXTENSIVE RENOVATION			11.3.3.1 or 11.3.3.2
11.10	OCCUPANT LOAD	FLOOR AREA	OCCUPANCY BASED ON TYPE	OCCUPANT LOAD (PERSONS)	3.1.17, 11.4.2.2
		GROUND	A2	489	
		SECOND	A2	300	
		TOTAL		789	
11.11a	PLUMBING FIXTURE REQUIREMENTS	RATIO: 3.7.4.3 (14): 100 MALES = 126 FEMALES.	FLOOR AREA	OCCUPANT LOAD	3.7.4, 11.3.4, 11.3.5, 11.4.2.4, and 11.4.2.5
			GROUND	489	3.7.4.3(14)
			SECOND	300	3.7.4.3(14)
11.11b	PLUMBING FIXTURE REQUIREMENTS continued:	FLOOR AREA (repeated)	BARRIER-FREE WCs Required	BARRIER-FREE WCs Provided	Tables 3.8.2.3.A and 3.8.2.3.B
		GROUND	2	2	
		SECOND	2	2	
11.12	BARRIER-FREE DESIGN ENTRANCES	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	Explanation:		11.3.3.2(2)
11.13	REDUCTION IN PERFORMANCE LEVEL	STRUCTURAL: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	BY INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	BY CHANGE OF MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	11.4.2.1, 11.4.2.2, 11.4.2.3, 11.4.2.4, 11.4.2.5, 11.4.2.6
		PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	SEWAGE-SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	EXTENSION OF BUILDINGS OF COMBUSTIBLE CONSTRUCTION: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	
11.14	COMPENSATING CONSTRUCTION:	STRUCTURAL: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	BY INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	11.4.3.1, 11.4.3.2, 11.4.3.3, 11.4.3.4, 11.4.3.5, 11.4.3.6, 11.4.3.7
		SEWAGE-SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	EXTENSION OF BUILDINGS OF COMBUSTIBLE CONSTRUCTION: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		
11.15	COMPLIANCE ALTERNATIVES PROPOSED:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	(list numbers and describe)		11.5.1
11.16	NOTES:	IS AN ALTERNATIVE SOLUTION USED? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES			11.5.1



**LEGEND - DEMOLITION**

- EXISTING PORTIONS OF THE BUILDING NOT PART OF THE SCOPE OF WORK
- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE DEMOLISHED REFER TO DEMOLITION PLANS AND NOTES
- EXISTING PARTITIONS TO BE DEMOLISHED REFER TO DEMOLITION PLANS AND NOTES
- EXISTING CONCRETE SLAB ON GRADE AND SUB-BASE TO BE DEMOLISHED REFER TO DEMOLITION PLANS AND NOTES
- EXISTING RUBBER TILE TO BE DEMOLISHED AND SUB-BASE TO BE DEMOLISHED REFER TO DEMOLITION PLANS AND NOTES
- EXISTING PORCELAIN/CERAMIC TILE TO BE DEMOLISHED AND SUB-BASE TO BE DEMOLISHED REFER TO DEMOLITION PLANS AND NOTES
- EXISTING VINYL COMPOSITE TILE (VCT) TO BE DEMOLISHED AND SUB-BASE TO BE DEMOLISHED REFER TO DEMOLITION PLANS AND NOTES
- EXISTING TERRAZZO TO BE DEMOLISHED AND SUB-BASE TO BE DEMOLISHED REFER TO DEMOLITION PLANS AND NOTES
- EXISTING PORCELAIN/CERAMIC TILE TO REMAIN AND RECEIVE CLEANING PROTOCOL REFER TO PLANS AND SPECIFICATIONS

**ABBREVIATION LEGEND**

- BFP BARRETT FREE FISH BUTTON
- CB CONCRETE BLOCK
- CU CONTROL UNIT
- CF CABINET FIXTURE
- CS CONCRETE SINK
- CP CONCRETE PARTITION
- FD FLOOR DRAIN
- GS GRAB BAR
- GRB GRAB BAR 1" SHAPED
- HD HANGING
- IR IRON
- M MIRROR
- P PAINT
- PTD PORCELAIN TILE
- PTD POWER TOOL DISPENSER
- R RUBBER BASE
- RE REBAR/STEEL REINFORCING
- SD SOAP DISPENSER
- SH SHOWER PAN/DRIP PAN
- END END
- VECT VINYL COMPOSITE TILE

ISSUED FOR TENDER NO. 03/14/25  
 NO. DESCRIPTION DATE

DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE CONSULTANTS.



CERTIFICATE OF PRACTICE #4292

**ASCENSION CATHOLIC ELEMENTARY SCHOOL INTERIOR RENOVATION**

5205 NEW STREET, BURLINGTON ON L7L 1V3



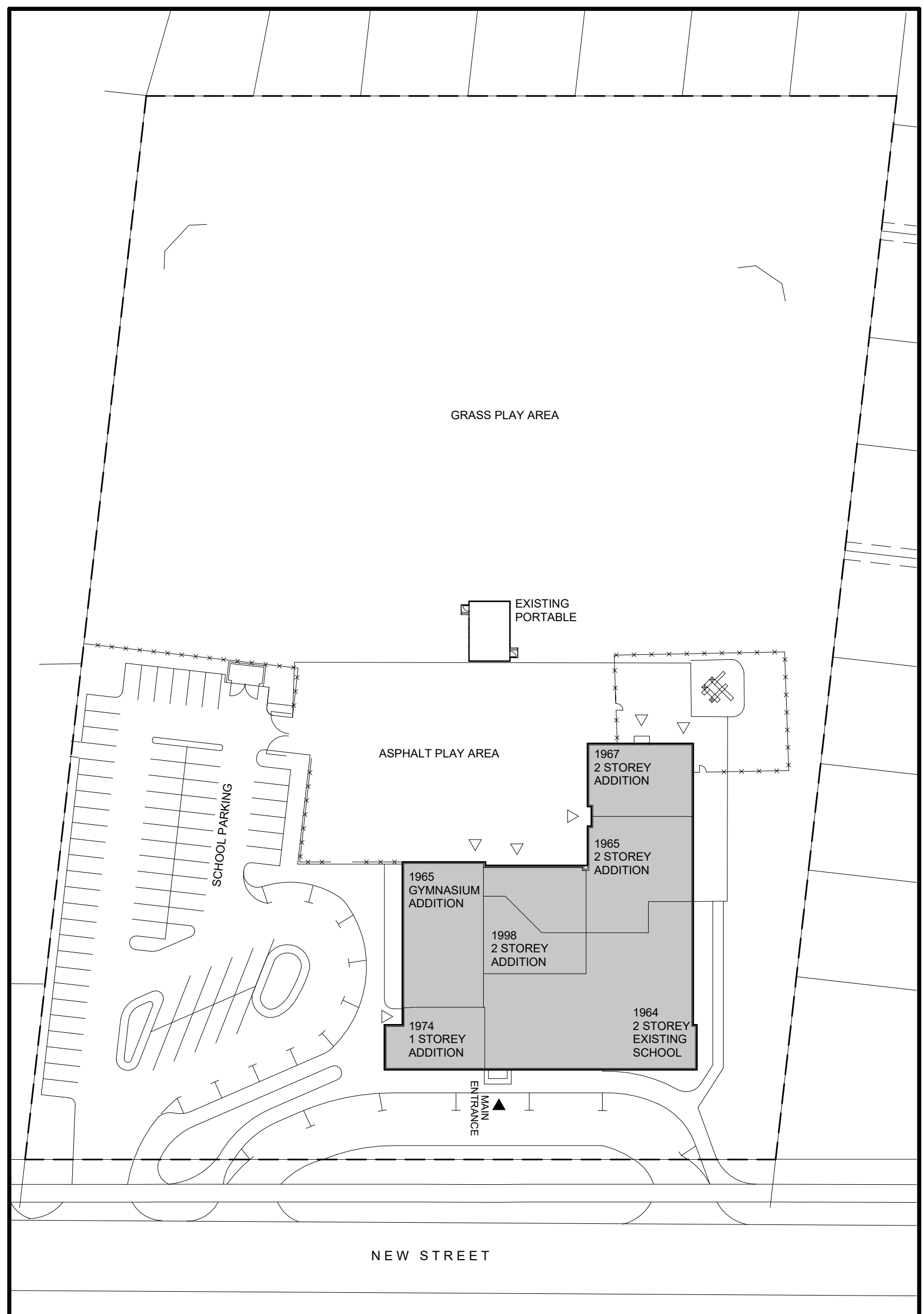
802 DUNDAS LANE, (905) 632-6300  
 BURLINGTON, ON L7R 2Y2 abraham@hcsdb.org

**KEY PLAN & OBC MATRIX**



153 - 1938 - IRONDALE WAY  
 SUITE 111  
 905-331-1111  
 905-818-8334  
 www.hossackarch.com

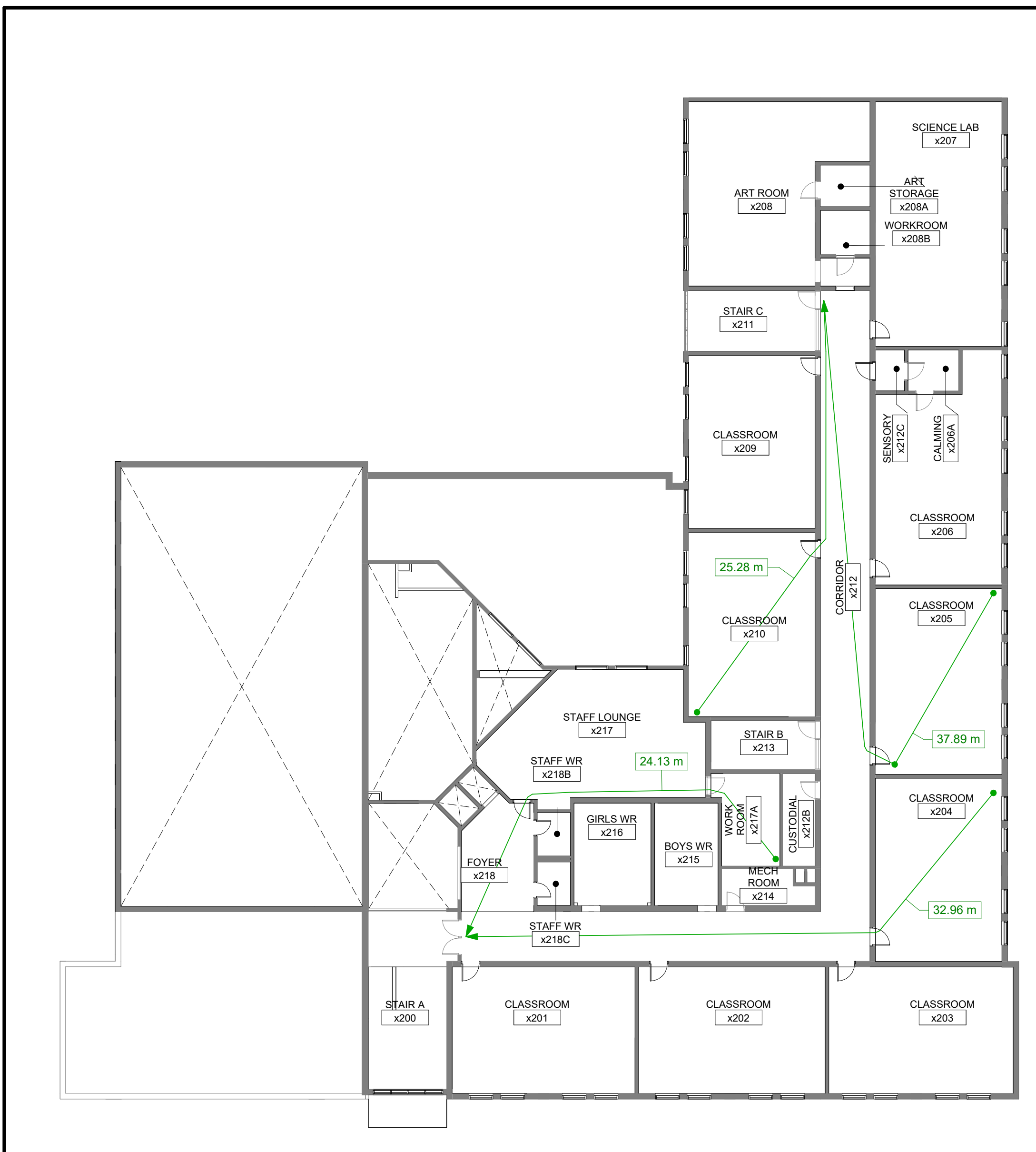
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As Indicated	DATE	MARCH 2025
DRAWN	AM	PL
CHECKED	PL	A01
PRINT DATE	3/13/2025 3:02:42 PM	
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3 SITE PLAN  
 A01 SCALE: 1:700

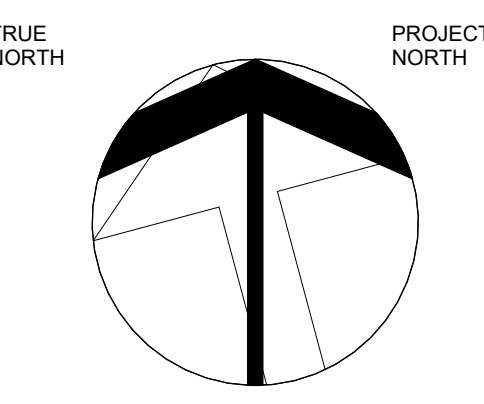


1 GROUND FLOOR - KEY PLAN  
 A01 SCALE: 1:200



2 SECOND FLOOR - KEY PLAN  
 A01 SCALE: 1:200





**CONSTRUCTION NOTES**

- GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION. DRAWINGS TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS.
- CONSTRUCTION NOTES TO BE READ IN CONJUNCTION WITH PROPOSED ELEVATIONS.
- CONTRACTOR TO REPAIR ALL EXISTING BLOCK WALLS AND PREPARE AND PAINT ALL EXISTING WALLS WITHIN CONSTRUCTION AREA (INCLUDING EXISTING CORRIDORS AFFECTED BY RENOVATION). SEE SPEC AND INTERIOR FINISH SCHEDULES.
- CONTRACTOR TO REMOVE ALL EXISTING MILLWORK TO ALLOW THE REMOVALS OF ALL EXISTING FLOORING AND BASE FINISH AS REQUIRED. CONTRACTOR TO REINSTALL EXISTING MILLWORK ONCE NEW FLOOR AND BASE ARE INSTALLED.
- CONTRACTOR TO COORDINATE OVERALL DOOR OPENINGS SHOWN ON THIS PLAN WITH REQUIRED DOOR LEAF WIDTH AND JAMB DETAIL AS DESCRIBED IN DOORS SCHEDULE.
- NEW SHEET FLOORING COMPLETE WITH WALL AND MILLWORK BASE **IN ENTIRE ROOM**. FEATHER FLOOR TO ENSURE SHEET FLOOR IS LEVEL AND TRANSITIONS SEAMLESSLY TO CORRIDOR AND ADJACENT ROOMS. APPROXIMATELY 2m x 2m. REFER TO ROOM FINISH SCHEDULE AND SPECIFICATIONS.
  - NEW RUBBER TILE AT STAIRS, INCLUDING TREADS AND RISERS WITH WALL BASE. INSTALL NEW TACTILE INDICATORS AT TOP OF LANDING. SITE MEASURE PRIOR TO FABRICATION. REFER TO ROOM FINISH SCHEDULE AND SPECIFICATIONS.
  - NEW PORCELAIN TILE FLOORING COMPLETE WITH TILE WALL BASE. FEATHER FLOOR TO ENSURE TILE IS LEVEL AND TRANSITIONS SEAMLESSLY WITH CORRIDOR TERRAZZO. APPROX. 2m DEEP. REFER TO ROOM FINISH SCHEDULE AND SPECIFICATIONS.
  - NEW CERAMIC WALL TILE, GROUT, ETC. ON WALLS **IN ENTIRE ROOM**. REFER TO ROOM FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE.
  - SUPPLY AND INSTALL NEW WASHROOM ACCESSORIES AND FIXTURES INCLUDING MIRRORS, SOAP DISPENSERS, TOILET PAPER DISPENSER, SANITARY NAPKIN DISPOSAL AND HAND DRYERS. REFER TO ELECTRICAL DRAWINGS.
  - NEW FLOOR FINISH ON 150mm CONCRETE SLAB ON GRADE & COMPACTED GRANULAR SUB-BASE INFILL. OR NEW FLOOR FINISH ON 200mm REINFORCED CONC. SECOND FLOOR. TYPICAL FOR ALL AREAS SHOWN IN HATCH INDICATED. NEW CONCRETE SLAB TO BE SLOPED MIN. 1% TO FLOOR DRAINS WHERE APPLICABLE. REFER TO ROOM FINISH SCHEDULE FOR FLOOR FINISHES. REFER TO MECH. DWGS. AND SPECIFICATIONS.
  - CONTRACTOR TO PATCH AND MAKE GOOD EXISTING WALL, SMOOTH EDGES AND MAKE BULLNOSE AT BOTH SIDES OF EXISTING BLOCK.
  - CONTRACTOR TO PRIME AND PAINT ENTIRE WALL (CORNER TO CORNER) TO MATCH EXISTING.
  - SCHOOL LOGO TO REMAIN. CONTRACTOR TO PAINT AROUND LOGO WITH CAUTION AND TOUCH UP THE MURAL EDGES AS NEEDED TO THE BOARDS SATISFACTION.
  - CONTRACTOR TO PAINT GYMNASIUM CEILING AND STRUCTURAL BULKHEADS. CONTRACTOR TO ENSURE WOOD GYMNASIUM FLOOR AND SCORE BOARD ARE ADEQUATELY COVERED AND PROTECTED PRIOR TO PAINTING.
  - SUPPLY AND INSTALL NEW LOCKERS. ALIGN WITH EXISTING BULKHEAD. ADD RUBBER BASE ALONG THE PERIMETER OF THE LOCKER BASE.
  - NEW CATHOLIC DISPLAY FEATURE WALL. REFER TO INTERIOR ELEVATION AND MILLWORK DETAILS FOR ASSEMBLY, MATERIALS AND CONSTRUCTION. REFER TO SPECS FOR FINISH MATERIALS AND BASE.
  - SUPPLY AND INSTALL ELECTROMAGNETIC HOLD OPEN DEVICE. REFER TO ELEC. DWGS AND SPEC.
  - INSTALL RELOCATED BARRIER-FREE PUSH BUTTON. REFER TO ELEC. DWGS.
  - SUPPLY AND INSTALL NEW WINDOWS. REFER TO WINDOW AND CURTAIN WALL SCHEDULE. RE-INSTALL EXISTING WINDOW COVERINGS. PROVIDE PLASTIC LAMINATE WINDOW SILL IN CLASSROOMS AND STAFF ROOMS.

**SELECT CONSTRUCTION - SEPARATE PRICE**

- SP1 SUPPLY AND INSTALL NEW INTERIOR WOOD DOOR AND HARDWARE INTO EXISTING FRAMES. REFER TO DOOR SCHEDULE. GC TO SITE MEASURE EXISTING DOOR AND OPENING PRIOR TO FABRICATION.
- SP2 SUPPLY AND INSTALL NEW EXTERIOR HM DOOR AND FRAMES CW/ HARDWARE. REFER TO DOOR SCHEDULE.



**LEGEND - PROPOSED**

[Symbol]	EXISTING PORTIONS OF THE BUILDING NOT PART OF THE SCOPE OF WORK
[Symbol]	EXISTING WALLS TO REMAIN
[Symbol]	CONC. NEW CONCRETE SLAB INFILL LOW BASE AND NEW FLOOR FINISH REFER TO STRUCTURE AND ROOM FINISH SCHEDULE
[Symbol]	POR-1 NEW WASHROOM PORCELAIN TILE REFER TO ROOM FINISH SCHEDULE AND SPEC.
[Symbol]	POR-2 NEW FORMAL PORCELAIN TILE REFER TO ROOM FINISH SCHEDULE AND SPEC.
[Symbol]	VCT-1 NEW RUBBER TILE & STAIR TREAD / RISER REFER TO ROOM FINISH SCHEDULE AND SPEC.
[Symbol]	SE-1 NEW SHEET FLOORING REFER TO ROOM FINISH SCHEDULE AND SPEC.
[Symbol]	SE-2 NEW SHEET FLOORING (WOOD) LOOK REFER TO ROOM FINISH SCHEDULE AND SPEC.

**ABBREVIATION LEGEND**

BFP	BARRIER FREE PUSH BUTTON
CB	CONCRETE BLOCK
CH	CABINET HEATER
CS	CONCRETE SINK
DF	DRAINING FOUNTAIN
FD	FLOOR DRAIN
GB	GRAB BAR
GBL	GRAB BAR L-SHAPED
HND	HAND DRYER
TM	TELEVISION
M	MIRROR
PA	PAPER TOWEL DISPENSER
POR	PORCELAIN TILE
PTD	PAPER TOWEL DISPENSER
RD	ROOF DRAIN
RUB	RUBBER BASE
WAL	WALL WATER LEADER
WSP	WASHROOM
SP	SPECIAL FINISH
STD	SANITARY NAPKIN DISPOSAL
TD	TOILET PAPER DISPENSER
VCT	VINYL COMPOSITE TILE

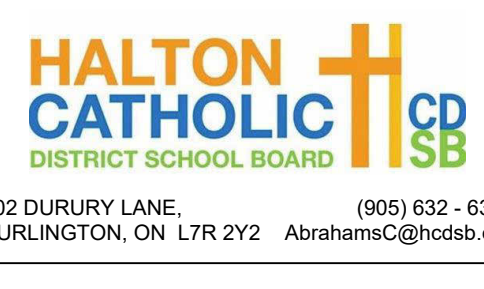
ISSUED FOR TENDER	03/14/25	
NO.	DESCRIPTION	DATE

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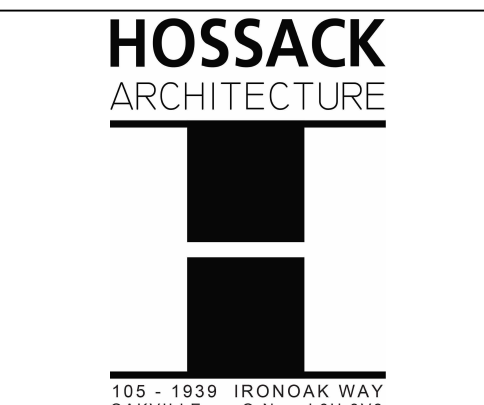
**ASCENSION CATHOLIC ELEMENTARY SCHOOL INTERIOR RENOVATION**

5205 NEW STREET, BURLINGTON ON L7L 1V3



802 DURJURY LANE, (905) 632-6300  
BURLINGTON, ON L7R 2Y2. abrahamc@ncdsb.org

**PROPOSED GROUND FLOOR PLAN**



SCALE	PROJECT
As Indicated	24137
DATE	AM
MARCH 2025	PL
DRAWN	AM
CHECKED	PL
REVIT FILE	T:20161512102RevE.RVT

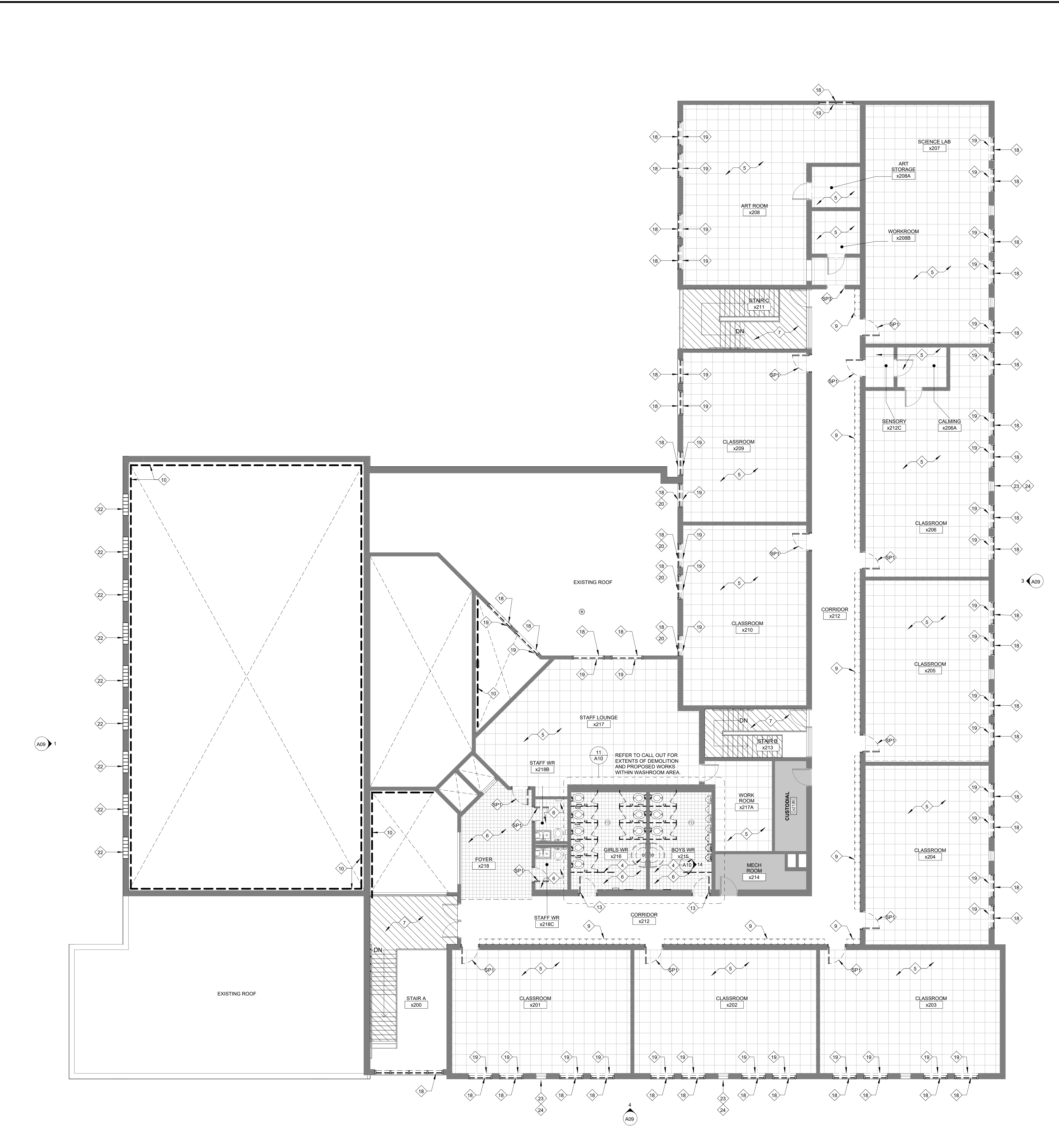
**1 GROUND FLOOR - PROPOSED PLAN**  
SCALE: 1:100

**DEMOLITION PLAN NOTES**

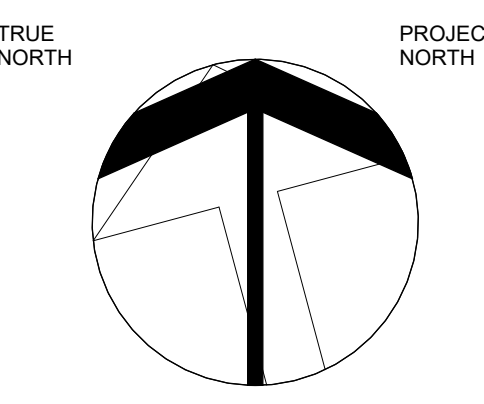
- GC IS TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
- ALL REMOVALS AND DEMOLITION TO BE COORDINATED WITH STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS PRIOR TO DEMOLITION START. FOR ADDITIONAL DEMOLITION, DOCUMENTS AND DETAILS SEE STRUCTURAL, MECH. AND ELECT. DWGS.
- GENERAL CONTRACTOR TO REVIEW DOOR SCHEDULE AND FLOOR PLANS FOR EXTENT OF SANDING, FINISHING AND REPAINTING EXISTING FRAMES TYP.
- GENERAL CONTRACTOR TO X-RAY ALL EXISTING CONCRETE FLOOR SLABS AND ROOF ASSEMBLY AS REQUIRED PRIOR TO DEMOLITION CORING. SEE SPECIFICATIONS.
- RENOVATED AREAS TO BE THOROUGHLY CLEANED TO OWNER SATISFACTION. REMOVAL OF ALL CONSTRUCTION DUST, DEBRIS AND MATERIALS AS PER SPECIFICATION SECTION 01 74 11.
- GENERAL CONTRACTOR IS RESPONSIBLE TO REVIEW ASBESTOS REPORT IN SPECIFICATION FOR EXTENT OF ALL DESIGNATED SUBSTANCE AND HAZARDOUS MATERIALS SURVEYS AND EXTENT OF ABATEMENT WORK.**
- 1 REMOVE EXISTING WASHROOM PARTITIONS, HARDWARE, FASTENERS, TOILET PAPER DISPENSERS, GRAB BARS, ETC. PATCH AND MAKE GOOD ALL WALLS AS REQUIRED FOR NEW WALL FINISH. PREPARE EXISTING CONCRETE BLOCK AND FLOOR FINISH FOR NEW PARTITIONS AND INSTALLATION OF NEW FITMENTS. SEE SPEC AND PROPOSED FLOOR PLAN. REFER TO MECH. DWGS.
  - 2 CONTRACTOR TO REMOVE EXISTING TOILET AND URINALS. CONTRACTOR TO HAND-OVER TO OWNER. CAP ALL ASSOCIATED PLUMBING AND PREPARE CONCRETE FLOOR FOR NEW FINISH. REFER TO MECHANICAL DRAWINGS.
  - 3 CONTRACTOR TO REMOVE AND DISPOSE EXISTING BRADLEY SINK, RECESSED BIN, HAND DRYER, MIRRORS AND ADJACENT SOAP DISPENSERS, ETC. PATCH AND MAKE GOOD ALL WALLS AS REQUIRED. REFER TO MECH. AND ELECT. DWGS.
  - 4 REMOVE EXISTING WALL TILE / GROUT, MORTAR/MASTIC, ETC. ON WALLS IN ENTIRE ROOM. PREPARE ALL EXISTING CONCRETE WALLS FOR NEW FINISH (INCLUDING PATCHING, ETC). REFER TO FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE.
  - 5 REMOVE EXISTING FLOORING GLUE, BASEBOARD, ETC. IN ENTIRE ROOM. PREPARE ALL EXISTING CONCRETE FLOOR SLABS FOR NEW FINISH (INCLUDING PATCHING, LEVELING, SKIM-COATING, ETC). REFER TO FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE. ENSURE NEW FLOOR FINISH IS LEVEL / SEAMLESS IN HEIGHT BETWEEN EXISTING ADJACENT FLOOR FINISHES (NO TRANSITIONS). CONTRACTOR TO REMOVE EXISTING MILLWORK, BENCHES & SHELVING AS REQUIRED FOR THE DEMOLITION OF EXISTING FLOORING. CONTRACTOR TO STORE IN SAFE PLACE AND REINSTALL UPON INSTALLATION OF NEW FLOORING.
  - 6 REMOVE EXISTING CERAMIC TILE, MASTIC AND MORTAR BED, INCLUDING BASEBOARDS, ETC. IN WASHROOM AND CORRIDOR. PREPARE ALL EXISTING CONCRETE FLOOR SLABS FOR NEW FINISH (INCLUDING PATCHING, LEVELING, SKIM-COATING, ETC). REFER TO DRAWING FOR EXTENTS. REFER TO FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE. ENSURE NEW FLOOR FINISH IS LEVEL / SEAMLESS IN HEIGHT BETWEEN EXISTING ADJACENT FLOOR FINISHES (NO TRANSITIONS).
  - 7 REMOVE EXISTING VCT AND RUBBER TILE, GLUE, BASEBOARD, ETC. IN STAIRS INCLUDING RISERS AND TREADS. PREPARE ALL EXISTING CONCRETE FOR NEW FINISH (INCLUDING PATCHING, LEVELING, SKIM-COATING, ETC). FLOORING ON GROUND FLOOR TO REMAIN. REFER TO DRAWING FOR EXTENTS. REFER TO FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE. ENSURE NEW FLOOR FINISH IS LEVEL / SEAMLESS IN HEIGHT BETWEEN EXISTING ADJACENT FLOOR FINISHES (NO TRANSITIONS).
  - 8 EXISTING 150mm CONCRETE SLAB ON GRADE AND GRANULAR SUBBASE OR 200mm REINFORCED CONC. SECOND FLOOR TO BE CUT AS REQUIRED TO SUIT PLUMBING WORK. TYPICAL FOR ALL AREA SHOWN IN HATCH INDICATED. REFER TO MECHANICAL DRAWINGS. EXACT EXTENT TO BE CONFIRMED ON SITE.
  - 9 CONTRACTOR TO REMOVE EXISTING LOCKER BANKS, EXISTING CONCRETE BASE TO REMAIN. PATCH AND MAKE GOOD EXISTING WALL, BULKHEAD AND FLOOR AS REQUIRED FOR THE INSTALLATION OF NEW LOCKERS.
  - 10 CONTRACTOR TO PATCH WALL, PRIME AND REPAINT. CONTRACTOR TO REMOVE ALL WALL SURFACE MOUNTED ITEMS, DEVICES, CAGES, FACE PLATES, FIXTURES AND ETC. AS REQUIRED TO COMPLETE PAINTING, GRILLS AND RADIATORS TO BE PAINTED TO MATCH GYMNASIUM WALL MATERIAL TO REMAIN. CONTRACTOR TO REMOVE LIBRARY MILLWORK AS REQUIRED PRIOR TO PAINTING AND REINSTALL. REFER TO FINISH SCHEDULE AND SPEC. FOR NEW FINISH.
  - 11 GYMNASIUM CEILING AND STRUCTURAL BULKHEADS TO BE PRIMED AND PAINTED. CONTRACTOR TO ENSURE WOOD GYMNASIUM FLOOR AND SCORE BOARD IS ADEQUATELY COVERED AND PROTECTED DURING CONSTRUCTION WORKS. CONTRACTOR TO REMOVE AND STORE WALL MATS IN SAFE PLACE AND REINSTALL AFTER COMPLETION OF PAINTING. CONTRACTOR TO COORDINATE LIGHTING UPGRADE WITH ELECTRICAL DRAWINGS.
  - 12 CONTRACTOR TO REMOVE WALL MOUNTED ART, INCLUDING ANY GLUE OR FASTENERS. PATCH AND MAKE GOOD ALL WALLS AS REQUIRED. PRIME AND PAINT WALL SURFACE AS REQUIRED. REFER TO FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE.
  - 13 REMOVE EXISTING HM DOOR ASSEMBLY, HARDWARE AND HM FRAME AT WASHROOMS, UNTEL AND ADJACENT BLOCK WALL ABOVE TO REMAIN. PATCH AND MAKE GOOD EXISTING WALL AND SMOOTH EDGES INTO BULLNOSE AT BOTH SIDES OF EXISTING BLOCK. REMOVE TERRAZZO BASE EXTENDING INTO DOOR OPENING TO BE REPLACED BY WASHROOM FLOOR FINISH. REFER TO ROOM FINISH SCHEDULE.
  - 14 REMOVE EXISTING METAL STUD WALL, ALONG WITH WALL TILES, MASTIC, GROUT AND ALL MILLWORK FINISHES AND ELECTRICAL CONDUITS COMPLETELY FOR NEW INTERIOR MILLWORK FITMENTS. EXISTING STUDENT SUCCESS PLAQUE TO BE REMOVED AND RELOCATED. REFER TO INTERIOR ELEVATIONS.
  - 15 REMOVE EXISTING TERRAZZO MORTAR BED, ETC. TO NEAREST FULL ALUMINUM JOINT IN FORUM. REFER TO DEMO FLOOR PLAN FOR EXTENTS. PREPARE ALL EXISTING CONCRETE FLOOR SLABS FOR NEW FINISH (INCLUDING PATCHING, LEVELING, SKIM-COATING, ETC). REFER TO DRAWING FOR EXTENTS. REFER TO FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE.
  - 16 REMOVE EXISTING BARRIER FREE PUSH BUTTON AND ASSOCIATED CONDUIT AND WIRING. REFER TO ELEC DWGS. CONTRACTOR TO STORE IN SAFE PLACE. REFER TO PROPOSED PLAN FOR RELOCATED BFP.
  - 17 EXISTING ACCENT PORCELAIN / CERAMIC TILE ON TREADS AND RISERS TO REMAIN IN FORUM. CONTRACTOR TO PERFORM A DEEP CLEANING PROTOCOL ON GROUT AND TILE TO REFRESH APPEARANCE AND ORIGINAL COLOUR. REFER TO SPECIFICATIONS.
  - 18 REMOVE AND DISPOSE OF EXTERIOR WINDOW, FLASHING, FRAMING AND PLASTIC LAMINATE WINDOW SILL. TYPICAL MAKE GOOD OPENING FOR NEW WINDOW. REFER TO WINDOW SCHEDULE FOR PROPOSED GLAZING. CONTRACTOR TO SITE MEASURE PRIOR TO FABRICATION OF NEW WINDOWS.
  - 19 EXISTING WINDOW COVERING TO BE CAREFULLY REMOVED AND SAFELY STORED ON SITE FOR RE-INSTALLATION. DAMAGED WINDOW COVERINGS TO BE REPLACED WITH SIMILAR PRODUCT AND STYLE.
  - 20 REMOVE WOOD BLOCKING AT LOWER WINDOW PANE. COORDINATE CONDITIONS TO CONSULTANT TO REVIEW APPROPRIATE APPROACH FOR INSTALLATION OF NEW WINDOW. SITE VERIFY CONDITIONS PRIOR TO FABRICATION.
  - 21 EXISTING ALUMINUM COMPOSITE PANEL AND CAP FLASHING TO BE REMOVED AS WELL AS ANY SUBSTRATE, GIRTS, FASTENERS OR GLUE AND MAKE GOOD EXISTING CONC. BLOCK FOR NEW GIRTS AND ALUMINUM COMPOSITE PANEL REPLACEMENT.
  - 22 REMOVE AND DISPOSE OF EXTERIOR GLASS BLOCK WINDOW INCLUDING FRAMING, FLASHING AND WINDOW SILL. MAKE GOOD OPENING FOR NEW WINDOW.
  - 23 EXISTING UNIT VENTILATOR GRILLES TO HAVE CONDENSATION DRAINAGE REROUTED TO LOWER UNIT DRAINAGE LOCATIONS. REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS.
  - 24 CONTRACTOR TO CLEAN BRICK FREE FROM SURFACE STAINS DUE TO EXISTING UNIT VENTILATOR CONDENSATION DRAINAGE. BRICK APPEARANCE TO MEET BOARD'S SATISFACTION. REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS.

**SELECT DEMOLITION - SEPARATE PRICE**

- SP1 REMOVE DOOR FOR NEW DOOR. REFER TO DOOR SCHEDULE. EXISTING HM FRAME TO REMAIN. CLEAN, SAND & PREPARE FOR NEW PAINT. REFER TO FINISH SCHEDULE AND SPEC. FOR MATERIAL AND COLOUR.
- SP2 REMOVE AND DISPOSE DAMAGED EXTERIOR HM DOOR AND FRAME. REFER TO DOOR SCHEDULE.
- SP3 EXISTING HM FRAME TO REMAIN. CLEAN, SAND & PREPARE FOR NEW PAINT. REFER TO FINISH SCHEDULE AND SPEC.



1 SECOND FLOOR - DEMOLITION PLAN  
SCALE: 1:100



**LEGEND - DEMOLITION**

- [Solid Grey] EXISTING PORTIONS OF THE BUILDING NOT PART OF THE SCOPE OF WORK
- [Dashed Line] EXISTING WALLS TO REMAIN
- [Dotted Line] EXISTING WALLS TO BE DEMOLISHED. REFER TO DEMOLITION PLANS AND NOTES
- [Cross-hatch] EXISTING PARTITIONS TO BE DEMOLISHED. REFER TO DEMOLITION PLANS AND NOTES
- [Diagonal Hatch] EXISTING ACQ ALUMINUM COMPOSITE PANEL CEILING AND NOTES TO BE REMOVED. REFER TO DEMOLITION PLANS AND NOTES
- [Stippled] EXISTING CONCRETE SLAB ON GRADE AND SUB-BASE TO BE REMOVED. REFER TO DEMOLITION PLANS AND NOTES
- [Wavy Hatch] EXISTING RUBBER TILE TO BE DEMOLISHED AND SUBBASE TO BE REFINISHED. REFER TO DEMOLITION PLANS AND NOTES
- [Grid Hatch] EXISTING PORCELAIN / CERAMIC TILE TO BE DEMOLISHED AND SUBBASE TO BE REFINISHED. REFER TO DEMOLITION PLANS AND NOTES
- [Vertical Hatch] EXISTING VINYL COMPOSITE TILE (VCT) TO BE DEMOLISHED AND SUBBASE TO BE REFINISHED. REFER TO DEMOLITION PLANS AND NOTES
- [Horizontal Hatch] EXISTING TERRAZZO TO BE DEMOLISHED AND SUBBASE TO BE REFINISHED. REFER TO DEMOLITION PLANS AND NOTES
- [Diagonal Hatch (other)] EXISTING PORCELAIN / CERAMIC TILE TO REMAIN AND RECEIVE CLEANING PROTOCOL. REFER TO PLANS AND SPECIFICATIONS.

**ABBREVIATION LEGEND**

- BFP BARRIER FREE PUSH BUTTON
- CB CONCRETE BLOCK
- CC CONTROL POINT
- CF CABINET FIXTURE
- CS CONVENIENCE SINK
- CP CONCRETE PARTITION
- FD FLOOR DEBRIS
- GB GRAB BAR
- GL GRAB BAR / SHIPBOARD
- HM HOLLOW METAL
- M MIRROR
- NT PAINT
- PC PORCELAIN TILE
- PD POWER TOOL DISPENSER
- RF ROOF FLASHING
- RI RUBBER TILE
- RM RAINWATER LEADER
- SD SOAP DISPENSER
- SB SUBSTRATE
- STB STAINLESS STEEL BULKHEAD
- TND TYPICAL DRAINAGE
- VCT VINYL COMPOSITE TILE

NO.	ISSUED FOR TENDER	DESCRIPTION	DATE
			03/14/25

DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT. AND MUST REPORT ANY DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE CONSULTANTS.



**ASCENSION CATHOLIC ELEMENTARY SCHOOL INTERIOR RENOVATION**

5205 NEW STREET, BURLINGTON ON L7L 1V3



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BURLINGTON, ON L7R 2Y2  
alrahams@ncdsb.org

**DEMOLITION SECOND FLOOR PLAN**



153 - 1938 IRON OAK WAY  
SUITE 101  
BURLINGTON, ON L7R 2Y2  
(905) 632-6300  
alrahams@ncdsb.org

SCALE	PROJECT
As Indicated	24137
DATE	DRAWING
MARCH 2025	AM
DRAWN	PL
CHECKED	A04
PRINT DATE	3/13/2025 3:02:58 PM
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**CONSTRUCTION NOTES**

GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION. DRAWINGS TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS.

CONSTRUCTION NOTES TO BE READ IN CONJUNCTION WITH PROPOSED ELEVATIONS. CONTRACTOR TO REPAIR ALL EXISTING BLOCK WALLS AND PREPARE AND PAINT ALL EXISTING WALLS WITHIN CONSTRUCTION AREA INCLUDING EXISTING CORRIDORS AFFECTED BY RENOVATION. SEE SPEC. AND INTERIOR FINISH SCHEDULES.

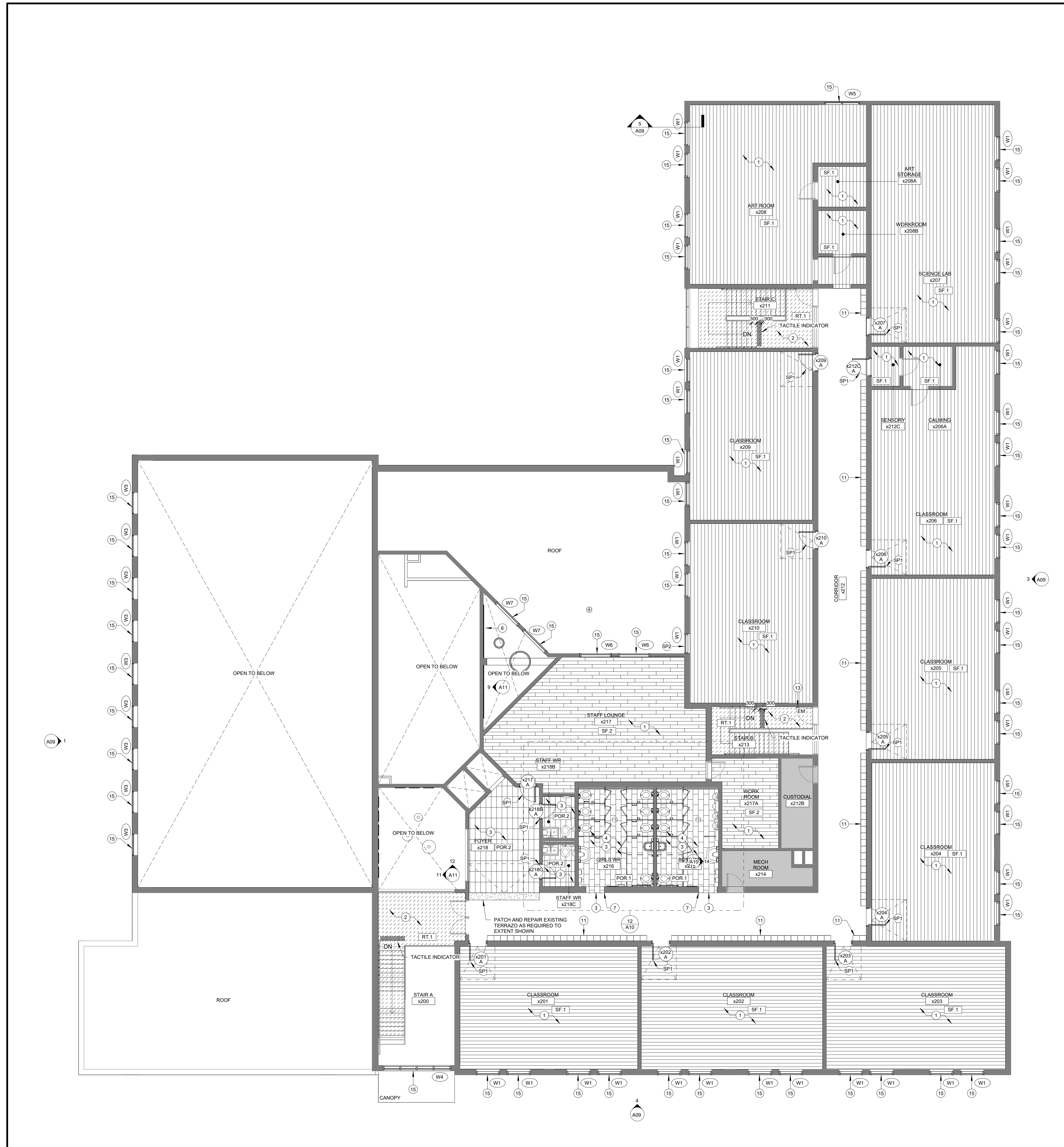
CONTRACTOR TO REMOVE ALL EXISTING MILLWORK TO ALLOW THE REMOVALS OF ALL EXISTING FLOORING AND BASE FINISH AS REQUIRED. CONTRACTOR TO REINSTALL EXISTING MILLWORK ONCE NEW FLOOR AND BASE ARE INSTALLED.

CONTRACTOR TO COORDINATE OVERALL DOOR OPENINGS SHOWN ON THIS PLAN WITH REQUIRED DOOR LEAF WIDTH AND JAMB DETAIL AS DESCRIBED IN DOORS SCHEDULE.

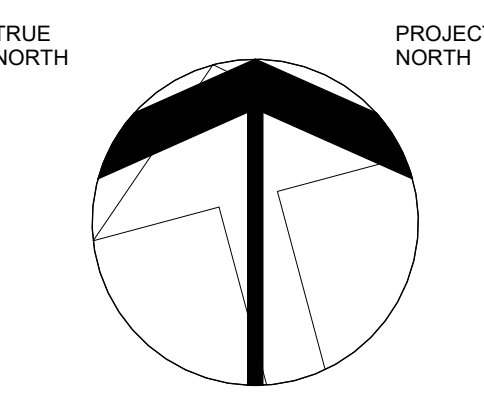
- 1 NEW SHEET FLOORING COMPLETE WITH WALL AND MILLWORK BASE **IN ENTIRE ROOM**. FEATHER FLOOR TO ENSURE SHEET FLOOR IS LEVEL AND TRANSITIONS SEAMLESSLY TO CORRIDOR AND ADJACENT ROOMS. APPROXIMATELY 2m x 2m. REFER TO ROOM FINISH SCHEDULE AND SPECIFICATIONS.
- 2 NEW RUBBER TILE AT STAIRS, INCLUDING TREADS AND RISERS WITH WALL BASE. INSTALL NEW TACTILE INDICATORS AT TOP OF LANDING. SITE MEASURE PRIOR TO FABRICATION. REFER TO ROOM FINISH SCHEDULE AND SPECIFICATIONS.
- 3 NEW PORCELAIN TILE FLOORING COMPLETE WITH TILE WALL BASE. FEATHER FLOOR TO ENSURE TILE IS LEVEL AND TRANSITIONS SEAMLESSLY WITH CORRIDOR TERRAZZO. APPROX. 2m DEEP. REFER TO ROOM FINISH SCHEDULE AND SPECIFICATIONS.
- 4 NEW CERAMIC WALL TILE. GROUT, ETC. ON WALLS **IN ENTIRE ROOM**. REFER TO ROOM FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE.
- 5 SUPPLY AND INSTALL NEW WASHROOM ACCESSORIES AND FIXTURES INCLUDING MIRRORS, SOAP DISPENSERS, TOILET PAPER DISPENSER, SANITARY NAPKIN DISPOSAL AND HAND DRYERS. REFER TO ELECTRICAL DRAWINGS.
- 6 NEW FLOOR FINISH ON 150mm CONCRETE SLAB ON GRADE & COMPACTED GRANULAR SUB-BASE INFILL OR NEW FLOOR FINISH ON 200mm REINFORCED CONC. SECOND FLOOR. TYPICAL FOR ALL AREAS SHOWN IN HATCH INDICATED. NEW CONCRETE SLAB TO BE SLOPED MIN. 1% TO FLOOR DRAINS WHERE APPLICABLE. REFER TO ROOM FINISH SCHEDULE FOR FLOOR FINISHES. REFER TO MECH DWGS. AND SPECIFICATIONS.
- 7 CONTRACTOR TO PATCH AND MAKE GOOD EXISTING WALL, SMOOTH EDGES AND MAKE BULLNOSE AT BOTH SIDES OF EXISTING BLOCK.
- 8 CONTRACTOR TO PRIME AND PAINT ENTIRE WALL, CORNER TO CORNER) TO MATCH EXISTING.
- 9 SCHOOL LOGO TO REMAIN. CONTRACTOR TO PAINT AROUND LOGO WITH CAUTION AND TOUCH UP THE MURAL EDGES AS NEEDED TO THE BOARD'S SATISFACTION.
- 10 CONTRACTOR TO PAINT GYMNASIUM CEILING AND STRUCTURAL BULKHEADS. CONTRACTOR TO ENSURE WOOD GYMNASIUM FLOOR AND SCORE BOARD ARE ADEQUATELY COVERED AND PROTECTED PRIOR TO PAINTING.
- 11 SUPPLY AND INSTALL NEW LOCKERS. ALIGN WITH EXISTING BULKHEAD. ADD RUBBER BASE ALONG THE PERIMETER OF THE LOCKER BASE.
- 12 NEW CATHOLIC DISPLAY FEATURE WALL. REFER TO INTERIOR ELEVATION AND MILLWORK DETAILS FOR ASSEMBLY, MATERIALS AND CONSTRUCTION. REFER TO SPECS FOR FINISH MATERIALS AND BASE.
- 13 SUPPLY AND INSTALL ELECTROMAGNETIC HOLD OPEN DEVICE. REFER TO ELEC. DWGS AND SPEC.
- 14 INSTALL RELOCATED BARRIER-FREE PUSH BUTTON. REFER TO ELEC. DWGS.
- 15 SUPPLY AND INSTALL NEW WINDOWS. REFER TO WINDOW AND CURTAIN WALL SCHEDULE. RE-INSTALL EXISTING WINDOW COVERINGS. PROVIDE PLASTIC LAMINATE WINDOW SILL IN CLASSROOMS AND STAFF ROOMS.

**SELECT CONSTRUCTION - SEPARATE PRICE**

- SP1 SUPPLY AND INSTALL NEW INTERIOR WOOD DOOR AND HARDWARE INTO EXISTING FRAMES. REFER TO DOOR SCHEDULE. GC TO SITE MEASURE EXISTING DOOR AND OPENING PRIOR TO FABRICATION.
- SP2 SUPPLY AND INSTALL NEW EXTERIOR HM DOOR AND FRAMES CW/ HARDWARE. REFER TO DOOR SCHEDULE.



1 SECOND FLOOR - PROPOSED PLAN  
SCALE: 1:100



**LEGEND - PROPOSED**

- EXISTING PORTIONS OF THE BUILDING NOT PART OF THE SCOPE OF WORK
- EXISTING WALLS TO REMAIN
- CONC. NEW CONCRETE SLAB INFILL CW RUBBER TILE AND FLOOR FINISH REFER TO SPECIFICATIONS AND ROOM FINISH SCHEDULE
- POR.1 NEW WASHROOM PORCELAIN TILE REFER TO ROOM FINISH SCHEDULE AND SPEC.
- POR.2 NEW PORCELAIN TILE REFER TO ROOM FINISH SCHEDULE AND SPEC.
- VCT.1 NEW RUBBER TILE & STAIR TREAD / RISER REFER TO ROOM FINISH SCHEDULE AND SPEC.
- SF.1 NEW SHEET FLOORING REFER TO ROOM FINISH SCHEDULE AND SPEC.
- SF.2 NEW SHEET FLOORING (WOOD) LOOK REFER TO ROOM FINISH SCHEDULE AND SPEC.

**ABBREVIATION LEGEND**

- SPB BARRIER FREE PUSH BUTTON
- CB CONCRETE BLOCK
- CH CABINET HEATER
- CS CONCRETE SINK
- DF DRAWING FOUNTAIN
- FD FLOOR DRAIN
- GRB GRAB BAR
- GRB GRAB BAR L-SHAPED
- HD HAND DRYER
- TM TILT MIRROR
- M MIRROR
- PAV PAVEMENT
- PTD PORCELAIN TILE
- PTD PAPER TOWEL DISPENSER
- RD ROOF DRAIN
- RB RUBBER BASE
- WL WOOD WALL LEADER
- SWB SWEEP BRUSH
- SP SHEET FLOORING
- SD SANITARY NAPKIN DISPOSAL
- TD TOILET PAPER DISPENSER
- VCT VINYL COMPOSITE TILE

NO.	ISSUED FOR TENDER	DESCRIPTION	03/14/25	DATE

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CERTIFICATE OF PRACTICE #4292

**ASCENSION CATHOLIC ELEMENTARY SCHOOL INTERIOR RENOVATION**

5205 NEW STREET, BURLINGTON ON L7L 1V3



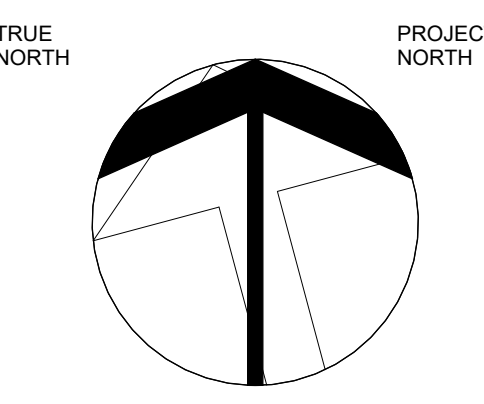
802 DURJURY LANE, (905) 632-6300  
BURLINGTON, ON L7R 2Y2. ahrhams@ncdsb.org

**PROPOSED SECOND FLOOR PLAN**

**HOSSACK ARCHITECTURE**

153 - 1938 IRONDALE WAY  
SUITE 111, Q.3, L1M 1Y8  
(905) 818-8334 ext#2@hossackarch.com

SCALE	PROJECT	24137
As Indicated	DATE	MARCH 2025
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PRINT DATE	3/13/2025 3:03:00 PM	
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**RCP LEGEND**

- EXISTING PORTIONS OF THE BUILDING NOT PART OF THE SCOPE OF WORK
- EXISTING WALLS TO REMAIN
- LIGHT FIXTURE REFER TO LIGHTING PLANS/LIGHTING SCHEDULES FOR TYPE
- FLUSH MOUNTED LIGHT FIXTURE REFER TO LIGHTING PLANS/LIGHTING SCHEDULES FOR TYPE
- EXISTING LAY IN ACOUSTIC CEILING PANELS UNLESS OTHERWISE NOTED. REFER TO SPECS FOR TYPE OF NEW PANELS.
- SUPPLY DIFFUSER
- RETURN DIFFUSER
- RP RADIANT PANEL
- GYPSUM BOARD CEILING AND/OR GYPSUM BOARD BULKHEAD
- LF LIGHT FIXTURE, FOR TYPE AND MOUNTING SEE ELEC. DWGS
- LF LIGHT FIXTURE, FOR TYPE AND MOUNTING SEE ELEC. DWGS
- CEILING HEIGHT FROM FINISHED FLOOR
- GBB GYPSUM BOARD BULKHEAD
- SP SPRINKLER HEAD
- WIFI WIFI
- PA PA SPEAKER

**GENERAL NOTE:**  
 EXISTING CEILINGS TO REMAIN UNLESS OTHERWISE NOTED.  
 ALL REMOVALS / DEMOLITIONS TO BE COORDINATED WITH MECHANICAL AND ELECTRICAL DRAWINGS PRIOR TO DEMOLITION START. FOR ADDITIONAL DEMOLITION, DOCUMENTS AND DETAILS SEE MECH AND ELEC. DWGS.  
 REFER TO ELECTRICAL DRAWINGS FOR EXTENT OF EMERGENCY LIGHTING AND OTHER FIRE ALARM AND EMERGENCY DEVICES TO BE REPLACED AND INSTALLED.  
 REFER TO ELECTRICAL DRAWINGS FOR EXTENT OF EMERGENCY LIGHTING AND OTHER FIRE ALARM AND EMERGENCY DEVICES TO BE REPLACED AND INSTALLED.  
 GC TO CAREFULLY REMOVE PORTION OF EXISTING ACOUSTIC CEILING TILES AND GRID AS REQUIRED FOR MECHANICAL AND ELECTRICAL WORK. STORE SAFELY ON SITE EXISTING TILES FOR RE-INSTALLATION.  
 RENOVATED AREAS TO BE THOROUGHLY CLEANED TO OWNER SATISFACTION. REMOVAL OF ALL CONSTRUCTION DUST, DEBRIS AND MATERIALS AS PER SPECIFICATION SECTION 01 74 11.  
 NOTE: ALL EXISTING CEILING HEIGHTS MAY VARY. FIELD VERIFY AS REQUIRED.



NO.	ISSUED FOR TENDER	DESCRIPTION	03/14/25
			DATE

DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE CONSULTANTS.



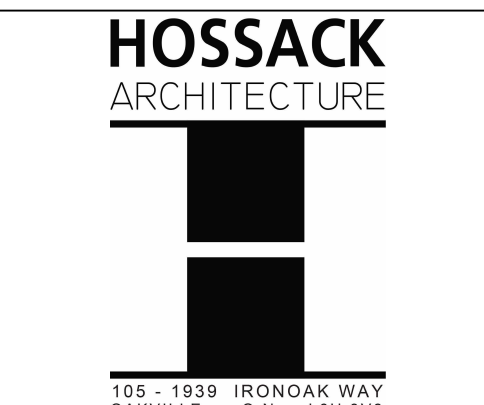
**ASCENSION CATHOLIC ELEMENTARY SCHOOL INTERIOR RENOVATION**

8205 NEW STREET, BURLINGTON ON L7L 1V3



802 DURURY LANE, (905) 632-6300  
 BURLINGTON, ON L7R 2Y2. ahrhams@hcsdb.org

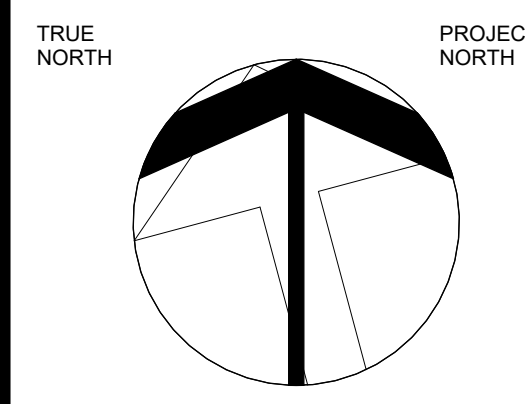
**GROUND FLOOR RCP**



153 - 1938 IRON OAK WAY  
 SUITE 1111, O. B. L. 10th FLOOR  
 (905) 818-8334 ext 200@hossackarch.com

SCALE	1 : 100	PROJECT	24137
DATE	MARCH 2025	DRAWING	AM
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PRINT DATE	3/13/2025 3:03:01 PM		
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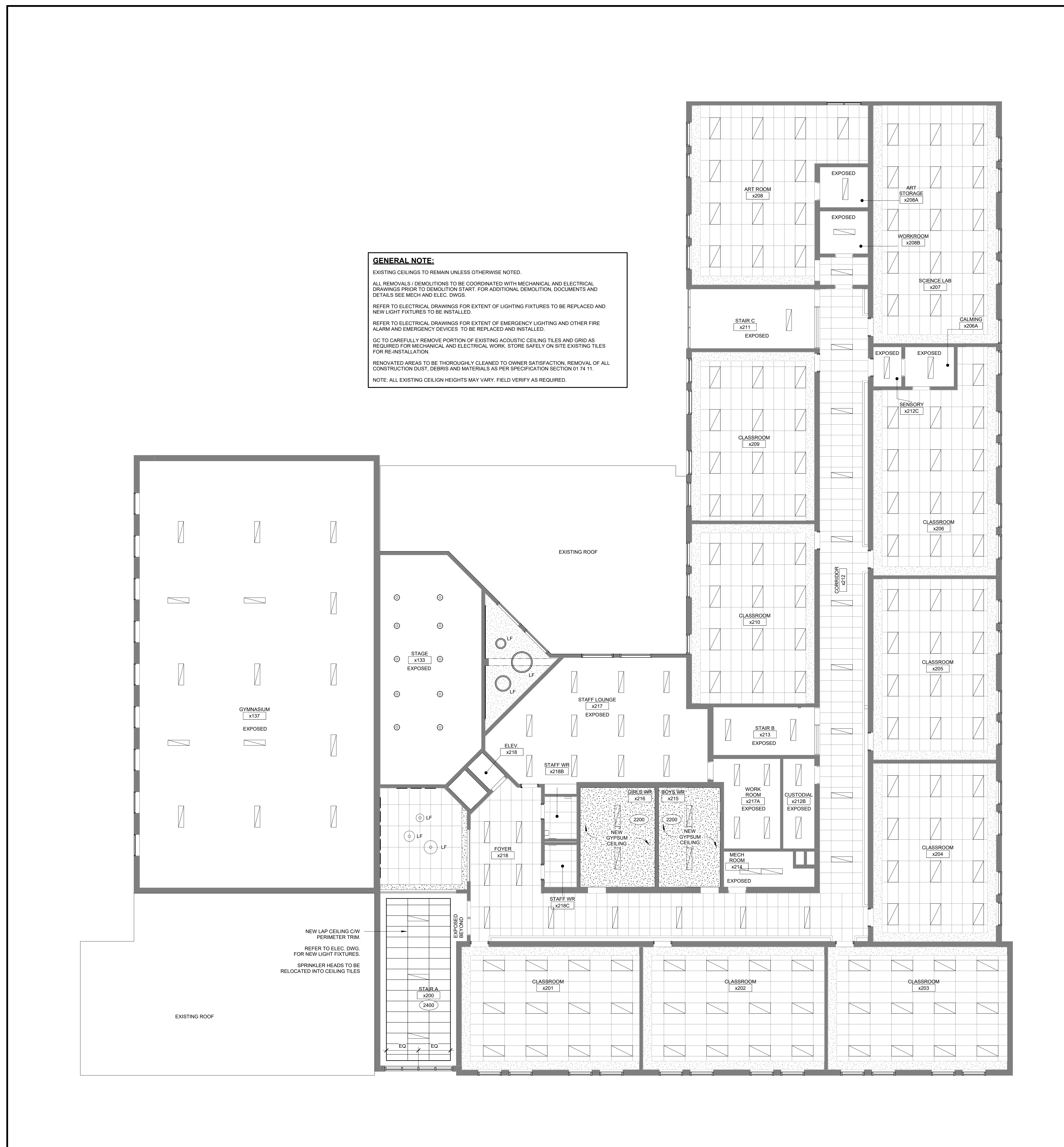
**1 GROUND FLOOR - REFLECTED CEILING PLAN**  
 SCALE: 1 : 100



**RCP LEGEND**

- EXISTING PORTIONS OF THE BUILDING NOT PART OF THE SCOPE OF WORK
- EXISTING WALLS TO REMAIN
- LIGHT FIXTURE REFER TO LIGHTING PLANS/LIGHTING SCHEDULES FOR TYPE
- FLUSH MOUNTED LIGHT FIXTURE REFER TO LIGHTING PLANS/LIGHTING SCHEDULES FOR TYPE
- EXISTING LAY IN ACOUSTIC CEILING PANELS UNLESS OTHERWISE NOTED REFER TO SPECS FOR TYPE OF NEW PANELS.
- SUPPLY DIFFUSER
- RETURN DIFFUSER
- RADIANT PANEL
- GYPSUM BOARD CEILING AND/OR GYPSUM BOARD BULKHEAD
- LIGHT FIXTURE, FOR TYPE AND MOUNTING SEE ELEC. DWGS
- LIGHT FIXTURE, FOR TYPE AND MOUNTING SEE ELEC. DWGS
- CEILING HEIGHT FROM FINISHED FLOOR
- GYPSUM BOARD BULKHEAD
- SPRINKLER HEAD
- WIFI
- PA SPEAKER

**GENERAL NOTE:**  
 EXISTING CEILINGS TO REMAIN UNLESS OTHERWISE NOTED.  
 ALL REMOVALS / DEMOLITIONS TO BE COORDINATED WITH MECHANICAL AND ELECTRICAL DRAWINGS PRIOR TO DEMOLITION START. FOR ADDITIONAL DEMOLITION, DOCUMENTS AND DETAILS SEE MECH AND ELEC. DWGS.  
 REFER TO ELECTRICAL DRAWINGS FOR EXTENT OF LIGHTING FIXTURES TO BE REPLACED AND NEW LIGHT FIXTURES TO BE INSTALLED.  
 REFER TO ELECTRICAL DRAWINGS FOR EXTENT OF EMERGENCY LIGHTING AND OTHER FIRE ALARM AND EMERGENCY DEVICES TO BE REPLACED AND INSTALLED.  
 GO TO CAREFULLY REMOVE PORTION OF EXISTING ACOUSTIC CEILING TILES AND GRID AS REQUIRED FOR MECHANICAL AND ELECTRICAL WORK. STORE SAFELY ON SITE. EXISTING TILES FOR RE-INSTALLATION.  
 RENOVATED AREAS TO BE THOROUGHLY CLEANED TO OWNER SATISFACTION. REMOVAL OF ALL CONSTRUCTION DUST, DEBRIS AND MATERIALS AS PER SPECIFICATION SECTION 01 74 11.  
 NOTE: ALL EXISTING CEILING HEIGHTS MAY VARY. FIELD VERIFY AS REQUIRED.

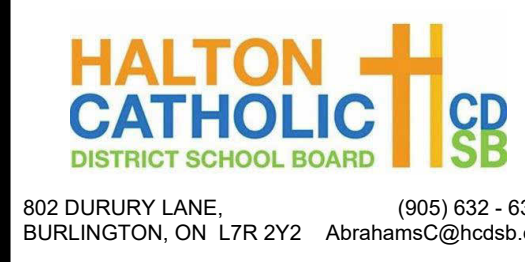


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DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT. ANY DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE CONSULTANTS.

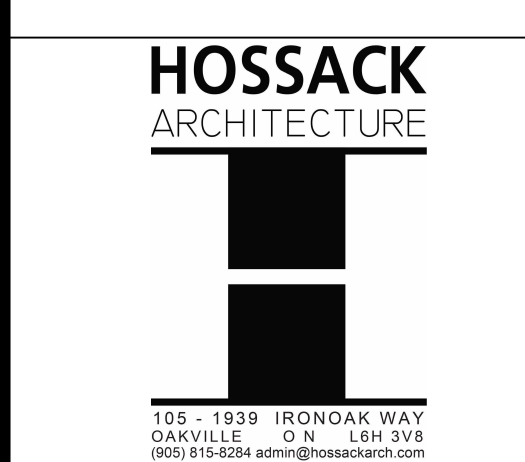


**ASCENSION CATHOLIC ELEMENTARY SCHOOL INTERIOR RENOVATION**  
 8205 NEW STREET, BURLINGTON ON L7L 1V3



802 DURURY LANE, (905) 632-6300  
 BURLINGTON, ON L7R 2Y2. ahr@hcsd.on.ca

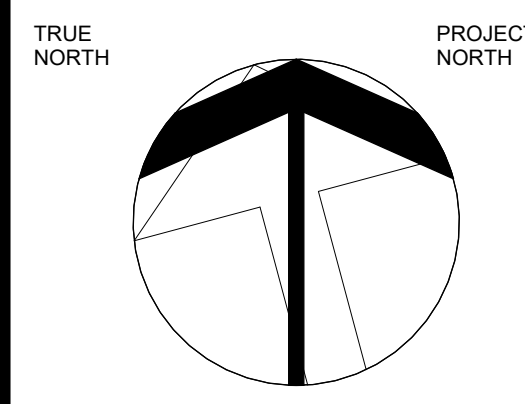
**SECOND FLOOR RCP**



SCALE	1 : 100	PROJECT	24137
DATE	MARCH 2025	DRAWING	AM
DRAWN	PL	CHECKED	PL
PRINT DATE	3/13/2025 3:03:02 PM	REVIT FILE	T:\2016\1512102RwR\RYT

1 SECOND FLOOR - REFLECTED CEILING PLAN  
 SCALE: 1 : 100





**LEGEND - DEMOLITION**

- EXISTING PORTIONS OF THE BUILDING NOT PART OF THE SCOPE OF WORK
- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE DEMOLISHED. REFER TO DEMOLITION PLANS AND NOTES
- EXISTING PARTITIONS TO BE DEMOLISHED. REFER TO DEMOLITION PLANS AND NOTES
- EXISTING ACB ALUMINUM COMPOSITE PANEL TO BE REMOVED. REFER TO DEMOLITION ELEVATIONS AND NOTES
- EXISTING CONCRETE SLAB ON GRADE AND SUB-BASE TO BE REMOVED. REFER TO DEMOLITION PLANS AND NOTES
- EXISTING RUBBER TILE TO BE DEMOLISHED AND SUB-BASE TO BE REMOVED. REFER TO DEMOLITION PLANS AND NOTES
- EXISTING PORCELAIN CERAMIC TILE TO BE REMOVED AND SUB-BASE TO BE REMOVED. REFER TO DEMOLITION PLANS AND NOTES
- EXISTING VINYL COMPOSITE TILE (VCT) TO BE DEMOLISHED AND SUB-BASE TO BE REMOVED. REFER TO DEMOLITION PLANS AND NOTES
- EXISTING TERRAZZO TO BE DEMOLISHED AND SUB-BASE TO BE REMOVED. REFER TO DEMOLITION PLANS AND NOTES
- EXISTING PORCELAIN CERAMIC TILE TO REMAIN AND RECEIVE CLEANING PROTOCOL. REFER TO PLANS AND SPECIFICATIONS.

**ABBREVIATION LEGEND**

- BP SHOWER FREE PUSH BUTTON
- CB CONCRETE BLOCK
- CL CONTROL POINT
- CU CABINET UNDER
- CS CONCRETE SINK
- CS CONCRETE SINK
- FD FLOOR DRAIN
- GS GRADE SINK
- GRS GRADE SINK SHAPED
- HD HAND DRAIN
- HT HATCH
- M MIRROR
- P PAINT
- PTD PORCELAIN TILE
- PTD PAPER TOWEL DISPENSER
- RF ROOF FAN
- RI RUBBER BASE
- RL RAINWATER LEADER
- SD SOAP DISPENSER
- SE SHEET METAL DUCTWORK
- TRD TRAY
- VCT VINYL COMPOSITE TILE

NO.	ISSUED FOR TENDER	DATE
		03/14/25

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE CONSULTANTS.



CERTIFICATE OF PRACTICE #4292

**ASCENSION CATHOLIC ELEMENTARY SCHOOL INTERIOR RENOVATION**

5205 NEW STREET, BURLINGTON ON L7L 1V3



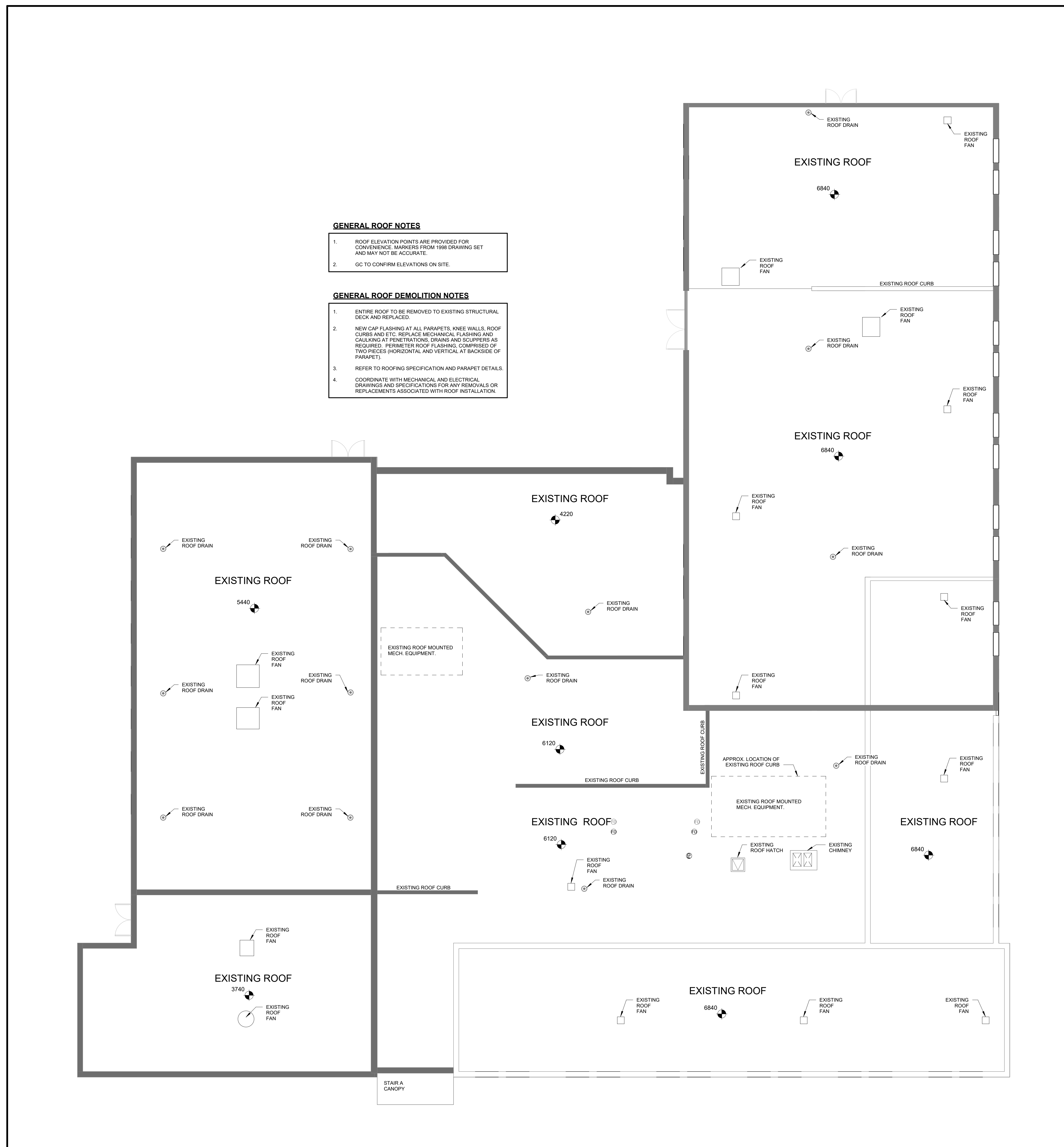
802 DURURY LANE, (905) 632-6300  
BURLINGTON, ON L7R 2Y2, Abrahams@hcsdb.org

**ROOF PLAN**



153 - 1938 IRON OAK WAY  
SCARVILLE, ON L5H 1Y8  
(905) 818-4334 ext#7@hossackarch.com

SCALE	PROJECT
As Indicated	24137
DATE	DRAWING
MARCH 2025	AM
DRAWN	PL
CHECKED	A08
PRINT DATE	3/13/2025 3:03:03 PM
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- GENERAL ROOF NOTES**
- ROOF ELEVATION POINTS ARE PROVIDED FOR CONVENIENCE. MARKERS FROM 1998 DRAWING SET AND MAY NOT BE ACCURATE.
  - GC TO CONFIRM ELEVATIONS ON SITE.
- GENERAL ROOF DEMOLITION NOTES**
- ENTIRE ROOF TO BE REMOVED TO EXISTING STRUCTURAL DECK AND REPLACED.
  - NEW CAP FLASHING AT ALL PARAPETS, KNEE WALLS, ROOF CURBS AND ETC. REPLACE MECHANICAL FLASHING AND CAULKING AT PENETRATIONS, DRAINS AND SCUPPERS AS REQUIRED. PERIMETER ROOF FLASHING, COMPRISED OF TWO PIECES (HORIZONTAL AND VERTICAL AT BACKSIDE OF PARAPET).
  - REFER TO ROOFING SPECIFICATION AND PARAPET DETAILS.
  - COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR ANY REMOVALS OR REPLACEMENTS ASSOCIATED WITH ROOF INSTALLATION.

1 ROOF PLAN  
SCALE: 1:100  
A08

**SELECT DEMOLITION - SEPARATE PRICE**

- SP1 REMOVE DOOR FOR NEW DOOR. REFER TO DOOR SCHEDULE. EXISTING HM FRAME TO REMAIN. CLEAN, SAND & PREPARE FOR NEW PAINT. REFER TO FINISH SCHEDULE AND SPEC. FOR MATERIAL AND COLOUR.
- SP2 REMOVE AND DISPOSE DAMAGED EXTERIOR HM DOOR AND FRAME. REFER TO DOOR SCHEDULE. MAKE GOOD OPENING FOR NEW HM DOOR AND FRAME.
- SP3 EXISTING HM FRAME TO REMAIN. CLEAN, SAND & PREPARE FOR NEW PAINT. REFER TO FINISH SCHEDULE AND SPEC.

**SELECT CONSTRUCTION - SEPARATE PRICE**

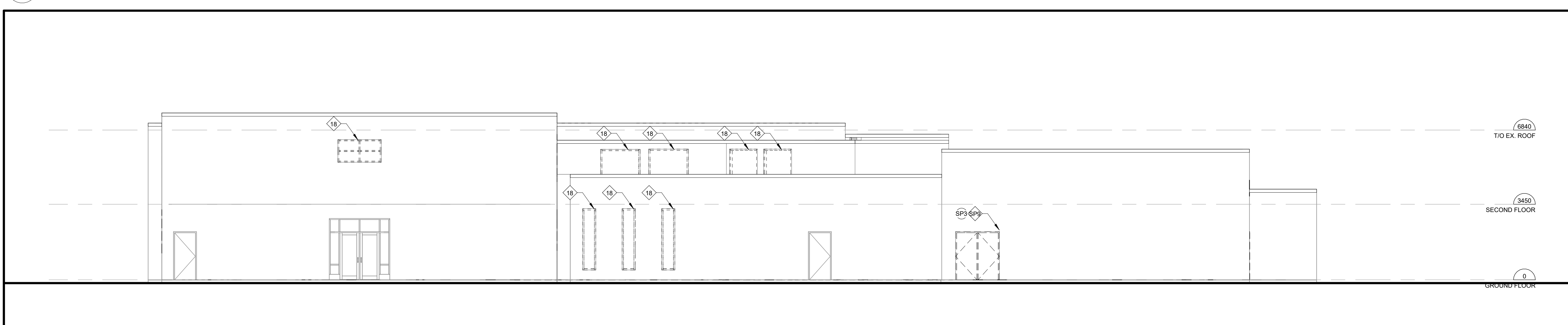
- SP1 SUPPLY AND INSTALL NEW INTERIOR WOOD DOOR AND HARDWARE INTO EXISTING FRAMES. REFER TO DOOR SCHEDULE. GC TO SITE MEASURE EXISTING DOOR AND OPENING PRIOR TO FABRICATION.
- SP2 SUPPLY AND INSTALL NEW EXTERIOR HM DOOR AND FRAMES CW/ HARDWARE. REFER TO DOOR SCHEDULE.

**DEMOLITION PLAN NOTES**

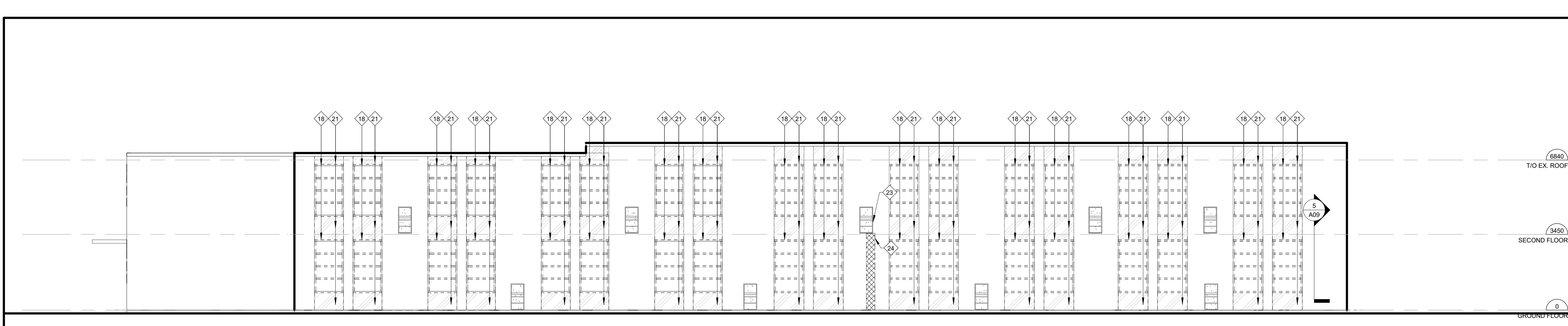
GC IS TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.  
 ALL REMOVALS AND DEMOLITION TO BE COORDINATED WITH STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS PRIOR TO DEMOLITION START. FOR ADDITIONAL DEMOLITION DOCUMENTS AND DETAILS SEE STRUCTURAL, MECH. AND ELECT. DWGS.  
 GENERAL CONTRACTOR TO REVIEW DOOR SCHEDULE AND FLOOR PLANS FOR EXTENT OF SANDING, FILLING AND REPAINTING EXISTING FRAMES TYP.  
 GENERAL CONTRACTOR TO X-RAY ALL EXISTING CONCRETE FLOOR SLABS AND ROOF ASSEMBLY AS REQUIRED PRIOR TO DEMOLITION CORING. SEE SPECIFICATIONS.  
 RENOVATED AREAS TO BE THOROUGHLY CLEANED TO OWNER SATISFACTION. REMOVAL OF ALL CONSTRUCTION DUST, DEBRIS AND MATERIALS AS PER SPECIFICATION SECTION 01 74 11.  
**GENERAL CONTRACTOR IS RESPONSIBLE TO REVIEW ASBESTOS REPORT IN SPECIFICATION FOR EXTENT OF ALL DESIGNATED SUBSTANCE AND HAZARDOUS MATERIALS SURVEYS AND EXTENT OF ABATEMENT WORK.**

- 1 REMOVE EXISTING WASHROOM PARTITIONS, HARDWARE, FASTENERS, TOILET PAPER DISPENSERS, GRAB BARS, ETC. PATCH AND MAKE GOOD ALL WALLS AS REQUIRED FOR NEW WALL FINISH. PREPARE EXISTING CONCRETE BLOCK AND FLOOR FINISH FOR NEW PARTITIONS AND INSTALLATION OF NEW FITMENTS. SEE SPEC AND PROPOSED FLOOR PLAN. REFER TO MECH. DWGS.
- 2 CONTRACTOR TO REMOVE EXISTING TOILET, AND URINALS. CONTRACTOR TO HAND OVER TO OWNER. CAP ALL ASSOCIATED PLUMBING AND PREPARE CONCRETE FLOOR FOR NEW FINISH. REFER TO MECHANICAL DRAWINGS.
- 3 CONTRACTOR TO REMOVE AND DISPOSE EXISTING BRADLEY, SINK, RECESSED BIN, HAND DRYER, MIRRORS AND ADJACENT SOAP DISPENSERS, ETC. PATCH AND MAKE GOOD ALL WALLS AS REQUIRED. REFER TO MECH. AND ELECT. DWGS.
- 4 REMOVE EXISTING WALL TILE, GROUT, MORTAR/MASTIC, ETC. ON WALLS IN **ENTIRE ROOM**. PREPARE ALL EXISTING CONCRETE WALLS FOR NEW FINISH (INCLUDING PATCHING, ETC). REFER TO FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE.
- 5 REMOVE EXISTING FLOORING, GLUE, BASEBOARD, ETC. IN **ENTIRE ROOM**. PREPARE ALL EXISTING CONCRETE FLOOR SLABS FOR NEW FINISH (INCLUDING PATCHING, LEVELING, SKIM-COATING, ETC). REFER TO FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE. ENSURE NEW FLOOR FINISH IS LEVEL / SEAMLESS IN HEIGHT BETWEEN EXISTING ADJACENT FLOOR FINISHES (NO TRANSITIONS). CONTRACTOR TO REMOVE EXISTING MILLWORK, BENCHES & SHELVING AS REQUIRED FOR THE DEMOLITION OF EXISTING FLOORING. CONTRACTOR TO STORE IN SAFE PLACE AND REINSTALL UPON INSTALLATION OF NEW FLOORING.
- 6 REMOVE EXISTING CERAMIC TILE, MASTIC AND MORTAR BED, INCLUDING BASEBOARDS, ETC. IN WASHROOM AND CORRIDOR. PREPARE ALL EXISTING CONCRETE FLOOR SLABS FOR NEW FINISH (INCLUDING PATCHING, LEVELING, SKIM-COATING, ETC). REFER TO DRAWING FOR EXTENTS. REFER TO FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE. ENSURE NEW FLOOR FINISH IS LEVEL / SEAMLESS IN HEIGHT BETWEEN EXISTING ADJACENT FLOOR FINISHES (NO TRANSITIONS).
- 7 REMOVE EXISTING VCT AND RUBBER TILE, GLUE, BASEBOARD, ETC. IN STAIRS INCLUDING RISERS AND TREADS. PREPARE ALL EXISTING CONCRETE FOR NEW FINISH (INCLUDING PATCHING, LEVELING, SKIM-COATING, ETC). FLOORING ON GROUND FLOOR TO REMAIN. REFER TO DRAWING FOR EXTENTS. REFER TO FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE. ENSURE NEW FLOOR FINISH IS LEVEL / SEAMLESS IN HEIGHT BETWEEN EXISTING ADJACENT FLOOR FINISHES (NO TRANSITIONS).
- 8 EXISTING 150mm CONCRETE SLAB ON GRADE AND GRANULAR SUBBASE OR 200mm REINFORCED CONC. SECOND FLOOR TO BE CUT AS REQUIRED TO SUIT PLUMBING WORK. TYPICAL FOR ALL AREA SHOWN IN HATCH INDICATED. REFER TO MECHANICAL DRAWINGS. EXACT EXTENT TO BE CONFIRMED ON SITE.
- 9 CONTRACTOR TO REMOVE EXISTING LOCKER BANKS, EXISTING CONCRETE BASE TO REMAIN. PATCH AND MAKE GOOD EXISTING WALL, BULKHEAD AND FLOOR AS REQUIRED FOR THE INSTALLATION OF NEW LOCKERS.
- 10 CONTRACTOR TO PATCH WALL PRIME AND REPAINT. CONTRACTOR TO REMOVE ALL WALL SURFACE MOUNTED ITEMS, DEVICES, CASES, FACE PLATES, FIXTURES AND ETC. AS REQUIRED TO COMPLETE PAINTING. GRILLS AND RADIATORS TO BE PAINTED TO MATCH. GYMNASIUM WALL MURAL TO REMAIN. CONTRACTOR TO REMOVE LIBRARY MILLWORK AS REQUIRED PRIOR TO PAINTING AND REINSTALL. REFER TO FINISH SCHEDULE AND SPEC. FOR NEW FINISH.
- 11 GYMNASIUM CEILING AND STRUCTURAL BULKHEADS TO BE PRIMED AND PAINTED. CONTRACTOR TO ENSURE WOOD GYMNASIUM FLOOR AND SCORE BOARD IS ADEQUATELY COVERED AND PROTECTED DURING CONSTRUCTION WORKS. CONTRACTOR TO REMOVE AND STORE WALL MATS IN SAFE PLACE AND REINSTALL AFTER COMPLETION OF PAINTING. CONTRACTOR TO COORDINATE LIGHTING UPGRADE WITH ELECTRICAL DRAWINGS.
- 12 CONTRACTOR TO REMOVE WALL MOUNTED ART, INCLUDING ANY GLUE OR FASTENERS. PATCH AND MAKE GOOD ALL WALLS AS REQUIRED. PRIME AND PAINT WALL SURFACE AS REQUIRED. REFER TO FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE.
- 13 REMOVE EXISTING HM DOOR ASSEMBLY, HARDWARE AND HM FRAME AT WASHROOMS. LINTEL AND ADJACENT BLOCK WALL ABOVE TO REMAIN. PATCH AND MAKE GOOD EXISTING WALL AND SMOOTH EDGES INTO BULLNOSE AT BOTH SIDES OF EXISTING BLOCK. REMOVE TERRAZO BASE EXTENDING INTO DOOR OPENING TO BE REPLACED BY WASHROOM FLOOR FINISH. REFER TO ROOM FINISH SCHEDULE.
- 14 REMOVE EXISTING METAL STUD WALL, ALONG WITH WALL TILES, MASTIC, GROUT AND ALL MILLWORK FINISHES AND ELECTRICAL CONDUITS COMPLETELY FOR NEW INTERIOR MILLWORK FITMENTS. EXISTING STUDENT SUCCESS PLAQUE TO BE REMOVED AND RELOCATED. REFER TO INTERIOR ELEVATIONS.
- 15 REMOVE EXISTING JZ69AZ22, MORTAR BED, ETC. TO NEAREST FULL ALUMINUM JOINT IN FORUM. REFER TO DEMO FLOOR PLAN FOR EXTENTS. PREPARE ALL EXISTING CONCRETE FLOOR SLABS FOR NEW FINISH (INCLUDING PATCHING, LEVELING, SKIM-COATING, ETC). REFER TO DRAWING FOR EXTENTS. REFER TO FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE.
- 16 REMOVE EXISTING BARRIER FREE PUSH BUTTON AND ASSOCIATED CONDUIT AND WIRING. REFER TO ELEC DWGS. CONTRACTOR TO STORE IN SAFE PLACE. REFER TO PROPOSED PLAN FOR RELOCATED BFP.
- 17 EXISTING ACCENT PORCELAIN / CERAMIC TILE ON TREADS AND RISERS TO REMAIN IN FORUM. CONTRACTOR TO PERFORM A DEEP CLEANING PROTOCOL ON GROUT AND TILE TO REFRESH APPEARANCE AND ORIGINAL COLOUR. REFER TO SPECIFICATIONS.
- 18 REMOVE AND DISPOSE OF EXTERIOR WINDOW, FLASHING, FRAMING AND PLASTIC LAMINATE WINDOW SILL. TYPICAL MAKE GOOD OPENING FOR NEW WINDOW. REFER TO WINDOW SCHEDULE FOR PROPOSED GLAZING. CONTRACTOR TO SITE MEASURE PRIOR TO FABRICATION OF NEW WINDOWS.
- 19 EXISTING WINDOW COVERING TO BE CAREFULLY REMOVED AND SAFELY STORED ON SITE FOR RE-INSTALLATION. DAMAGED WINDOW COVERINGS TO BE REPLACED WITH SIMILAR PRODUCT AND STYLE.
- 20 REMOVE WOOD BLOCKING AT LOWER WINDOW PANE. COORDINATE CONDITIONS TO CONSULTANT TO REVIEW APPROPRIATE APPROACH FOR INSTALLATION OF NEW WINDOW. SITE VERIFY CONDITIONS PRIOR TO FABRICATION.
- 21 EXISTING ALUMINUM COMPOSITE PANEL AND CAP FLASHING TO BE REMOVED AS WELL AS ANY SUBSTRATE, GIRTS, FASTENERS OR GLUE AND MAKE GOOD EXISTING CONC. BLOCK FOR NEW GIRTS AND ALUMINUM COMPOSITE PANEL REPLACEMENT.
- 22 REMOVE AND DISPOSE OF EXTERIOR GLASS BLOCK WINDOW INCLUDING FRAMING, FLASHING AND WINDOW SILL. MAKE GOOD OPENING FOR NEW WINDOW.
- 23 EXISTING UNIT VENTILATOR GRILLES TO HAVE CONDENSATION DRAINAGE REROUTED TO LOWER UNIT DRAINAGE LOCATIONS. REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS.
- 24 CONTRACTOR TO CLEAN BRICK FREE FROM SURFACE STAINS DUE TO EXISTING UNIT VENTILATOR CONDENSATION DRAINAGE. BRICK APPEARANCE TO MEET BOARDS SATISFACTION. REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS.

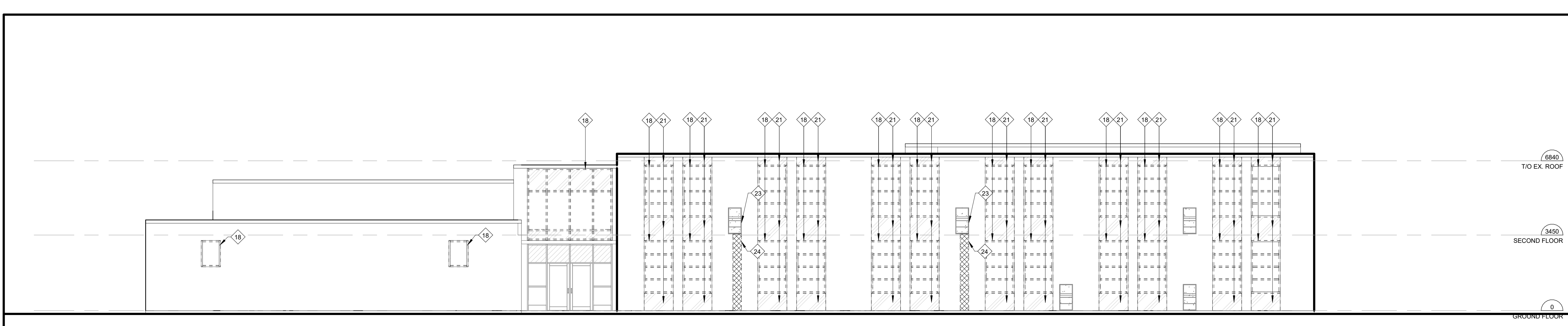
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SCALE: 1:100



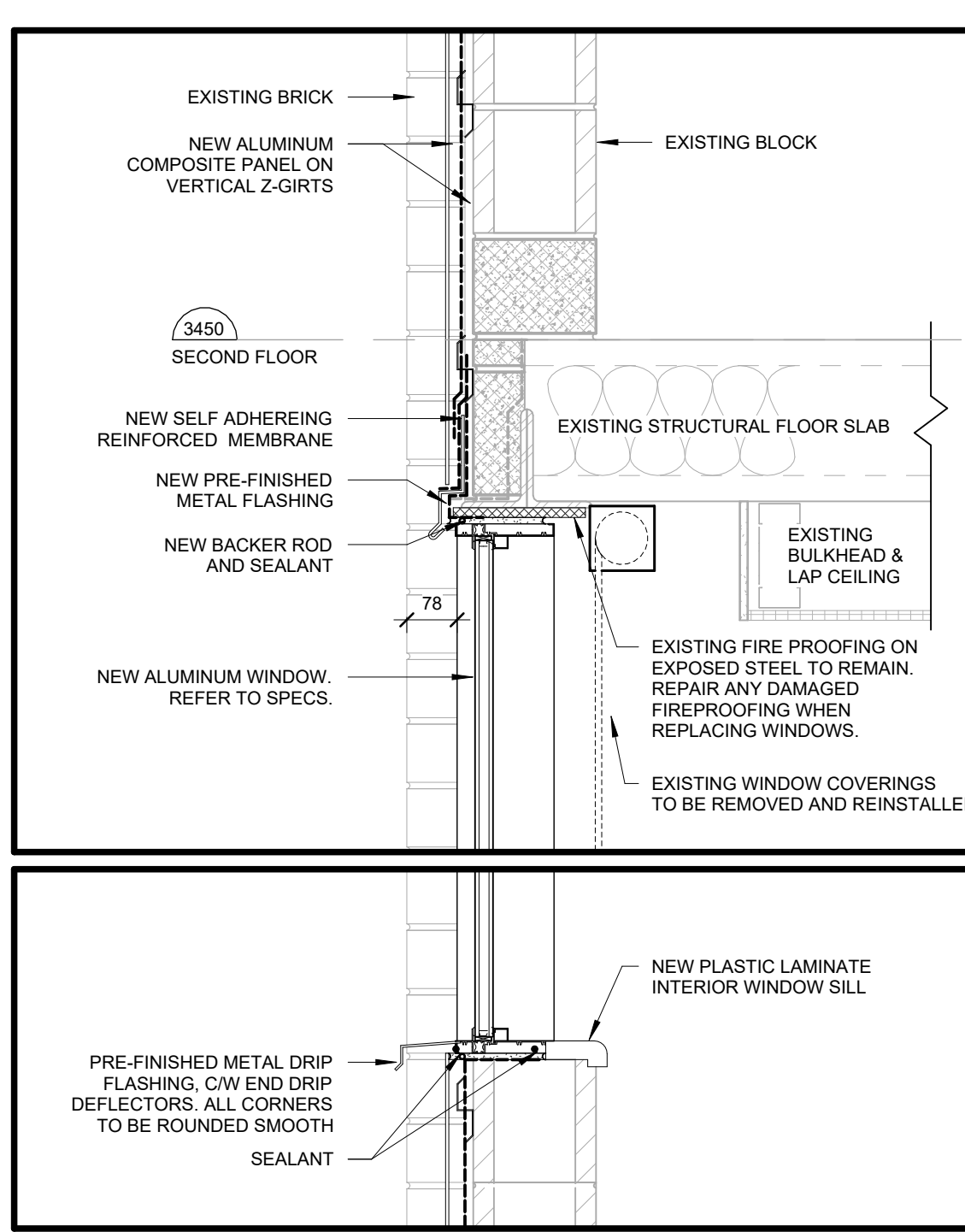
**2 BUILDING ELEVATION - EAST**  
SCALE: 1:100



**3 BUILDING ELEVATION - SOUTH**  
SCALE: 1:100



**4 BUILDING ELEVATION - WEST**  
SCALE: 1:100



**5 TYP. WINDOW SECTION DETAIL**  
SCALE: 1:10

**LEGEND - DEMOLITION**

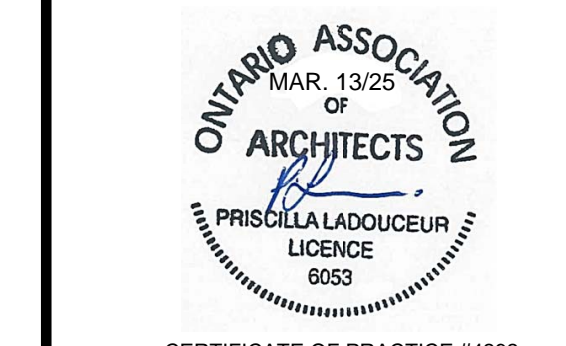
- EXISTING PORTIONS OF THE BUILDING NOT PART OF THE SCOPE OF WORK
- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE DEMOLISHED. REFER TO DEMOLITION PLANS AND NOTES
- EXISTING PARTITIONS TO BE DEMOLISHED. REFER TO DEMOLITION PLANS AND NOTES
- EXISTING ACC. ALUMINUM COMPOSITE PANEL. ELEMENTS AND NOTES
- EXISTING CONCRETE SLAB ON GRADE AND SUB-BASE TO BE DEMOLISHED. REFER TO DEMOLITION PLANS AND NOTES
- EXISTING RUBBER TILE TO BE DEMOLISHED AND REPAIRED. REFER TO DEMOLITION PLANS AND NOTES
- EXISTING PORCELAIN / CERAMIC TILE TO BE DEMOLISHED AND SUB-BASE TO BE DEMOLISHED. REFER TO DEMOLITION PLANS AND NOTES
- EXISTING VINYL COMPOSITE TILE (VCT) TO BE DEMOLISHED AND SUB-BASE TO BE DEMOLISHED. REFER TO DEMOLITION PLANS AND NOTES
- EXISTING TERRAZZO TO BE DEMOLISHED AND SUB-BASE TO BE DEMOLISHED. REFER TO DEMOLITION PLANS AND NOTES
- EXISTING PORCELAIN / CERAMIC TILE TO REMAIN AND RECEIVE CLEANING PROTOCOL. REFER TO PLANS AND SPECIFICATIONS.

**ABBREVIATION LEGEND**

- BFP BARRIER FREE PUSH BUTTON
- CB CONCRETE BLOCK
- CL CONTROL JOINT
- CS CONCRETE SINK
- CS CONCRETE CURB
- FD FLOOR DEBRIS
- GB GRAB BAR
- GL GRAB BAR T1 SHAPED HAND GRIP
- HM HM DOOR
- M MIRROR
- PAINT
- PC PORCELAIN TILE
- PTD PAPER TOWEL DISPENSER
- RF RUBBER FLASHING
- RS RUBBER BASE
- RSB RUBBER STRIP
- SD SOAP DISPENSER
- SH SHOWER HEAD
- STO SANITARY TOWEL DISPOSAL
- TCT VINYL COMPOSITE TILE

ISSUED FOR TENDER 03/14/25  
 NO. DESCRIPTION DATE

DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT, AND MUST REPORT ANY DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE CONSULTANTS.



CERTIFICATE OF PRACTICE #4292  
**ASCENSION CATHOLIC ELEMENTARY SCHOOL INTERIOR RENOVATION**

5205 NEW STREET, BURLINGTON ON L7L 1V3

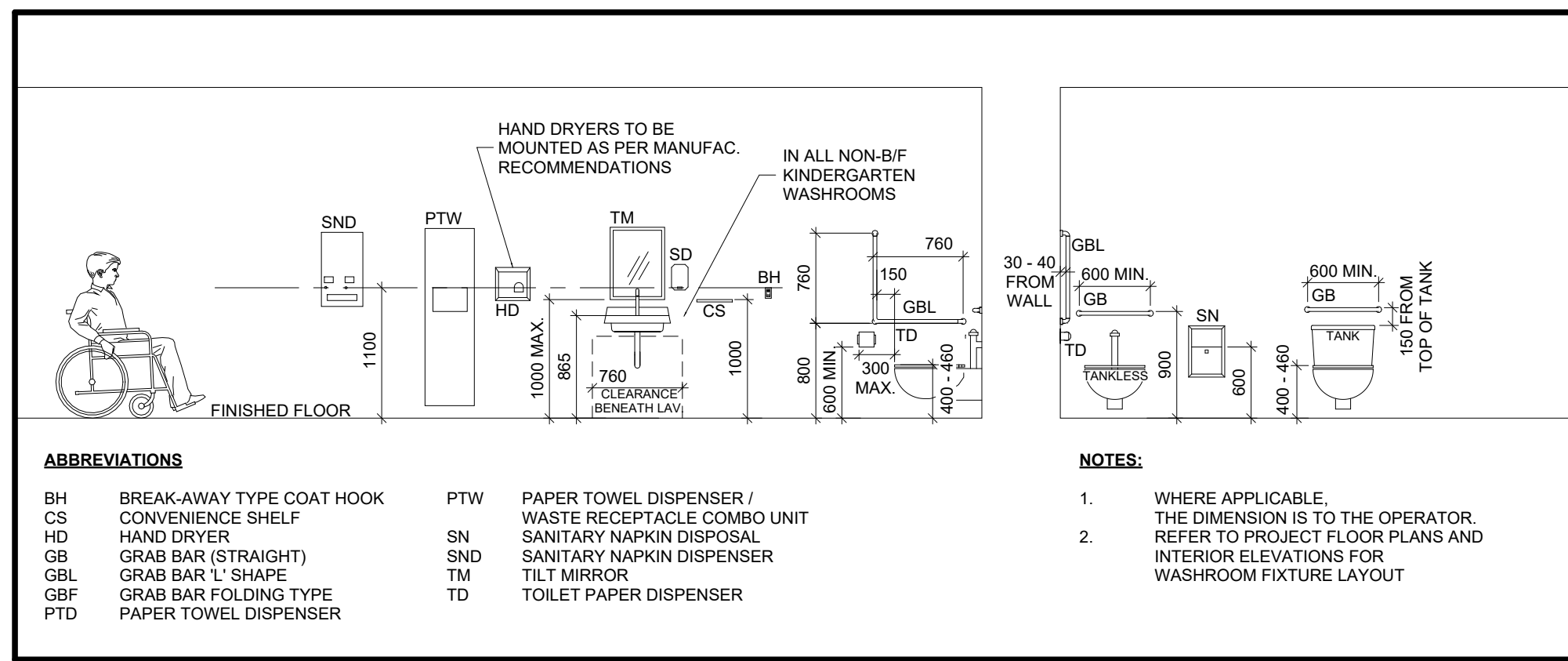


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**EXTERIOR BUILDING ELEVATIONS**



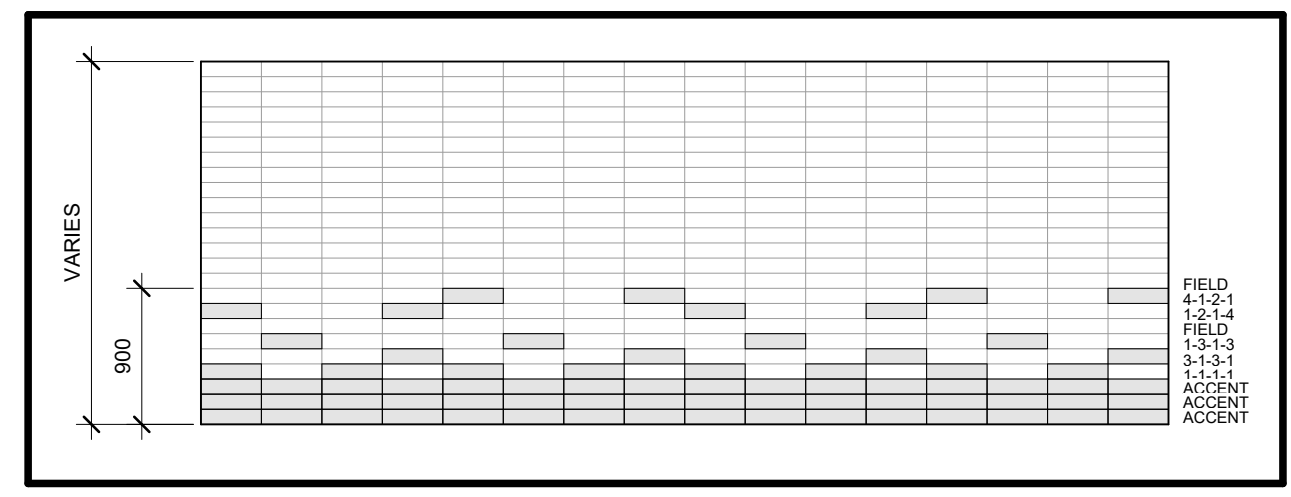
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As Indicated	24137
DATE	AM
MARCH 2025	PL
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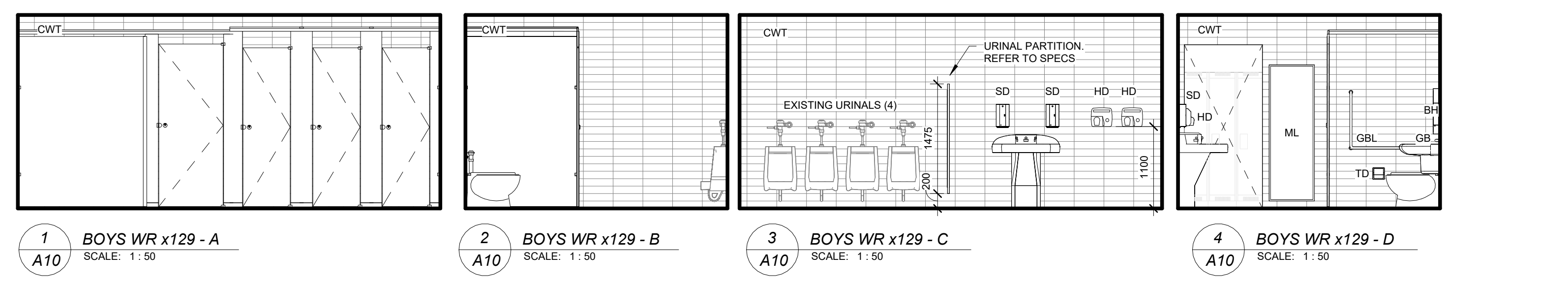
**ABBREVIATIONS**

BH	BREAK-AWAY TYPE COAT HOOK	PTW	PAPER TOWEL DISPENSER / WASTE RECEPTACLE COMBO UNIT
CS	CONVENIENCE SHELF	SN	SANITARY NAPKIN DISPOSAL
HD	HAND DRYER	SN	SANITARY NAPKIN DISPENSER
GB	GRAB BAR (STRAIGHT)	TM	TILE MIRROR
GBL	GRAB BAR "S" SHAPE	TD	TOILET PAPER DISPENSER
GBF	GRAB BAR FOLDING TYPE		
PFD	PAPER TOWEL DISPENSER		

**13 W/R FIXTURE MOUNTING HEIGHT**  
A10 SCALE: 1:50



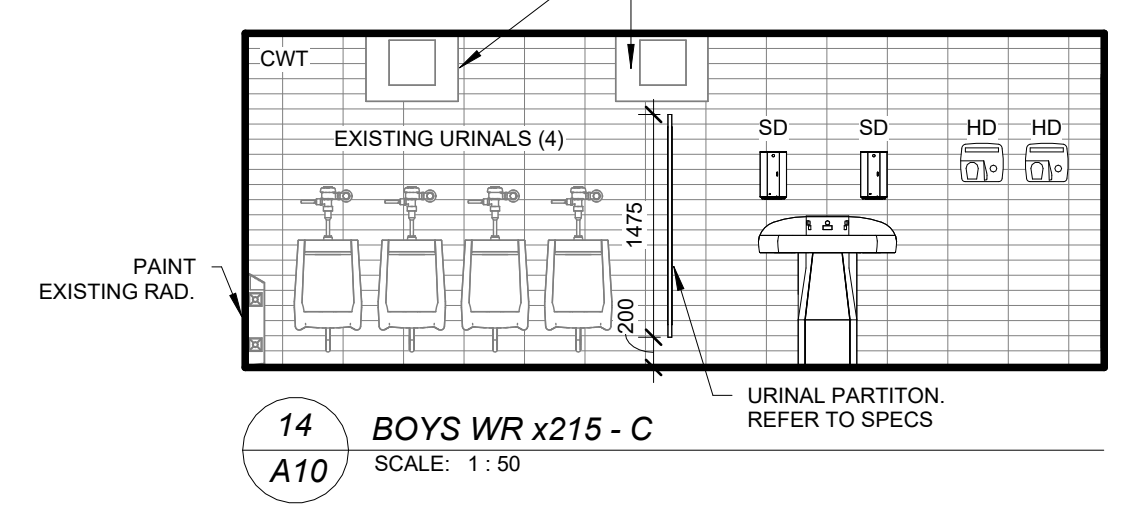
**TYP. WASHROOM CWT PATTERN**  
REFER TO SPECIFICATIONS FOR CWT TYPE AND SIZE



**1 BOYS WR x129 - A** SCALE: 1:50  
**2 BOYS WR x129 - B** SCALE: 1:50  
**3 BOYS WR x129 - C** SCALE: 1:50  
**4 BOYS WR x129 - D** SCALE: 1:50



**5 GIRLS WR x130 - A** SCALE: 1:50  
**6 GIRLS WR x130 - B** SCALE: 1:50  
**7 GIRLS WR x130 - C** SCALE: 1:50  
**8 GIRLS WR x130 - D** SCALE: 1:50



**14 BOYS WR x215 - C** SCALE: 1:50

**CONSTRUCTION NOTES**

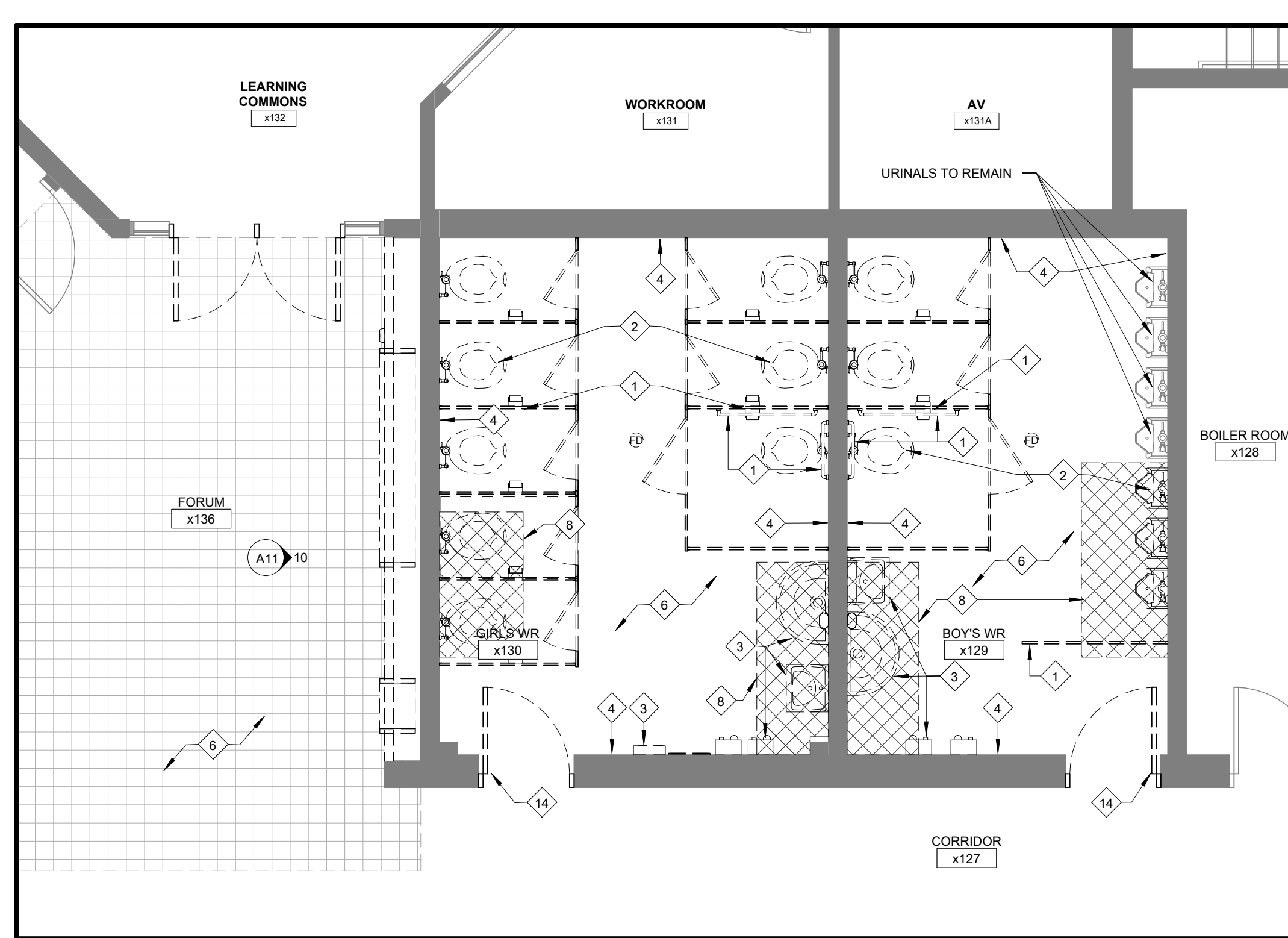
- GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION. DRAWINGS TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS.
- CONSTRUCTION NOTES TO BE READ IN CONJUNCTION WITH PROPOSED ELEVATIONS.
- CONTRACTOR TO REPAIR ALL EXISTING BLOCK WALLS AND PREPARE AND PAINT ALL EXISTING WALLS WITHIN CONSTRUCTION AREA (INCLUDING EXISTING CORRIDORS AFFECTED BY RENOVATION). SEE SPEC AND INTERIOR FINISH SCHEDULES.
- CONTRACTOR TO REMOVE ALL EXISTING MILLWORK TO ALLOW THE REMOVALS OF ALL EXISTING FLOORING AND BASE FINISH AS REQUIRED. CONTRACTOR TO REINSTALL EXISTING MILLWORK ONCE NEW FLOOR AND BASE ARE INSTALLED.
- CONTRACTOR TO COORDINATE OVERALL DOOR OPENINGS SHOWING ON THIS PLAN WITH REQUIRED DOOR LEAF WIDTH AND JAMB DETAIL AS DESCRIBED IN DOORS SCHEDULE.
- NEW SHEET FLOORING COMPLETE WITH WALL AND MILLWORK BASE. IN ENTIRE ROOM FEATHER FLOOR TO ENSURE SHEET FLOOR IS LEVEL AND TRANSITIONS SEAMLESSLY TO CORRIDOR AND ADJACENT ROOMS. APPROXIMATELY 2m x 2m. REFER TO ROOM FINISH SCHEDULE AND SPECIFICATIONS.
- NEW RUBBER TILE AT STAIRS, INCLUDING TREADS AND RISERS WITH WALL BASE. INSTALL NEW TACKLE INDICATORS AT TOP OF LANDING. SITE MEASURE PRIOR TO FABRICATION. REFER TO ROOM FINISH SCHEDULE AND SPECIFICATIONS.
- NEW PORCELAIN TILE FLOORING COMPLETE WITH TILE WALL BASE. FEATHER FLOOR TO ENSURE TILE IS LEVEL AND TRANSITIONS SEAMLESSLY WITH CORRIDOR TERRAZZO. APPROX. 2m DEEP. REFER TO ROOM FINISH SCHEDULE AND SPECIFICATIONS.
- NEW CERAMIC WALL TILE, GROUT, ETC. ON WALLS IN ENTIRE ROOM. REFER TO ROOM FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE.
- SUPPLY AND INSTALL NEW WASHROOM ACCESSORIES AND FIXTURES INCLUDING MIRRORS, SOAP DISPENSERS, TOILET PAPER DISPENSER, SANITARY NAPKIN DISPOSAL AND HAND DRYERS. REFER TO ELECTRICAL DRAWINGS.
- NEW FLOOR FINISH ON 150mm CONCRETE SLAB ON GRADE & COMPACTED GRANULAR SUB-BASE INFILL OR NEW FLOOR FINISH ON 200mm REINFORCED CONC. SECOND FLOOR. TYPICAL FOR ALL AREAS SHOWN IN HATCH INDICATED. NEW CONCRETE SLAB TO BE SLOPED MIN. 1% TO FLOOR DRAIN WHERE APPLICABLE. REFER TO ROOM FINISH SCHEDULE FOR FLOOR FINISHES. REFER TO MECH DWGS. AND SPECIFICATIONS.
- CONTRACTOR TO PATCH AND MAKE GOOD EXISTING WALL, SMOOTH EDGES AND MAKE BULLNOSE AT BOTH SIDES OF EXISTING BLOCK.
- CONTRACTOR TO PRIME AND PAINT ENTIRE WALL (CORNER TO CORNER) TO MATCH EXISTING.
- SCHOOL LOGO TO REMAIN. CONTRACTOR TO PAINT AROUND LOGO WITH CAUTION AND TOUCH UP THE MURAL EDGES AS NEEDED TO THE BOARD'S SATISFACTION.
- CONTRACTOR TO PAINT GYMNASIUM CEILING AND STRUCTURAL BULKHEADS. CONTRACTOR TO ENSURE WOOD GYMNASIUM FLOOR AND SCORE BOARD IS ADEQUATELY COVERED AND PROTECTED PRIOR TO PAINTING.
- SUPPLY AND INSTALL NEW LOCKERS ALONG WITH EXISTING BULKHEAD. ADD RUBBER BASE ALONG THE PERIMETER OF THE LOCKER BASE.
- NEW CATHOLIC DISPLAY FEATURE WALL. REFER TO INTERIOR ELEVATION AND MILLWORK DETAILS FOR ASSEMBLY, MATERIALS AND CONSTRUCTION. REFER TO SPECS FOR FINISH MATERIALS AND BASE.
- SUPPLY AND INSTALL ELECTROMAGNETIC HOLD OPEN DEVICE. REFER TO ELEC. DWGS AND SPEC.
- INSTALL RELOCATED BARRIER-FREE PUSH BUTTON. REFER TO ELEC. DWGS.
- SUPPLY AND INSTALL NEW WINDOWS. REFER TO WINDOW AND CURTAIN WALL SCHEDULE. RE-INSTALL EXISTING WINDOW COVERINGS. PROVIDE PLASTIC LAMINATE WINDOW SILL IN CLASSROOMS AND STAFF ROOMS.

**SELECT DEMOLITION - SEPARATE PRICE**

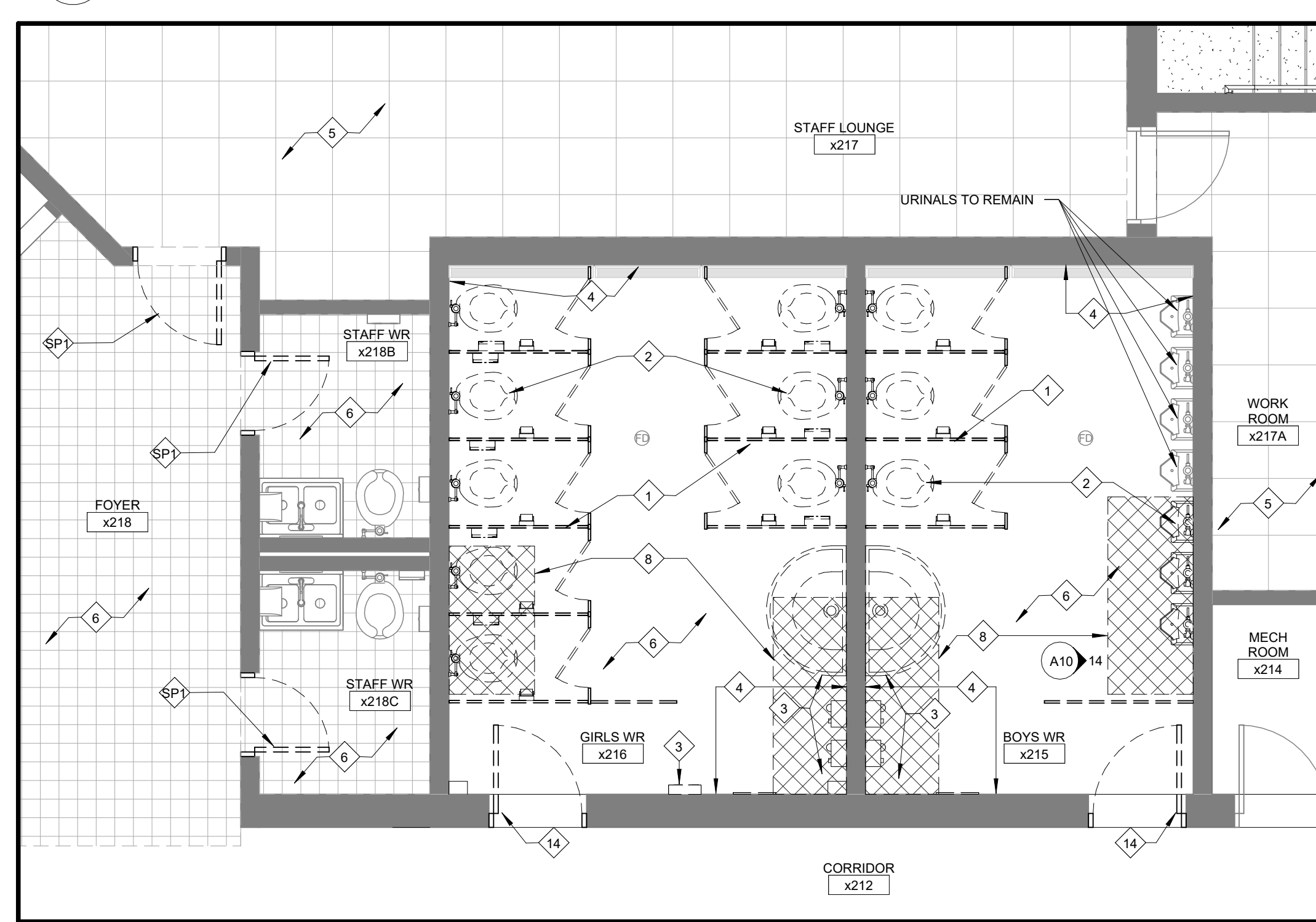
- REMOVE DOOR FOR NEW DOOR. REFER TO DOOR SCHEDULE. EXISTING HM FRAME TO REMAIN. CLEAN, SAND & PREPARE FOR NEW PAINT. REFER TO FINISH SCHEDULE AND SPEC. FOR MATERIAL AND COLOUR.
- REMOVE AND DISPOSE DAMAGED EXTERIOR HM DOOR AND FRAME. REFER TO DOOR SCHEDULE. MAKE GOOD OPENING FOR NEW HM DOOR AND FRAME.
- EXISTING HM FRAME TO REMAIN. CLEAN, SAND & PREPARE FOR NEW PAINT. REFER TO FINISH SCHEDULE AND SPEC.
- REMOVE EXISTING METAL STUD WALL, ALONG WITH WALL TILES, MASTIC, GROUT AND ALL MILLWORK FINISHES AND ELECTRICAL CONDUITS COMPLETELY FOR NEW INTERIOR MILLWORK FITMENTS. EXISTING STUDENT SUCCESS PLAQUE TO BE REMOVED AND RELOCATED. REFER TO INTERIOR ELEVATIONS.
- REMOVE EXISTING TERRAZZO MORTAR BED, ETC. TO NEAREST FULL ALUMINUM JOINT IN FORUM. REFER TO DEMO FLOOR PLAN FOR EXTENTS. PREPARE ALL EXISTING CONCRETE FLOOR SLABS FOR NEW FINISH (INCLUDING PATCHING, LEVELING, SKIM-COATING, ETC.). REFER TO DRAWING FOR EXTENTS. REFER TO FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE.
- REMOVE EXISTING BARRIER FREE PUSH BUTTON AND ASSOCIATED CONDUIT AND WIRING. REFER TO ELEC DWGS. CONTRACTOR TO STORE IN SAFE PLACE. REFER TO PROPOSED PLAN FOR RELOCATED BFP.
- EXISTING ACCENT PORCELAIN / CERAMIC TILE ON TREADS AND RISERS TO REMAIN IN FORUM. CONTRACTOR TO PERFORM A DEEP CLEANING PROTOCOL ON GROUT AND TILE TO REFRESH APPEARANCE AND ORIGINAL COLOUR. REFER TO SPECIFICATIONS.
- REMOVE AND DISPOSE OF EXTERIOR WINDOW, FLASHING, FRAMING AND PLASTIC LAMINATE WINDOW SILL. TYPICAL. MAKE GOOD OPENING FOR NEW WINDOW. REFER TO WINDOW SCHEDULE FOR PROPOSED GLAZING. CONTRACTOR TO SITE MEASURE PRIOR TO FABRICATION OF NEW WINDOWS.
- EXISTING WINDOW COVERING TO BE CAREFULLY REMOVED AND SAFELY STORED ON SITE FOR RE-INSTALLATION. DAMAGED WINDOW COVERINGS TO BE REPLACED WITH SIMILAR PRODUCT AND STYLE.
- REMOVE WOOD BLOCKING AT LOWER WINDOW PANE. COORDINATE CONDITIONS TO CONSULTANT TO REVIEW APPROPRIATE APPROACH FOR INSTALLATION OF NEW WINDOW. SITE VERIFY CONDITIONS PRIOR TO FABRICATION.
- EXISTING ALUMINUM COMPOSITE PANEL AND CAP FLASHING TO BE REMOVED AS WELL AS ANY SUBSTRATE, GIRTS, FASTENERS OR GLUE AND MAKE GOOD EXISTING CONC. BLOCK FOR NEW GIRTS AND ALUMINUM COMPOSITE PANEL REPLACEMENT.
- REMOVE AND DISPOSE OF EXTERIOR GLASS BLOCK WINDOW INCLUDING FRAMING, FLASHING AND WINDOW SILL. MAKE GOOD OPENING FOR NEW WINDOW.
- EXISTING UNIT VENTILATOR GRILLES TO HAVE CONDENSATION DRAINAGE REROUTED TO LOWER UNIT DRAINAGE LOCATIONS. REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS.
- CONTRACTOR TO CLEAN BRICK FREE FROM SURFACE STAINS DUE TO EXISTING UNIT VENTILATOR CONDENSATION DRAINAGE. BRICK APPEARANCE TO MEET BOARD'S SATISFACTION. REFER TO EXTERIOR ELEVATIONS FOR LOCATIONS.

**DEMOLITION PLAN NOTES**

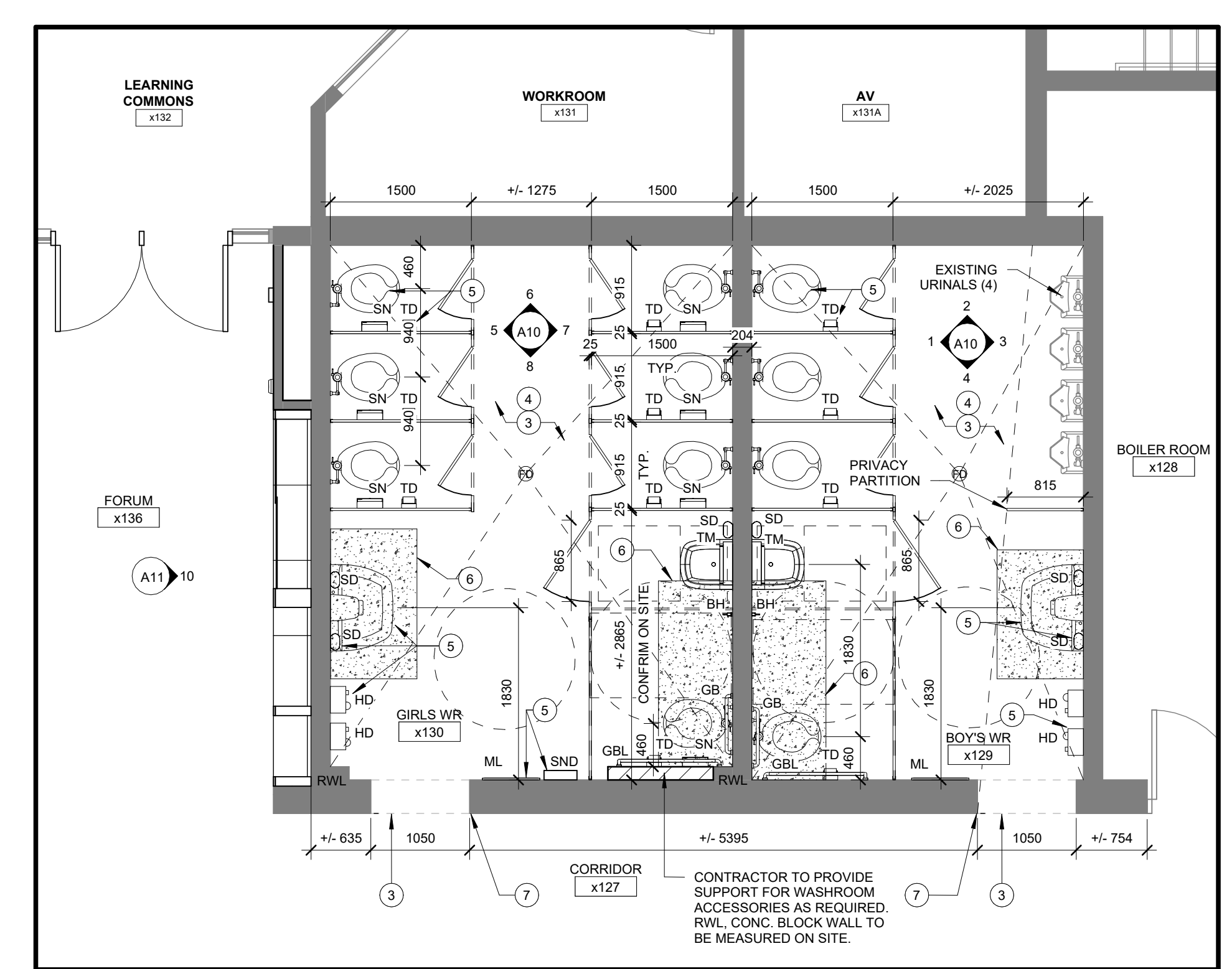
- GC IS TO FIELD VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
- ALL REMOVALS AND DEMOLITION TO BE COORDINATED WITH STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS PRIOR TO DEMOLITION START. FOR ADDITIONAL DEMOLITION DOCUMENTS AND DETAILS SEE STRUCTURAL, MECH. AND ELEC. DWGS.
- GENERAL CONTRACTOR TO REVIEW DOOR SCHEDULE AND FLOOR PLANS FOR EXTENT OF SANDING, FINISHING AND REPAINTING EXISTING FRAMES TYP.
- GENERAL CONTRACTOR TO X-RAY ALL EXISTING CONCRETE FLOOR SLABS AND ROOF ASSEMBLY AS REQUIRED PRIOR TO DEMOLITION CORING. SEE SPECIFICATIONS.
- RENOVATED AREAS TO BE THOROUGHLY CLEANED TO OWNER SATISFACTION. REMOVAL OF ALL CONSTRUCTION DUST, DEBRIS AND MATERIALS AS PER SPECIFICATION SECTION 01 74 11.
- GENERAL CONTRACTOR IS RESPONSIBLE TO REVIEW ASBESTOS SURVEY IN SPECIFICATION FOR EXTENT OF ALL DESIGNATED SUBSTANCE AND HAZARDOUS MATERIALS SURVEYS AND EXTENT OF ABATEMENT WORK.
- REMOVE EXISTING WASHROOM PARTITIONS, HARDWARE, FASTENERS, TOILET PAPER DISPENSERS, GRAB BARS, ETC. PATCH AND MAKE GOOD ALL WALLS AS REQUIRED FOR NEW WALL FINISH. PREPARE EXISTING CONCRETE BLOCK AND FLOOR FINISH FOR NEW PARTITIONS AND INSTALLATION OF NEW FITMENTS. SEE SPEC AND PROPOSED FLOOR PLAN. REFER TO MECH DWGS.
- CONTRACTOR TO REMOVE EXISTING TOILET AND URINALS. CONTRACTOR TO HAND OVER TO OWNER. CAP ALL ASSOCIATED PLUMBING AND PREPARE CONCRETE FLOOR FOR NEW FINISH. REFER TO MECHANICAL DRAWINGS.
- CONTRACTOR TO REMOVE AND DISPOSE EXISTING BRADLEY, SINK, RECESSED BIN, HAND DRYER, MIRRORS AND ADJACENT SOAP DISPENSERS, ETC. PATCH AND MAKE GOOD ALL WALLS AS REQUIRED. REFER TO MECH. AND ELEC. DWGS.
- REMOVE EXISTING WALL TILE, GROUT, MORTARMASTIC, ETC. ON WALLS IN ENTIRE ROOM. PREPARE ALL EXISTING CONCRETE WALLS FOR NEW FINISH (INCLUDING PATCHING, ETC.). REFER TO FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE.
- REMOVE EXISTING FLOORING, GLUE, BASEBOARD, ETC. IN ENTIRE ROOM. PREPARE ALL EXISTING CONCRETE FLOOR SLABS FOR NEW FINISH (INCLUDING PATCHING, LEVELING, SKIM-COATING, ETC.). REFER TO DRAWING FOR EXTENTS. REFER TO FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE. ENSURE NEW FLOOR FINISH IS LEVEL, SEAMLESS IN HEIGHT BETWEEN EXISTING ADJACENT FLOOR FINISHES (NO TRANSITIONS). CONTRACTOR TO REMOVE EXISTING MILLWORK, BENCHES & SHELVING AS REQUIRED FOR THE DEMOLITION OF EXISTING FLOORING. CONTRACTOR TO STORE IN SAFE PLACE AND REINSTALL UPON INSTALLATION OF NEW FLOORING.
- REMOVE EXISTING CERAMIC TILE, MASTIC AND MORTAR BED, INCLUDING BASEBOARDS, ETC. IN WASHROOM AND CORRIDOR. PREPARE ALL EXISTING CONCRETE FLOOR SLABS FOR NEW FINISH (INCLUDING PATCHING, LEVELING, SKIM-COATING, ETC.). REFER TO DRAWING FOR EXTENTS. REFER TO FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE. ENSURE NEW FLOOR FINISH IS LEVEL, SEAMLESS IN HEIGHT BETWEEN EXISTING ADJACENT FLOOR FINISHES (NO TRANSITIONS).
- REMOVE EXISTING VCT AND RUBBER TILE, GLUE, BASEBOARD, ETC. IN STAIRS INCLUDING RISERS AND TREADS. PREPARE ALL EXISTING CONCRETE FOR NEW FINISH (INCLUDING PATCHING, LEVELING, SKIM-COATING, ETC.). FLOORING ON GROUND FLOOR TO REMAIN. REFER TO DRAWING FOR EXTENTS. REFER TO FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE. ENSURE NEW FLOOR FINISH IS LEVEL, SEAMLESS IN HEIGHT BETWEEN EXISTING ADJACENT FLOOR FINISHES (NO TRANSITIONS).
- EXISTING 150mm CONCRETE SLAB ON GRADE AND GRANULAR SUBBASE OR 200mm REINFORCED CONC. SECOND FLOOR TO BE CUT AS REQUIRED TO SUIT PLUMBING WORK. TYPICAL FOR ALL AREA SHOWN IN HATCH INDICATED. REFER TO MECHANICAL DRAWINGS. EXACT EXTENT TO BE CONFIRMED ON SITE.
- CONTRACTOR TO REMOVE EXISTING LOCKER BANKS. EXISTING CONCRETE BASE TO REMAIN. PATCH AND MAKE GOOD EXISTING WALL, BULKHEAD AND FLOOR AS REQUIRED FOR THE INSTALLATION OF NEW LOCKERS.
- CONTRACTOR TO PATCH WALL, PRIME AND REPAINT. CONTRACTOR TO REMOVE ALL WALL SURFACE MOUNTED ITEMS, DEVICES, CAGES, FACE PLATES, FIXTURES AND ETC. AS REQUIRED TO COMPLETE PAINTING. GRILLS AND RADATORS TO BE PAINTED TO MATCH. GYMNASIUM WALL MURAL TO REMAIN. CONTRACTOR TO REMOVE LIBRARY MILLWORK AS REQUIRED PRIOR TO PAINTING AND REINSTALL. REFER TO FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE.
- GYMNASIUM CEILING AND STRUCTURAL BULKHEADS TO BE PRIMED AND PAINTED. CONTRACTOR TO ENSURE WOOD GYMNASIUM FLOOR AND SCORE BOARD IS ADEQUATELY COVERED AND PROTECTED DURING CONSTRUCTION WORKS. CONTRACTOR TO REMOVE AND STORE WALL MATS IN SAFE PLACE AND REINSTALL AFTER COMPLETION OF PAINTING. CONTRACTOR TO COORDINATE LIGHTING UPGRADE WITH ELECTRICAL DRAWINGS.
- CONTRACTOR TO REMOVE WALL MOUNTED ART, INCLUDING ANY GLUE OR FASTENERS. PATCH AND MAKE GOOD ALL WALLS AS REQUIRED. PRIME AND PAINT WALL SURFACE AS REQUIRED. REFER TO FINISH SCHEDULE AND SPEC. FOR NEW FINISH MATERIAL AND BASE.
- REMOVE EXISTING HM DOOR ASSEMBLY, HARDWARE AND HM FRAME AT WASHROOMS, LINTEL AND ADJACENT BLOCK WALL ABOVE TO REMAIN. PATCH AND MAKE GOOD EXISTING WALL AND SMOOTH EDGES INTO BULLNOSE AT BOTH SIDES OF EXISTING BLOCK. REMOVE TERRAZZO BASE EXTENDING INTO DOOR OPENING TO BE REPLACED BY WASHROOM FLOOR FINISH. REFER TO ROOM FINISH SCHEDULE.
- REMOVE EXISTING METAL STUD WALL, ALONG WITH WALL TILES, MASTIC, GROUT AND ALL MILLWORK FINISHES AND ELECTRICAL CONDUITS COMPLETELY FOR NEW INTERIOR MILLWORK FITMENTS. EXISTING STUDENT SUCCESS PLAQUE TO BE REMOVED AND RELOCATED. REFER TO INTERIOR ELEVATIONS.
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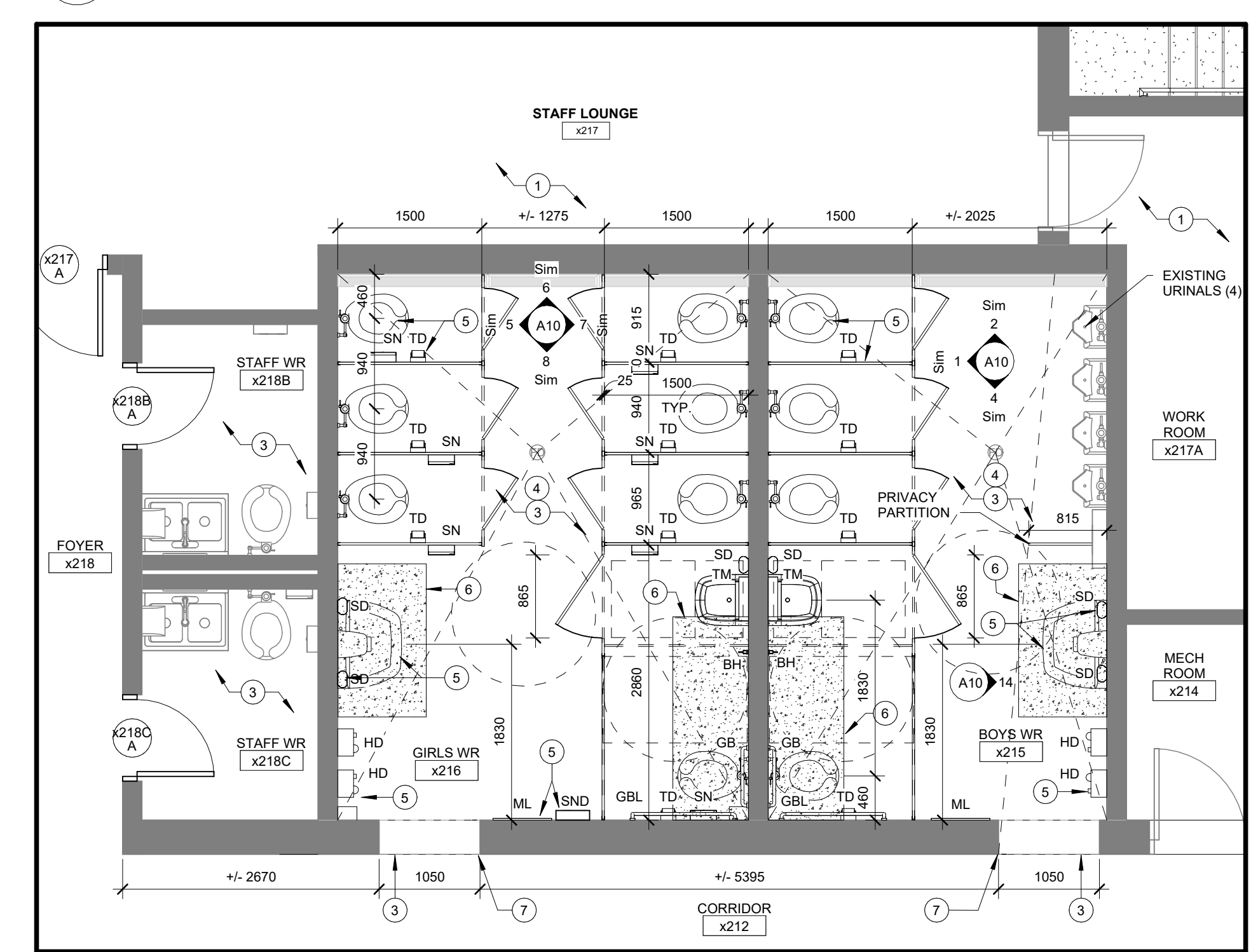
**9 DEMOLITION GROUND FLOOR WASHROOM x129 & x130**  
A10 SCALE: 1:50



**11 DEMOLITION SECOND FLOOR WASHROOM x210B, x210C, x215 & x216**  
A10 SCALE: 1:50



**10 PROPOSED GROUND FLOOR WASHROOM x129 & x130**  
A10 SCALE: 1:50



**12 PROPOSED SECOND FLOOR WASHROOM x210B, x210C, x215 & x216**  
A10 SCALE: 1:50

**LEGEND**

[Symbol]	EXISTING PORTIONS OF THE BUILDING NOT PART OF THE SCOPE OF WORK
[Symbol]	EXISTING WALLS TO REMAIN
[Symbol]	EXISTING WALLS TO BE DEMOLISHED. REFER TO DEMOLITION PLANS AND NOTES
[Symbol]	EXISTING PARTITIONS TO BE DEMOLISHED. REFER TO DEMOLITION PLANS AND NOTES
[Symbol]	EXISTING ALUMINUM COMPOSITE PANEL
[Symbol]	EXISTING CONCRETE SLAB ON GRADE AND SUB-BASE TO BE REMOVED. REFER TO DEMOLITION PLANS AND NOTES
[Symbol]	EXISTING RUBBER TILE TO BE DEMOLISHED AND SUB-BASE TO BE REMOVED. REFER TO DEMOLITION PLANS AND NOTES
[Symbol]	EXISTING PORCELAIN TILE TO BE DEMOLISHED AND SUB-BASE TO BE REMOVED. REFER TO DEMOLITION PLANS AND NOTES
[Symbol]	EXISTING VINYL COMPOSITE TILE (ACT) TO BE DEMOLISHED AND SUB-BASE TO BE REMOVED. REFER TO DEMOLITION PLANS AND NOTES
[Symbol]	EXISTING TERRAZZO TO BE DEMOLISHED AND SUB-BASE TO BE REMOVED. REFER TO DEMOLITION PLANS AND NOTES
[Symbol]	CONC. NEW CONCRETE SLAB INFILL ON SUB-BASE AND NEW FLOOR FINISH. REFER TO STRUCT DWGS. AND ROOM FINISH SCHEDULE.
[Symbol]	POR 1 - NEW WASHROOM PORCELAIN TILE. REFER TO ROOM FINISH SCHEDULE AND SPEC.
[Symbol]	POR 2 - NEW CORRIDOR PORCELAIN TILE. REFER TO ROOM FINISH SCHEDULE AND SPEC.
[Symbol]	VCT 1 - NEW VINYL COMPOSITE TILE. REFER TO ROOM FINISH SCHEDULE AND SPEC.
[Symbol]	SF 1 - NEW SHEET FLOORING. REFER TO ROOM FINISH SCHEDULE AND SPEC.
[Symbol]	SF 2 - NEW SHEET FLOORING (WOOD LOOK). REFER TO ROOM FINISH SCHEDULE AND SPEC.

**ABBREVIATION LEGEND**

BH	BREAK-AWAY TYPE COAT HOOK
CS	CONCRETE BLOCK
CH	CONTROL UNIT
CH	CABINET HEATER
CS	CONVENIENCE SHELF
FD	FLOOR FINISH
GB	GRAB BAR
GBL	GRAB BAR "S" SHAPE
GBF	GRAB BAR FOLDING TYPE
HD	HAND DRYER
M	MIRROR
PTW	PAPER TOWEL DISPENSER
PTD	PAPER TOWEL DISPENSER
R	RUBBER BASE
RA	RUBBER BASE
SN	SANITARY NAPKIN DISPOSAL
SN	SANITARY NAPKIN DISPENSER
SN	SANITARY NAPKIN DISPOSAL
TM	TILE MIRROR
TD	TOILET PAPER DISPENSER
VCT	VINYL COMPOSITE TILE

ISSUED FOR TENDER 03/14/25  
NO. DESCRIPTION DATE

DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND MUST REPORT ANY DISCREPANCIES TO THE CONSULTANTS BEFORE PROCEEDING WITH THE WORK. THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE CONSULTANTS.

**ONTARIO ASSOCIATION OF ARCHITECTS**  
PRISILLA LAPOUCHE  
LICENCE 6502  
CERTIFICATE OF PRACTICE #4292

**ASCENSION CATHOLIC ELEMENTARY SCHOOL INTERIOR RENOVATION**

5205 NEW STREET, BURLINGTON ON L7L 1V3

**HALTON CATHOLIC DISTRICT SCHOOL BOARD**  
802 DUFFRY LANE, (905) 632-6300  
BURLINGTON, ON L7R 2Y2  
AbrahamC@ncsb.org

**ENLARGED WASHROOMS**

**HOSSACK ARCHITECTURE**

SCALE: As Indicated  
PROJECT: 24137  
DATE: MARCH 2025  
DRAWN: Author  
CHECKED: Checker  
PRINT DATE: 3/13/2025 3:03:14 PM  
REVIT FILE: T:\2015\1512\02RevRVT



LEGEND - PLUMBING	
REFER	DESCRIPTION
---	ALL SYMBOLS MAY NOT APPEAR ON DRAWINGS.
---	DOMESTIC COLD WATER PIPING
---	DOMESTIC HOT WATER PIPING
---	DOMESTIC HOT WATER REIRC. PIPING
---	VENT PIPING
---	SANITARY PIPING ABOVE FLOOR
---	SANITARY PIPING BELOW GRADE OR FLOOR
---	PIPING TO BE REMOVED
---	HEAT TRACED PIPING
---	CONNECTION OF NEW AND EXISTING PIPING
---	CAPPED PIPE
---	FLOOR DRAIN
---	FUNNEL FLOOR DRAIN
---	HUB DRAIN
---	ROOF DRAIN
---	ROOF DRAIN ABOVE
---	CLEANOUT IN FLOOR
---	CLEANOUT IN LINE OR STACK
---	WATER METER
---	ISOLATION VALVE
---	CIRCUIT BALANCING VALVE
---	CHECK VALVE
---	STRAINER
---	REDUCED PRESSURE BACKFLOW PREVENTER
---	3-WAY VALVE
---	TEMPERATURE & PRESSURE RELIEF VALVE
---	CONNECT TO EXISTING
---	UNION
---	PRESSURE GAUGE
---	THERMOMETER
---	PUMP
---	PIPE DOWN
---	PIPE UP
---	PIPE UP & DOWN
---	PIPE TEE
---	DENOTES EXISTING
---	EXISTING PIPING
---	FIRE EXTINGUISHER - SURFACE MOUNTED

LEGEND - HVAC	
REFER	DESCRIPTION
---	EXISTING PIPING TO REMAIN
---	POSITIVE PRESSURE (SUPPLY) DUCT UP
---	POSITIVE PRESSURE (SUPPLY) DUCT UP
---	NEGATIVE PRESSURE (RETURN) DUCT UP
---	POSITIVE PRESSURE (SUPPLY) DUCT DOWN
---	POSITIVE PRESSURE (SUPPLY) DUCT DOWN
---	NEGATIVE PRESSURE (RETURN) DUCT DOWN
---	EXISTING DUCTWORK TO BE REMOVED
---	EXISTING DUCTWORK TO REMAIN
---	NEW DUCTWORK
---	SUPPLY AIR DIFFUSER (SQUARE)
---	SUPPLY AIR DIFFUSER (ROUND)
---	SIDEWALL GRILLE
---	RETURN/EXHAUST GRILLE
---	FULL RADIUS DUCT CONNECTION
---	TAP-IN DUCT CONNECTION
---	ROUND DUCT CONNECTION
---	TURNING VANES
---	FIRE DAMPER
---	EXISTING FIRE DAMPER
---	MOTORIZED DAMPER
---	EXISTING MOTORIZED DAMPER
---	ACCESS DOOR
---	BALANCING DAMPER
---	OPPOSED BLADE BALANCING DAMPER
---	OPEN ENDED DUCT
---	THERMOSTAT
---	CAP

MECHANICAL DRAWING LIST	
M1.0	LEGENDS, GENERAL NOTES, EQUIPMENT SCHEDULE
M2.0	DEMOLITION PLUMBING AND DRAINAGE LAYOUT
M3.0	PROPOSED PLUMBING AND DRAINAGE LAYOUT
M4.0	DEMOLITION AND PROPOSED HVAC LAYOUT-GROUND FLOOR
M4.1	DEMOLITION AND PROPOSED HVAC LAYOUT-SECOND FLOOR
M5.0	DEMOLITION AND PROPOSED SPRINKLER LAYOUT
M6.0	MECHANICAL SPECIFICATIONS-1
M6.1	MECHANICAL SPECIFICATIONS-2

**GENERAL NOTES**

REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR COORDINATION OF GRILLES, DIFFUSERS AND OTHER ELEMENTS.

IN ALL INSTANCES THE NEED FOR ACCESS DOORS IN GIB CEILINGS SHOULD BE AVOIDED IF POSSIBLE. WHERE INSTALLATION OF COMPONENTS WHICH REQUIRE ACCESS CANNOT BE AVOIDED, SUBMIT (DIMENSIONED) LAYOUT ON ARCHITECTURAL REFLECTED CEILING PLANS TO CONSULTANTS FOR APPROVAL PRIOR TO INSTALLATION OF COMPONENT.

EXISTING ITEMS TO BE REMOVED REMAIN THE PROPERTY OF THE OWNER AND SHALL BE DELIVERED TO A LOCATION ON SITE DESIGNATED BY THE OWNER. IF THE OWNER DECLARES NO INTEREST IN THE REMOVED ITEMS, ASSUME OWNERSHIP AND REMOVE THE ITEMS FROM THE SITE.

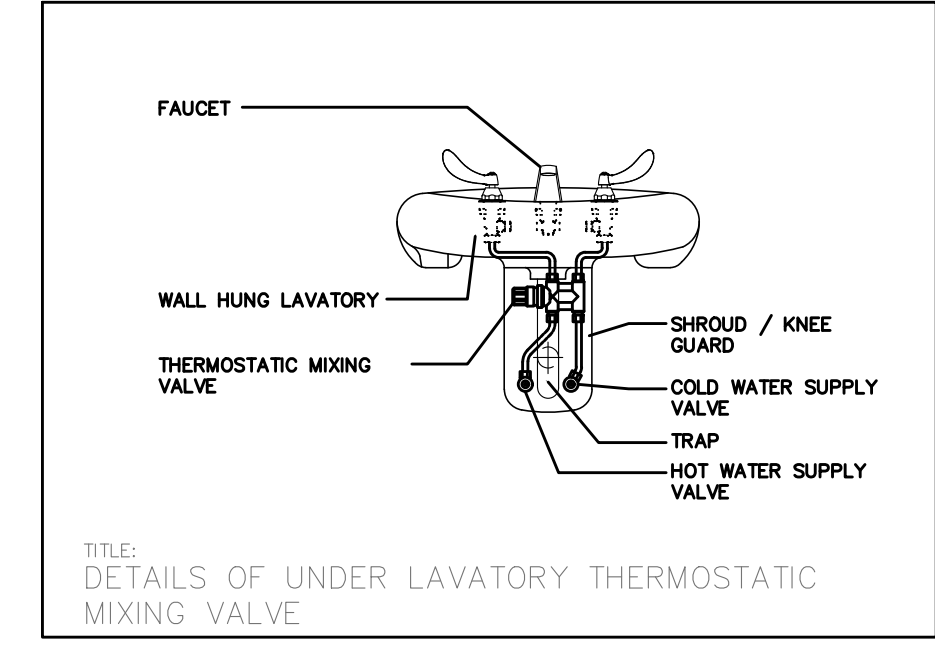
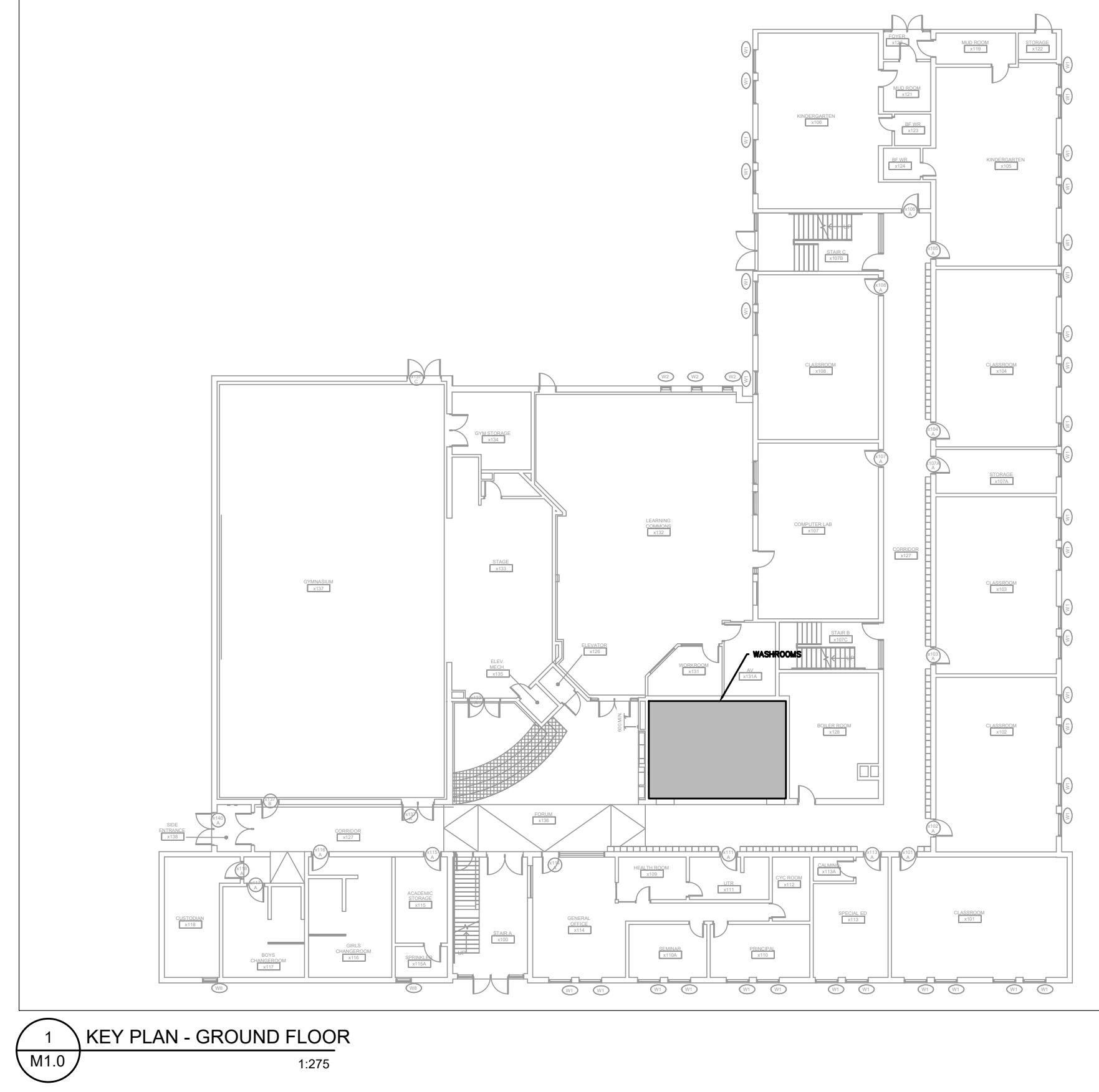
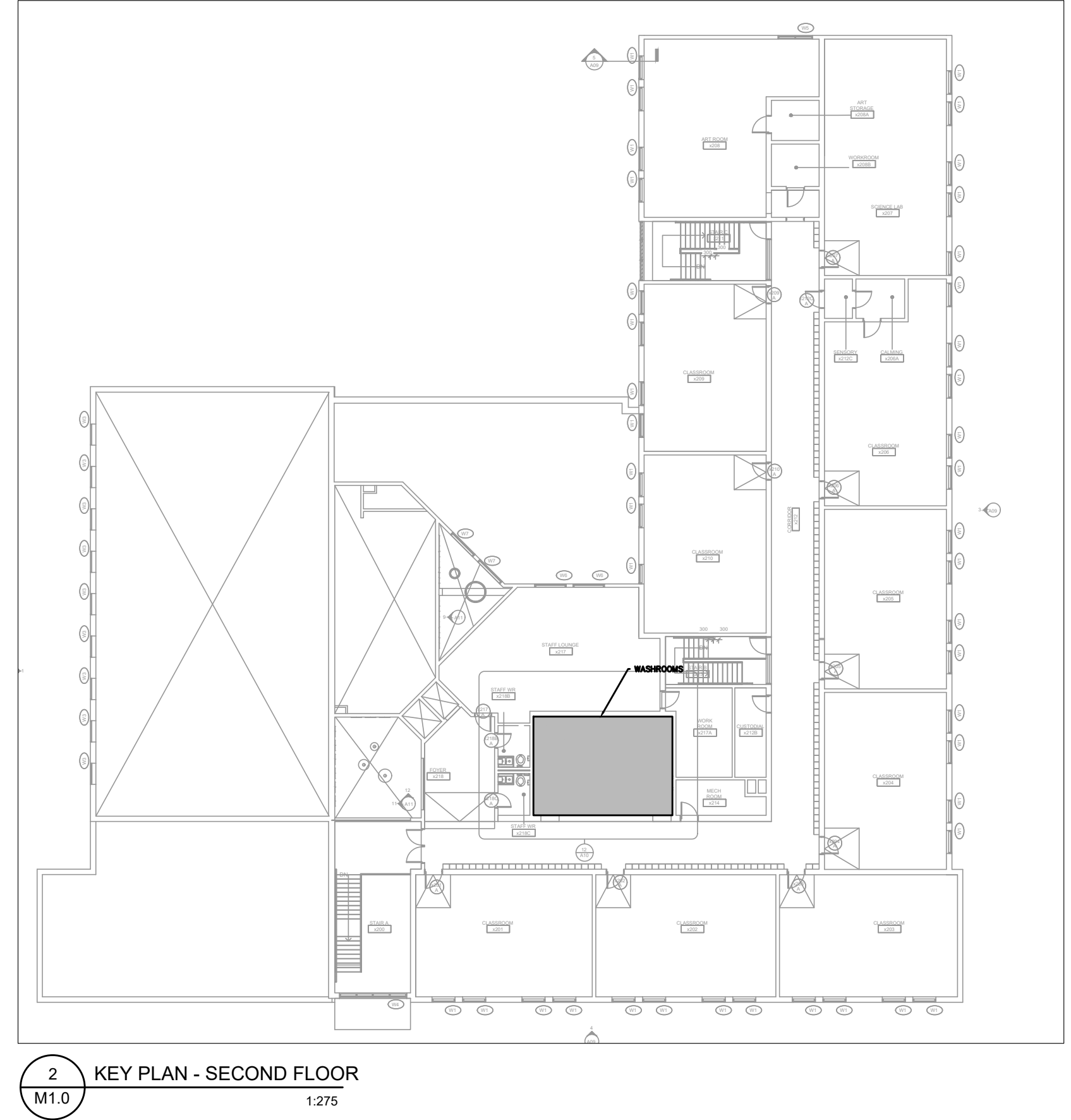
REFER TO ARCHITECTURAL DRAWINGS AND SPECIFICATION FOR PHASING AND STAGING.

**PLUMBING NOTES**

- CONTRACTOR IS TO VERIFY CONNECTION POINTS TO SERVICES WITH OTHER TRADES ON SITE.
- CONTRACTOR IS TO CLEAR DUCTWORK WHEN INSTALLING NEW PIPING. CLEARANCES TO BE VERIFIED ON SITE.
- PROVIDE A CLEANOUT AT THE BOTTOM OF EVERY SOIL AND WASTE STACK THAT CONNECTS TO A HORIZONTAL DRAINAGE PIPE.
- PROVIDE A CLEANOUT FROM EACH PLUMBING FIXTURE WHERE REQUIRED BY BUILDING CODE, PART 7 - PLUMBING.
- CHECK AND VERIFY LOCATION OF ALL PIPES, DUCTS AND EQUIPMENT WITH ALL OTHER TRADES TO PREVENT INTERFERENCE. REMOVAL OR RELOCATION OF ANY SUCH WORK INTERFERING WITH WORK OF OTHER TRADES IS THE RESPONSIBILITY OF THE MECHANICAL TRADE CONCERNED UNLESS OTHERWISE APPROVED IN WRITING.
- ALL PLUMBING FIXTURES INCLUDING FLOOR DRAINS (HUB, FUNNEL, FLOOR DRAINS, TRENCH DRAINS) TO BE TRAPPED AND VENTED AS REQUIRED BY BUILDING CODE, PART 7 - PLUMBING.
- FOR MOUNTING HEIGHT OF ALL PLUMBING FIXTURES REFER TO ARCHITECTURAL DRAWINGS.
- PROVIDE ACCESS DOOR FOR ALL VALVES LOCATED ABOVE DRY WALL CEILING.
- PROVIDE ACCESS DOOR FOR ALL CLEANOUTS LOCATED ABOVE DRY WALL CEILING.
- IN ALL INSTANCES THE NEED FOR ACCESS DOOR IN GIB CEILINGS SHOULD BE AVOIDED IF POSSIBLE. WHERE INSTALLATION OF COMPONENTS WHICH REQUIRE ACCESS CANNOT BE AVOIDED, SUBMIT (DIMENSIONED) LAYOUT ON ARCHITECTURAL REFLECTED CEILING PLANS TO CONSULTANTS FOR APPROVAL PRIOR TO INSTALLATION OF COMPONENT.
- ALL DISTURBED SERVICES AFTER PIPE REMOVAL OR REDOUTING TO BE FILL-IN WITH APPROPRIATE MATERIAL TO MAINTAIN FIRE SEPARATION AND PATCHED TO MATCH EXISTING OR NEW FINISHES.
- CONTRACTOR IS TO REMOVE ALL OBSOLETE PIPING WHEREVER POSSIBLE.
- CONTRACTOR IS TO ENSURE THAT ALL EXISTING PIPING SERVING EXISTING AREAS REMAIN IN SERVICE UNTIL THESE AREAS ARE RECONNECTED TO NEW SERVICES. ONLY THEN OBSOLETE PIPING IS TO BE REMOVED AS SHOWN.
- BEFORE CUTTING ANY HOLES THROUGH THE EXISTING SLAB REFER TO EXISTING STRUCTURAL DRAWINGS FOR GENERAL REQUIREMENTS.
- AFTER PIPE REMOVAL ALL EXISTING OPENINGS IN FIRE SEPARATION ARE TO BE FILL-IN TO MAINTAIN INTEGRITY OF THAT FIRE SEPARATION.
- RECONNECT VENTS FROM EXISTING EQUIPMENT AND PLUMBING FIXTURES WHICH ARE TO REMAIN TO NEW VENTS AS REQUIRED.
- PROVIDE SIGN IDENTIFYING LOCATION OF ALL VALVES INSTALLED IN CEILING SPACE.
- ALL WATER, SANITARY, SEWER AND VENT COPPER PIPING WITH SOLDER JOINTS SHALL BE LEAD FREE. DO NOT INSTALL WATER LINES IN OUTSIDE WALL WHERE THEY MAY FREEZE, UNLESS BOTH THE WALL AND THE PIPES ARE PROPERLY INSULATED.
- INSTALL SHUT-OFF VALVES AT EACH PLUMBING FIXTURE AND EACH EQUIPMENT CONNECTION.
- REFER TO ARCHITECTURAL FOR OWNER SUPPLIED EQUIPMENT. CONFIRM ALL MECHANICAL REQUIREMENTS AND PROVIDE TO SUIT.

RETURN/ EXHAUST GRILLE SCHEDULE							
SYMBOL	SIZE MM x MM (IN. x IN.)	APPLICATION	NECK SIZE MMØ (INØ)	AIRFLOW RANGE CFM	NC RANGE	MANUFACTURER AND MODEL (BASIS OF DESIGN: E.H. PRICE)	
R-1 CFM	E-1 CFM	300x300 (12x12)	CEILING GRILLE	-	<450	<30	80D
R-2 CFM	E-2 CFM	600x300 (24x12)	CEILING GRILLE	-	<800	<30	80D
R-3 CFM	E-3 CFM	600x600 (24x24)	CEILING GRILLE	-	<2000	<30	80D
R-4 CFM		500x500 (20x20)	CEILING GRILLE	-	<1500	<30	80D
R-5 CFM		750x350 (30x14)	WALL GRILLE	-	<835	<30	530D
R-6 CFM		750x250 (30x10)	DUCT GRILLE	-	<540	<30	530D

NOTE(S): 1. ACCEPTABLE ALTERNATES SUBJECT TO SHOP DRAWING REVIEW: TITUS, METALAIRE, KRUEGER.



PLUMBING FIXTURE CONNECTION SCHEDULE												
TAG	FIXTURE NAME	SANITARY		VENT		DCWS		DHWS		TEMPERED		REMARKS
		MM	INS	MM	INS	MM	INS	MM	INS	MM	INS	
WC1	GENERAL WALL MOUNTED FLUSH VALVE WATER CLOSET	100	4	75	3	30	1.25	-	-	-	-	AMERICAN STANDARD MADERA 2234 001,( KOHLER WELCOMME K-4350, MANSFIELD BALTIC 1311NS, ZURN Z5655-BWL), VITREOUS CHINA, SIPHON JET, ELONGATED RIM, TOP SPUD FOR FLUSH VALVE, BOLT CAP, BOTTOM OUTLET, FLOOR MOUNTED, 10" OR 12" ROUGH IN, MIN 2" TRAP WAY, MAX 6 LIT PER FLUSH TRIM: DELTA 81T201-5 (ZURN Z6000AV-WS1, SLOAN 111-1.6), EXPOSED POLISHED CHROME, EXTERNALLY ADJUSTABLE, DIAPHRAGM TYPE FLUSH VALVE WITH 1" SCREWDRIVER ANGLE STOP, OSCILATING HANDLE FLUSH CONNECTION AND COUPLING FOR 40 MM, TOP SPUD, WALL AND SPUD ESCUTCHEONS,SEAT BUMPER AND VACCUM BREAKER, FLUSH CYCLE SET FOR 6 LIT PER FLUSH,SEAT CENTOCO AMS00STSCSS
WC2	BARRIER FREE WALL MOUNTED FLUSH VALVE WATER CLOSET	100	4	75	3	30	1.25	-	-	-	-	AMERICAN STANDARD MADERA 2234 001,( KOHLER WELCOMME K-4350, MANSFIELD BALTIC 1311NS, ZURN Z5655-BWL), VITREOUS CHINA, SIPHON JET, ELONGATED RIM, TOP SPUD FOR FLUSH VALVE, BOLT CAP, BOTTOM OUTLET, FLOOR MOUNTED, 10" OR 12" ROUGH IN, MIN 2" TRAP WAY, MAX 6 LIT PER FLUSH TRIM: DELTA 81T201-5 (ZURN Z6000AV-WS1, SLOAN 111-1.6), EXPOSED POLISHED CHROME, EXTERNALLY ADJUSTABLE, DIAPHRAGM TYPE FLUSH VALVE WITH 1" SCREWDRIVER ANGLE STOP, OSCILATING HANDLE FLUSH CONNECTION AND COUPLING FOR 40 MM, TOP SPUD, WALL AND SPUD ESCUTCHEONS,SEAT BUMPER AND VACCUM BREAKER, FLUSH CYCLE SET FOR 6 LIT PER FLUSH,SEAT CENTOCO AMS00STSCSS, C/W BACKREST
WF1	BARRIER FREE WASH FOUNTAIN	50	2	32	1.25	13	0.50	13	0.50	13	0.5	WALL MOUNTED WASH FOUNTAIN C/W CONCEALED FLOOR MOUNTED WALL CARRIER (3 USER), BRADLEY MG-3 WALL MOUNTED TERREON BOWL GROUP LAVATORY SYSTEM, COMPLETE WITH STAINLESS STEEL PANEL, SUITABLE FOR THREE (3) USERS. COLOUR: COLOUR BY ARCHITECT. ALLOW FOR TWO(2) PREMIUM CLOURS. REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS, TRIM: ADAPTIVE INFRA-RED CONTROLLED, MOLDED SPRAYHEAD, STOP VALVES, TRANSFORMER, HORIZONTAL SWING CHECK VALVES, THERMOSTATIC MIXING VALVE PRESSET AT 40°C. PROVIDE CONTROL TO LIMIT FLOW TO 2L/MINUTE. SUITABLE FOR 120/1/60.
L1	BARRIER FREE LAVATORY	50	2	32	1.25	13	0.50	13	0.50	13	0.5	B.F. WALL MOUNTED LAV C/W CONCEALED FLOOR MOUNTED WALL CARRIER, MANUFACTURER AMERICAN STANDARD MURRO (KOHLER, ZURN): VITREOUS CHINA, LOW SHELF, WITH INTEGRAL BACK, CONTOURED FRONT, SHALLOW FRONT BASIN, FRONT OVERFLOW, SOAP DEPRESSIONS, SUPPLY OPENINGS ON 102mm (4") CENTRES, CONCEALED SUPPORTS, TRIM: DELTA 591T0230 (MOEN COMMERCIAL 8301-AC ZURN Z6915-HW6-XL), HARDWIRED ELECTRONIC FAUCET. CAST BRASS ONE PIECE BODY WITH INTEGRAL WATER PROOF INFRA-RED SENSOR AND CONNECTOR. ADJUSTABLE SENSING RANGE 76mm TO 381mm (3" TO 15") AND TIME OUT 15 TO 75 SECONDS CHROME FINISH. VANDAL RESISTANT AERATOR HAVING INTEGRAL FLOW CONTROL FOR 1.5gpm (5.7 L/MIN) @ 413 KPA (60 PSI) MAX. UNDER COUNTER STAINLESS STEEL RECESSED SURFACE MOUNTED HOUSING FOR SOLENOID AND CONTROLLER. SENSOR ACTIVATES IN PRESENCE OF PERSON'S HANDS IN LAVATORY. C/W PLUG-IN TRANSFORMER, INSULATION: MCGUIRE PROWRAP (PWV8902 TRUEBRO LAV GUARD) INSULATION: INSULATE WASTE AND SUPPLIES WITH UL LISTED PREFORMED INSULATION SYSTEM COMPLETE WITH SEAMLESS JACKET. WASTE FITTING: NPS 32 MM (1 1/4") OFFSET WASTE WITH OPEN GRID STRAINER.PROVIDE FLOOR MOUNTED WALL CARRIER, THERMOSTATIC MIXING VALVE UNDER LAV. DELTA R3070-MIXLF, POWERS LM490 OR EQUAL
FD	FLOOR DRAIN	50	2	50	2	-	-	-	-	-	-	REFER TO SPECIFICATIONS
TSP	TRAP SEAL PRIMER	-	-	-	-	10/13	0.38/0.50	-	-	-	-	ONE - 10MM/0.38" PER FFD, HD, PD

The Contractor shall verify all dimensions prior to commencement of the work. All print and specifications are the property of the Architect and must be returned upon completion of the work.

ISSUE OR REVISION		
No.	Description	Date
1	ISSUED FOR REVIEW	FEB 13, 2025
2	ISSUED FOR TENDER	MAR 13, 2025

PROJECT: ASCENSION CES RENOVATION PROJECT

5205 New Street, Burlington, Ontario, L7L 1V3 HALTON CATHOLIC DISTRICT SCHOOL BOARD

PROFESSIONAL SEAL:

DWG TITLE: LEGENDS, GENERAL NOTES, EQUIPMENT SCHEDULE

REGAL CONSULTING ENGINEERS INC.  
CONSULTING MECHANICAL & ELECTRICAL ENGINEERS  
208 Weycroft Road, Suite 200, Oakville, Ontario L6K 3S3  
PHONE: 905.844-2913  
www.regal-meg.com

DATE: FEBRUARY 2025

SCALE: NTS

DRAWN BY: MS

CHECKED BY: MA

DWG STATUS: TENDER

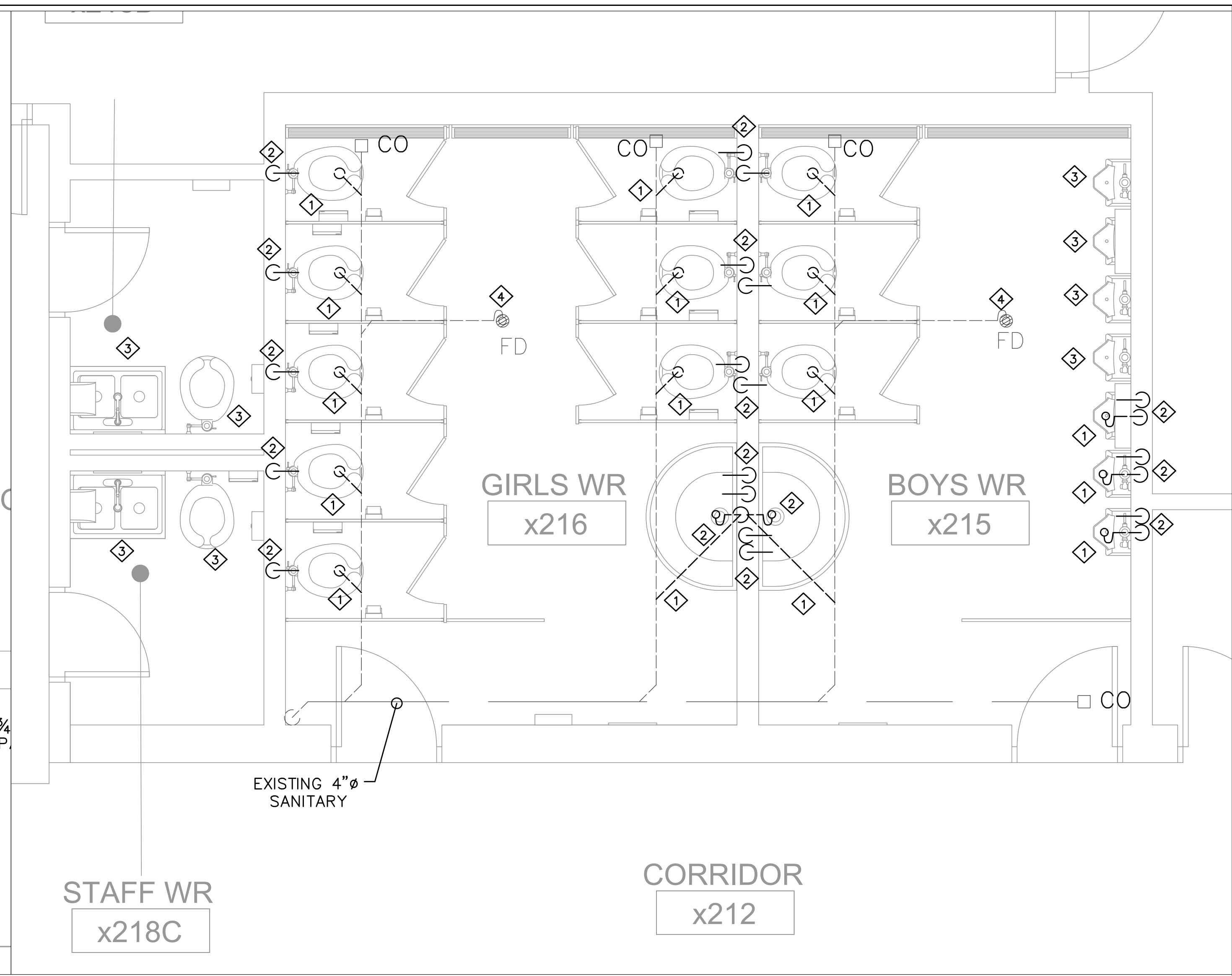
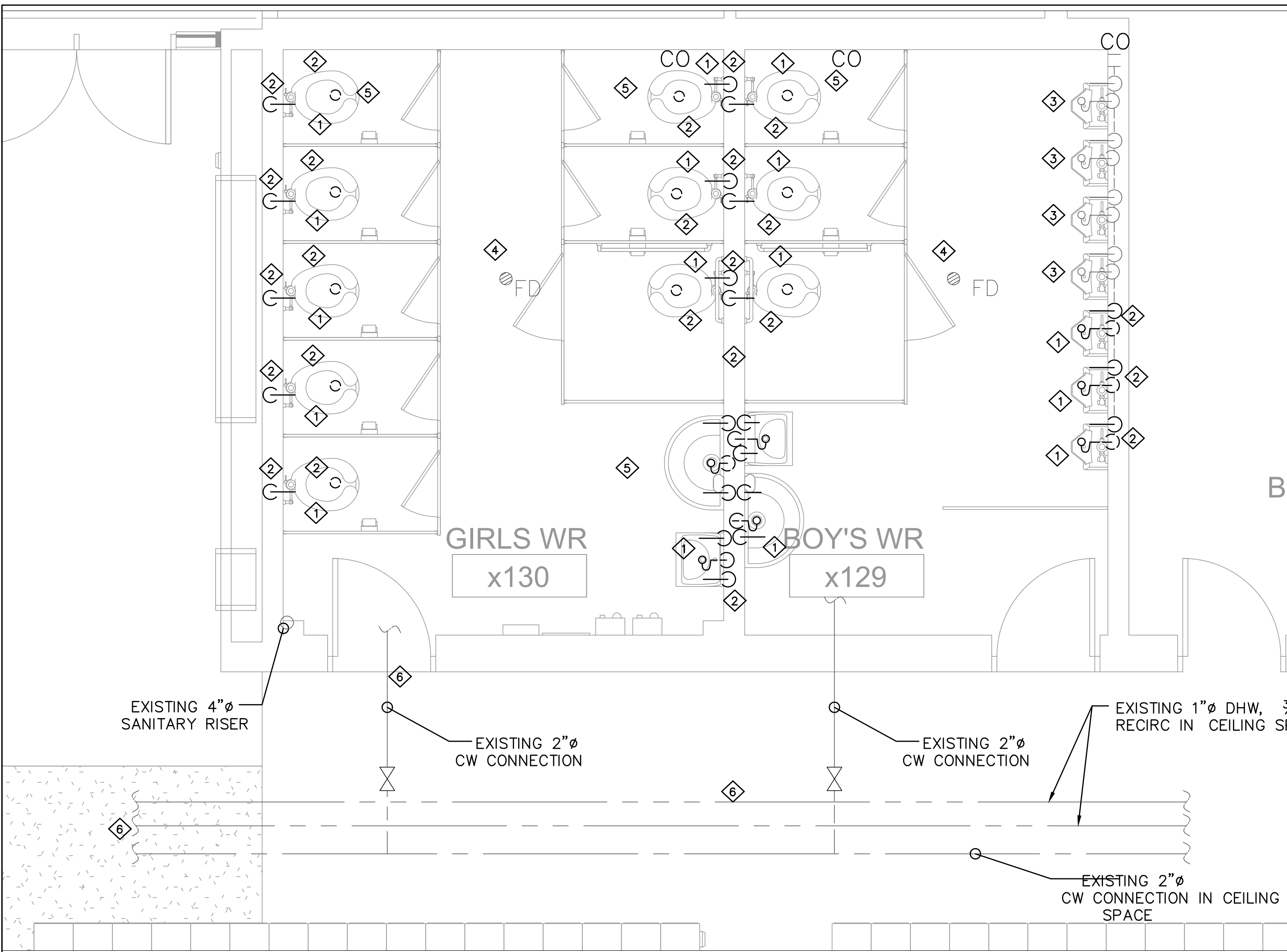
PROJECT No.: 2025-476

DRAWING No.: M1.0 REVISION

March 13, 2025 4:17:35 PM

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No.	Description	Date
1	ISSUED FOR REVIEW	FEB 13, 2025
2	ISSUED FOR TENDER	MAR 13, 2025



1 DEMOLITION PLUMBING AND DRAINAGE PLAN—GROUND FLOOR  
SCALE 1:30

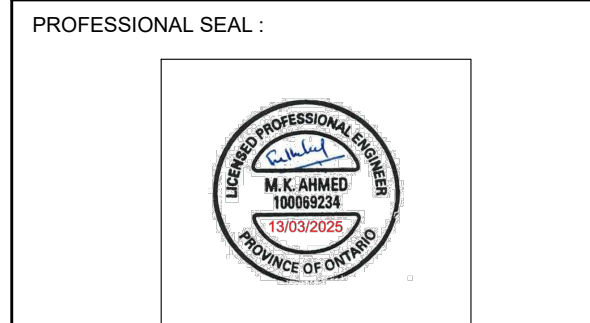
2 DEMOLITION PLUMBING AND DRAINAGE PLAN SECOND FLOOR  
SCALE 1:30

DRAWING NOTES	
1	DISCONNECT AND REMOVE THE EXISTING PLUMBING FIXTURES AS SHOWN.
2	CAP THE EXISTING SANITARY PIPING FOR THE FIXTURES WHICH ARE GETTING REMOVED. CAP THE EXISTING COLD WATER AND HOT WATER PIPING FOR THE FIXTURES GETTING REMOVED.
3	EXISTING FIXTURES TO REMAIN. EXISTING COLD WATER PIPING AND SANITARY PIPING TO REMAIN.
4	EXISTING FLOOR DRAINS TO REMAIN.
5	CONTRACTOR TO SCAN THE FLOOR TO VERIFY THE EXACT LOCATION OF THE SANITARY DRAIN PIPE AT SITE BEFORE PROCEEDING WITH THE WORK.
6	CONTRACTOR TO VERIFY THE EXACT LOCATION OF THE DCW, DHW AND RECIRC PIPING BEFORE PROCEEDING THE WORK.

DRAWING NOTES	
1	DISCONNECT AND REMOVE THE EXISTING PLUMBING FIXTURES AS SHOWN.
2	CAP THE EXISTING SANITARY PIPING FOR THE FIXTURES WHICH ARE GETTING REMOVED. CAP THE EXISTING COLD WATER AND HOT WATER PIPING FOR THE FIXTURES GETTING REMOVED.
3	EXISTING FIXTURES TO REMAIN. EXISTING COLD WATER PIPING AND SANITARY PIPING TO REMAIN.
4	EXISTING FLOOR DRAINS TO REMAIN.
5	CONTRACTOR TO SCAN THE FLOOR TO VERIFY THE EXACT LOCATION OF THE SANITARY DRAIN PIPE AT SITE BEFORE PROCEEDING WITH THE WORK.
6	CONTRACTOR TO VERIFY THE EXACT LOCATION OF THE DCW, DHW AND RECIRC PIPING BEFORE PROCEEDING THE WORK.

PROJECT:  
**ASCENSION CES RENOVATION PROJECT**

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DWG TITLE:  
DEMOLITION PLUMBING AND DRAINAGE LAYOUT-PARTIAL

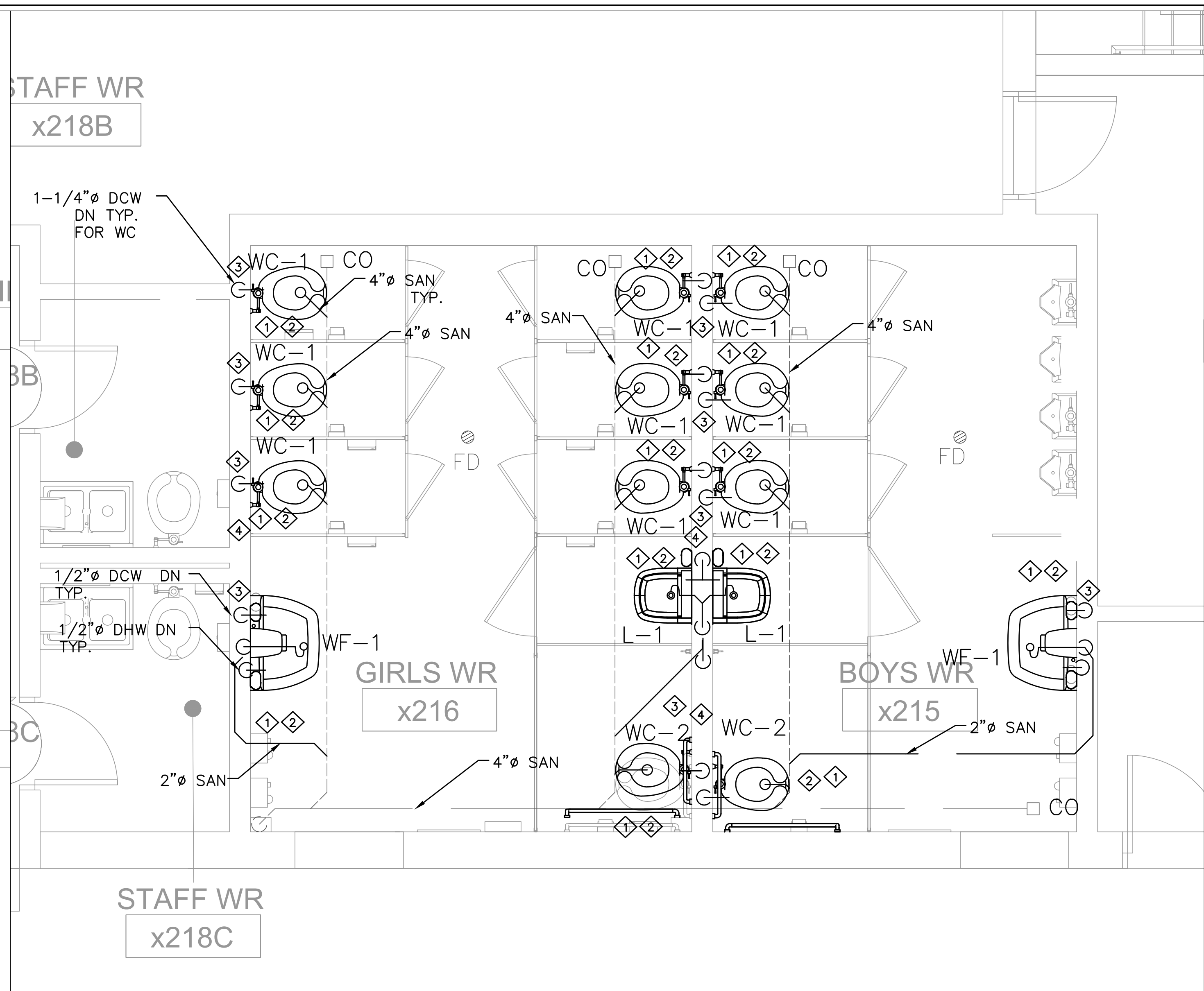
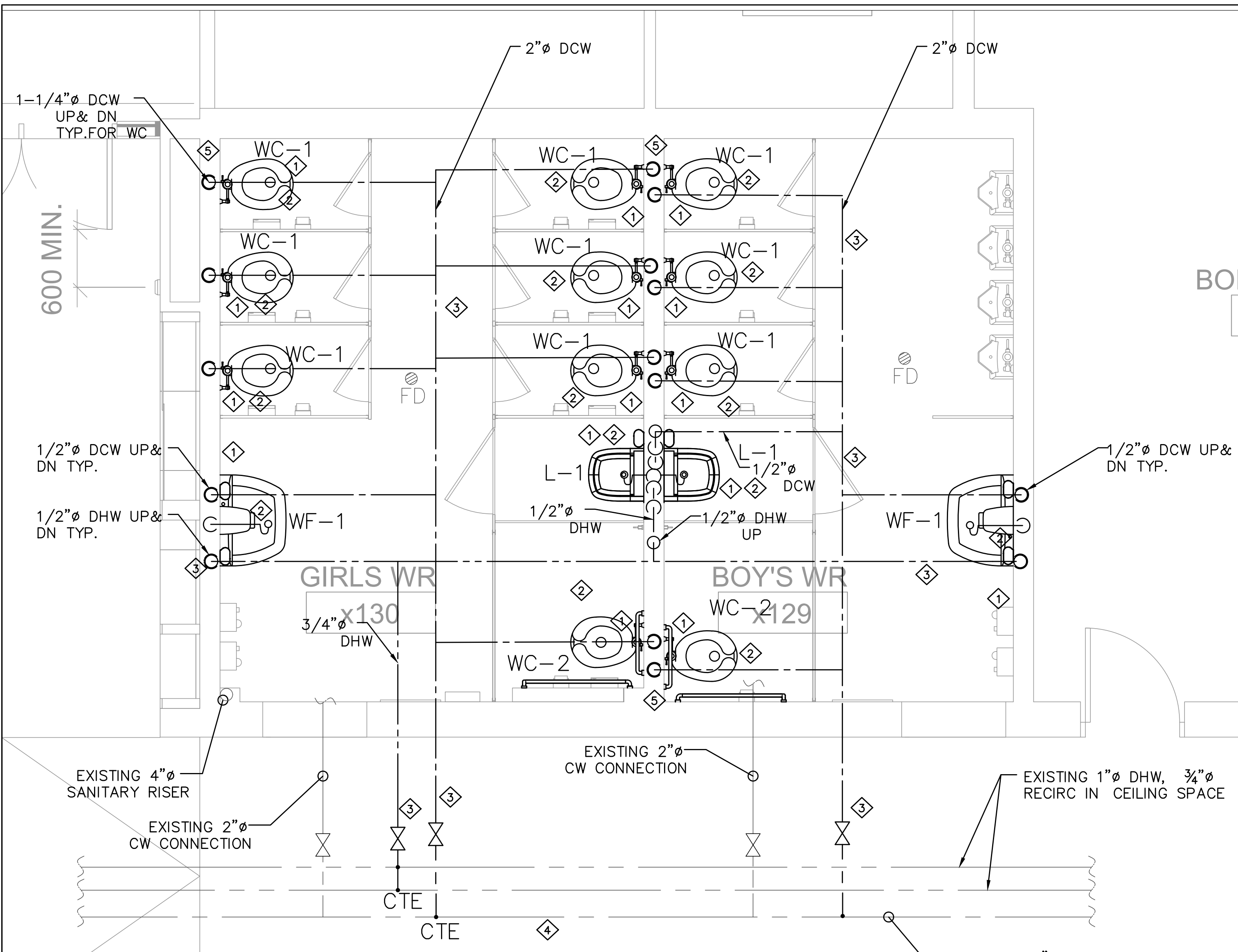


DATE:	FEBRUARY 2025
SCALE:	AS SHOWN
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CHECKED BY:	MA
DWG STATUS:	TENDER
PROJECT No.:	2025-476
DRAWING No.:	M2.0
REVISION:	

March 13, 2025 4:17:37 PM

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No.	Description	Date
1	ISSUED FOR REVIEW	FEB 13, 2025
2	ISSUED FOR TENDER	MAR 13, 2025



1 PROPOSED PLUMBING AND DRAINAGE PLAN GROUND FLOOR  
SCALE 1:30

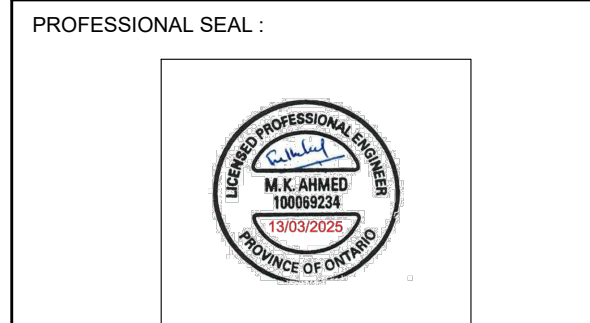
2 PROPOSED PLUMBING AND DRAINAGE PLAN SECOND FLOOR  
SCALE 1:30

- DRAWING NOTES**
- 1 PROVIDE AND INSTALL NEW PLUMBING FIXTURES AS SHOWN. REFER TO THE SPECIFICATIONS.
  - 2 CONTRACTOR TO SCAN THE FLOOR AND VERIFY THE EXACT LOCATION OF THE EXISTING SANITARY LINE. CONNECT THE NEW FIXTURES TO THE EXISTING SANITARY LINE.
  - 3 PROVIDE NEW 2" DOMESTIC COLD WATER LINE AND 3/4" DOMESTIC HOT WATER LINE AND CONNECT TO THE NEW FIXTURES. PROVIDE NEW ISOLATION VALVES.
  - 4 CONTRACTOR TO VERIFY THE EXACT LOCATION OF THE DCW, DHW AND RECIRC PIPING BEFORE PROCEEDING THE WORK.
  - 5 PROVIDE VENT PIPING AS PER THE ONTARIO PLUMBING CODE AND THE LOCAL JURISDICTION.

- DRAWING NOTES**
- 1 PROVIDE AND INSTALL NEW PLUMBING FIXTURES AS SHOWN. REFER TO THE SPECIFICATIONS.
  - 2 CONTRACTOR TO SCAN THE FLOOR AND VERIFY THE EXACT LOCATION OF THE EXISTING SANITARY LINE. CONNECT THE NEW FIXTURES TO THE EXISTING SANITARY LINE.
  - 3 CONNECT NEW FIXTURES TO THE DOMESTIC COLD WATER AND HOT WATER LINES COMING UP FROM THE CEILING SPACE BELOW.
  - 4 PROVIDE VENT PIPING AS PER THE ONTARIO PLUMBING CODE AND THE LOCAL JURISDICTION.

PROJECT: **ASCENSION CES RENOVATION PROJECT**

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HALTON CATHOLIC DISTRICT SCHOOL BOARD

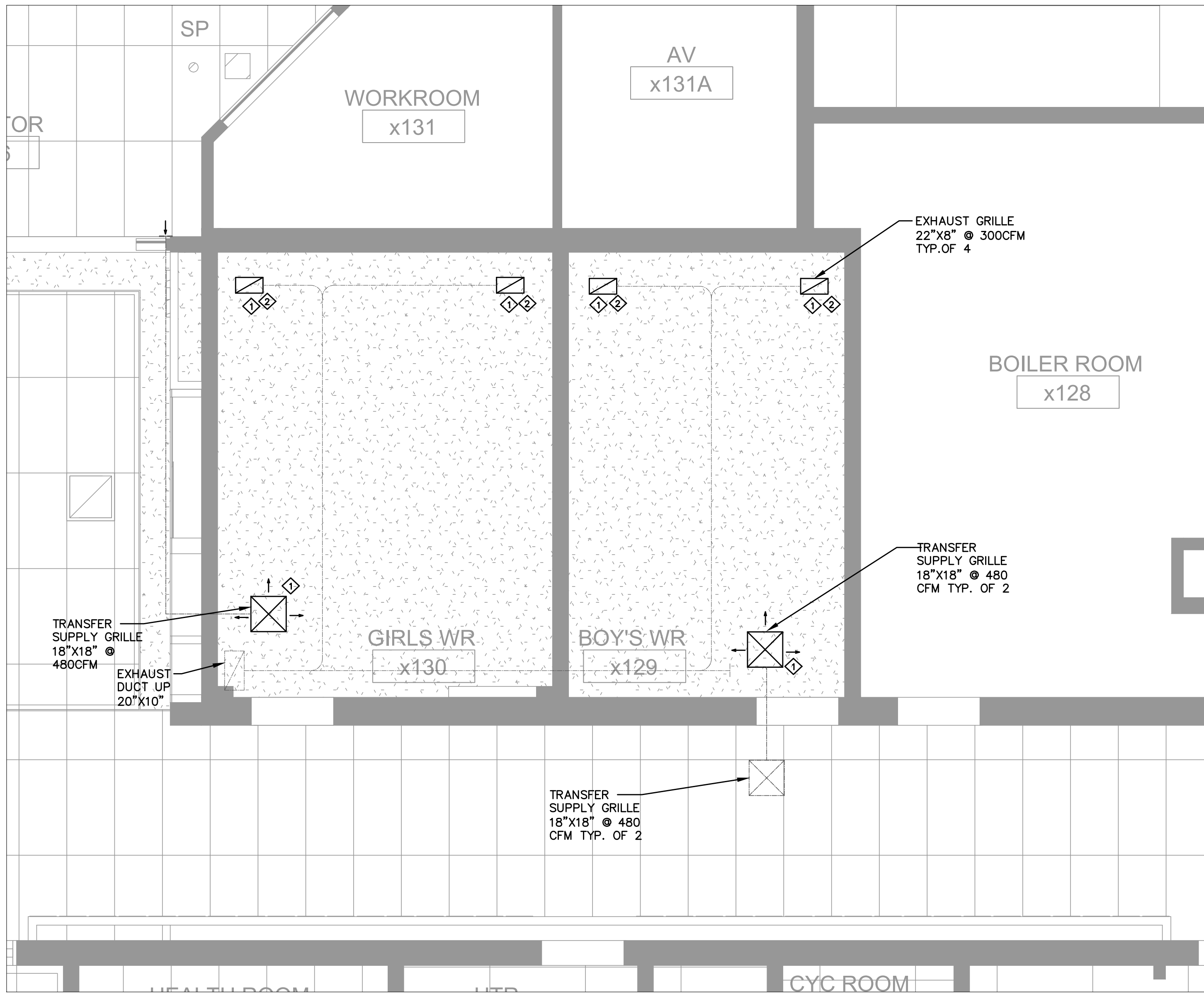


DWG TITLE: PROPOSED PLUMBING AND DRAINAGE LAYOUT - PARTIAL



DATE:	FEBRUARY 2025
SCALE:	AS SHOWN
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CHECKED BY:	MA
DWG STATUS:	TENDER
PROJECT No.:	2025-476
DRAWING No.:	M3.0
REVISION:	

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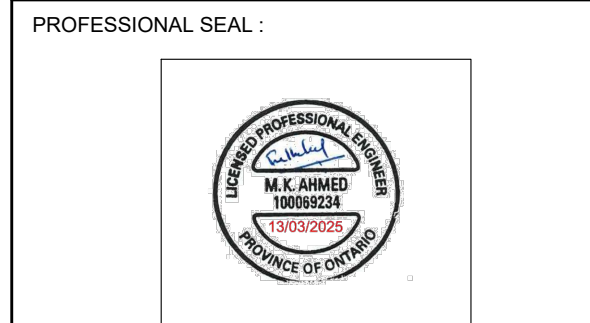
1 DEMO & PROPOSED HVAC PLAN – GROUND FLOOR  
 M4.0 SCALE 1:40

DRAWING NOTES	
1	DEMOLISH THE EXISTING EXHAUST AND SUPPLY GRILLES IN THE WASHROOMS AND PROVIDE NEW CEILING GRILLES. ALL THE EXISTING DUCTS TO REMAIN.
2	ADJUST THE AIR FLOWS TO MATCH THE EXISTING.

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No.	Description	Date
1	ISSUED FOR REVIEW	FEB 13, 2025
2	ISSUED FOR TENDER	MAR 13, 2025

PROJECT:  
**ASCENSION CES RENOVATION PROJECT**  
 5205 New Street,  
 Burlington, Ontario, L7L 1V3  
 HALTON CATHOLIC DISTRICT SCHOOL BOARD



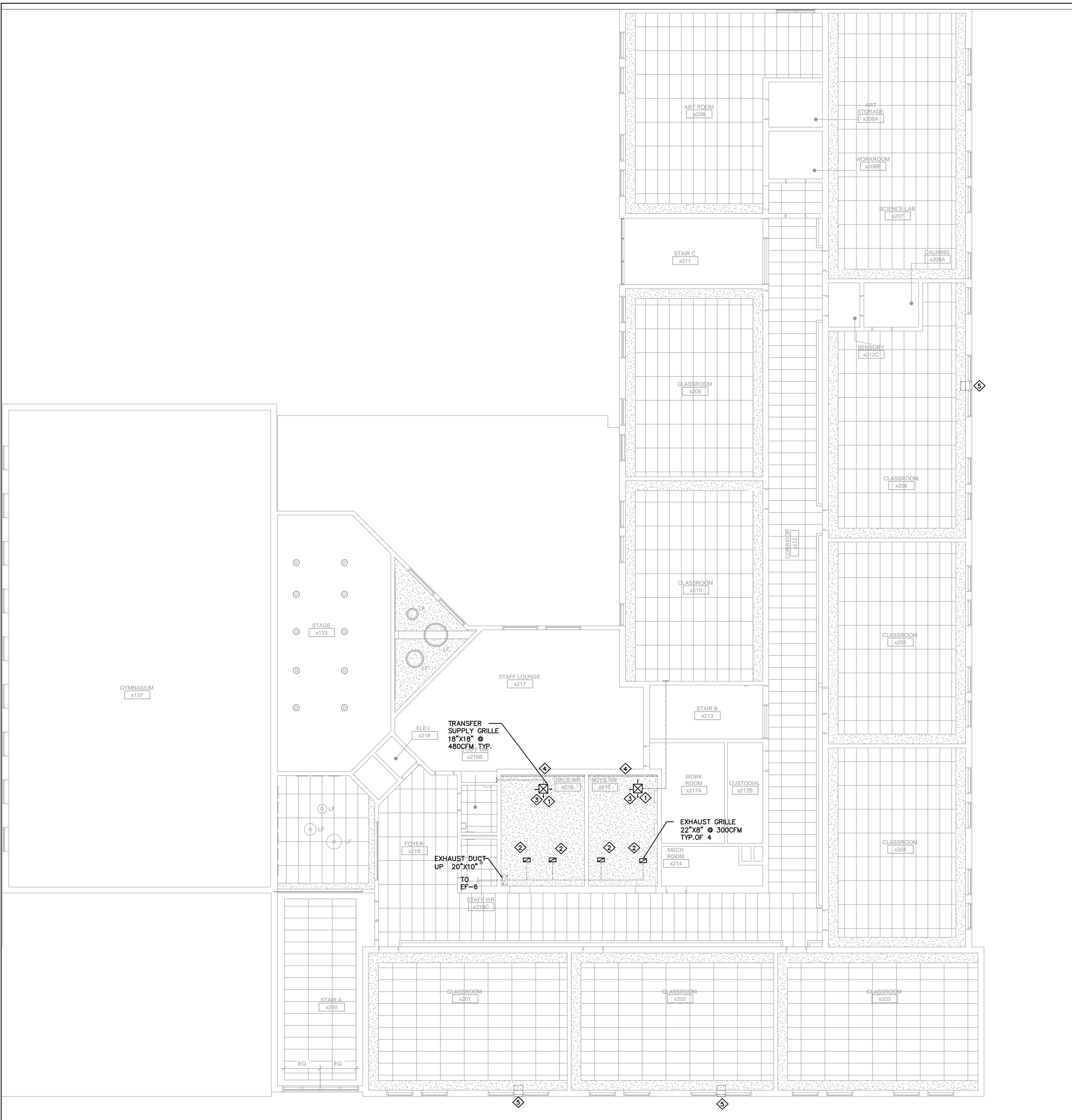
DWG TITLE:  
 HVAC LAYOUT- GROUND AND FLOOR



DATE:	FEBRUARY 2025
SCALE:	AS SHOWN
DRAWN BY:	MS
CHECKED BY:	MA
DWG STATUS:	TENDER
PROJECT No.:	2025-476
DRAWING No.:	M4.0
REVISION	

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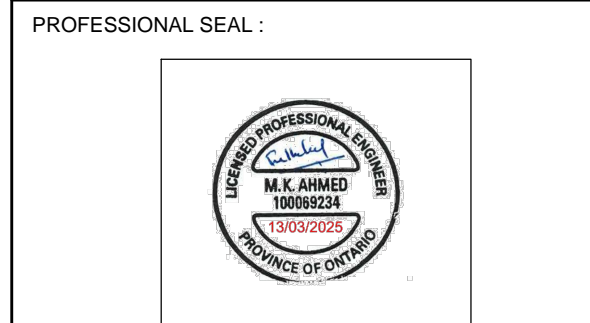
- DRAWING NOTES**
- ① DEMOLISH THE EXISTING SUPPLY GRILLES IN THE WASHROOMS AND PROVIDE NEW CEILING GRILLES. ALL THE EXISTING DUCTS TO REMAIN.
  - ② DEMOLISH THE EXISTING EXHAUST WALL GRILLES IN THE WASHROOMS WHICH ARE LOCATED IN THE BULKHEAD. THE NEW EXHAUST GRILLES TO BE CEILING TYPE AS SHOWN. REFER TO THE ARCHITECTURAL FOR THE CEILING RELATED CHANGES. ADJUST THE DUCTWORK TO MATCH THE NEW CEILING.
  - ③ ADJUST THE AIR FLOWS TO MATCH THE EXISTING.
  - ④ EXISTING RADIATORS IN THE WASHROOMS TO REMAIN.
  - ⑤ EXTEND THE EXISTING CONDENSATE PIPING FROM THE UNIT VENTILATORS BY 6" IN LENGTH NEAR WINDOW, DROP THE PIPING OUTSIDE. USE THE RIGID PIPES.

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**ASCENSION CES RENOVATION PROJECT**

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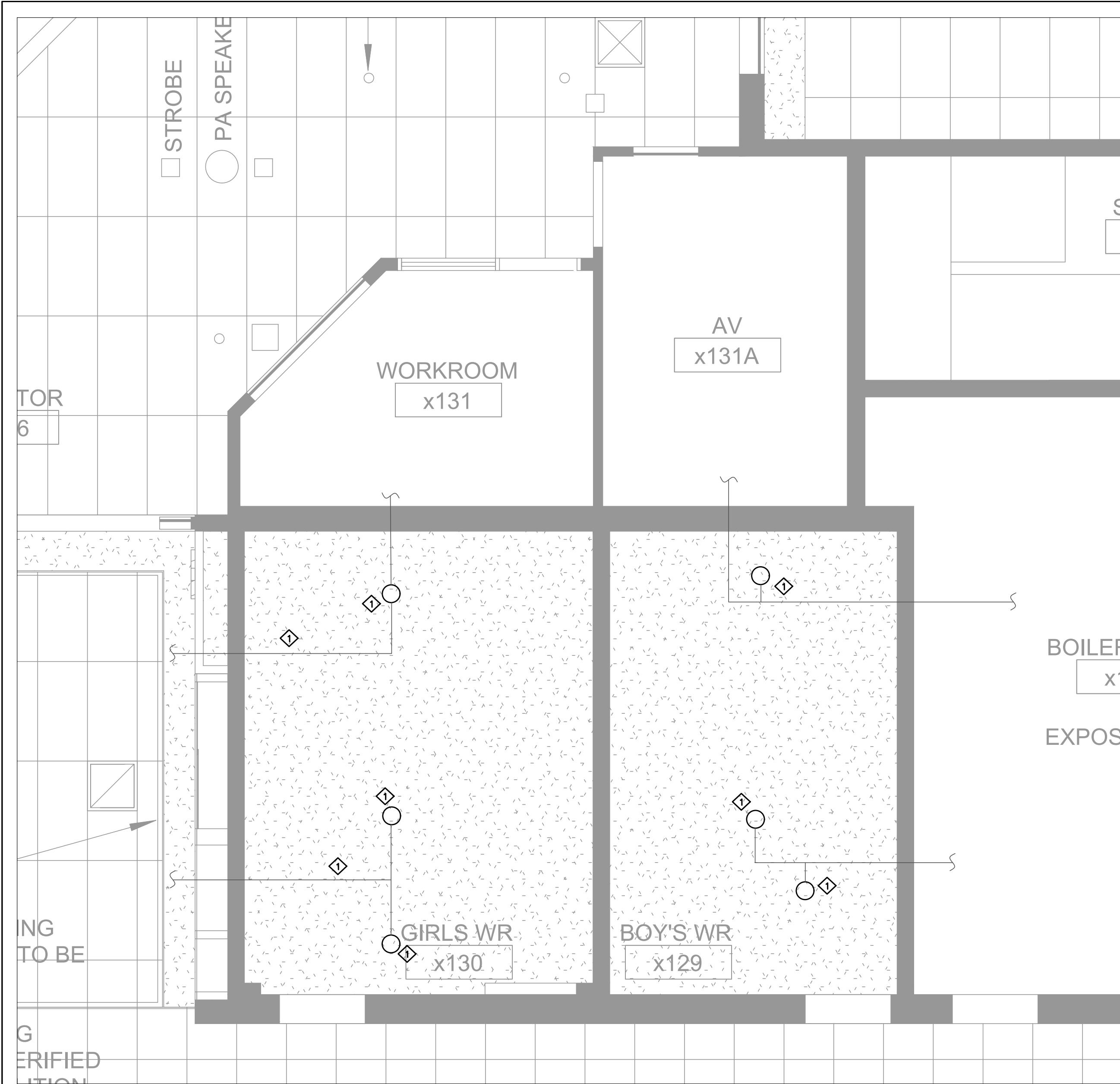


DWG TITLE:  
HVAC LAYOUT- SECOND FLOOR



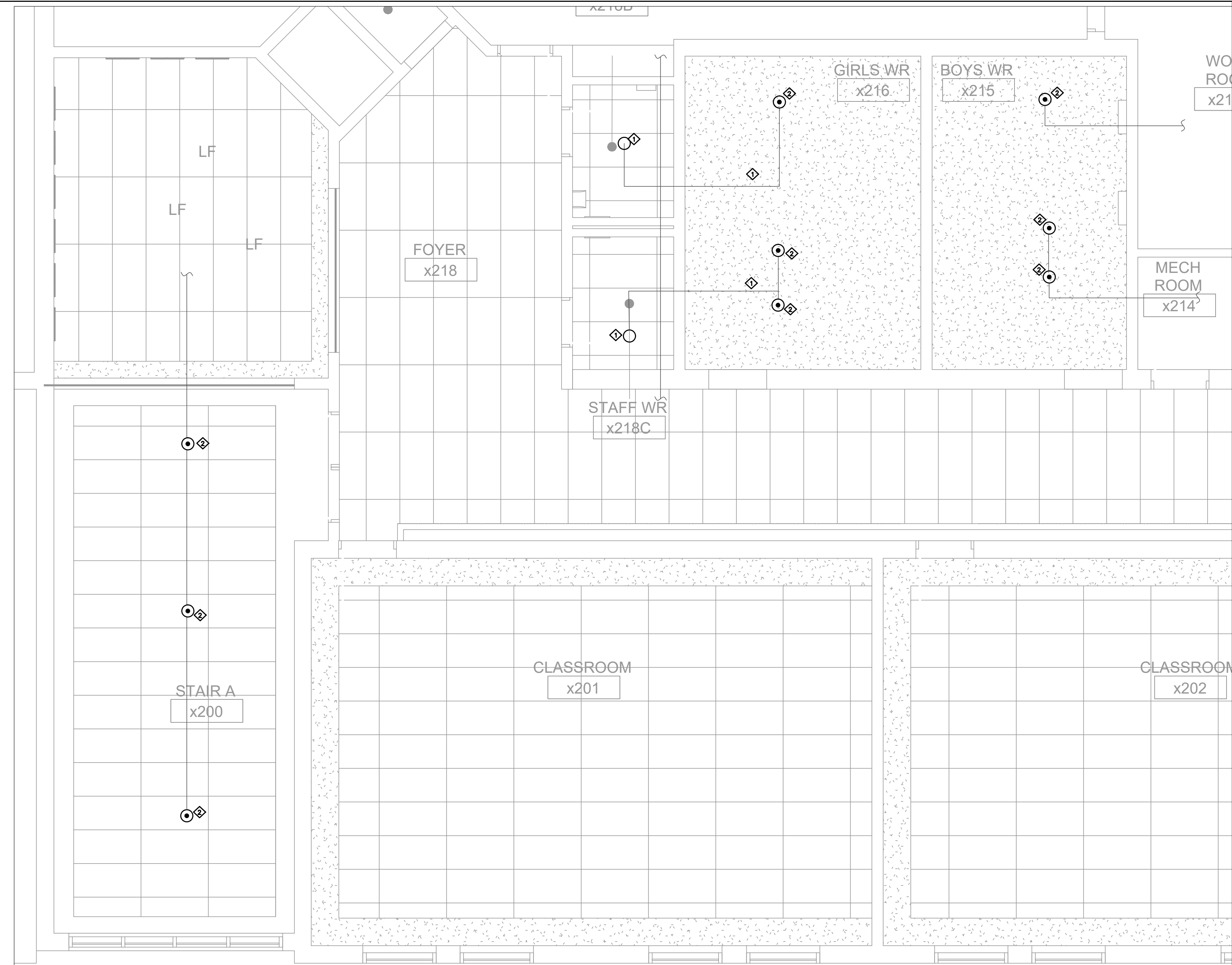
DATE:	FEBRUARY 2025
SCALE:	1:100
DRAWN BY:	MS
CHECKED BY:	MA
DWG STATUS:	TENDER
PROJECT No.:	2025-476
DRAWING No.:	M4.1
REVISION:	

March 13, 2025 4:31:19 PM



1 PROPOSED SPRINKLER PLAN GROUND FLOOR  
 M5.0 SCALE 1:30

**DRAWING NOTES - DEMOLITION**  
 ◊ EXISTING SPRINKLER PIPING AND UPRIGHT SPRINKLER HEADS TO REMAIN.



2 PROPOSED SPRINKLER PLAN -SECOND FLOOR  
 M5.0 SCALE 1:50

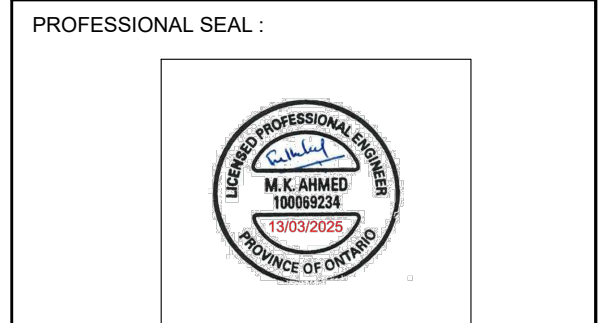
**DRAWING NOTES - DEMOLITION**  
 ◊ EXISTING SPRINKLER PIPING AND UPRIGHT SPRINKLER HEADS TO REMAIN.  
 ◊ CONTRACTOR TO REPLACE EXISTING SPRINKLER UPRIGHT HEADS WITH THE NEW SPRINKLERS WITH THE DOWNWARD HEADS. EXISTING SPRINKLER PIPING TO REMAIN. CONTRACTOR TO ALLOW FOR PIPE FREEZING DURING THE REPLACEMENT OF SPRINKLER HEAD.

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No.	Description	Date
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PROJECT:  
**ASCENSION CES RENOVATION PROJECT**

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 Burlington, Ontario, L7L 1V3  
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DWG TITLE:  
 PROPOSED SPRINKLER LAYOUT- GROUND AND SECOND FLOOR PARTIAL



DATE:	FEBRUARY 2025
SCALE:	AS SHOWN
DRAWN BY:	MS
CHECKED BY:	MA
DWG STATUS:	TENDER
PROJECT No.:	2025-476
DRAWING No.:	M5.0
REVISION:	

March 13, 2025 4:17:57 PM



**PLUMBING**

- PLUMBING SERVICES ARE TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH:
  - THE ONTARIO BUILDING CODE (2006)
  - THE WATER RESOURCES ACT (REG. 815)
  - ASHRAE/IES 90.1 (2004)
  - FEDERAL, PROVINCIAL OR LOCAL AUTHORITIES HAVING JURISDICTION.
- HOT AND COLD PORTABLE WATER PIPING TO BE TYPE-L COPPER (CONFORM TO ASTM-B88) WITH SOLDER-JOINT FITTINGS (CONFORM TO ANSI-B16.18 OR ANSI-B16.22).
- BURIED DRAINAGE PIPING INSIDE THE BUILDING TO BE ABS PLASTIC (CERTIFIED TO CAN/CSA-B181.1) WITH SOLVENT CEMENT JOINT (CONFORM TO CAN/CSA-181.1).
- ALL ABOVE GRADE SANITARY DRAINS AND VENT STACKS TO BE CAST IRON, NO HUB, WITH MJ JOINTS (CERTIFIED TO CSA-B70). BRANCH VENTS AND ABOVE GRADE SANITARY DRAINS MAY BE COPPER DRAINAGE TUBE (DWV) (COMPLY WITH ASTM-B306) WITH SOLDER JOINT FITTINGS (CONFORM TO ANSI-B16.29).
- STANDARD FLOW ROOF DRAINS TO BE SMITH SERIES 1010ERCOID ROOF DRAIN, ALL DUCO COATED 15" (380MM) DIA., CAST IRON BODY, WITH UNDER DECK CLAMP, ADJUSTABLE EXTENSION AND SUMP RECEIVER, 11" (280MM) SECURED C.I. DOME, ON SMALL AREA ROOFS PROVIDE SERIES 1330ERCOID DRAIN, WITH 8 1/2" (212MM) ALUMINUM DOME, IN PATIO AND TRAFFIC AREAS PROVIDE SERIES 1470ERCOID DRAIN, WITH ADJUSTABLE SLOTTED EXTENSIONS AND 8" X 8" (200MM X 200MM) NICKEL BRONZE SQUARE PROMENADE TOP, INVERTED ROOF INSTALLATION USE SERIES 1017EPRCOID DRAINS.
- FLOW CONTROL ROOF DRAINS SMITH SERIES 1083ERCOID FLOW CONTROL ROOF DRAIN SLOPED ROOF ALL DUCO COATED CST IRON BODY, WITH ECK CLAMP, ADJUSTABLE DETENTION AND SUMP RECEIVER, 11" (280MM) SECURED C.I. DOME AND 6" HIGH (150MM) FLOW RATE CONTROL WEIR, INVERTED ROOF INSTALLATION US SERIES 1017-B5-ERPCOID DRAINS.
- PARAPET, SCUPPER DRAINS, GUTTER, AND PIT DRAINS TO BE SMITH SERIES 1510/30SG SCUPPER DRAIN, ALL DUCO COATED CAST IRON BODY, WITH SECURED ANGLED GRATE, FLASHING CLAMP AND 45 DEGREE OR 90 DEGREE OUTLETS. FOR GUTTER INSTALLATION USE SMITH SERIES 1630, WITH 4 1/2 (114MM) HIGH DOME.
- FLOOR DRAINS IN FINISHED AREAS TO BE SMITH SERIES 2005A FLOOR DRAIN, ALL DUCO COATED CAST IRON BODY, REVERSIBLE CLAMP DEVICE AND ADJUSTABLE 5" DIAMETER (127MM) NICKEL BRONZE 1/4" (6.35MM) THICK STRAINER, SECURED WITH I.S.S. SCREWS, 4" (100MM) THROAT ON STRAINER, IN QUARRY OR MOSAIC TILED AREAS, PROVIDE SQUARE B" - 5"x5" (127MM X 127MM) POLISHED BRONZE (PB) SQUARE STRAINER, FLOOR DRAIN WITH FUNNEL, PROVIDE 2005A-3580NB.
- FLOOR DRAINS IN MECHANICAL ROOMS AND UNFINISHED AREAS TO BE SMITH SERIES 2320 FLOOR DRAIN, ALL DUCO COATED CAST IRON BODY, SEEPAGE FLANGE, ADJUSTABLE COLLAR, CALMING DEVICE AND 8" (200MM) DIAMETER GRATE, FLOATING FLOORS PROVIDE 9340, WITH MOMENT COMPENSATOR AND VIBRATION ISOLATOR.
- FLOOR DRAINS WITH COMBINATION FUNNEL TO BE SMITH SERIES 2320-359IFUNNEL FLOOR DRAIN, ALL DUCO COATED CAST IRON BODY, SEEPAGE FLANGE, ADJUSTABLE COLLAR, CLAMPING DEVICE AND 8-1.2" (216MM) WITH 4" X 9" (101.6MM X 228.6MM) OVAL FUNNEL, FLOATING FLOOR PROVIDE 9340P-359I, WITH MOVEMENT COMPENSATOR AND VIBRATION ISOLATOR.
- EXTERIOR NON-FREEZE WALL HYDRANT TO BE SMITH SERIES 5609GTNB HYDRANT, 1/4 TURN NON-DRIOP, CERAMIC CARTRIDGE, 3/4" (19MM) NON-FREEZE WALL TYPE WITH BRONZE FACE, ADJUSTABLE WALL-ORFLANGE OPERATION KEY AND SERF-DRAINING INTEGRAL VACUUM BREAKER, LENGTH TO SUIT WALL THICKNESS.
- INTERIOR HOSE BIBB TO BE CAMBRIDGE BRASS #32W201 HOSE BIBB, 1/2" (12.7MM) SIZE, WALL TYPE ROUGH BRONZE WITH HOSE END VACUUM BREAKER.
- LINE CLEANOUTS TO BE SMITH SERIES #4420 LINE CLEANOUTS, IN CAST IRON PIPE WITH BOLTED NEOPRENE CASKETED COVER SECURED TO BODY WITH BRASS BOLTS, WITH FULL SIZE PIPE OPENING.
- STACK CLEANOUT TO BE SMITH SERIES #4510 STACK CLEANOUT, IN BASE OF CAST IRON STACK WITH NEOPRENE CASKETED SECURED COVER, WHERE CLEANOUTS ARE CONCEALED BEHIND FINISHED WALLS ACCESS SHALL BE MADE BY SMITH 4530 ROUND STAINLESS STEEL PLATE AND SLOTTED FLAT HEAD STAINLESS STEEL SCREWS.
- URNAL CLEANOUT TO BE SMITH SERIES S04-1819 URINAL WALL ACCESS CLEANOUT , WITH S.S BOLT AND WING NUT, COMPLETE WITH ROUND POLISHED S.S. ACCESS COVER AND SECURED WITH V.P. SCREW.
- FLOOR CLEANOUTS IN UNFINISHED AREAS AND OUTSIDE AREAS, SMITH SERIES 4220 FLOOR CLEANOUT, DUCO COATED CAST IRON BODY WITH INTEGRAL CLAMP DEVICE, AND REMOVABLE POSITIVE SEAL CLOSURE PLUG AND HEAVY DUTY 6" (150MM) ADJUSTABLE COVER SECURED WITH STAINLESS STEEL SCREWS.
- FLOOR CLEANOUTS IN TILED AREAS, SMITH SERIES 4140 FLOOR CLEANOUT, SAME AS ABOVE WITH SQUARE NICKEL BRONZE COVER AND FRAME RECESSED FOR TILE, COVER CAN BE ADJUSTED TO SUIT FLOOR LINES WHEN INSTALLING FINISHED FLOOR.
- FLOOR CLEANOUTS IN TERRAZZO AREAS, SMITH SERIES 4180 FLOOR CLEANOUT, SAM AS ABOVE WITH SQUARE NICKEL BRONZE COVER AND FRAME RECESS FOR TERRAZZO, COVER CAN BE ADJUSTED TO SUIT FLOOR LINES WHEN INSTALLING FINISHED FLOOR.
- FLOOR CLEANOUTS IN CARPETED AREAS, SMITH SERIES 4020Y FLOOR CLEANOUT, SAME AS ABOVE WITH NICKEL BRONZE COVER AND FRAME.
- FLOOR CLEANOUTS IN OTHER FINISHED AREAS, SMITH SERIES 4020 FLOOR CLEANOUT, SAME AS ABOVE WITH NICKEL BRONZE FRAME AND COVER.
- FLOOR CLEANOUTS FOR HEAVY TRAFFIC AREAS, SMITH SERIES 4100 FLOOR CLEANOUT, SAME AS ABOVE WITH EXTRA HEAVY NICKEL BRONZE COVER AND FRAME.
- TRAP SEAL PRIMER SERVING 1 OR 2 DRAINS TO BE P.P.P. INC. MODEL P0-500 AUTOMATIC TRAP SEAL PRIMER VALVE, SEARING INDIVIDUAL OR REMOTE AREA DRAINS WITH 1" NPT (MTOF) CONNECTIONS WITH STRAINER AND INTEGRAL BACK FLOW PREVENTER & VACUUM BREAKER.
- PROVIDE ISOLATION VALVES ON ALL MAIN LINES, BRANCH LINES AND AT PIECES OF EQUIPMENT, ALL VALES SHALL BE JENKINS, CRANE OR EQUAL WITH A MINIMUM RATING OF 125% OF THE SYSTEM DESIGN PRESSURE.
- ALL ABOVE GRADE PIPING IS TO BE INSULATED WITH FIBREGLASS INSULATION TO PREVENT CONDENSATION OR TO RETAIN HEAT FOR ENERGY EFFICIENCY. INSULATION SYSTEM TO BE SCHULLER MICRO-LOK OR EQUAL, WITH SIZES AS SHOWN BELOW.
 

SERVICE & PIPE SIZE	INSULATION REQUIRED
SANITARY DRAINS (ANY SIZE)	1"
DOMESTIC COLD WATER (ANY SIZE)	1"
DOMESTIC HOT WATER (2" & SMALLER)	1"
DOMESTIC HOT WATER (2½" & LARGER)	1½"
DOMESTIC HOT WATER RECIRC.(ANY SIZE)	1"
DOMESTIC WATER (HOT OR COLD) BRANCHES	½"

- DOOR TO BE GALVANIZED STEEL TAPING BEADING TO PROVIDE FINISH OF DRYWALL JOINTS.
- FIRE RATED ACCESS DOORS TOBE INSULATED ACUDOR SERIES FW-5050 FIRE RATED ACCESS DOORS, FOR WALLS AND CEILING UL/ULC 1-1/2 HOUR 'B' LABEL WITH MAXIMUM TEMPERATURE RISE OF 250 DEGREES AFTER 30 MINUTES. DOOR WITH 2" (50MM) INSULATION, STEEL, 20 GA (1MM) WITH 16 GA. (1.6MM) FRAME, CONCEALED HINGE, SELF LATCHING RING PULL AND GREY BAKED ENAMEL FINISH.
- PROVIDE PLUMBING FIXTURES AND EQUIPMENT AS SPECIFIED ON THE DRAWINGS. ALL ITEMS TO BE NEW AND OF THE HIGHEST QUALITY. ALL ITEMS INSTALLED BY THIS CONTRACTOR MUST BE INSTALLED COMPLETE AND INCLUDE ALL PIPING, VALVES AND MISCELLANEOUS FITTINGS, CONTROLS, SUPPORT BASE OR STRUCTURE, TO ENSURE A TOTALLY FUNCTIONAL UNIT OR SYSTEM. COORDINATE INSTALLATION WITH OTHER TRADES AS REQUIRED.
- ALL PLUMBING INSTALLATIONS ARE TO BE IN THE BEST WORKMANLIKE MANOR AND IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADE.
- SUPPORT ALL PIPING AS FOLLOWS:
 

PIPE SIZE	DISTANCE BETWEEN SUPPORTS
1" & SMALLER (METALLIC)	6'-0" MAXIMUM
1½" & SMALLER (METALLIC)	8'-0" MAXIMUM
½" & SMALLER (PLASTIC)	3'-0" MAXIMUM
1½" & SMALLER (PLASTIC)	4'-0" MAXIMUM
- PROVIDE SLEEVES FOR ALL PIPING PENETRATING WALLS AND FLOORS. ENSURE ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES ARE PROPERLY SEALED WITH AN APPROVED COMPOUND.
- ALL TRENCHING, BEDDING, AND BACKFILL USE BURIED PIPING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- PRESSURE TEST THE HOT AND COLD WATER PIPES WITH WATER PRESSURE AT 1000KPa FOR 1 HOUR OR AIR PRESSURE AT 700KPa FOR 2 HOURS.

**PLUMBING FITTINGS AND ACCESSORIES**

VALVES		
GATE VALVES:	NPS 2 AND UNDER	CRANE 1320 / CRANE 428
	OVER NPS 2	CRANE 465 1/2
GLOBE VALVES:	NPS 2 AND UNDER	CRANE 1310
CHECK VALVES:	NPS 2 AND UNDER	CRANE 1342
	OVER NPS 2	CRANE 373
BALL VALVES:	NPS 2 AND UNDER	CRANE 9322S

**FLOOR DRAINS**

- FINISHED FLOORS ZURN ZN-211BP, 125BP, 125 MM ROUND NICKEL BRONZE STRAINER.
- UNFINISHED AREAS ZURN ZXN-211AP - IN WATERPROOF MEMBRANE AREAS USE ZXN-401AP NICKEL BRONZE STRAINER.
- CERAMIC TILE AREAS ZURN ZXN-211 HP WITH NICKEL BRONZE STRAINER,150X150 SIZE.
- ANCON DRAINS CONSIDERED EQUAL TO ZURN.

**CLEANOUTS**

- CLEANOUT PLUGS (CAST IRON) HEAVY CI MALE FERRULE WITH BRASS SCREWS AND THREADED BRASS OR BRONZE PLUG, SEALING-CAULKED SEAT OR WITH NEOPRENE GASKET. ACCEPTABLE MATERIALS: ZURN Z1450 SERIES, ANCON.

**PLUMBING FIXTURES**

- FIXTURES ARE NOT TO BE INSTALLED UNTIL DIRECTED BY THE ENGINEER. ALL ROUGH-IN SHALL BE ACCURATELY LAID OUT, AND NO OFFSETS WILL BE ACCEPTED. ALL FIXTURES SHALL BE THE BEST OF THEIR RESPECTIVE KIND, FREE FROM ALL DEFECTS AND ANY FIXTURE WHICH IN THE OPINION OF THE ENGINEER IS DEFECTIVE OR DAMAGED SHALL BE REMOVED AND REPLACED BY A FIXTURE WHICH IS ACCEPTABLE. THE FIXTURES SHALL INCLUDE ALL TRIM, TRAPS AND WASTE WATER CONNECTIONS, TANKS, ETC., USUALLY CLASSED AS FITTINGS AND REQUIRED TO MAKE FIXTURE COMPLETE IN EVERY RESPECT. FIXTURES SHALL BE WHITE. CRANE AND AMERICAN STANDARD FIXTURES ARE CONSIDERED EQUALS.

**PLUMBING FIXTURES**

**FD-- FLOOR DRAINS**

ADJUSTABLE FLOOR DRAIN-ZURN-Z415-BZ1-DP

**TRAP SEAL PRIMERS**

PPP-PR-500 PRESSURE DROP ACTIVATED TRAP PRIMER

**CLEANOUTS**

ADJUSTABLE ON GRADE CLEANOUTS-- SIOUX CHIEF 834 SERIES FINISH LINE ADJUSTABLE ON GRADE CLEANOUT, MODEL NO 834-4-P-NR-V-832 S4

**WATER HAMMER ARRESTORS**

- WATTS DRAINAGE SERIES 05
- ANSI A112.26.1; COPPER CONSTRUCTION, PISTON TYPE SIZED TO PDI WH-201, PRE-CHARGED SUITABLE FOR OPERATION IN TEMPERATURE RANGE 99F TO 300F (-73C TO 149C) AND MAXIMUM 150 PSI (1000 KPA) WORKING PRESSURE.

The Contractor shall verify all dimensions prior to commencement of the work. All print and specifications are the property of the Architect and must be returned upon completion of the work.

**ISSUE OR REVISION**

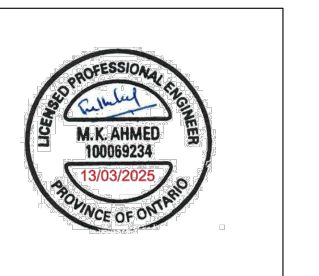
No.	Description	Date
1	ISSUED FOR REVIEW	FEB 13, 2025
2	ISSUED FOR TENDER	MAR 13, 2025

**ASCENSION CES RENOVATION PROJECT**

PROJECT :

5205 New Street,  
Burlington, Ontario, L7L 1V3  
HALTON CATHOLIC DISTRICT SCHOOL BOARD

PROFESSIONAL SEAL :



DWG TITLE : **MECHANICAL SPECIFICATIONS-2**



**REGAL CONSULTING ENGINEERS INC.**  
CONSULTING MECHANICAL & ELECTRICAL ENGINEERS  
208 Wycroft Road, Suite 200, Oakville, Ontario L6K 3S3  
PHONE: 905.844-2913  
www.regal-eng.com

DATE : **FEBRUARY 2025**

SCALE : **AS SHOWN**

DRAWN BY : **MS**

CHECKED BY : **MA**

DWG STATUS : **TENDER**

PROJECT No. : **2025-476**

DRAWING No. : **M6.1** REVISION

March 13, 2025 4:18:06 PM



## FIRE ALARM NOTES

- CONTRACTOR MUST VISIT THE SITE AND CONFIRM ALL CONSTRUCTION DETAILS PRIOR TO SUBMITTING THE TENDER. THE CONSTRUCTION DETAILS MAY INCLUDE BUT NOT BE LIMITED TO FOLLOWING:
  - PENETRATION THROUGH THE EXISTING WALLS AND SLABS
  - INTERFERENCE WITH STRUCTURAL ELEMENTS
  - INTERFERENCE WITH LIGHTING FIXTURES, MECHANICAL DUCTWORK AND PIPING ETC.
  - ROUTING OF THE NEW CONDUITS/RACEWAYS
  - CUTTING AND PATCHING REQUIREMENT
- ALL FIRE ALARM SYSTEM WIRING SHALL BE NEW AND SHALL BE RUN IN CONDUITS UNLESS SPECIFICALLY INDICATED OTHERWISE.
- ALL CONDUITS IN FINISHED AREAS MUST BE RUN COMPLETELY CONCEALED. CONTRACTOR TO PROVIDE ALL CUTTING AND PATCHING AS REQUIRED.
- EXISTING FIRE ALARM SYSTEM MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD, ONCE THE NEW FIRE ALARM SYSTEM HAS BEEN INSTALLED, TESTED VERIFIED AND APPROVED BY THE FIRE DEPARTMENT, THE CONTRACTOR TO DISCONNECT AND REMOVE EXISTING FIRE ALARM SYSTEM C/W ALL DEVICES, WIRING, EXPOSED CONDUITS AND JUNCTION BOXES. PROVIDED BLANK COVER PLATES FOR ALL REDUNDANT OUTLET BOXES.
- CONTRACTOR MUST CONFIRM ROOM NAMES AND NUMBERS ON SITE AND MAKE NECESSARY MODIFICATIONS TO ZONE INDICATION MESSAGES
- PROVIDE FOLLOWING SPARE DEVICES AND INSTALL AS PER THE ENGINEERING DISCRETION ON SITE AND HAND OVER ALL UNUSED DEVICES TO THE OWNER AT THE COMPLETION OF THE PROJECT:
  - 10 HEAT DETECTORS
  - 5 PULL STATION
  - 5 HORNS
  - 5 HORN/STROBES
  - 5 SMOKE DETECTORS
- REFER TO THE DSS REPORT OF ISSUED WITH THE TENDER DOCUMENTS. IF THE CONTRACTOR RETAINED FOR THE WORK UNCOVERS A MATERIAL THROUGH DEMOLITION THAT IS SUSPECTED TO CONTAIN ASBESTOS AND NOT INDICATED IN THE ASBESTOS LOCATION REPORT, THE DSS CONSULTANTS SHOULD BE CONTACTED FOR SAMPLE COLLECTION AND ANALYSIS. IF REQUIRED, FURTHER INSTRUCTION WILL BE FORWARDED WHERE MATERIALS ARE CONFIRMED TO CONTAIN ASBESTOS AND WILL IMPACT ON THE CONSTRUCTION WORK.
- ALL DEVICE LOCATION INDICATED ON THE PLANS IS FOR REFERENCE AND PRICING ETC, ACTUAL LOCATIONS OF THE DEVICES MUST BE DETERMINED ON SITE BY THE CONTRACTOR TO ENSURE THAT THE LOCATIONS COMPLY WITH THE APPLICABLE CODE REQUIREMENTS AND THE DEVICES ARE EASILY ACCESSIBLE FOR MAINTENANCE AND VERIFICATION PURPOSES, INSTALLATION OF DEVICES DIRECTLY OVER BOILER ETC. ARE NOT PERMITTED FEES SUBJECT TO RELOCATION AT THE CONTRACTOR'S COST.
- CONTRACTOR TO CONFIRM LOCATIONS OF THE EXISTING COMPUTER/HUB ROOMS ON SITE AND INSTALL SMOKE DETECTOR IN EACH.
- CONTRACTOR TO PROVIDE AND INSTALL A SMOKE DETECTOR AT THE TOP OF THE ELEVATOR SHAFT AND A HEAT DETECTOR IN THE ELEVATOR PIT.
- CONTRACTOR TO ALLOW FOR FIRE STOPPING WHEREVER RUNNING CONDUIT THROUGH FIRE SEPARATION IN ORDER TO MAINTAIN THE INTEGRITY OF THE EXISTING FIRE SEPARATION.
- UPON COMPLETION OF THE FIRE ALARM REPLACEMENT PROJECT, THE FIRE ALARM MANUFACTURER SHALL PROVIDE PROGRAMMING CODE TO THE SCHOOL BOARD.
- PROVIDE UNIT PRICE FOR THE FOLLOWING FIRE ALARM DEVICES, UNIT PRICE SHALL INCLUDE VERIFICATION OF THE FIRE ALARM DEVICES:
  - SMOKE DETECTORS.
  - HEAT DETECTORS.
  - FA HORNS.
  - FA HORNS/STROBES.
  - PULL STATIONS.

## FIRE ALARM SCOPE OF WORK

- INTENDED SCOPE OF WORK OF THIS PROJECT SHALL INCLUDE BUT NOT BE LIMITED TO FOLLOWING:
- THE ELECTRICAL CONTRACTOR SHALL REMOVE EXISTING FIRE ALARM HORN AND FIRE ALARM HORN & STROBE THAT ARE BEING DEMOLISHING.
  - ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL NEW COMBINATION HORN/STROBE UNITS AS SHOWN ON THE ELECTRICAL DRAWINGS.
  - THE CONTRACTOR SHALL PROVIDE A MINIMUM OF TWO (2) DAYS OF FIRE WATCH DURING THE REPLACEMENT PROCESS.
  - ALL NEW FIRE ALARM HORN/STROBE UNITS SHALL BE CONNECTED TO THE EXISTING FIRE ALARM PANEL.
  - THE EXISTING FIRE ALARM PANEL, FIRE ALARM ANNUNCIATOR, SMOKE DETECTORS, HEAT DETECTORS, AND FIRE ALARM PULL STATIONS SHALL REMAIN UNCHANGED.
  - THE CONTRACTOR SHALL PERFORM ALL NECESSARY TESTING AND VERIFICATION TO ENSURE PROPER FUNCTIONALITY AND COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.
  - UPON COMPLETION AND APPROVAL OF THE NEW FIRE ALARM HORN/STROBE INSTALLATION, ALL ASSOCIATED WIRING AND CONDUIT SHALL REMAIN IN PLACE.
  - ALL AFFECTED SURFACES SHALL BE PAINTED AND MADE GOOD TO CONSULTANTS AND OWNERS SATISFACTION, AND TO MATCH EXISTING.
  - ALL AFFECTED SURFACES SHALL BE PAINTED AND MADE GOOD TO CONSULTANT'S AND OWNER'S SATISFACTION, AND TO MATCH EXISTING.
  - UPON COMPLETION OF THE FIRE ALARM PROJECT THE CONTRACTOR SHALL PROVIDE TO THE SCHOOL BOARD A CLEAN UPDATED PASSIVE GRAPHICS SOFT COPY WITH NO WATERMARKS FOR THEIR RECORDS.

## FIRE ALARM NOTE

- UPON COMPLETION OF THE NEW FIRE ALARM HORN & STROBE INSTALLATION, THE CONTRACTOR SHALL CONNECT THE NEW DEVICES TO THE EXISTING EDWARDS FIRE ALARM PANEL, ENSURE THAT THE PANEL REMAINS IN PLACE, AND RETURN THE ENTIRE FIRE ALARM SYSTEM TO THE OWNER IN GOOD WORKING CONDITION.

## EMERGENCY AND EXIT SIGN NOTES

- CONTRACTOR MUST VISIT THE SITE AND CONFIRM ALL CONSTRUCTION DETAILS PRIOR TO SUBMITTING THE TENDER. THE CONSTRUCTION DETAILS MAY INCLUDE BUT NOT BE LIMITED TO FOLLOWING:
  - PENETRATION THROUGH THE EXISTING WALLS AND SLABS
  - INTERFERENCE WITH STRUCTURAL ELEMENTS
  - INTERFERENCE WITH LIGHTING FIXTURES, MECHANICAL DUCTWORK AND PIPING ETC.
  - ROUTING OF THE NEW CONDUITS/RACEWAYS
  - CUTTING AND PATCHING REQUIREMENT
- ALL CONDUITS IN FINISHED AREAS MUST BE RUN COMPLETELY CONCEALED. CONTRACTOR TO PROVIDE ALL CUTTING AND PATCHING AS REQUIRED.
- REFER TO THE DSS REPORT OF ISSUED WITH THE TENDER DOCUMENTS. IF THE CONTRACTOR RETAINED FOR THE WORK UNCOVERS A MATERIAL THROUGH DEMOLITION THAT IS SUSPECTED TO CONTAIN ASBESTOS AND NOT INDICATED IN THE ASBESTOS LOCATION REPORT, THE DSS CONSULTANTS SHOULD BE CONTACTED FOR SAMPLE COLLECTION AND ANALYSIS. IF REQUIRED, FURTHER INSTRUCTION WILL BE FORWARDED WHERE MATERIALS ARE CONFIRMED TO CONTAIN ASBESTOS AND WILL IMPACT ON THE CONSTRUCTION WORK.
- ALL DEVICE LOCATION INDICATED ON THE PLANS IS FOR REFERENCE AND PRICING ETC, ACTUAL LOCATIONS OF THE DEVICES MUST BE DETERMINED ON SITE BY THE CONTRACTOR TO ENSURE THAT THE LOCATIONS COMPLY WITH THE APPLICABLE CODE REQUIREMENTS AND THE DEVICES ARE EASILY ACCESSIBLE FOR MAINTENANCE AND VERIFICATION PURPOSES, INSTALLATION OF DEVICES DIRECTLY OVER BOILER ETC. ARE NOT PERMITTED FEES SUBJECT TO RELOCATION AT THE CONTRACTOR'S COST.

## EMERGENCY LIGHTS AND EXIT SIGN

### SCOPE OF WORK

- INTENDED SCOPE OF WORK OF THIS PROJECT SHALL INCLUDE BUT NOT BE LIMITED TO FOLLOWING:
- SUPPLY AND INSTALLATION OF EMERGENCY LIGHTS, EXIT SIGNS AND BATTERY UNITS ,ACCORDANCE TO APPLICABLE CODES AND STANDARDS AND AS INDICATED HEREIN.
  - PROVIDE AND INSTALL NEW EXIT SIGNS AS SHOWN ON PLANS, CONNECT TO THE EXISTING CIRCUIT.
  - THE CONTRACTOR SHALL PROVIDE AND INSTALL NEW CONDUITS AND CABLES REQUIRED TO CONNECT THE NEW EMERGENCY LIGHTING FIXTURES, EXIT SIGNS, AND BATTERY UNITS TO THE EXISTING SYSTEM, ENSURING THAT ALL NEW INSTALLATIONS MEET APPLICABLE CODES AND STANDARDS.
  - UPON COMPLETION AND APPROVAL OF THE WORK ALL EXPOSED WIRING AND CONDUITS MUST BE REMOVED AND ALL AFFECTED SURFACES SHALL BE PAINTED AND MADE GOOD TO CONSULTANTS AND OWNERS SATISFACTION, AND TO MATCH EXISTING.

### NOTES:

- CONTRACTOR TO INSTALL THE NEW EXIT SIGNS IN THE T BAR CEILING WITH T BAR HANGER AND CHAIN SUPPORT FROM THE JOIST..

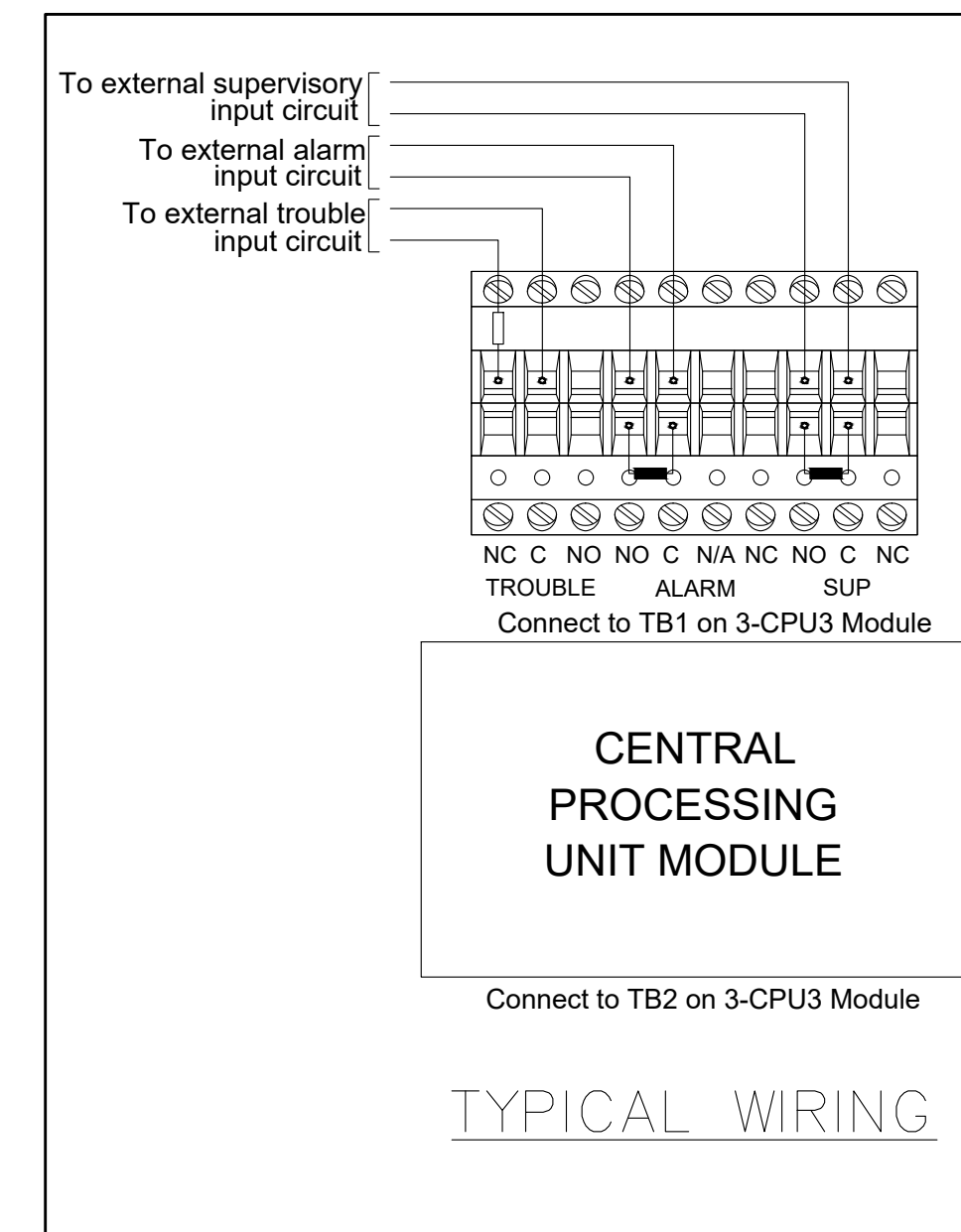
## EMERGENCY LIGHTING FIXTURE SCHEDULE

- CONTRACTOR IS TO INCLUDE FOR ALL ACCESSORIES AS REQUIRED FOR A FULL AND COMPLETE INSTALLATION. PARTS NUMBERS SHOWN ARE GENERALLY FOR FIXTURE ONLY. REFER TO ARCHITECTURAL CEILING SCHEDULE FOR CEILING TYPES.
- INSTALLATION OF EMERGENCY LIGHTING AND UNIT EQUIPMENT SHALL BE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND ACCORDING TO CODE REQUIREMENTS.
- EMERGENCY BATTERIES SHALL BE SIZED TO MAINTAIN CONNECTED LOAD FOR MINIMUM 1/2 HOUR.
- FOR ALL EXIT SIGNS REFER TO FLOOR PLANS FOR SINGLE OR DOUBLE FACE, CEILING RECESSED OR WALL MOUNTED.
- ALL EMERGENCY LIGHTING AND EQUIPMENT ARE TO HAVE SHOP DRAWINGS SUBMITTED TO THE CONSULTANT PRIOR TO ORDERING FOR APPROVAL. CONTRACTOR MUST INCLUDE SHOP DRAWINGS FOR ALL LAMPS BEING INSTALLED WITH FIXTURES.
- EQUIPMENT BEING SUBMITTED AS AN APPROVED EQUAL ARE TO BE SUBMITTED TO THE CONSULTANT FOR APPROVAL NO LESS THAN 5 BUSINESS DAYS BEFORE CLOSING. SUBMITTALS SHALL BE CLEARLY LABELLED AND INCLUDE COMPLETE FIXTURE CUTS STATING INCLUDED OPTIONS AND ACCESSORIES. SUBMITTALS NOT MEETING THIS CRITERIA WILL BE REJECTED.
- THE CONTRACTOR SHALL INCLUDE FOR TWO (2) SPARE EXIT SIGNS TO BE INSTALLED AS DIRECTED BY OWNER/ENGINEER/BUILDING OFFICIAL. UNUSED SPARE SIGNS SHALL BE TURNED OVER TO OWNER IF NOT REQUIRED.

TYPE	DESCRIPTION	MODEL #
EXIT SIGN	SELF-POWERED EMERGENCY RUNNING MAN EXIT SIGN C/W DIRECTIONAL PICTOGRAMS FOR ON-SITE DIRECTION SELECTION. 1-1.5W LED 120VAC, 12VDC. REFER TO FLOOR PLANS FOR SINGLE OR DOUBLE FACE, CEILING RECESSED OR WALL MOUNT.	AIMLITE 'RPALW' SERIES RPALW-X-M-WHT-BAT  STANPRO 'RMLX' SERIES RMXLUWH-B  LUMACELL 'LA' SERIES LAXWS OR APPROVED EQUAL
EMERG. BATTERY UNIT C/W EMERG. HEADS	SURFACE MOUNTED BATTERY UNIT C/W TWIN HEADS AS INDICATED. 2-3W LED PAR18 (2-6W MR16LED), 120VAC, 12VDC. UNIT TO BE C/W AUTO-TEST AND BATTERY DISCONNECT.	AIMLITE 'EBST' SERIES EBST-12-250-25M3WLJ-WHT-ATD-BTD  STANPRO 'SL' SERIES SLC-12-250-2N3WLJ-WH-AT-BD  LUMACELL 'RGS' SERIES RG12S-250-2LD10-AT-LD OR APPROVED EQUAL
EMERG. BATTERY UNIT	SURFACE MOUNTED BATTERY UNIT. 120VAC, 12VDC. UNIT TO BE C/W AUTO-TEST AND BATTERY DISCONNECT.	AIMLITE 'EBST' SERIES EBST-12-450-WHT-ATD-BTD  STANPRO 'SL' SERIES SLC-12-450-WH-AT-BD  LUMACELL 'RGS' SERIES RG12S-450-AT-LD OR APPROVED EQUAL
EMERG. REMOTE HEADS	REMOTE EMERGENCY SINGLE AND DOUBLE HEAD AS INDICATED ON PLANS. 3W LED PAR18 (6W MR16LED), 12VDC.	AIMLITE RSM1-6-12-3WLJ-WHT & RSM2-6-12-3WLJ-WHT  STANPRO N-1-6-12-3WLJ-WHT & N-2-6-12-3WLJ-WHT  LUMACELL MQM1LD10 & MQM2LD10 OR APPROVED EQUAL

## PROPOSED BATTERY UNIT SCHEDULE

LOCATION	UNIT UNMBER	EXIT SIGNS	DOUBLE HEADS	SINGLE HEADS	CONNECTED LOAD (WATT)	CAPACITY (WATT)				
						30 MIN	1H00	1H30	2H00	
128- BOILER ROOM	BU-A	14	23	6	368	720	420	300	240	
214-MECHANICAL ROOM SECOND FLOOR	BU-B	7	14	1	202	720	420	300	240	
134- GYM STORAGE ROOM ROOM	BU-C	2	6	1	86	720	420	300	240	
REFER TO ELECTRICAL SPECIFICATION										



The Contractor shall verify all dimensions prior to commencement of the work. All print and specifications are the property of the Architect and must be returned upon completion of the work.

## ISSUE OR REVISION

No.	Description	Date
1	ISSUED FOR REVIEW	FEB 18, 2025
2	ISSUED FOR TENDER	MAR 13, 2025

# ASCENSION CES RENOVATION PROJECT

PROJECT :

5205 New Street,  
Burlington, Ontario, L7L 1V3  
HALTON CATHOLIC DISTRICT SCHOOL BOARD

PROFESSIONAL SEAL :



DWG TITLE :  
**ELECTRICAL EQUIPMENT SCHEDULES-2**



**REGAL CONSULTING ENGINEERS INC.**  
CONSULTING MECHANICAL & ELECTRICAL ENGINEERS  
208 Wycroft Road, Suite 200, Oakville, Ontario L6K 3S3  
PHONE: (905)44-3913  
www.regal-eng.com

DATE : **FEBRUARY 2025**

SCALE : **N.T.S.**

DRAWN BY : **AS**

CHECKED BY : **MA**

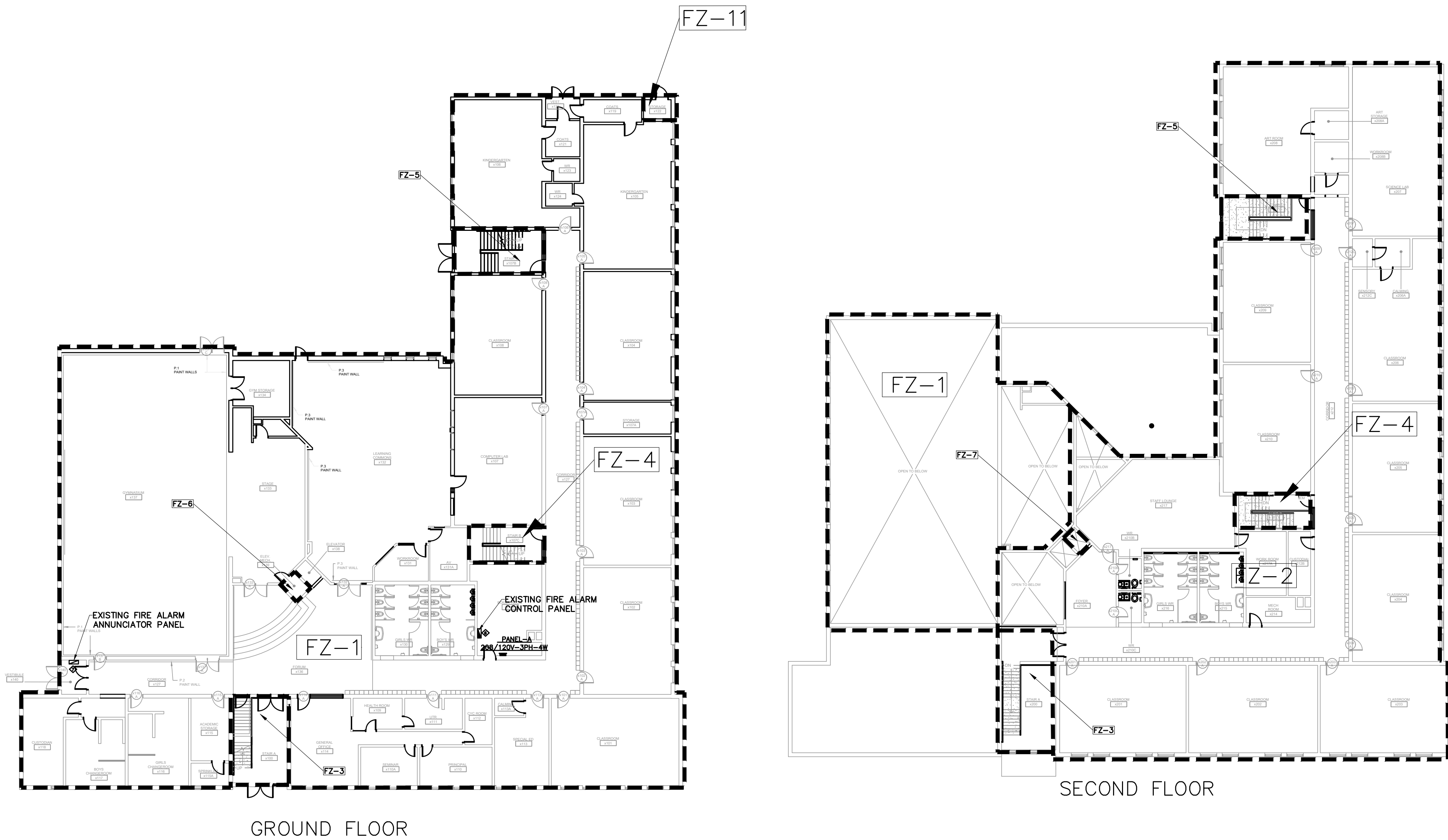
DWG STATUS : **TENDER**

PROJECT No. : **2025-476**

DRAWING No. : **E1.1** REVISION

March 13, 2025 4:22:14 PM PW





ZONE	DESCRIPTION
FZ-1	GROUND FLOOR
FZ-2	SECOND FLOOR
FZ-3	STAIR
FZ-4	STAIR
FZ-5	STAIR
FZ-6	ELEVATOR MACHINE ROOM
FZ-7	ELEVATOR SHAFT
FZ-8	GROUND FLOOR - SPKR/FLOW SW
FZ-9	SECOND FLOOR - SPKR/FLOW SW
FZ-10	SPRINKLER - MAIN FLOW SW
FZ-11	OUTDOOR STORAGE
FZ-12	SPARE
FZ-13	SPARE
FZ-14	SPARE
FZ-15	SPARE
FZ-16	SPARE
TROUBLE ZONE 1	MONITORING SWITCH MS-1
TROUBLE ZONE 2	MONITORING SWITCH MS-2
TROUBLE ZONE 3	MONITORING SWITCH MS-3
TROUBLE ZONE 4	MONITORING SWITCH MS-4
TROUBLE ZONE 5	LOW PRESSURE SWITCH
TROUBLE ZONE 6	SPARE
TROUBLE ZONE 7	SPARE
TROUBLE ZONE 8	SPARE

**NOTE**  
 1. ELECTRICAL CONTRACTOR TO ALLOW FOR TRANSFERRING OF THE AUXILIARY CONTACTS FROM THE EXISTING FIRE ALARM SYSTEM TO THE NEW FIRE ALARM SYSTEM. ALLOW FOR WIRING DEVICES & CONDUITS TO TRANSFER THE AUXILIARY CONTACTS.

The Contractor shall verify all dimensions prior to commencement of the work. All print and specifications are the property of the Architect and must be returned upon completion of the work.

ISSUE OR REVISION		
No.	Description	Date
1	ISSUED FOR REVIEW	FEB 18, 2025
2	ISSUED FOR TENDER	MAR 13, 2025

**ASCENSION CES RENOVATION PROJECT**

5205 New Street,  
 Burlington, Ontario, L7L 1V3  
 HALTON CATHOLIC DISTRICT SCHOOL BOARD

EXISTING PANELBOARD A SCHEDULE												
DESCRIPTION	BRKR SIZE (A)	WATTS PER PHASE			BUS	ABC	CR NO	WATTS PER PHASE			BRKR SIZE (A)	DESCRIPTION
		A	B	C				A	B	C		
EXISTING	15					01					15	EXISTING
EXISTING	15					02					15	EXISTING
EXISTING	15					03					15	EXISTING
EXISTING	15					04					15	EXISTING
EXISTING	15					05					15	EXISTING
EXISTING	15					06					15	EXISTING
EXISTING	15					07					15	EXISTING
EXISTING	15					08					15	EXISTING
EXISTING	15					09					15	EXISTING
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EXISTING	15					16					15	EXISTING
EXISTING	15					17					15	EXISTING
EXISTING	15					18					15	EXISTING
EXISTING	15					19					15	EXISTING
EXISTING	15					20					15	EXISTING
EXISTING	15					21					15	EXISTING
EXISTING	15					22					15	EXISTING
SPARE	20					23					15	EXISTING
EXISTING	15					24					15	EXISTING
EXISTING	15					25					15	EXISTING
EXISTING	15					26					15	EXISTING
EXISTING	15					27					15	EXISTING
EXISTING	15					28					15	EXISTING
EXISTING	15					29					15	EXISTING
EXISTING	15					30					15	EXISTING
EXISTING	15					31					15	EXISTING
<b>FIRE ALARM CONTROL PANEL (**)</b>	<b>15</b>					32					15	EXISTING
EXISTING	15					33					15	EXISTING
EXISTING	15					34					15	EXISTING
EXISTING	15					35					15	EXISTING
EXISTING	15					36					15	EXISTING
EXISTING	15					37					15	EXISTING
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EXISTING	20					45					25	EXISTING
EXISTING	20					46					25	EXISTING
EXISTING	20					47					25	EXISTING
EXISTING	20					48					25	EXISTING
EXISTING	20					49					15	EXISTING
EXISTING	15					50					15	EXISTING
EXISTING	15					51					15	EXISTING
EXISTING	15					52					15	EXISTING
EXISTING	15					53					20	EXISTING
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SPARE	15					80						SPARE
SPARE	15					81						SPARE
SPARE	15					82						SPARE
SPARE	15					83						SPARE
SPARE	15					84						SPARE

- FIRE ALARM NOTES:**
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL NEW COMBINATION HORN/STROBE UNITS AS SHOWN ON THE ELECTRICAL DRAWINGS.
  - THE CONTRACTOR SHALL PROVIDE A MINIMUM OF TWO (2) DAYS OF FIRE WATCH DURING THE REPLACEMENT PROCESS.
  - ALL NEW FIRE ALARM HORN/STROBE UNITS SHALL BE CONNECTED TO THE EXISTING FIRE ALARM PANEL.
  - THE EXISTING FIRE ALARM PANEL, FIRE ALARM ANNUNCIATOR, SMOKE DETECTORS, HEAT DETECTORS, AND FIRE ALARM PULL STATIONS SHALL REMAIN UNCHANGED.
  - THE CONTRACTOR SHALL PERFORM ALL NECESSARY TESTING AND VERIFICATION TO ENSURE PROPER FUNCTIONALITY AND COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.
  - EXISTING FIRE ALARM PANEL ( EDWARDS).
  - EXISTING FIRE ALARM ANNUNCIATOR ( EDWARDS).
  - ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL NEW DOOR HOLD OPEN DEVICE AND SMOKE DEDEKTORS AS SHOWN ON THE ELECTRICAL DRAWINGS.



EXISTING FIRE ALARM PANEL

(\*) GROUND FAULT INTERRUPTER CIRCUIT BREAKER  
 (\*\*) C/W LOCK-OFF DEVICES

March 13, 2025 4:22:18 PM

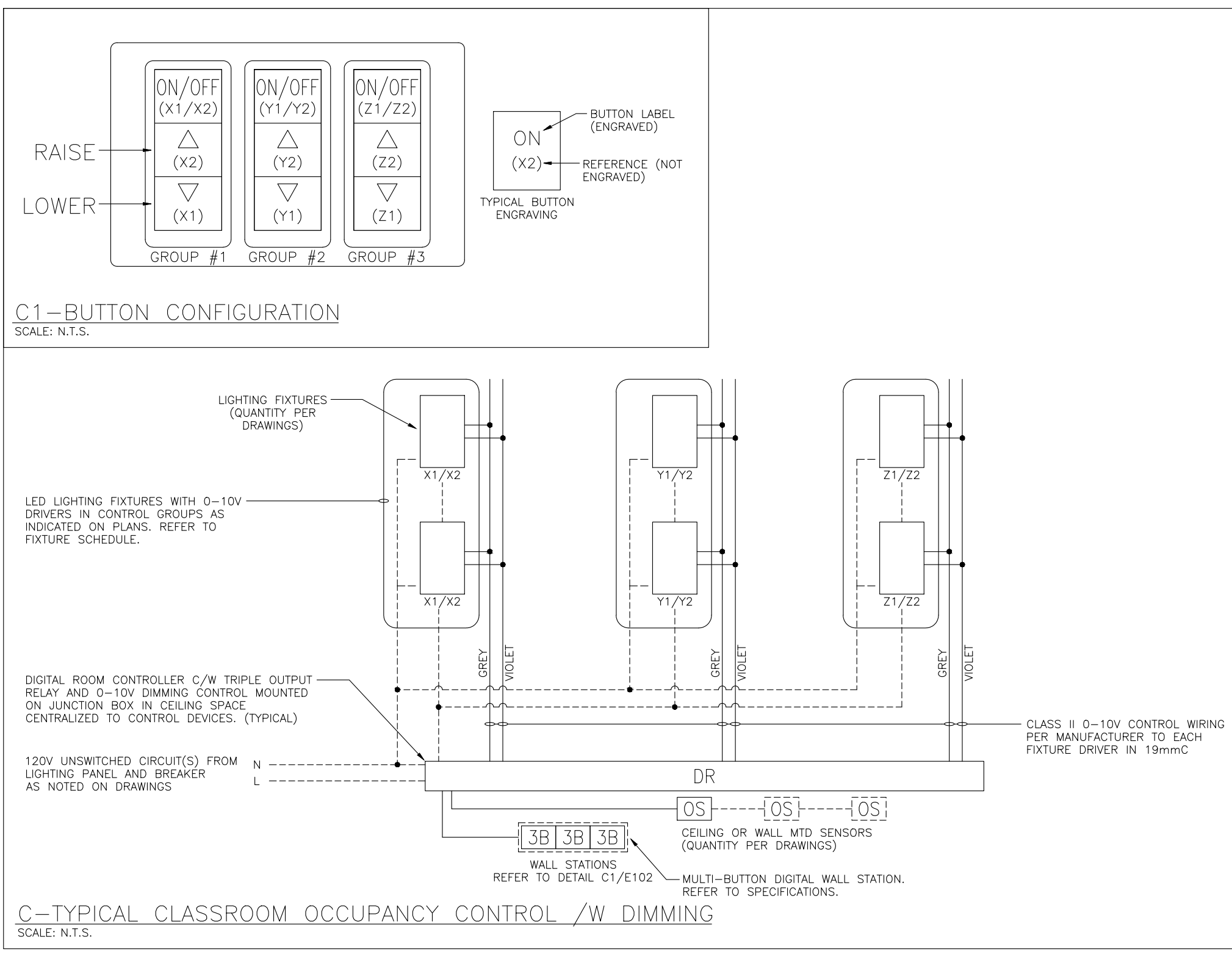
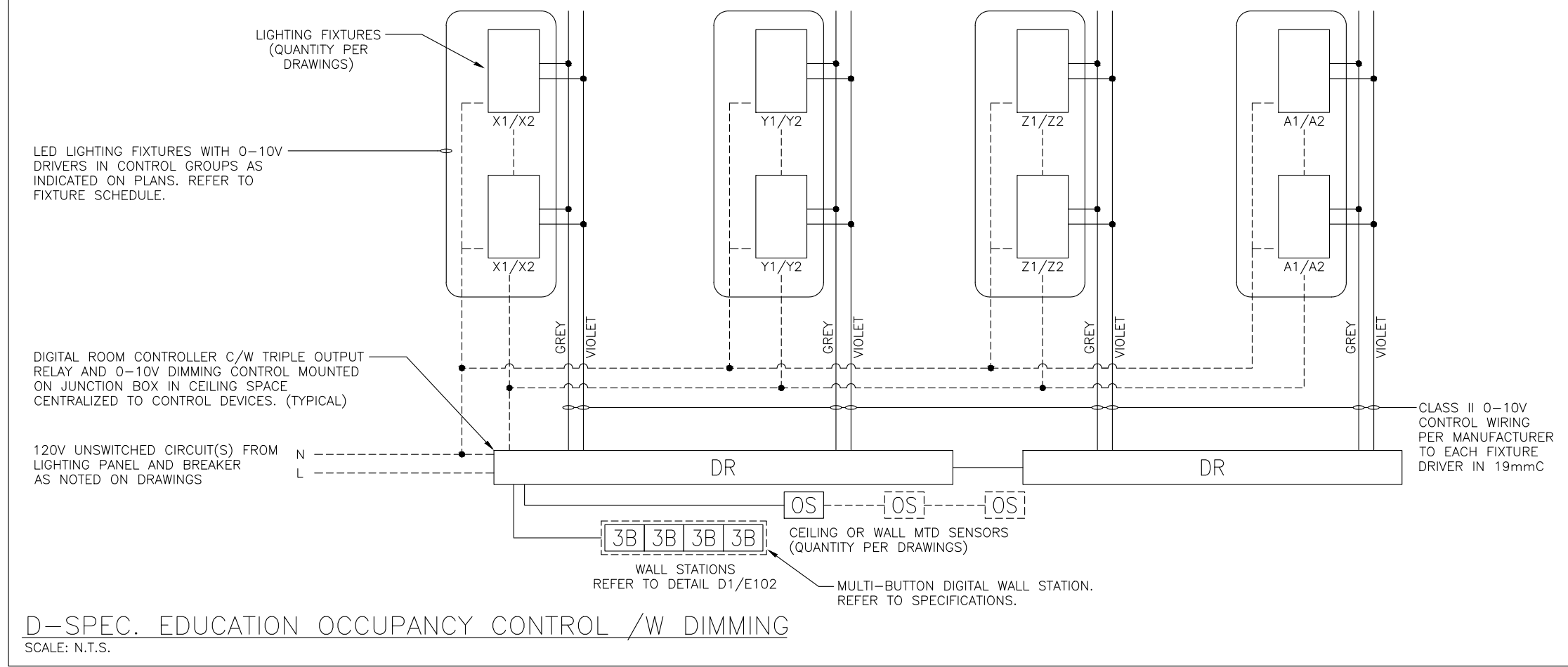
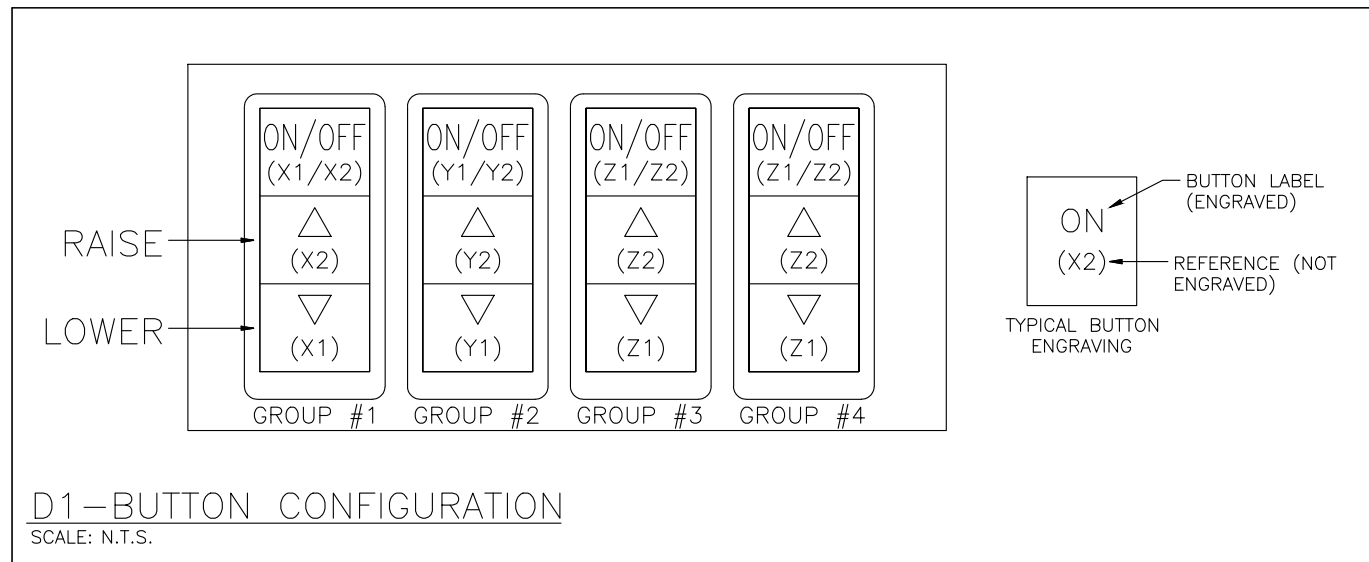
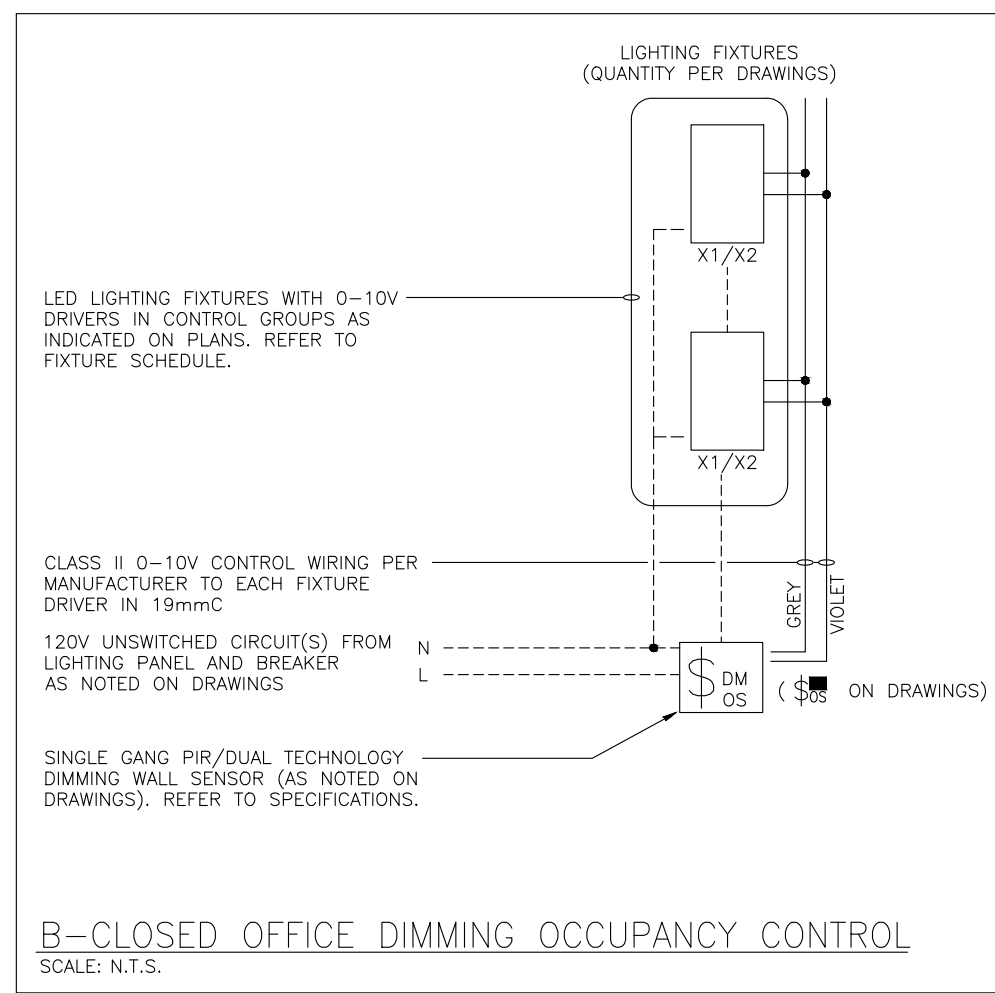
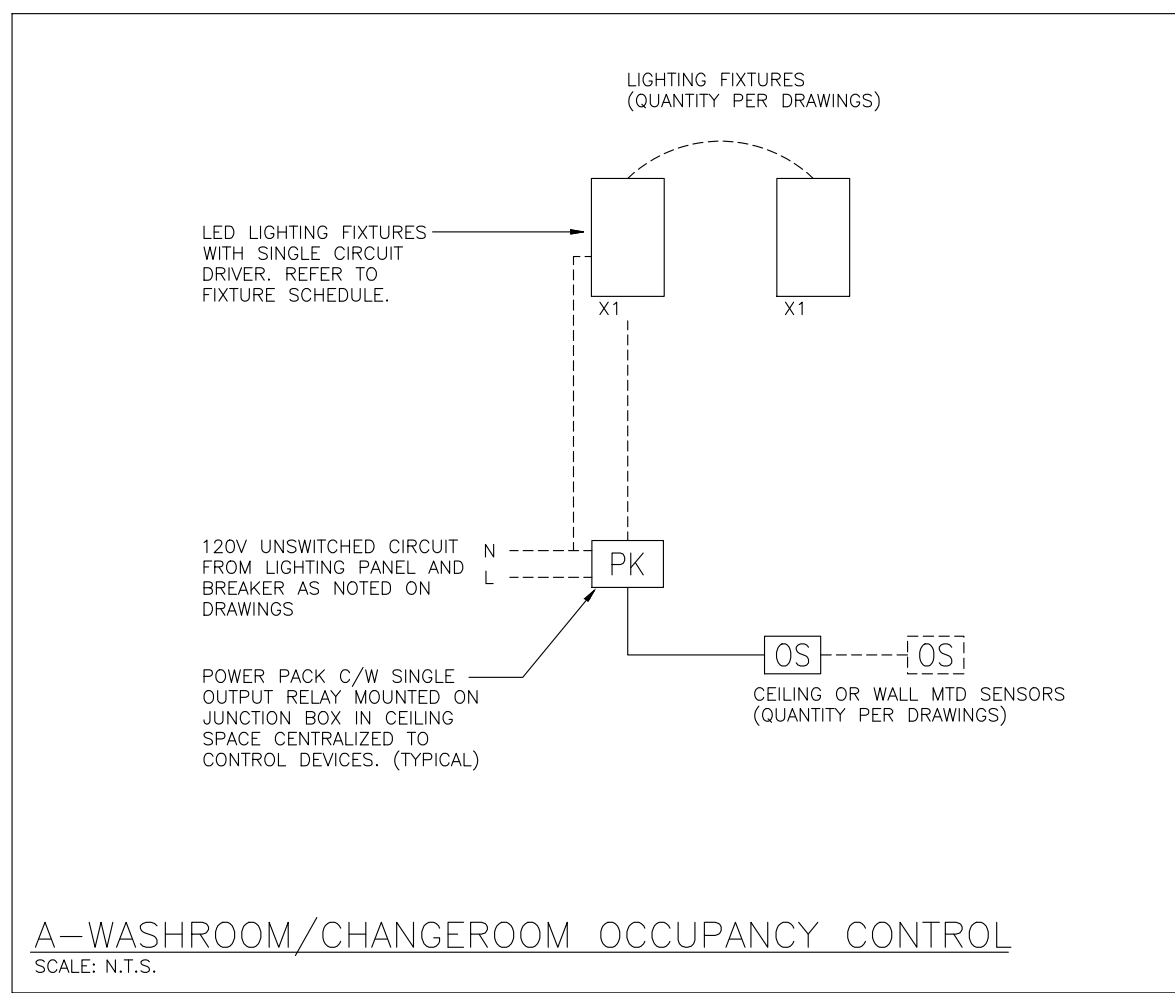
PROFESSIONAL SEAL:

DWG TITLE:  
**EXISTING FIRE ALARM ZONING SCHEDULE**

REGAL CONSULTING ENGINEERS INC.  
 CONSULTING MECHANICAL & ELECTRICAL ENGINEERS  
 208 Wycroft Road, Suite 200, Oakville, Ontario L6K 3S3  
 PHONE: (905) 844-3913  
 www.regal-eng.com

DATE: FEBRUARY 2025  
 SCALE: N.T.S.  
 DRAWN BY: AS  
 CHECKED BY: MA  
 DWG STATUS: TENDER  
 PROJECT No.: 2025-476  
 DRAWING No.: E1.3  
 REVISION:





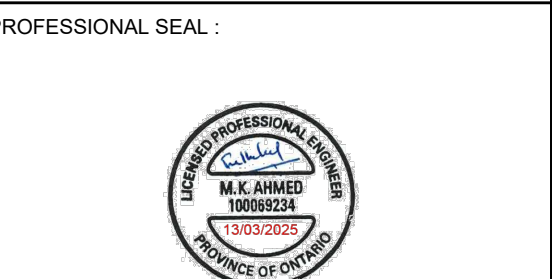
LEGEND	
Ⓢ	SINGLE POLE SWITCH (3=3 WAY, 4=4 WAY, P=PILOT LIGHT, K=KEYED, DM=DIMMER, M=MOTOR RATED)
OS	OCCUPANCY SENSOR (PASSIVE)
OSD/OSR	OCCUPANCY SENSOR: OSD=DUAL TECHNOLOGY OSR=DUAL CIRCUIT/DUAL TECHNOLOGY
OS	CEILING MOUNTED MOTION SENSOR
WS	WALL MOUNTED MOTION SENSOR
DR	DIGITAL ROOM CONTROLLER
PS	PHOTOCELL
DR	DIGITAL WALL DIMMER STATION
NB	LIGHTING NETWORK BRIDGE
EM	EMERGENCY LIGHTING RELAY
IR	LIGHTING INPUT/OUTPUT RELAY
PK	ANALOG POWER PACK
ⓧ	TRANSFORMER

The Contractor shall verify all dimensions prior to commencement of the work. All print and specifications are the property of the Architect and must be returned upon completion of the work.

ISSUE OR REVISION		
No.	Description	Date
1	ISSUED FOR REVIEW	FEB 18, 2025
2	ISSUED FOR TENDER	MAR 13, 2025

**ASCENSION CES RENOVATION PROJECT**

5205 New Street,  
Burlington, Ontario, L7L 1V3  
HALTON CATHOLIC DISTRICT SCHOOL BOARD



DWG TITLE:  
**LIGHTING CONTROL DETAILS**



**REGAL CONSULTING ENGINEERS INC.**  
CONSULTING MECHANICAL & ELECTRICAL ENGINEERS  
208 Wycroft Road, Suite 200, Oakville, Ontario L6K 3S3  
PHONE: (905) 844-3913  
www.regal-eng.com

DATE:	FEBRUARY 2025
SCALE:	N.T.S.
DRAWN BY:	AS
CHECKED BY:	MA
DWG STATUS:	TENDER
PROJECT No.:	2025-476
DRAWING No.:	E1.4
REVISION:	

March 13, 2025 4:22:19 PM



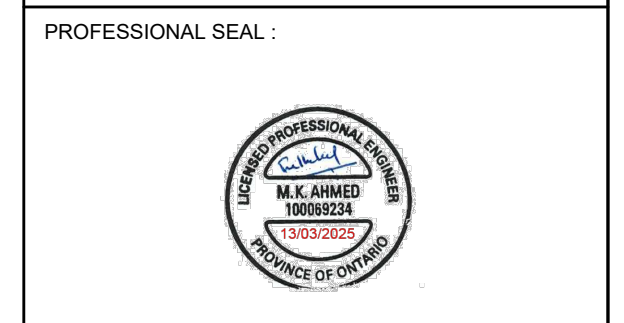
- DEMOLITION NOTES:**
- ALL EXISTING DEVICES AND EQUIPMENT MAY NOT BE SHOWN ON DRAWINGS. ELECTRICAL CONTRACTOR TO VERIFY QUANTITIES PRIOR TO SUBMITTING PRICING.
  - ELECTRICAL CONTRACTOR TO DISCONNECT AND REMOVE ALL LIGHTING FIXTURES, SWITCHES & CONTROL DEVICES IN THE AREAS AS SHOWN.
  - DISCONNECT ALL WIRING TO LIGHTING FIXTURES BEING DEMOLISHED BACK TO SOURCE.
  - MARK CIRCUITS FOR RE-ALLOCATING TO NEW CIRCUITS IN THE NEW LED LIGHTING DESIGN.
  - ELECTRICAL CONTRACTOR SHALL CAREFULLY REMOVE THE EXISTING LIGHTING FIXTURES WITHOUT DISTURBING THE EXISTING LIFE SAFETY DEVICES IN THE EXISTING CEILING. IF BY MISTAKE EXISTING LIFE SAFETY DEVICES ARE DAMAGED, THEN CONTRACTOR TO REPLACE AND ALLOW FOR VERIFICATION OF THE SAME.
  - EXISTING LED LIGHTING FIXTURES IN CORRIDOR TO REMAIN. CONNECT TO THE NEW LIGHTING CONTROL SYSTEMS. CORRIDORS TO INSTALL DIMMING WITH EXISTING LED FIXTURES AND CHANGE TEMPERATURE TO 4000K.
  - ELECTRICAL CONTRACTOR TO REMOVE EXISTING GYM SUSPENDED LIGHTS. REMOVE WIRING AND CONDUIT BACK TO SOURCE.
  - DELETE SWITCHES AND PROVIDE AND INSTALL STAINLESS STEEL COVER PLATES.
  - RESERVED.
  - ELECTRICAL CONTRACTOR TO REVISE EXISTING CLASSROOM CONTROL PANEL (CCP) SWITCH PLATE TO SUIT NEW LIGHTING CONTROL BUTTON STATION OR RENOVATIONS.
  - IN THIS AREA AS NOTED, LIGHTING FIXTURES ARE TO BE DISCONNECT AND REMOVED. MAINTAIN AND/OR REWORK WIRING FOR CONNECTION TO THE NEW LIGHTING FIXTURES AS REQUIRED FOR WASHROOM RENOVATIONS.
- CUTTING, PATCHING AND PAINTING BY GC**
- CUTTING AND PATCHING OF THE DRYWALL BY THE GC IS INCLUDED IN THE SCOPE OF WORK. GC TO CAREFULLY EXAMINE ALL THE LIGHTING FLOOR PLAN TO ALLOW FOR COMPLETE CUTTING PATCHING AND PAINTING WORK. FOR THE LIGHTING RETROFIT SCOPE.
  - GENERAL CONTRACTOR TO PATCH UP THE PAINT OF THE (TRUSS/STEEL) WHERE THE LIGHTING FIXTURES REMOVED TO MATCH THE EXISTING COLOR.
  - WHEN REPLACING EXISTING (1X4) LIGHTING FIXTURES RECESSED IN THE T BAR CEILING WITH (2X4) NEW LIGHTING FIXTURE. CONTRACTOR TO ALLOW FOR REMOVING PART OF THE DROP CEILING GRID.

The Contractor shall verify all dimensions prior to commencement of the work. All print and specifications are the property of the Architect and must be returned upon completion of the work.

ISSUE OR REVISION		
No.	Description	Date
1	ISSUED FOR REVIEW	FEB 18, 2025
2	ISSUED FOR TENDER	MAR 13, 2025

**ASCENSION CES RENOVATION PROJECT**

5205 New Street,  
Burlington, Ontario, L7L 1V3  
HALTON CATHOLIC DISTRICT SCHOOL BOARD



DWG TITLE:  
**DEMOLITION LIGHTING  
GROUND FLOOR PLAN**



DATE: **FEBRUARY 2025**

SCALE: **1:110**

DRAWN BY: **AS**

CHECKED BY: **MA**

DWG STATUS: **TENDER**

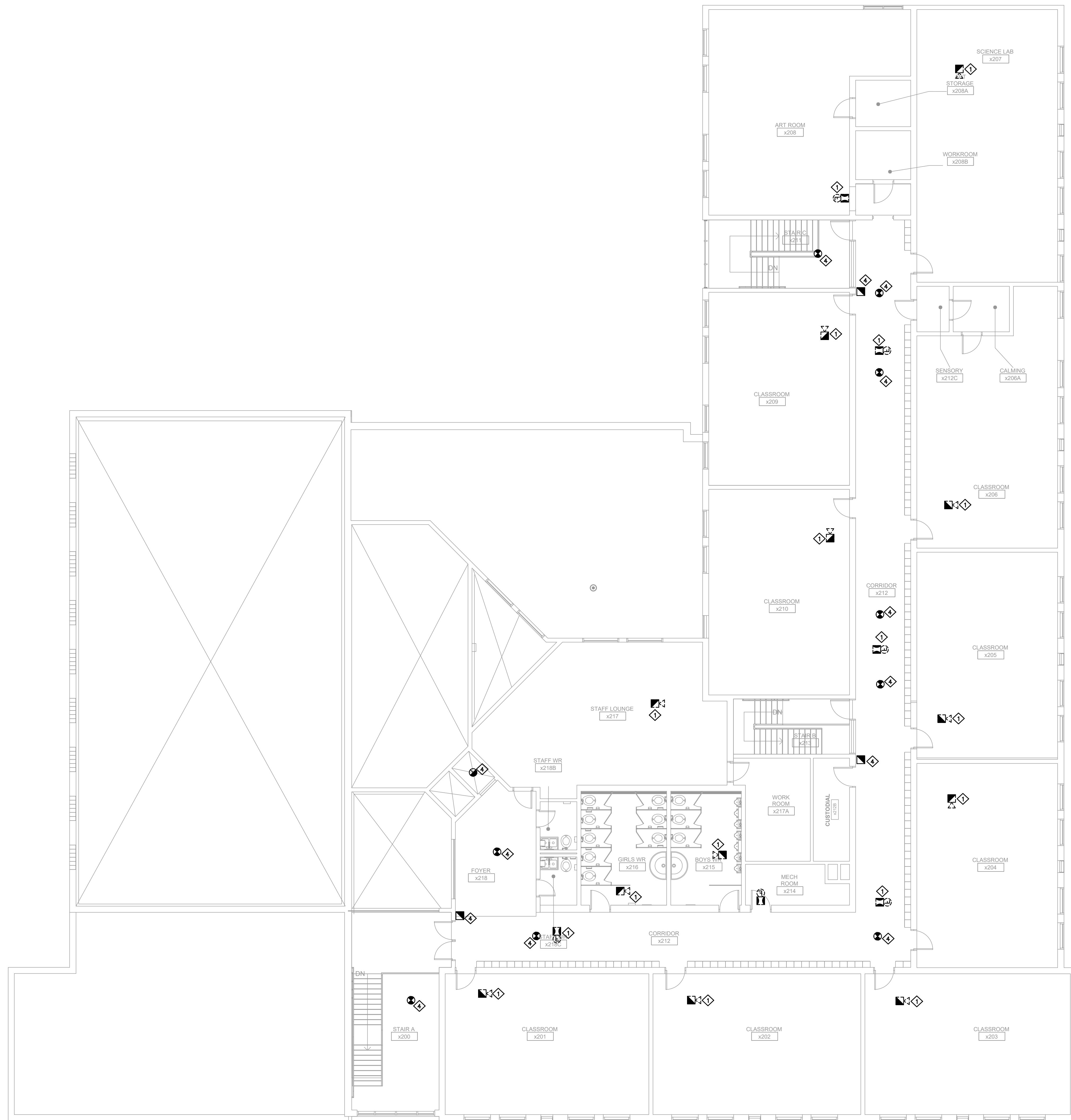
PROJECT No.: **2025-476**

DRAWING No.: **E2.0**

March 13, 2025 4:24:30 PM







LEGEND	
	MAIN ENTRANCE
	SECONDARY ENTRANCE
	KEY BOX
	FIRE HOUSE CABINET
	FIRE HOUSE ANNUNCIATOR
	MN. ELECT. PANEL
	ELEVATOR
	FIRE ALARM CONTROL PANEL
	STAIRS
	FIRE EXTINGUISHER
	FIRE PROTECTION CONTROL VALVES
	FIRE EXTINGUISHER CABINET
	FIRE ALARM PULL STATION
	EMERGENCY GAS SHUT-OFF
	AUTOMATIC FIXED TEMPERATURE HEAT DETECTOR AT 157° F
	PHOTOELECTRIC TYPE SMOKE DETECTOR UNLESS NOTED OTHERWISE
	CARBON MONO-OXIDE DETECTOR
	FLUSH WALL OR CEILING MOUNTED FIRE ALARM HORN & STROBE
	FIRE ALARM BELL
	FIRE ALARM STROBE
	DOOR HOLD OPEN DEVICE

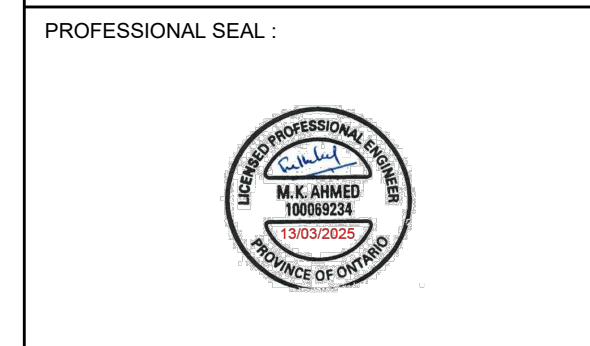
NOTES:  
 1. TO BE DEMOLISHED WHEN SYMBOLS SHOWN DOTTED.

DEMOLITION NOTES:		
	THE ELECTRICAL CONTRACTOR SHALL REMOVE AND REPLACE ALL EXISTING FIRE ALARM HORNS WITH NEW COMBINATION HORN/STROBE UNITS.	
	THE CONTRACTOR SHALL PROVIDE A MINIMUM OF TWO (2) DAYS OF FIRE WATCH DURING THE REPLACEMENT PROCESS.	
	ALL NEW FIRE ALARM HORN/STROBE UNITS SHALL BE CONNECTED TO THE EXISTING FIRE ALARM PANEL.	
	THE EXISTING FIRE ALARM PANEL, FIRE ALARM ANNUNCIATOR, SMOKE DETECTORS, HEAT DETECTORS, AND FIRE ALARM PULL STATIONS SHALL REMAIN UNCHANGED.	
	THE CONTRACTOR SHALL PERFORM ALL NECESSARY TESTING AND VERIFICATION TO ENSURE PROPER FUNCTIONALITY AND COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.	
	EXISTING FIRE ALARM PANEL (EDWARDS).	
	EXISTING FIRE ALARM ANNUNCIATOR (EDWARDS).	

GENERAL NOTES:		
1.	UPON COMPLETION AND APPROVAL OF THE NEW FIRE ALARM HORN/STROBE INSTALLATION, ALL ASSOCIATED WIRING AND CONDUIT SHALL REMAIN IN PLACE.	
2.	ALL AFFECTED SURFACES SHALL BE REPAIRED AND PAINTED TO MATCH THE EXISTING FINISH.	

ISSUE OR REVISION		
No.	Description	Date
1	ISSUED FOR REVIEW	FEB 18, 2025
2	ISSUED FOR TENDER	MAR 13, 2025

PROJECT:  
**ASCENSION CES RENOVATION PROJECT**  
 5205 New Street,  
 Burlington, Ontario, L7L 1V3  
 HALTON CATHOLIC DISTRICT SCHOOL BOARD

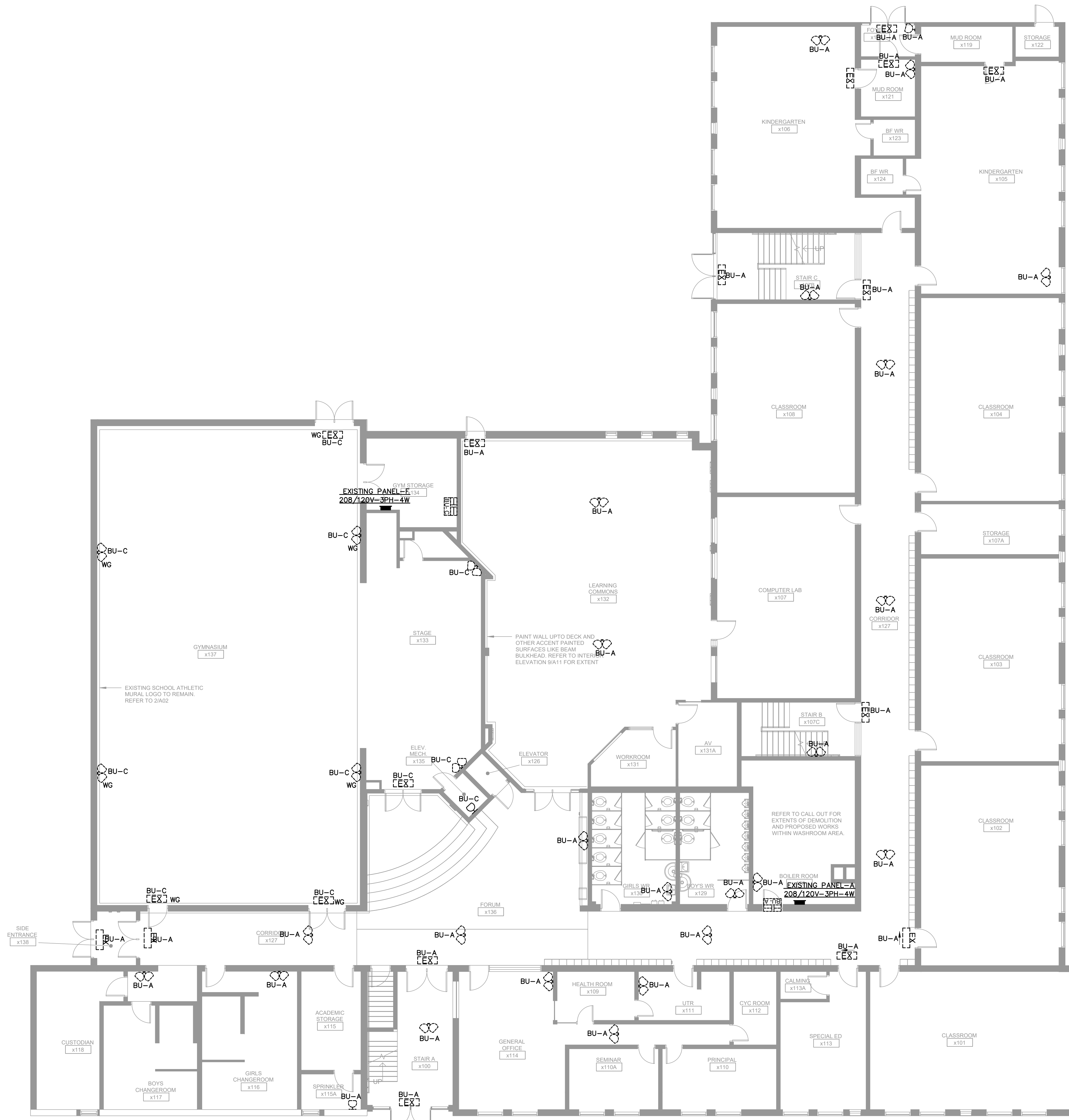


DWG TITLE:  
**DEMOLITION FIRE ALARM SECOND FLOOR PLAN**



DATE:	FEBRUARY 2025
SCALE:	1:100
DRAWN BY:	AS
CHECKED BY:	MA
DWG STATUS:	TENDER
PROJECT No.:	2025-476
DRAWING No.:	E2.3
REVISION:	

March 13, 2025 4:25:00 PM



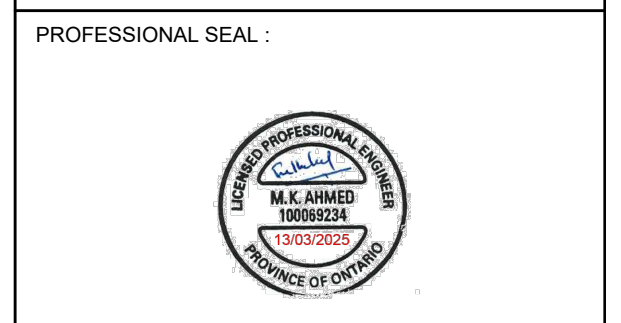
LEGEND	
[EX]	EXIT SIGN
[Symbol]	EMERGENCY LIGHTING FIXTURE
[BU]	BATTERY UNIT

- NOTES:**
1. THE ELECTRICAL CONTRACTOR SHALL REMOVE ALL EXISTING EMERGENCY LIGHTING FIXTURES, EXIT SIGNS, AND BATTERY UNITS AS INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL MARK CIRCUITS AND CONNECT THE NEW BATTERY UNITS AS APPROPRIATE.
  2. THE CONTRACTOR SHALL DISCONNECT AND REMOVE ALL EXISTING WIRING, CONDUITS, AND ACCESSORIES ASSOCIATED WITH THE EMERGENCY LIGHTING, EXIT SIGNS, AND BATTERY UNITS. ALL REMOVED COMPONENTS SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATIONS.
  3. THE CONTRACTOR SHALL ENSURE THAT SURROUNDING AREAS, INCLUDING WALLS, CEILINGS, AND FLOORS, ARE PROTECTED DURING THE DEMOLITION PROCESS TO PREVENT DAMAGE TO EXISTING STRUCTURES AND FINISHES.

The Contractor shall verify all dimensions prior to commencement of the work. All print and specifications are the property of the Architect and must be returned upon completion of the work.

ISSUE OR REVISION		
No.	Description	Date
1	ISSUED FOR REVIEW	FEB 18, 2025
2	ISSUED FOR TENDER	MAR 13, 2025

PROJECT:  
**ASCENSION CES RENOVATION PROJECT**  
 5205 New Street,  
 Burlington, Ontario, L7L 1V3  
 HALTON CATHOLIC DISTRICT SCHOOL BOARD

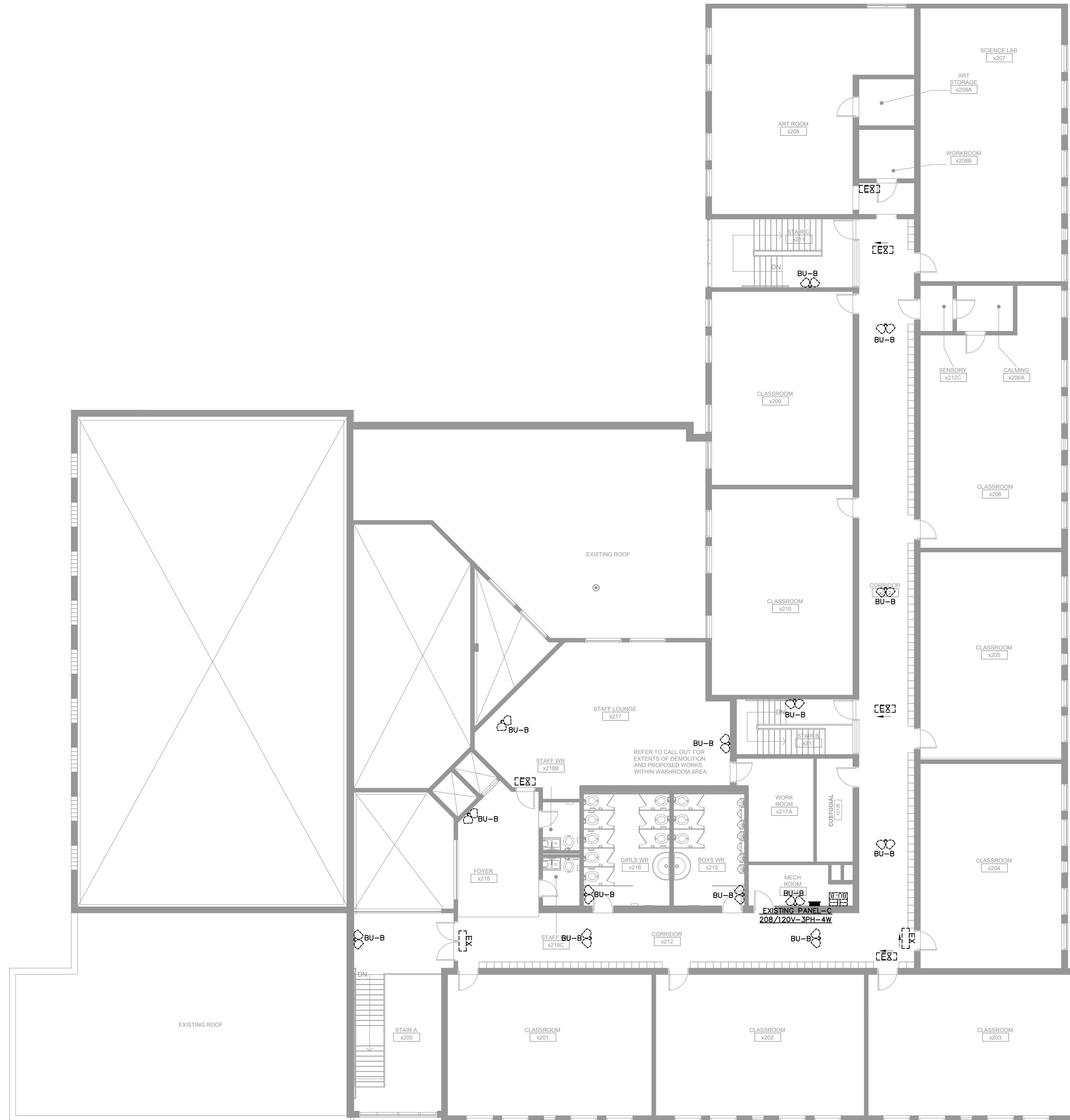


DWG TITLE:  
**DEMOLITION EXISTING EMERGENCY LIGHTINGS & EXIT SIGNS GROUND FLOOR PLAN**



DATE:	FEBRUARY 2025
SCALE:	1:100
DRAWN BY:	AS
CHECKED BY:	MA
DWG STATUS:	TENDER
PROJECT No.:	2025-476
DRAWING No.:	E2.4
REVISION	

March 13, 2025 4:25:25 PM



LEGEND	
	EXIT SIGN
	EMERGENCY LIGHTING FIXTURE
	BATTERY UNIT

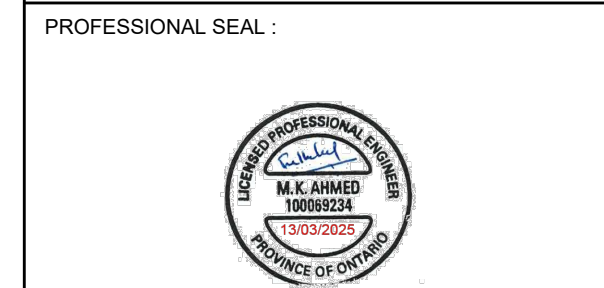
**NOTES:**

1. THE ELECTRICAL CONTRACTOR SHALL REMOVE ALL EXISTING EMERGENCY LIGHTING FIXTURES, EXIT SIGNS, AND BATTERY UNITS AS INDICATED ON THE DRAWINGS. THE CONTRACTOR SHALL MARK CIRCUITS AND CONNECT THE NEW BATTERY UNITS AS APPROPRIATE.
2. THE CONTRACTOR SHALL DISCONNECT AND REMOVE ALL EXISTING WIRING, CONDUITS, AND ACCESSORIES ASSOCIATED WITH THE EMERGENCY LIGHTING, EXIT SIGNS, AND BATTERY UNITS. ALL REMOVED COMPONENTS SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH LOCAL REGULATIONS.
3. THE CONTRACTOR SHALL ENSURE THAT SURROUNDING AREAS, INCLUDING WALLS, CEILINGS, AND FLOORS, ARE PROTECTED DURING THE DEMOLITION PROCESS TO PREVENT DAMAGE TO EXISTING STRUCTURES AND FINISHES.

The Contractor shall verify all dimensions prior to commencement of the work. All print and specifications are the property of the Architect and must be returned upon completion of the work.

ISSUE OR REVISION		
No.	Description	Date
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2	ISSUED FOR TENDER	MAR 13, 2025

PROJECT:  
**ASCENSION CES RENOVATION PROJECT**  
 5205 New Street,  
 Burlington, Ontario, L7L 1V3  
 HALTON CATHOLIC DISTRICT SCHOOL BOARD



DWG TITLE:  
**DEMOLITION EXISTING EMERGENCY LIGHTINGS & EXIT SIGNS SECOND FLOOR PLAN**

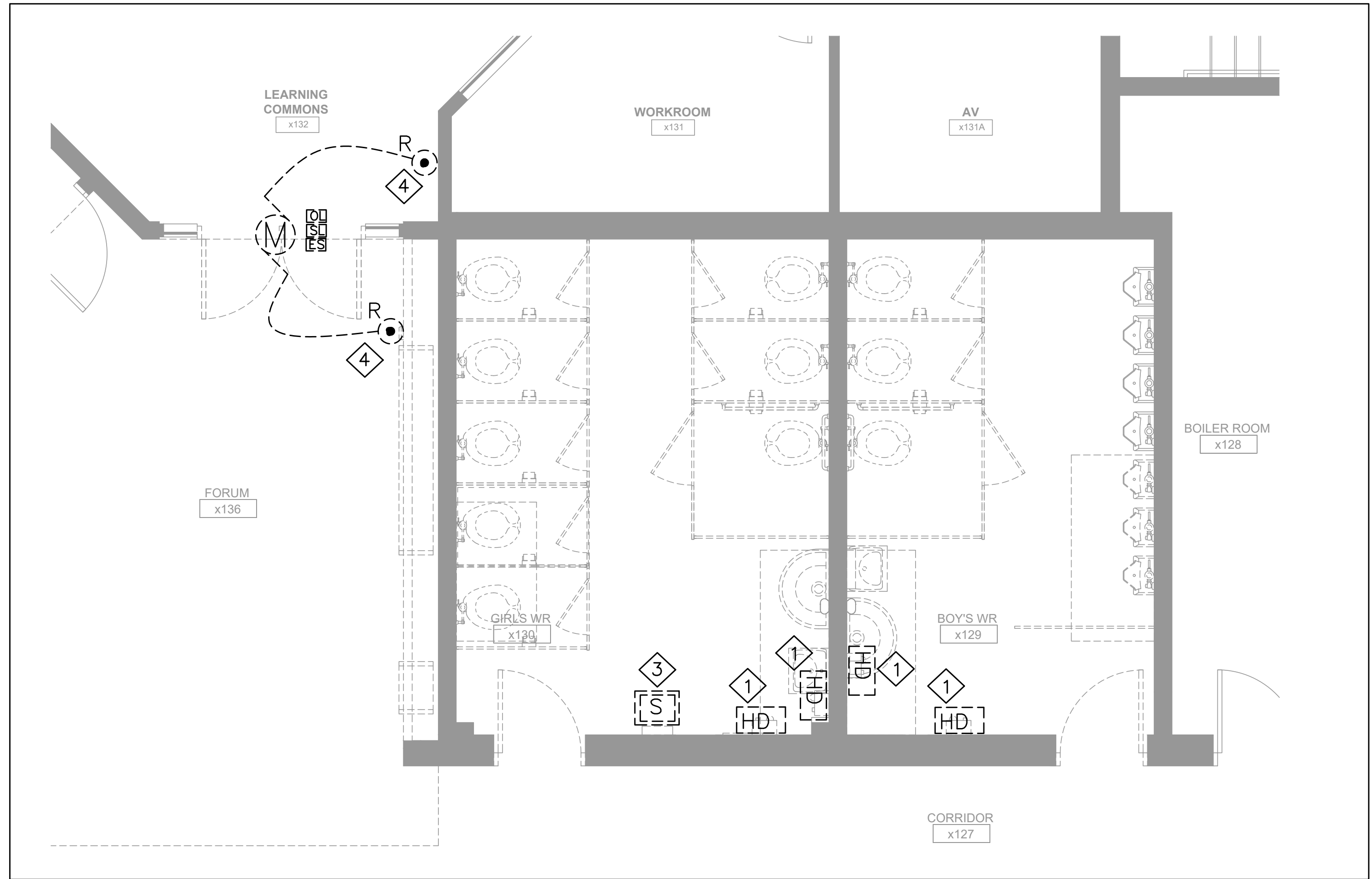


DATE:	FEBRUARY 2025
SCALE:	1:100
DRAWN BY:	AS
CHECKED BY:	MA
DWG STATUS:	TENDER
PROJECT No.:	2025-476
DRAWING No.:	E2.5
REVISION:	

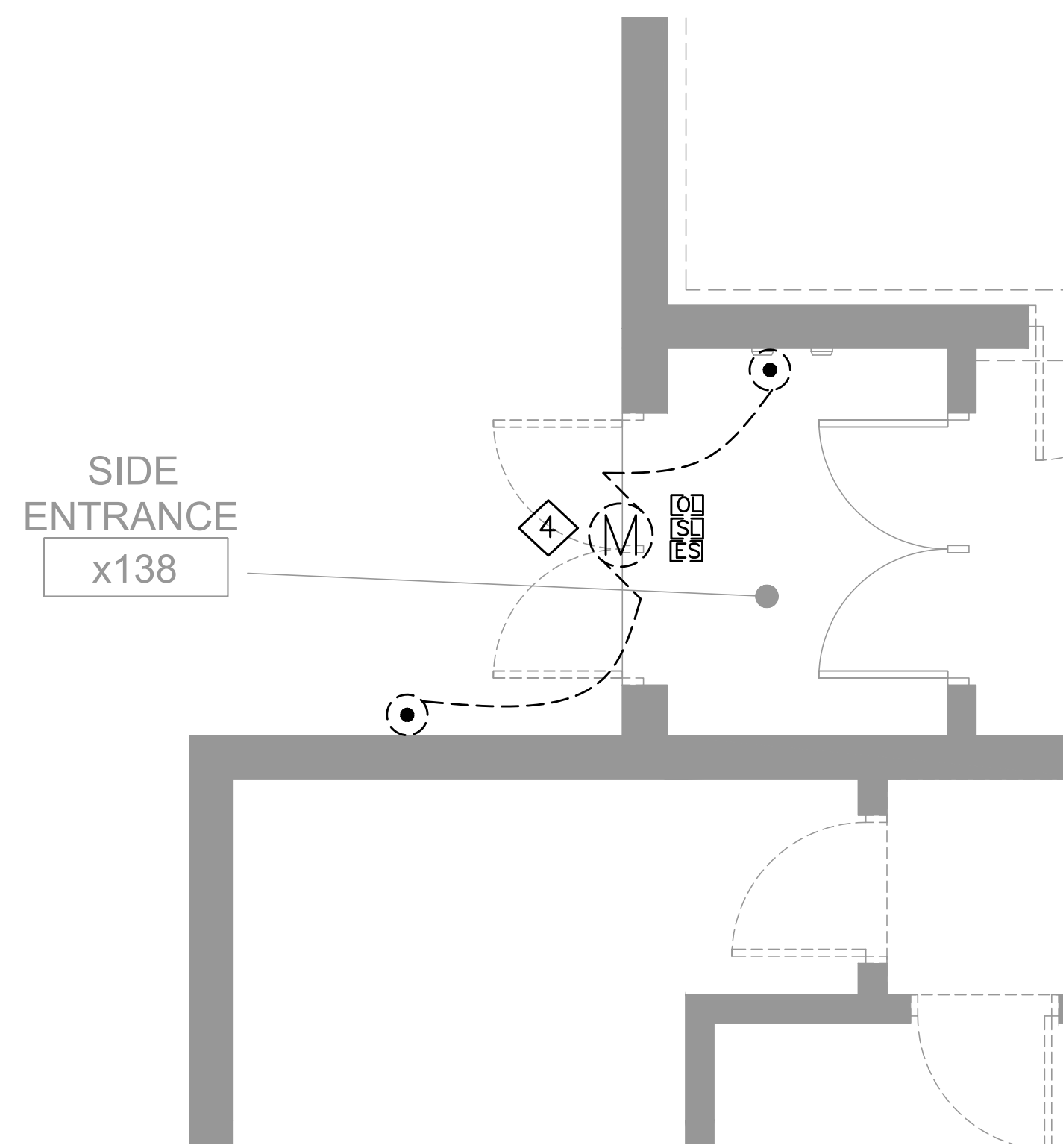
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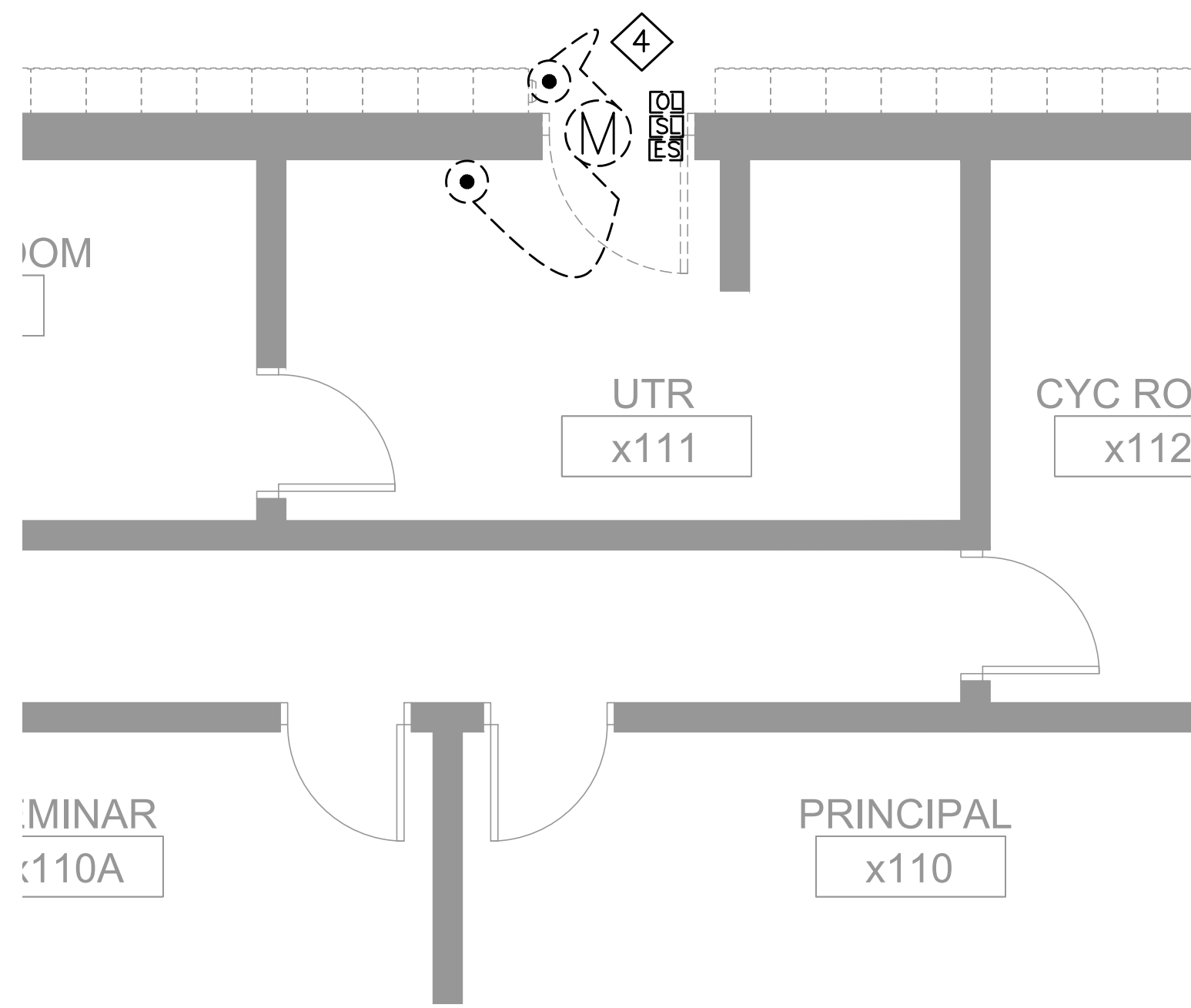
1 GROUND FLOOR KEY PLAN  
E2.6 N.T.S



2 DEMOLITION GROUND FLOOR POWER WASHROOM PLAN  
E2.6 1:40



3 DEMOLITION GROUND FLOOR POWER SITE ENTRANCE 138 PLAN  
E2.6 1:40



4 DEMOLITION GROUND FLOOR POWER UTR 111 PLAN  
E2.6 1:40

- DEMOLITION POWER NOTES:**
- 1 ELECTRICAL CONTRACTOR SHALL DISCONNECT AND REMOVE POWER TO THE HAND DRYERS THESE ARE BEING DEMOLISHED. AFTER REMOVAL, MARK THE CIRCUITS AND RE-USE FOR NEW HAND DRYERS. REMOVE ALL ASSOCIATED CABLES, WIRES, AND CONDUITS BACK TO THE SOURCE.
  - 2 PROVIDE STAINLESS STEEL COVER PLATES AS REQUIRED FOR ALL REDUNDANT OUTLET BOXES TO REMAIN IN EXISTING WALLS.
  - 3 ELECTRICAL CONTRACTOR SHALL REMOVE AND RELOCATE THE EXISTING CEILING MOUNTED SPEAKERS AS REQUIRED WASHROOM RENOVATION AS SHOWN ON THE ELECTRICAL DRAWINGS. ALLOW FOR EXTENDING CABLE CONDUITS. ALLOW FOR TESTING TO MAKE THE SYSTEM FULLY FUNCTIONAL.
  - 4 ELECTRICAL CONTRACTOR SHALL REMOVE AND RELOCATE THE EXISTING DOOR OPERATOR AS REQUIRED NEW RENOVATION AS SHOWN ON THE ELECTRICAL DRAWINGS. ALLOW FOR EXTENDING CABLE CONDUITS. ALLOW FOR TESTING TO MAKE THE SYSTEM FULLY FUNCTIONAL.
  - 5 THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL CONTRACTOR FOR ALL RELATED ELECTRICAL WORK. ENSURE PROPER CONNECTIONS FOR ANY MECHANICAL EQUIPMENT REQUIRING ELECTRICAL POWER.
  - 6 ENSURE ALL WORK IS COMPLETED IN ACCORDANCE WITH THE ONTARIO ELECTRICAL SAFETY CODE (OESC) AND OTHER APPLICABLE REGULATIONS.

The Contractor shall verify all dimensions prior to commencement of the work. All print and specifications are the property of the Architect and must be returned upon completion of the work.

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No.	Description	Date
1	ISSUED FOR REVIEW	FEB 18, 2025
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PROJECT:  
**ASCENSION CES RENOVATION PROJECT**  
5205 New Street,  
Burlington, Ontario, L7L 1V3  
HALTON CATHOLIC DISTRICT SCHOOL BOARD



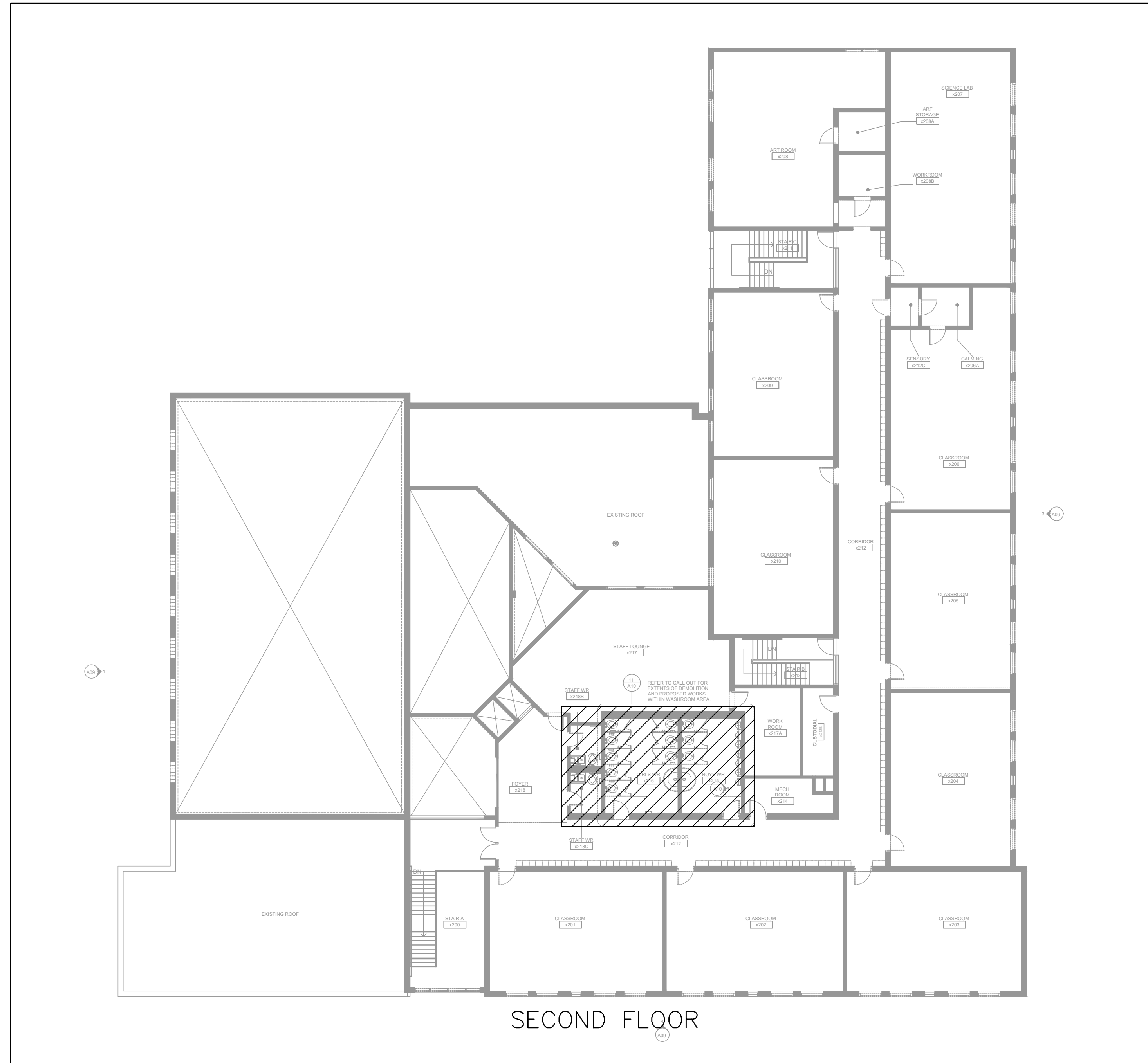
DWG TITLE:  
**DEMOLITION GROUND FLOOR POWER PLAN**



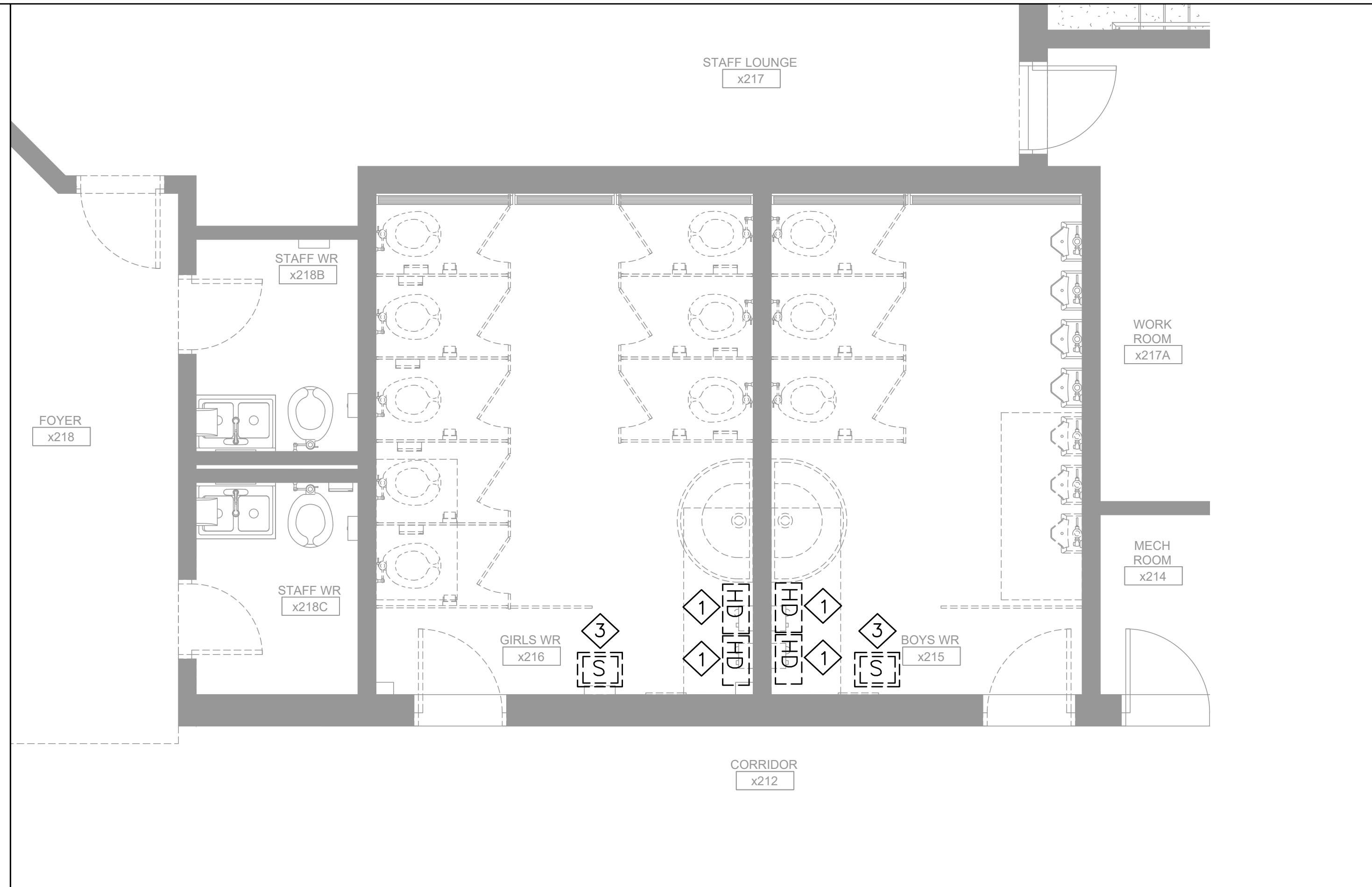
DATE: FEBRUARY 2025  
SCALE: AS NOTED  
DRAWN BY: AS  
CHECKED BY: MA  
DWG STATUS: TENDER  
PROJECT No.: 2025-476  
DRAWING No.: E2.6 REVISION

March 13, 2025 4:26:10 PM





1 SECOND FLOOR KEY PLAN  
E2.7 N.T.S



2 DEMOLITION SECOND FLOOR POWER WASHROOM PLAN  
E2.7 1:40

**DEMOLITION POWER NOTES:**

- 1 ELECTRICAL CONTRACTOR SHALL DISCONNECT AND REMOVE POWER TO THE HAND DRYERS THESE ARE BEING DEMOLISHED. AFTER REMOVAL, MARK THE CIRCUITS AND RE-USE FOR NEW HAND DRYERS. REMOVE ALL ASSOCIATED CABLES, WIRES, AND CONDUITS BACK TO THE SOURCE.
- 2 PROVIDE STAINLESS STEEL COVER PLATES AS REQUIRED FOR ALL REDUNDANT OUTLET BOXES TO REMAIN IN EXISTING WALLS.
- 3 ELECTRICAL CONTRACTOR SHALL REMOVE AND RELOCATE THE EXISTING CEILING MOUNTED SPEAKERS AS REQUIRED WASHROOM RENOVATION AS SHOWN ON THE ELECTRICAL DRAWINGS. ALLOW FOR EXTENDING CABLE CONDUITS. ALLOW FOR TESTING TO MAKE THE SYSTEM FULLY FUNCTIONAL.
- 4 ELECTRICAL CONTRACTOR SHALL REMOVE AND RELOCATE THE EXISTING DOOR OPERATOR AS REQUIRED NEW RENOVATION AS SHOWN ON THE ELECTRICAL DRAWINGS. ALLOW FOR EXTENDING CABLE CONDUITS. ALLOW FOR TESTING TO MAKE THE SYSTEM FULLY FUNCTIONAL.
- 5 THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL CONTRACTOR FOR ALL RELATED ELECTRICAL WORK. ENSURE PROPER CONNECTIONS FOR ANY MECHANICAL EQUIPMENT REQUIRING ELECTRICAL POWER.
- 6 ENSURE ALL WORK IS COMPLETED IN ACCORDANCE WITH THE ONTARIO ELECTRICAL SAFETY CODE (OESC) AND OTHER APPLICABLE REGULATIONS.

The Contractor shall verify all dimensions prior to commencement of the work. All print and specifications are the property of the Architect and must be returned upon completion of the work.

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No.	Description	Date
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2	ISSUED FOR TENDER	MAR 13, 2025

PROJECT:  
**ASCENSION CES RENOVATION PROJECT**

5205 New Street,  
Burlington, Ontario, L7L 1V3  
HALTON CATHOLIC DISTRICT SCHOOL BOARD

PROFESSIONAL SEAL:



DWG TITLE:  
**DEMOLITION SECOND FLOOR POWER PLAN**



**REGAL CONSULTING ENGINEERS INC.**  
CONSULTING MECHANICAL & ELECTRICAL ENGINEERS  
208 Wyecroft Road, Suite 200, Oakville, Ontario L6K 3S3  
PHONE: (905) 844-3913  
www.regal-eng.com

DATE:	FEBRUARY 2025
SCALE:	AS NOTED
DRAWN BY:	AS
CHECKED BY:	MA
DWG STATUS:	TENDER
PROJECT No.:	2025-476
DRAWING No.:	E2.7
REVISION:	

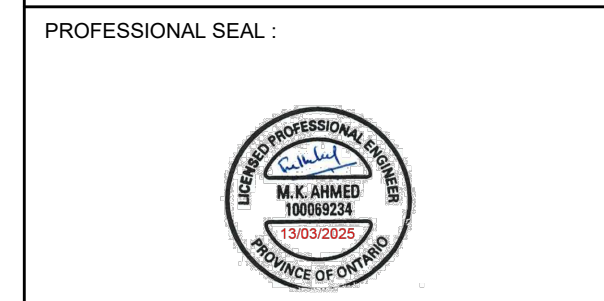
March 13, 2025 4:26:14 PM

The Contractor shall verify all dimensions prior to commencement of the work. All print and specifications are the property of the Architect and must be returned upon completion of the work.

ISSUE OR REVISION		
No.	Description	Date
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PROJECT:  
**ASCENSION CES RENOVATION PROJECT**

5205 New Street,  
Burlington, Ontario, L7L 1V3  
HALTON CATHOLIC DISTRICT SCHOOL BOARD



DWG TITLE:  
**PROPOSED LED LIGHTING RETROFIT GROUND FLOOR PLAN**

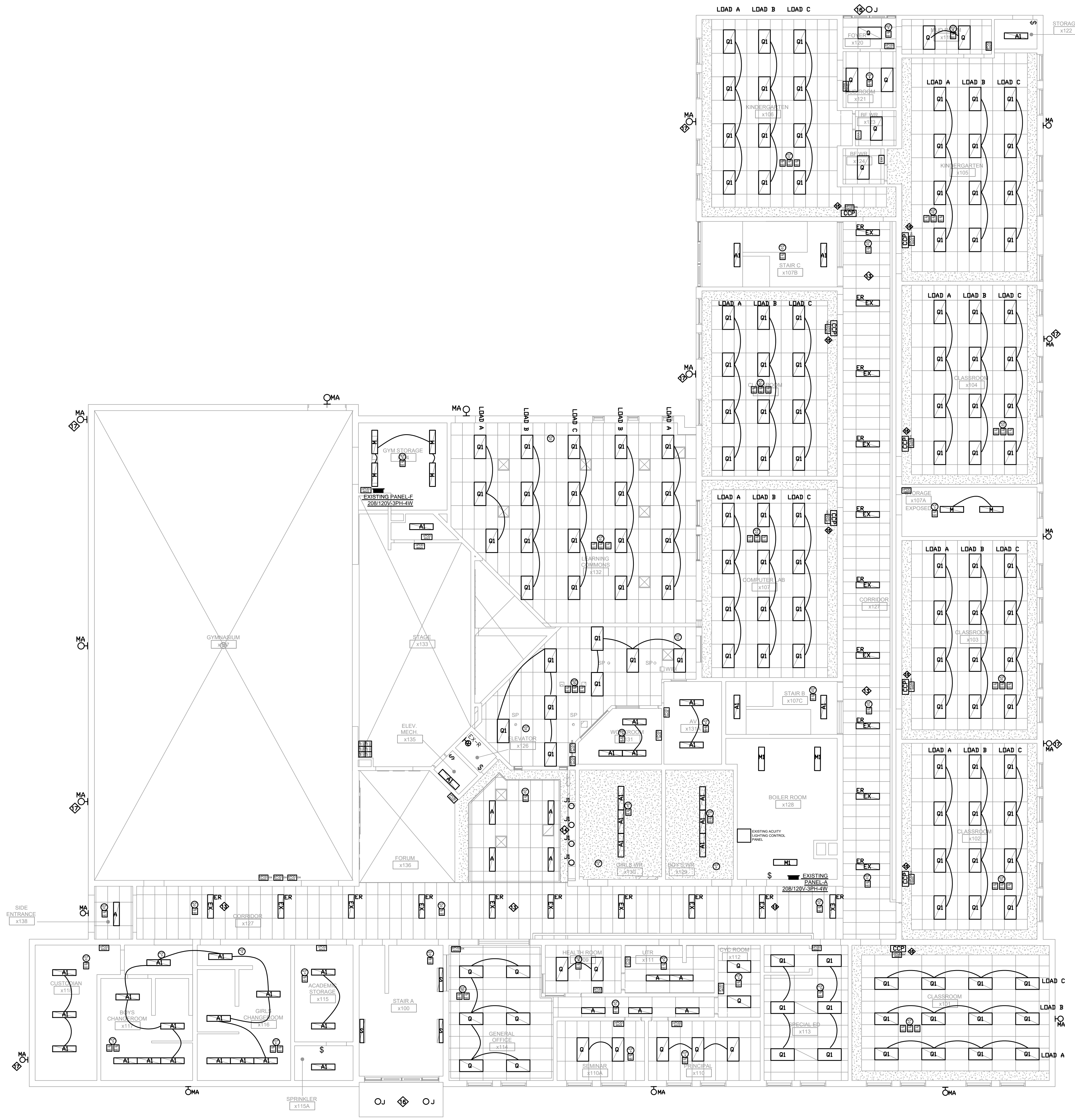


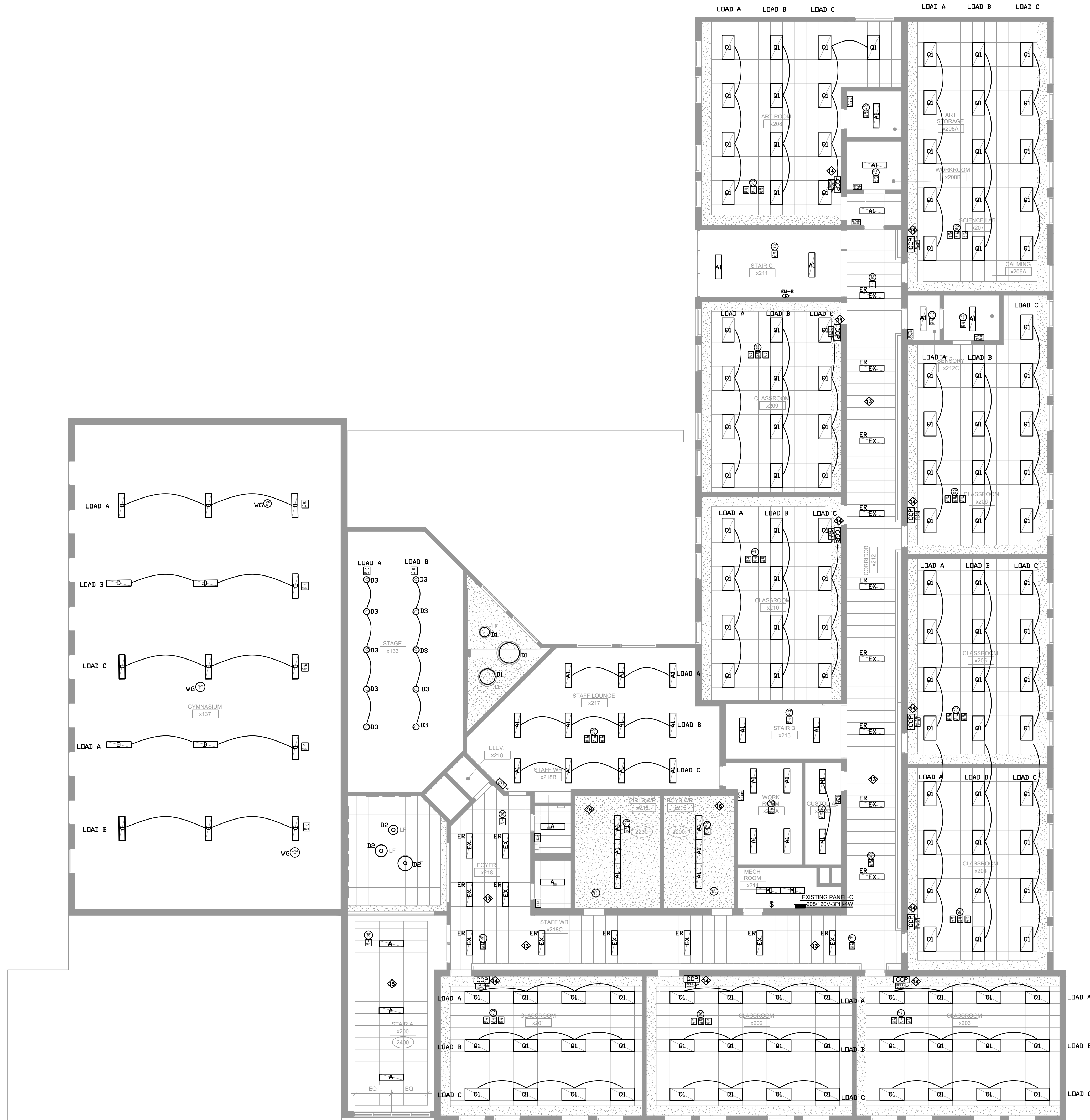
**REGAL CONSULTING ENGINEERS INC.**  
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208 Wycroft Road, Suite 200, Oakville, Ontario L6K 3S3  
PHONE: (905) 844-3913  
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DATE:	FEBRUARY 2025
SCALE:	1:110
DRAWN BY:	AS
CHECKED BY:	MA
DWG STATUS:	TENDER
PROJECT No.:	2025-476
DRAWING No.:	E3.0
REVISION:	

March 13, 2025 4:27:13  
PWI

- NOTES:**
- RE-UTILIZE EXISTING LIGHTING CIRCUITS UNLESS NOTED OTHERWISE. ELECTRICAL CONTRACTOR TO VERIFY CAPACITY OF EXISTING LIGHTING CIRCUIT PRIOR TO INSTALLATION. PROVIDE NEW SWITCHING LEGS AS INDICATED.
  - OFF-DELAY TIME OF OCCUPANCY SENSORS TO BE THIRTY MINUTES.
  - OCCUPANCY SENSORS TO BE DUAL TECHNOLOGY PIR AND ULTRASONIC TYPE. ACCEPTABLE MANUFACTURER'S WATTSTOPPER, ACUITY AND LUTRON.
  - ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL NEW 20A BREAKER IN EXISTING ELECTRICAL PANEL AS SHOWN. EXTEND POWER INTO THE CEILING SPACE FOR DIGITAL LIGHTING CONTROL SYSTEM. ALL LOW VOLTAGE TRANSFORMERS REQUIRED FOR DIGITAL LIGHTING CONTROL SYSTEM TO BE PROVIDED AND INSTALLED.
  - ELECTRICAL CONTRACTOR TO CO-ORDINATE WITH GC FOR THE SUPPLY AND INSTALLATION OF CEILING TILES IN PLACE WHERE THE LIGHTING FIXTURES ARE REMOVED. GC TO ALLOW FOR PROVIDING ACOUSTIC CEILING TILES AS REQUIRED. ACCEPTABLE ACOUSTIC CEILING TILE IS ARMSTRONG FINE FISSURED "SQ LAY IN FIRMGUARD HUMIGUARD PLUS BP 1830" NO ALTERNATE ALLOWED.
  - CONTRACTOR TO ALLOW FOR SCISSOR LIFT OR ANY OTHER APPLICABLE LIFT TO WORK AT THE FIXTURE AT HIGHER ELEVATIONS. ELECTRICIANS WORKING AT HEIGHT TO BE CERTIFIED "WORKING AT HEIGHTS" AND TO HAVE ALL THE APPROVED EQUIPMENT.  
ELECTRICAL CONTRACTOR TO ALLOW FOR BUILDING OF RAMPS ETC IN ORDER TO BRING THE POWER LIFT ETC INSIDE THE SCHOOL PREMISES. NO EXTRA WILL BE ENTERTAINED FOR TEMPORARY RAMPS THAT MAY REQUIRED TO BRING HEAVY LIFT EQUIPMENT.
  - ELECTRICAL CONTRACTOR TO ALLOW FOR DISCONNECTING THE OLD FIXTURE AND CONNECT THE NEW LIGHTING FIXTURE WITH EXISTING CIRCUIT AND SWITCH.
  - OCCUPANCY SENSORS IN GYM AND WORKSHOPS TO COME WITH WIRE GUARDS.
  - ELECTRICAL CONTRACTOR TO INSTALL LIGHTING CONTROLLER RELAYS ETC. FOR THE NEW LIGHTING FIXTURES OF THE GYM IN THE CEILING SPACE OF THE STORAGE ROOM AS SHOWN ON THE FLOOR PLAN.
  - AS ELECTRICAL POWER AND LOW VOLTAGE CABLE FOR THE NEW LED LIGHTINGS SWITCHES CANNOT BE RUN IN THE SAME EXISTING ELECTRICAL CONDUIT, THE ELECTRICAL CONTRACTOR SHALL ALLOW TO PROVIDE AND INSTALL WIREMOLD FOR THE NEW LOW VOLTAGE SWITCHES.
  - ELECTRICAL CONTRACTOR TO ALLOW FOR CONNECTING THE NEW LIGHTING FIXTURES TO EXISTING CIRCUIT WITH ALL REQUIRED LIGHTING CONTROLLER RELAYS ETS.
  - EXISTING LED LIGHTING FIXTURES IN CORRIDOR TO REMAIN. CONNECT TO THE NEW LIGHTING CONTROL SYSTEMS. CORRIDORS TO INSTALL DIMMING WITH EXISTING LED FIXTURES AND CHANGE TEMPERATURE TO 4000K.
  - ELECTRICAL CONTRACTOR TO PROVIDE NEW LIGHTING FIXTURES FOR NEW CATHOLIC DISPLAY FEATURE WALL. REFER TO THE ARCHITECTURAL DETAILS.
  - ELECTRICAL CONTRACTOR TO PROVIDE CLASSROOM CONTROL PANEL'S SWITCH PLATE TO SUIT LIGHTING CONTROL BUTTON STATION(S) AND AND OTHER EXISTING CLASSROOM CONTROL PANEL DEVICES.
  - AT THIS LOCATION THE EXISTING CANOPY FIXTURE IS TO BE DISCONNECT AND REMOVED. MAINTAIN CIRCUIT FOR RECONNECTION TO NEW FIXTURE.
  - ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL NEW WALL PACK LIGHTING FIXTURE AS SHOWN. CONNECT NEW LIGHTING FIXTURE TO THE EXISTING CIRCUITS. ALLOW FOR EXTENDING CABLES AND CONDUITS.
- CUTTING, PATCHING AND PAINTING BY GC**
- CUTTING AND PATCHING OF THE DRYWALL BY THE GC IS INCLUDED IN THE SCOPE OF WORK. GC TO CAREFULLY EXAMINE ALL THE LIGHTING FLOOR PLAN TO ALLOW FOR COMPLETE CUTTING PATCHING AND PAINTING WORK. FOR THE LIGHTING RETROFIT SCOPE.





- NOTES:**
- RE-UTILIZE EXISTING LIGHTING CIRCUITS UNLESS NOTED OTHERWISE. ELECTRICAL CONTRACTOR TO VERIFY CAPACITY OF EXISTING LIGHTING CIRCUIT PRIOR TO INSTALLATION.
  - PROVIDE NEW SWITCHING LEGS AS INDICATED.
  - OFF-DELAY TIME OF OCCUPANCY SENSORS TO BE THIRTY MINUTES.
  - OCCUPANCY SENSORS TO BE DUAL TECHNOLOGY PIR AND ULTRASONIC TYPE. ACCEPTABLE MANUFACTURER'S WATTSTOPPER, ACUIITY AND LUTRON
  - ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL NEW 20A BREAKER IN EXISTING ELECTRICAL PANEL AS SHOWN. EXTEND POWER INTO THE CEILING SPACE FOR DIGITAL LIGHTING CONTROL SYSTEM. ALL LOW VOLTAGE TRANSFORMERS REQUIRED FOR DIGITAL LIGHTING CONTROL SYSTEM TO BE PROVIDED AND INSTALLED.
  - ELECTRICAL CONTRACTOR TO CO-ORDINATE WITH GC FOR THE SUPPLY AND INSTALLATION OF CEILING TILES IN PLACE WHERE THE LIGHTING FIXTURES ARE REMOVED. GC TO ALLOW FOR PROVIDING ACOUSTIC CEILING TILES AS REQUIRED. ACCEPTABLE ACOUSTIC CEILING TILE IS ARMSTRONG FINE FISSURED "SQ LAY IN FIRMGUARD HUMIGUARD PLUS BP 1830" NO ALTERNATE ALLOWED.
  - CONTRACTOR TO ALLOW FOR SCISSOR LIFT OR ANY OTHER APPLICABLE LIFT TO WORK AT THE FIXTURE AT HIGHER ELEVATIONS. ELECTRICIANS WORKING AT HEIGHT TO BE CERTIFIED "WORKING AT HEIGHTS" AND TO HAVE ALL THE APPROVED EQUIPMENT. ELECTRICAL CONTRACTOR TO ALLOW FOR BUILDING OF RAMPS ETC IN ORDER TO BRING THE POWER LIFT ETC INSIDE THE SCHOOL PREMISES. NO EXTRA WILL BE ENTERTAINED FOR TEMPORARY RAMPS THAT MAY REQUIRED TO BRING HEAVY LIFT EQUIPMENT.
  - ELECTRICAL CONTRACTOR TO ALLOW FOR DISCONNECTING THE OLD FIXTURE AND CONNECT THE NEW LIGHTING FIXTURE WITH EXISTING CIRCUIT AND SWITCH.
  - OCCUPANCY SENSORS IN GYM AND WORKSHOPS TO COME WITH WIRE GUARDS.
  - ELECTRICAL CONTRACTOR TO INSTALL LIGHTING CONTROLLER RELAYS ETC. FOR THE NEW LIGHTING FIXTURES OF THE GYM IN THE CEILING SPACE OF THE STORAGE ROOM AS SHOWN ON THE FLOOR PLAN.
  - AS ELECTRICAL POWER AND LOW VOLTAGE CABLE FOR THE NEW LED LIGHTINGS SWITCHES CANNOT BE RUN IN THE SAME EXISTING ELECTRICAL CONDUIT, THE ELECTRICAL CONTRACTOR SHALL ALLOW TO PROVIDE AND INSTALL WIREMOLD FOR THE NEW LOW VOLTAGE SWITCHES.
  - ELECTRICAL CONTRACTOR TO ALLOW FOR CONNECTING THE NEW LIGHTING FIXTURES TO EXISTING CIRCUIT WITH ALL REQUIRED LIGHTING CONTROLLER RELAYS ETS.
  - EXISTING LED LIGHTING FIXTURES IN CORRIDOR TO REMAIN. CONNECT TO THE NEW LIGHTING CONTROL SYSTEMS. CORRIDORS TO INSTALL DIMMING WITH EXISTING LED FIXTURES AND CHANGE TEMPERATURE TO 4000K.
  - ELECTRICAL CONTRACTOR TO PROVIDE CLASSROOM CONTROL PANEL'S SWITCH PLATE TO SUIT LIGHTING CONTROL BUTTON STATION(S) AND AND OTHER EXISTING CLASSROOM CONTROL PANEL DEVICES.
  - ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL NEW LIGHTING FIXTURE AS REQUIRED NEW LAP CEILING RENOVATION AT STAIR A. CONNECT TO THE EXISTING CIRCUITS AND ALLOW EXTENDING CABLE AND CONDUITS.
  - IN THIS AREA AS NOTED, EXISTING BULKHEAD TO BE DEMOLISHED. THE NEW GYPSUM CEILING TO MATCH THE EXISTING BULKHEAD HIGHT AND DEMOLISH THE BULKHEAD.
- CUTTING, PATCHING AND PAINTING BY GC**
- CUTTING AND PATCHING OF THE DRYWALL BY THE GC IS INCLUDED IN THE SCOPE OF WORK. GC TO CAREFULLY EXAMINE ALL THE LIGHTING FLOOR PLAN TO ALLOW FOR COMPLETE CUTTING PATCHING AND PAINTING WORK. FOR THE LIGHTING RETROFIT SCOPE .

The Contractor shall verify all dimensions prior to commencement of the work. All print and specifications are the property of the Architect and must be returned upon completion of the work.

ISSUE OR REVISION		
No.	Description	Date
1	ISSUED FOR REVIEW	FEB 18, 2025
2	ISSUED FOR TENDER	MAR 13, 2025

PROJECT: **ASCENSION CES RENOVATION PROJECT**  
 5205 New Street,  
 Burlington, Ontario, L7L 1V3  
 HALTON CATHOLIC DISTRICT SCHOOL BOARD

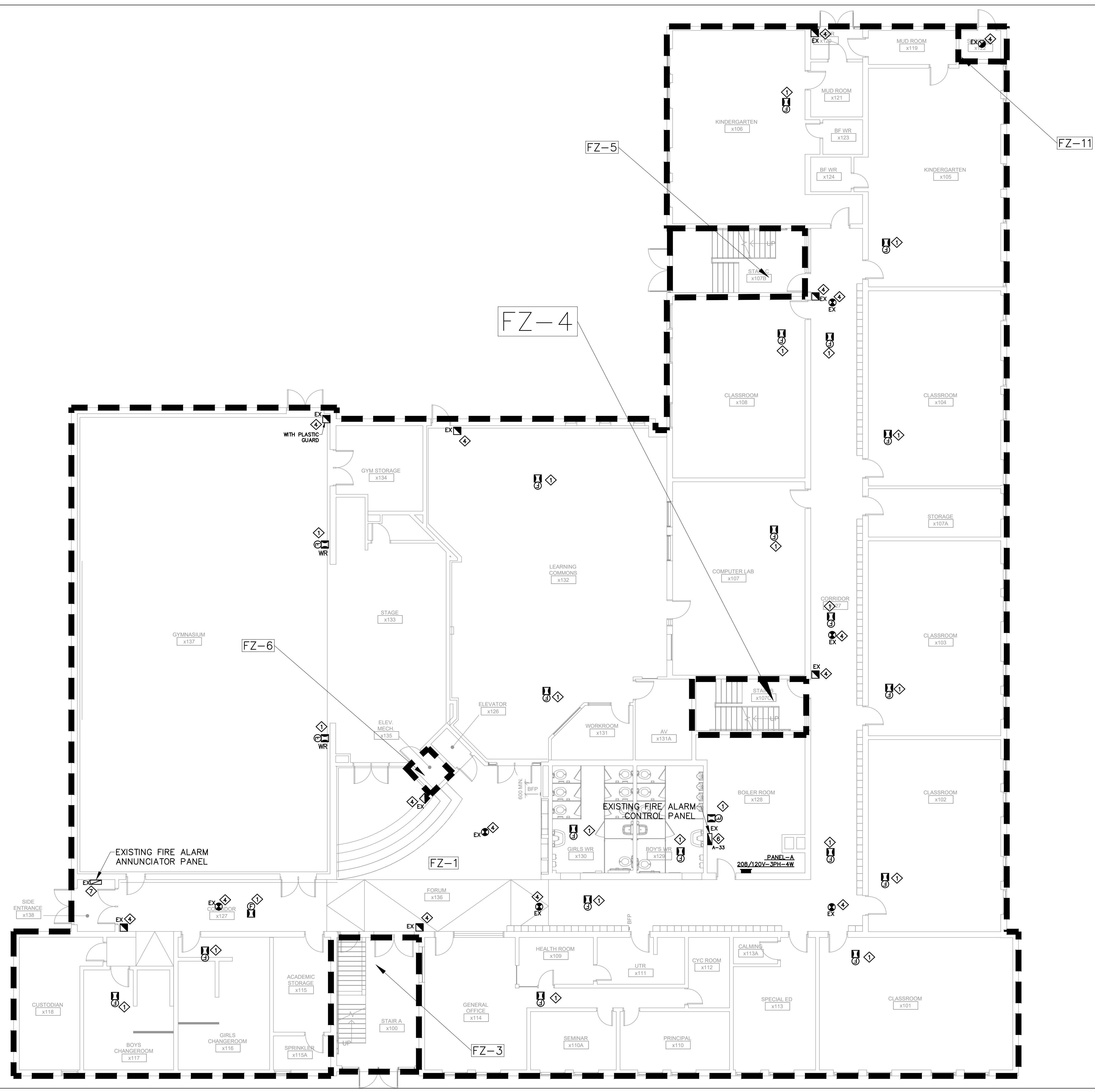


DWG TITLE: **PROPOSED LED LIGHTING RETROFIT SECOND FLOOR PLAN**



DATE:	FEBRUARY 2025
SCALE:	1:100
DRAWN BY:	AS
CHECKED BY:	MA
DWG STATUS:	TENDER
PROJECT No.:	2025-476
DRAWING No.:	E3.1
REVISION:	

March 13, 2025 4:27:16 PM



LEGEND	
	MAIN ENTRANCE
	SECONDARY ENTRANCE
	MN. ELECT. PANEL
	ELEVATOR
	STAIRS
	FIRE ALARM HORN
	FIRE ALARM PULL STATION C/W LEXAN COVER & WITH A BATTERY BUZZER
	FLUSH WALL OR CEILING MOUNTED FIRE ALARM HORN & STROBE
	REMOTE TROUBLE BUZZER C/W VISUAL SIGNAL
	AUTOMATIC RATE OF RISE HEAT DETECTOR AT 135° F
	AUTOMATIC FIXED TEMPERATURE HEAT DETECTOR AT 157° F
	PHOTOELECTRIC TYPE SMOKE DETECTOR UNLESS NOTED OTHERWISE
	DUCT TYPE SMOKE DETECTOR WITH REMOTE ANNUNCIATOR
	FIRE ALARM SYSTEM REMOTE ANNUNCIATOR
	FIRE ALARM CONTROL PANEL
	RELAY BASE
	WIRE GUARD
	CARBON MONO-OXIDE DETECTOR
	DOOR HOLD OPEN DEVICE

- PROPOSED NOTES:**
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL NEW COMBINATION HORN/STROBE UNITS AS SHOWN ON THE ELECTRICAL DRAWINGS.
  - THE CONTRACTOR SHALL PROVIDE A MINIMUM OF TWO (2) DAYS OF FIRE WATCH DURING THE REPLACEMENT PROCESS.
  - ALL NEW FIRE ALARM HORN/STROBE UNITS SHALL BE CONNECTED TO THE EXISTING FIRE ALARM PANEL.
  - THE EXISTING FIRE ALARM PANEL, FIRE ALARM ANNUNCIATOR, SMOKE DETECTORS, HEAT DETECTORS, AND FIRE ALARM PULL STATIONS SHALL REMAIN UNCHANGED.
  - THE CONTRACTOR SHALL PERFORM ALL NECESSARY TESTING AND VERIFICATION TO ENSURE PROPER FUNCTIONALITY AND COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.
  - EXISTING FIRE ALARM PANEL ( EDWARDS).
  - EXISTING FIRE ALARM ANNUNCIATOR ( EDWARDS).
  - ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL NEW DOOR HOLD OPEN DEVICE AND FIRE ALARM SMOKE DETECTORS AS SHOWN ON THE ELECTRICAL DRAWINGS.
  - FIRE EXTINGUISHER, FIRE HOUSE CABINET AND FIRE PROTECTION CONTROL VALVES TO REMAIN AS EXISTING.
  - CONTRACTOR TO PROVIDE AND INSTALL NEW LAMACOID SIGNAGE (48" X 6") ON THE SAME LOCATION OF THE EXISTING. MATCH THE COLOR SCHEME OF EXISTING SIGNAGE.

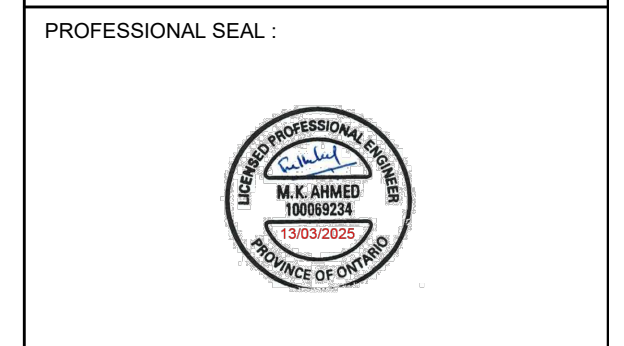
- GENERAL NOTES:**
- UPON COMPLETION AND APPROVAL OF THE NEW FIRE ALARM HORN/STROBE INSTALLATION, ALL ASSOCIATED WIRING AND CONDUIT SHALL REMAIN IN PLACE.
  - ALL AFFECTED SURFACES SHALL BE REPAIRED AND PAINTED TO MATCH THE EXISTING FINISH.

The Contractor shall verify all dimensions prior to commencement of the work. All print and specifications are the property of the Architect and must be returned upon completion of the work.

ISSUE OR REVISION		
No.	Description	Date
1	ISSUED FOR REVIEW	FEB 18, 2025
2	ISSUED FOR TENDER	MAR 13, 2025

**ASCENSION CES RENOVATION PROJECT**

5205 New Street,  
Burlington, Ontario, L7L 1V3  
HALTON CATHOLIC DISTRICT SCHOOL BOARD

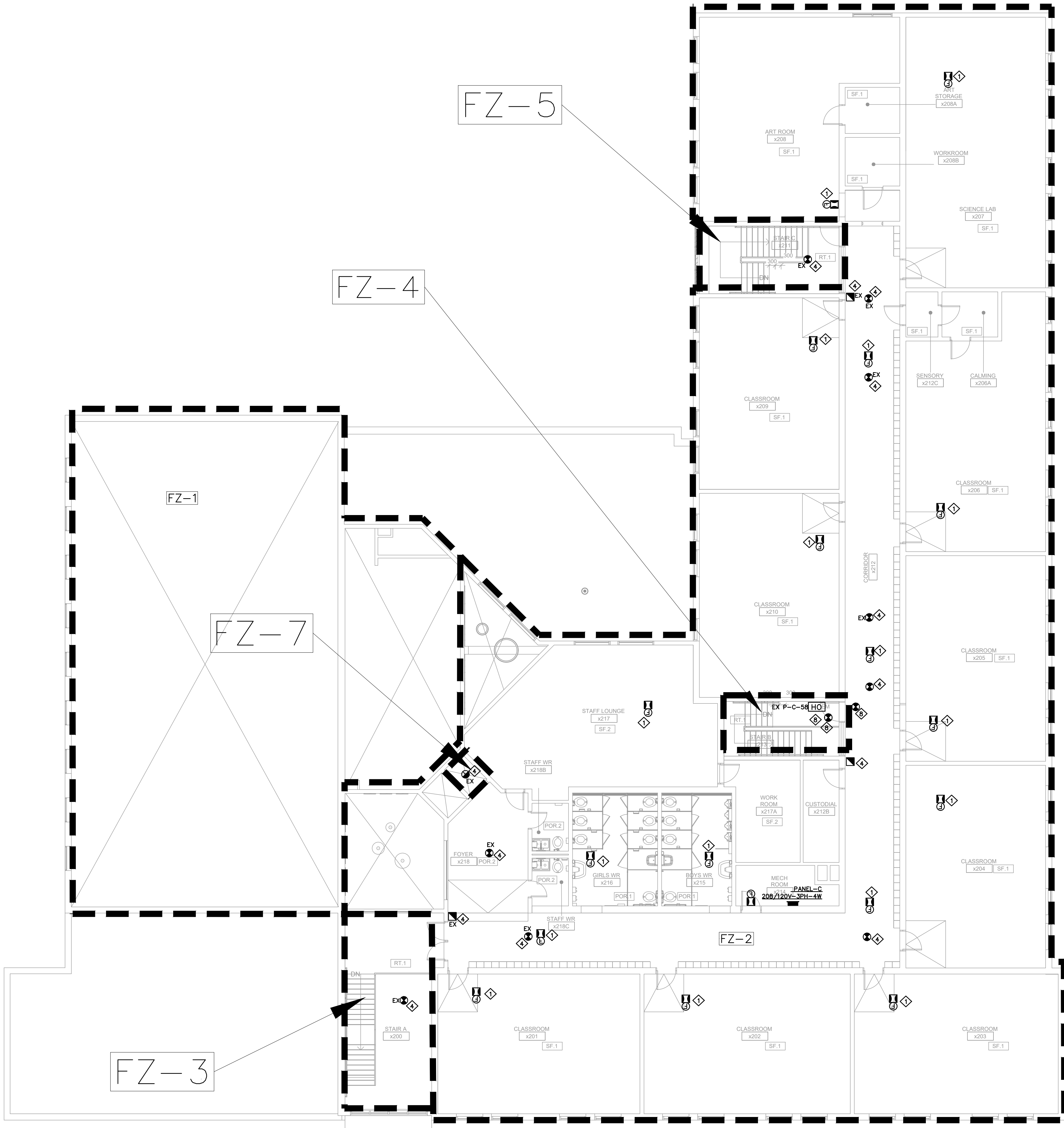


DWG TITLE: **PROPOSED FIRE ALARM FIRST FLOOR PLAN**



DATE:	FEBRUARY 2025
SCALE:	1:100
DRAWN BY:	AS
CHECKED BY:	MA
DWG STATUS:	TENDER
PROJECT No.:	2025-476
DRAWING No.:	E3.2
REVISION:	

March 13, 2025 4:27:43 PM



LEGEND	
	MAIN ENTRANCE
	SECONDARY ENTRANCE
	MN. ELECT. PANEL
	ELEVATOR
	STAIRS
	FIRE ALARM HORN
	FIRE ALARM PULL STATION C/W LEXAN COVER & WITH A BATTERY BUZZER
	FLUSH WALL OR CEILING MOUNTED FIRE ALARM HORN & STROBE
	REMOTE TROUBLE BUZZER C/W VISUAL SIGNAL
	AUTOMATIC RATE OF RISE HEAT DETECTOR AT 135' F
	AUTOMATIC FIXED TEMPERATURE HEAT DETECTOR AT 157' F
	PHOTOELECTRIC TYPE SMOKE DETECTOR UNLESS NOTED OTHERWISE
	DUCT TYPE SMOKE DETECTOR WITH REMOTE ANNUNCIATOR
	FIRE ALARM SYSTEM REMOTE ANNUNCIATOR
	FIRE ALARM CONTROL PANEL
	RELAY BASE
	WIRE GUARD
	CARBON MONO-OXIDE DETECTOR
	DOOR HOLD OPEN DEVICE

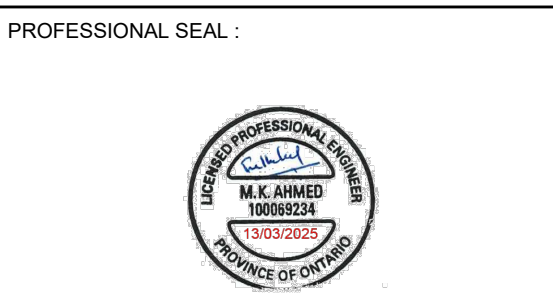
- PROPOSED NOTES:**
- 1 THE ELECTRICAL CONTRACTOR SHALL PROVIDE AND INSTALL NEW COMBINATION HORN/STROBE UNITS AS SHOWN ON THE ELECTRICAL DRAWINGS.
  - 2 THE CONTRACTOR SHALL PROVIDE A MINIMUM OF TWO (2) DAYS OF FIRE WATCH DURING THE REPLACEMENT PROCESS.
  - 3 ALL NEW FIRE ALARM HORN/STROBE UNITS SHALL BE CONNECTED TO THE EXISTING FIRE ALARM PANEL.
  - 4 THE EXISTING FIRE ALARM PANEL, FIRE ALARM ANNUNCIATOR, SMOKE DETECTORS, HEAT DETECTORS, AND FIRE ALARM PULL STATIONS SHALL REMAIN UNCHANGED.
  - 5 THE CONTRACTOR SHALL PERFORM ALL NECESSARY TESTING AND VERIFICATION TO ENSURE PROPER FUNCTIONALITY AND COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.
  - 6 EXISTING FIRE ALARM PANEL ( EDWARDS).
  - 7 EXISTING FIRE ALARM ANNUNCIATOR ( EDWARDS).
  - 8 ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL NEW DOOR HOLD OPEN DEVICE AND FIRE ALARM SMOKE DETECTORS AS SHOWN ON THE ELECTRICAL DRAWINGS.
  - 9 FIRE EXTINGUISHER, FIRE HOUSE CABINET AND FIRE PROTECTION CONTROL VALVES TO REMAIN AS EXISTING.
  - 10 CONTRACTOR TO PROVIDE AND INSTALL NEW LAMACOID SIGNAGE (48" X 6") ON THE SAME LOCATION OF THE EXISTING. MATCH THE COLOR SCHEME OF EXISTING SIGNAGE.

- GENERAL NOTES:**
1. UPON COMPLETION AND APPROVAL OF THE NEW FIRE ALARM HORN/STROBE INSTALLATION, ALL ASSOCIATED WIRING AND CONDUIT SHALL REMAIN IN PLACE.
  2. ALL AFFECTED SURFACES SHALL BE REPAIRED AND PAINTED TO MATCH THE EXISTING FINISH.

The Contractor shall verify all dimensions prior to commencement of the work. All print and specifications are the property of the Architect and must be returned upon completion of the work.

ISSUE OR REVISION		
No.	Description	Date
1	ISSUED FOR REVIEW	FEB 18, 2025
2	ISSUED FOR TENDER	MAR 13, 2025

PROJECT: **ASCENSION CES RENOVATION PROJECT**  
 5205 New Street,  
 Burlington, Ontario, L7L 1V3  
 HALTON CATHOLIC DISTRICT SCHOOL BOARD

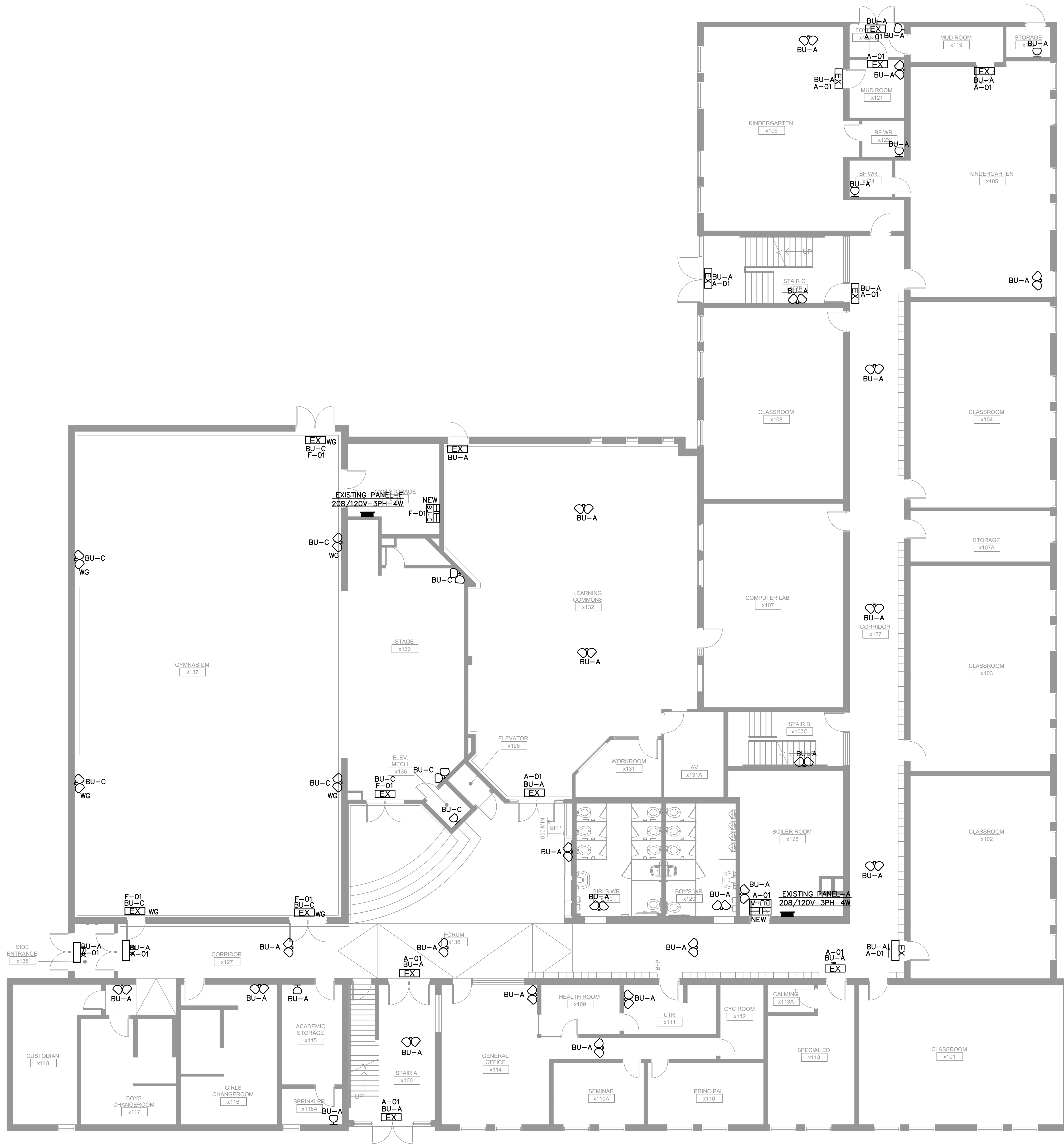


DWG TITLE: **PROPOSED FIRE ALARM SECOND FLOOR PLAN**



DATE:	FEBRUARY 2025
SCALE:	1:100
DRAWN BY:	AS
CHECKED BY:	MA
DWG STATUS:	TENDER
PROJECT No.:	2025-476
DRAWING No.:	E3.3
REVISION:	

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LEGEND	
	EXIT SIGN
	EMERGENCY LIGHTING FIXTURE
	BATTERY UNIT

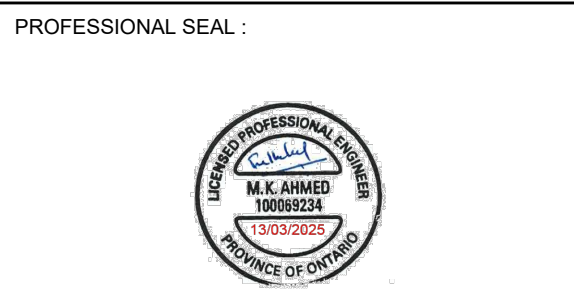
- NOTES:**
- CONTRACTOR TO INSTALL THE NEW EXISTING SIGNS IN THE T BAR CEILING WITH T BAR HANGER AND CHAIN SUPPORT FROM THE JOIST.
  - ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL NEW EMERGENCY LIGHTINGS AS SHOWN.
  - ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL NEW BATTERY UNITS AS SHOWN ON THE ELECTRICAL DRAWINGS.
  - ELECTRICAL CONTRACTOR TO CONNECT ALL NEW EMERGENCY LIGHTING FIXTURES, EXIT SIGNS TO THE NEW BATTERY UNITS.
  - THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY WIRING, CONDUIT, AND CONNECTIONS REQUIRED FOR THE NEW EMERGENCY LIGHTING FIXTURES AND EXIT SIGNS, IN COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.
  - THE CONTRACTOR SHALL ENSURE THAT ALL NEW EMERGENCY LIGHTING FIXTURES AND EXIT SIGNS ARE PROPERLY INTEGRATED WITH THE NEW BATTERY UNITS, ALLOWING FOR CONTINUOUS OPERATION DURING EMERGENCY CONDITIONS.

The Contractor shall verify all dimensions prior to commencement of the work. All print and specifications are the property of the Architect and must be returned upon completion of the work.

ISSUE OR REVISION		
No.	Description	Date
1	ISSUED FOR REVIEW	FEB 18, 2025
2	ISSUED FOR TENDER	MAR 13, 2025

**ASCENSION CES RENOVATION PROJECT**

5205 New Street,  
Burlington, Ontario, L7L 1V3  
HALTON CATHOLIC DISTRICT SCHOOL BOARD



DWG TITLE:  
**PROPOSED EMERGENCY LIGHTINGS & EXIT SIGNS GROUND FLOOR PLAN**



DATE:	FEBRUARY 2025
SCALE:	1:100
DRAWN BY:	AS
CHECKED BY:	MA
DWG STATUS:	TENDER
PROJECT No.:	2025-476
DRAWING No.:	E3.4
REVISION:	

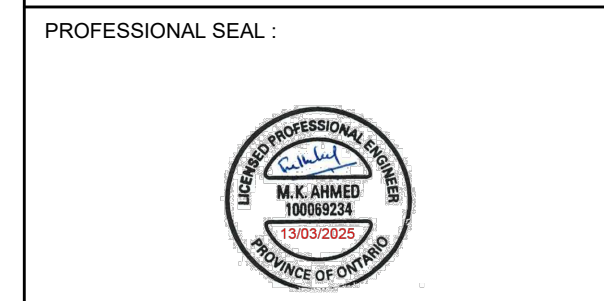
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The Contractor shall verify all dimensions prior to commencement of the work. All print and specifications are the property of the Architect and must be returned upon completion of the work.

ISSUE OR REVISION		
No.	Description	Date
1	ISSUED FOR REVIEW	FEB 18, 2025
2	ISSUED FOR TENDER	MAR 13, 2025

PROJECT:  
**ASCENSION CES RENOVATION PROJECT**

5205 New Street,  
Burlington, Ontario, L7L 1V3  
HALTON CATHOLIC DISTRICT SCHOOL BOARD



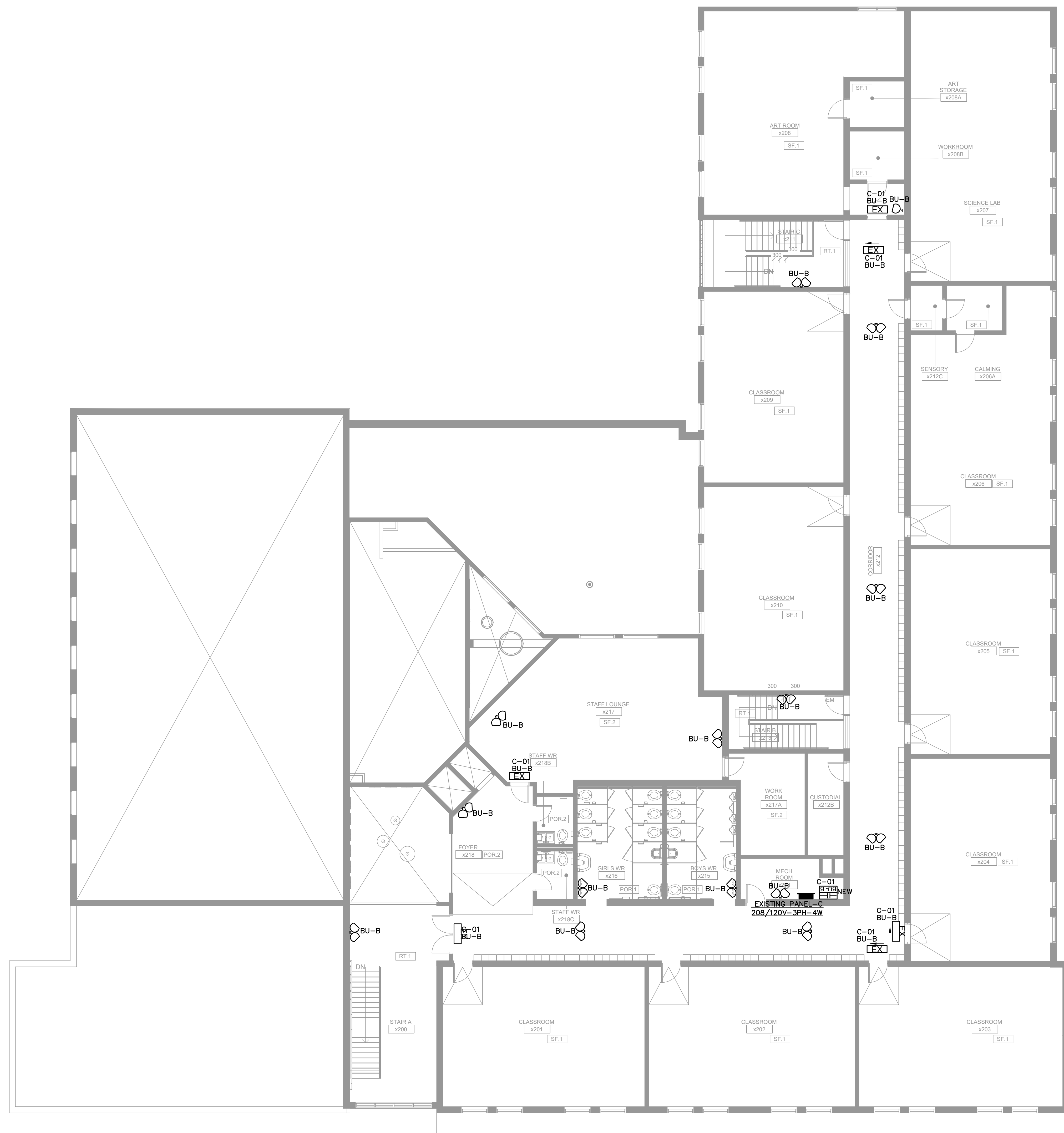
DWG TITLE:  
**PROPOSED EMERGENCY LIGHTINGS & EXIT SIGNS SECOND FLOOR PLAN**



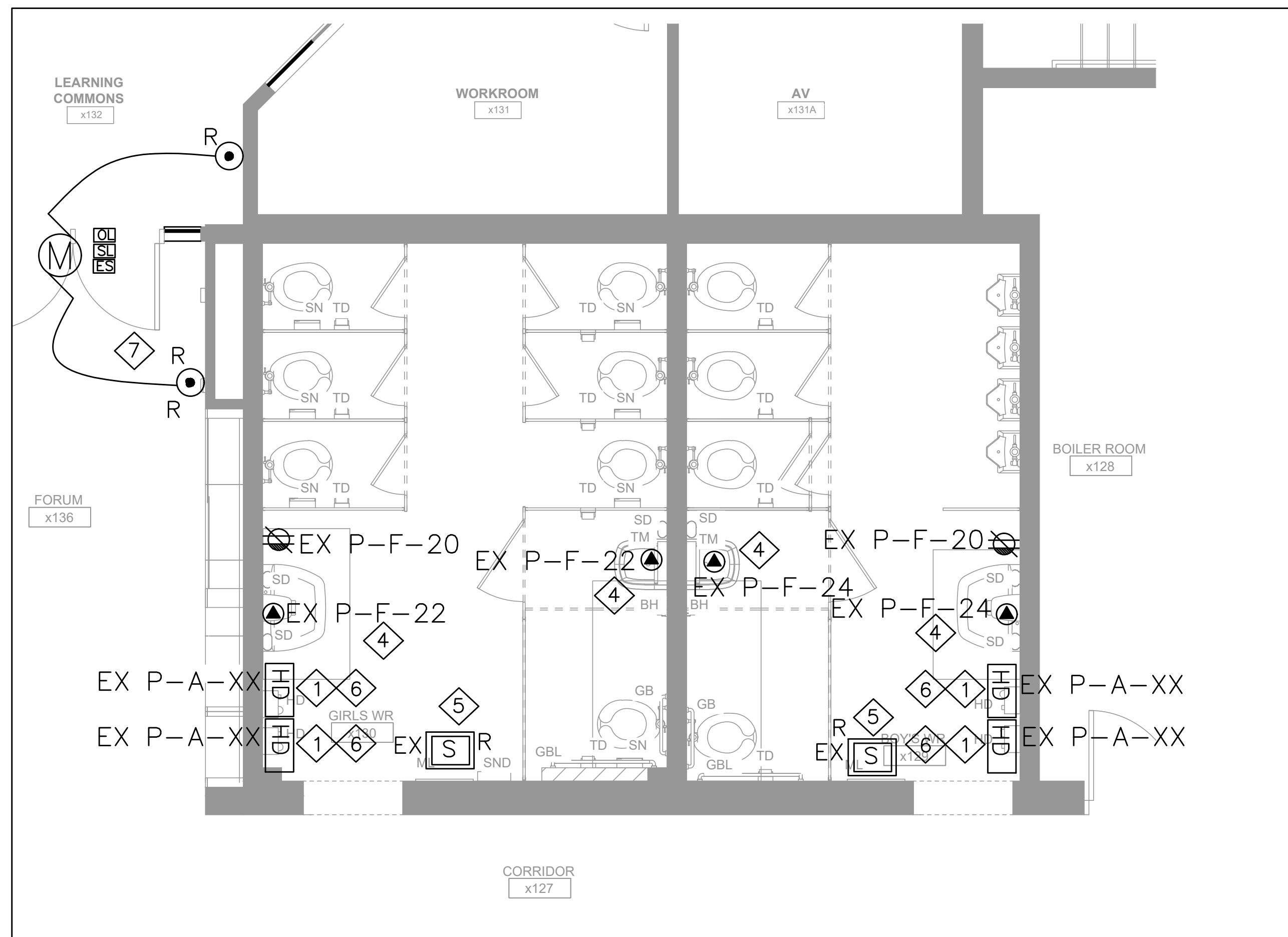
DATE:	FEBRUARY 2025
SCALE:	1:100
DRAWN BY:	AS
CHECKED BY:	MA
DWG STATUS:	TENDER
PROJECT No.:	2025-476
DRAWING No.:	E3.5
REVISION:	

LEGEND	
	EXIT SIGN
	EMERGENCY LIGHTING FIXTURE
	BATTERY UNIT

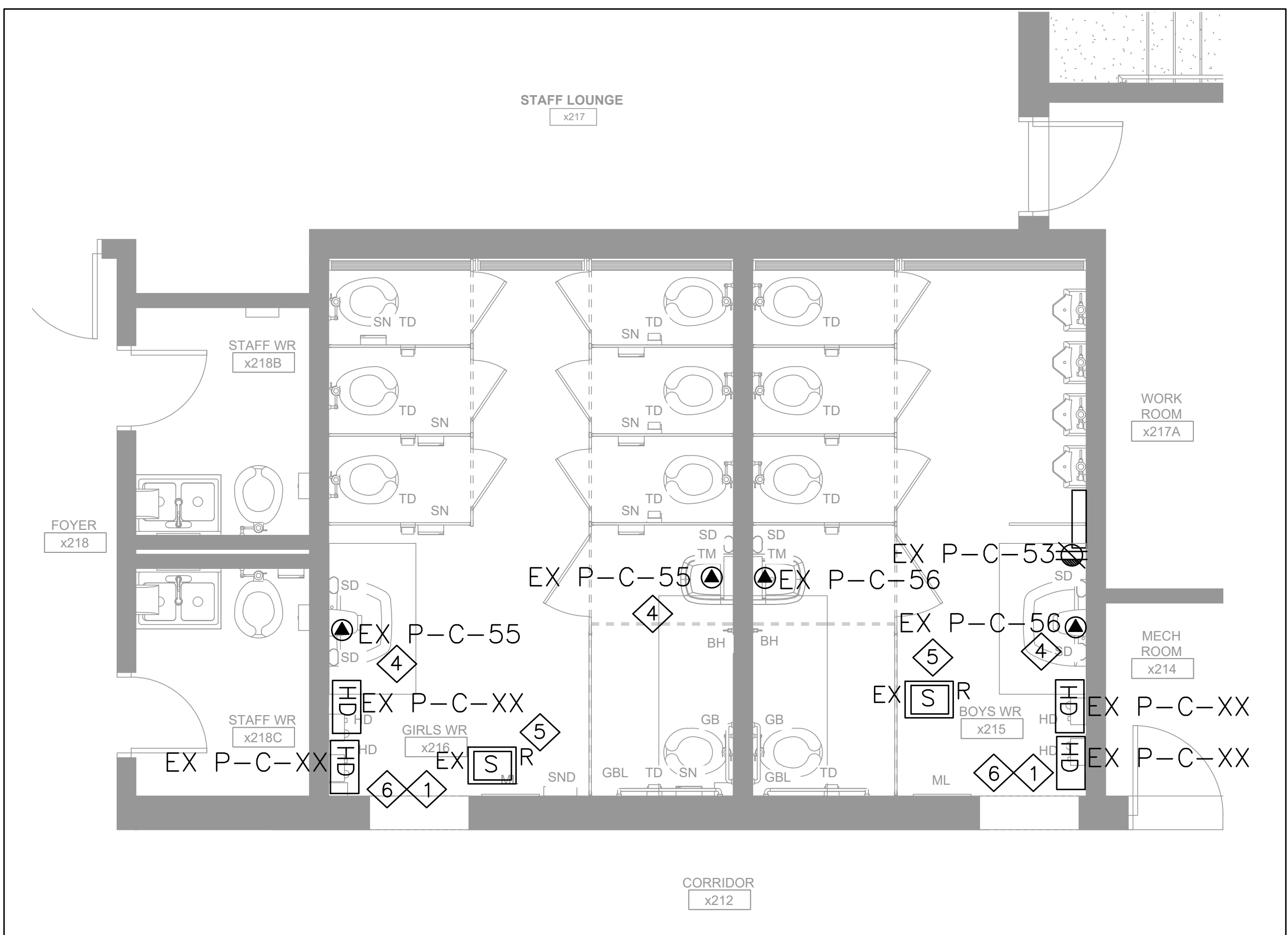
- NOTES:**
- CONTRACTOR TO INSTALL THE NEW EXISTING SIGNS IN THE T BAR CEILING WITH T BAR HANGER AND CHAIN SUPPORT FROM THE JOIST.
  - ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL NEW EMERGENCY LIGHTINGS AS SHOWN.
  - ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL NEW BATTERY UNITS AS SHOWN ON THE ELECTRICAL DRAWINGS.
  - ELECTRICAL CONTRACTOR TO CONNECT ALL NEW EMERGENCY LIGHTING FIXTURES, EXIT SIGNS TO THE NEW BATTERY UNITS.
  - THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY WIRING, CONDUIT, AND CONNECTIONS REQUIRED FOR THE NEW EMERGENCY LIGHTING FIXTURES AND EXIT SIGNS, IN COMPLIANCE WITH APPLICABLE CODES AND STANDARDS.
  - THE CONTRACTOR SHALL ENSURE THAT ALL NEW EMERGENCY LIGHTING FIXTURES AND EXIT SIGNS ARE PROPERLY INTEGRATED WITH THE NEW BATTERY UNITS, ALLOWING FOR CONTINUOUS OPERATION DURING EMERGENCY CONDITIONS.



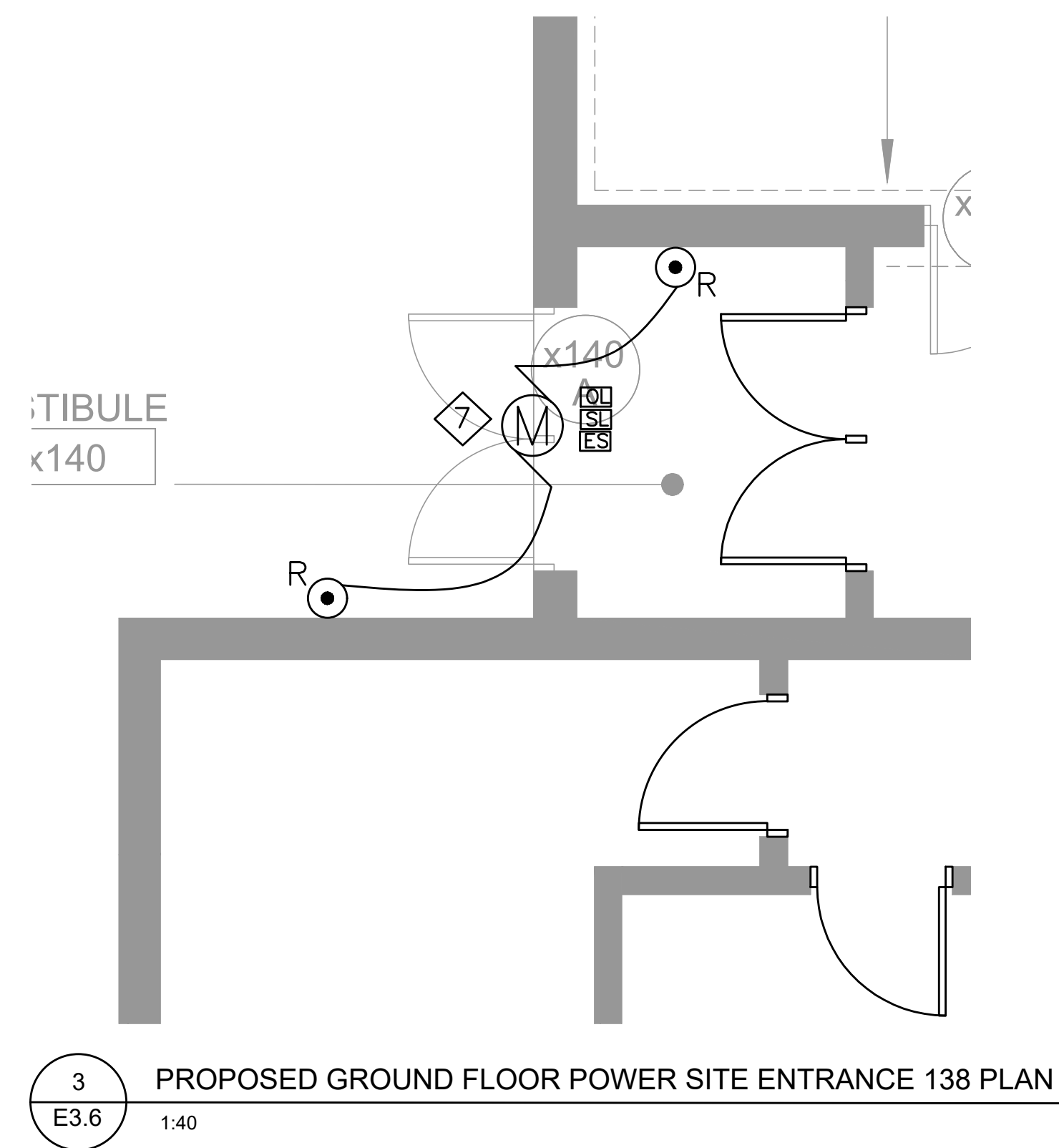
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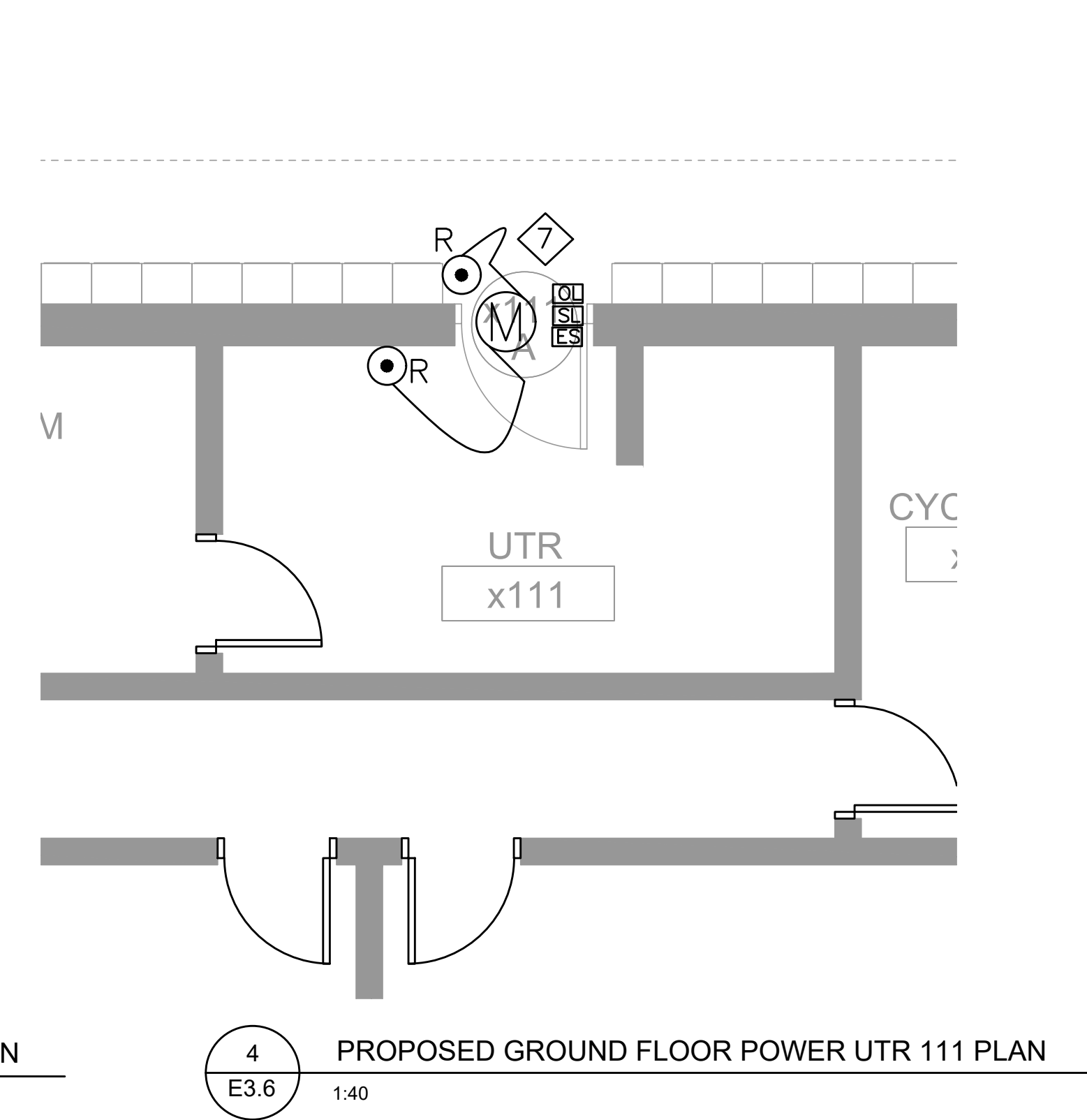
1 PROPOSED GROUND FLOOR POWER WASHROOM PLAN  
E3.6 1:40



2 PROPOSED SECOND FLOOR POWER WASHROOM PLAN  
E3.6 1:40



3 PROPOSED GROUND FLOOR POWER SITE ENTRANCE 138 PLAN  
E3.6 1:40



4 PROPOSED GROUND FLOOR POWER UTR 111 PLAN  
E3.6 1:40

**PROPOSED POWER NOTES:**

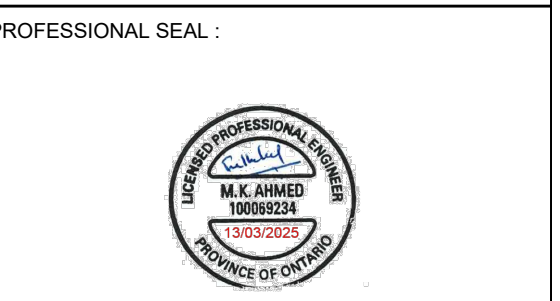
1. ELECTRICAL CONTRACTOR SHALL PROVIDE POWER TO THE HAND DRYERS FROM EXISTING CIRCUITS. PROVIDE AND INSTALL NEW CONDUITS AND CABLES FOR NEW HAND DRYERS.
2. PROVIDE STAINLESS STEEL COVER PLATES AS REQUIRED FOR ALL REDUNDANT OUTLET BOXES TO REMAIN IN EXISTING WALLS.
3. ELECTRICAL CONTRACTOR SHALL RE-INSTALL THE EXISTING CEILING MOUNTED SPEAKERS AFTER RENOVATION AS SHOWN ON THE ELECTRICAL DRAWINGS. ALLOW FOR EXTENDING CABLE CONDUITS. ALLOW FOR TESTING TO MAKE THE SYSTEM FULLY FUNCTIONAL.
4. ELECTRICAL CONTRACTOR SHALL PROVIDE POWER FOR THE WATER CLOSET AS SHOWN ON THE DRAWINGS. PROVIDE APPROPRIATE SIZE LOW VOLTAGE TRANSFORMER AND ALL WIRING REQUIRED TO MAKE THE AUTOMATIC WATER CLOSET OPERABLE AS PER MANUFACTURER INSTRUCTIONS. HIDE THE LOW VOLTAGE TRANSFORMER IN A JUNCTION BOX, CO-ORDINATE WITH THE MECHANICAL TRADE.
5. ELECTRICAL CONTRACTOR SHALL RELOCATE THE EXISTING CEILING MOUNTED SPEAKERS AFTER RENOVATION AS SHOWN ON THE ELECTRICAL DRAWINGS. ALLOW FOR EXTENDING CABLE CONDUITS. ALLOW FOR TESTING TO MAKE THE SYSTEM FULLY FUNCTIONAL.
6. HAND DRYER SPEC :EXCEL DRYER'S XLERATOR® HAND DRYER ( H-3887 STAINLESS ) NEW 50% LONGER MOTOR LIFE AND INDUSTRY BEST 7-YEAR WARRANTY. XLERATOR® FEATURES ADJUSTABLE SPEED, SOUND, AND HEAT CONTROLS, AS WELL AS AN EXTERNALLY VISIBLE SERVICE LED.
7. ELECTRICAL CONTRACTOR SHALL RELOCATE THE EXISTING DOOR OPERATOR AS REQUIRED NEW RENOVATION AS SHOWN ON THE ELECTRICAL DRAWINGS. ALLOW FOR EXTENDING CABLE CONDUITS. ALLOW FOR TESTING TO MAKE THE SYSTEM FULLY FUNCTIONAL.
8. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL CONTRACTOR FOR ALL RELATED ELECTRICAL WORK. ENSURE PROPER CONNECTIONS FOR ANY MECHANICAL EQUIPMENT REQUIRING ELECTRICAL POWER.
9. ENSURE ALL WORK IS COMPLETED IN ACCORDANCE WITH THE ONTARIO ELECTRICAL SAFETY CODE (OESC) AND OTHER APPLICABLE REGULATIONS.

The Contractor shall verify all dimensions prior to commencement of the work. All print and specifications are the property of the Architect and must be returned upon completion of the work.

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No.	Description	Date
1	ISSUED FOR REVIEW	FEB 18, 2025
2	ISSUED FOR TENDER	MAR 13, 2025

**ASCENSION CES RENOVATION PROJECT**

5205 New Street,  
Burlington, Ontario, L7L 1V3  
HALTON CATHOLIC DISTRICT SCHOOL BOARD



DWG TITLE:  
**PROPOSED GROUND FLOOR POWER PLAN**



DATE:	FEBRUARY 2025
SCALE:	AS NOTED
DRAWN BY:	AS
CHECKED BY:	MA
DWG STATUS:	TENDER
PROJECT No.:	2025-476
DRAWING No.:	E3.6
REVISION:	

March 13, 2025 4:29:13 PM