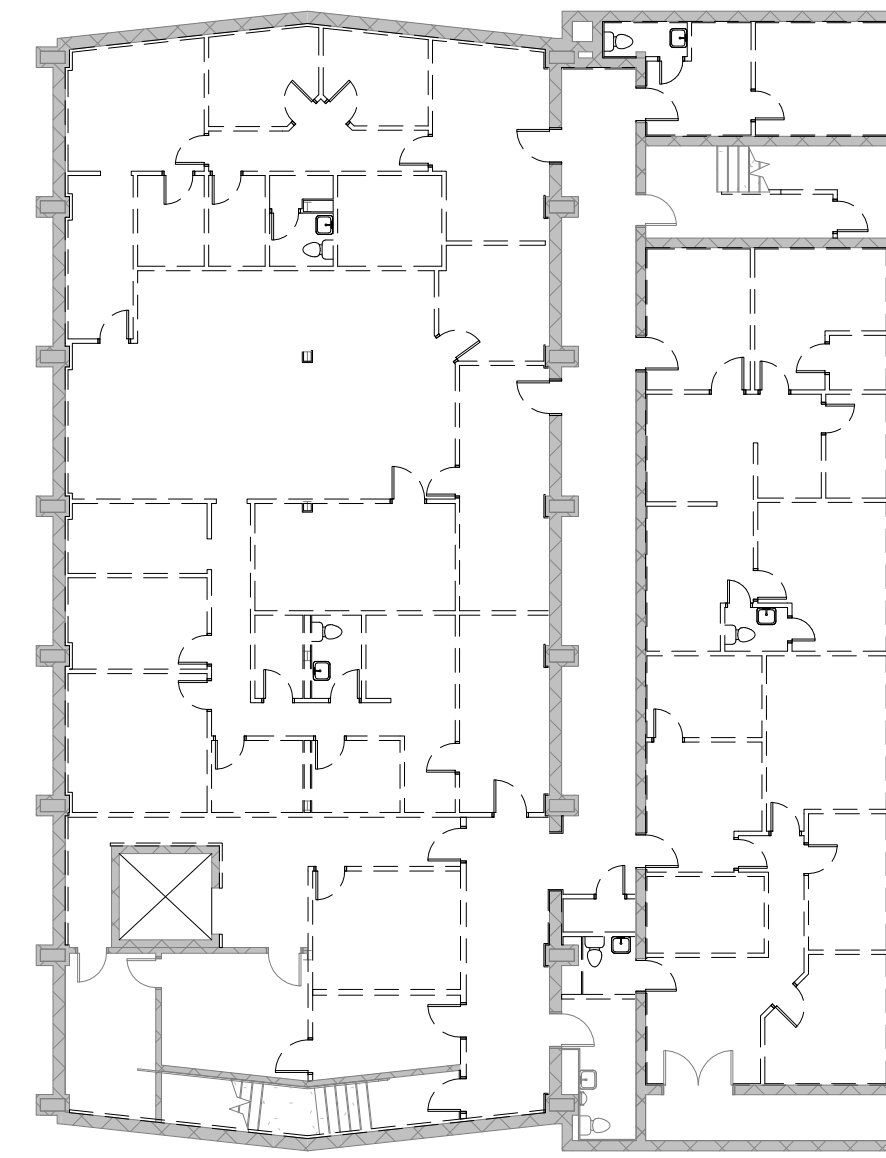
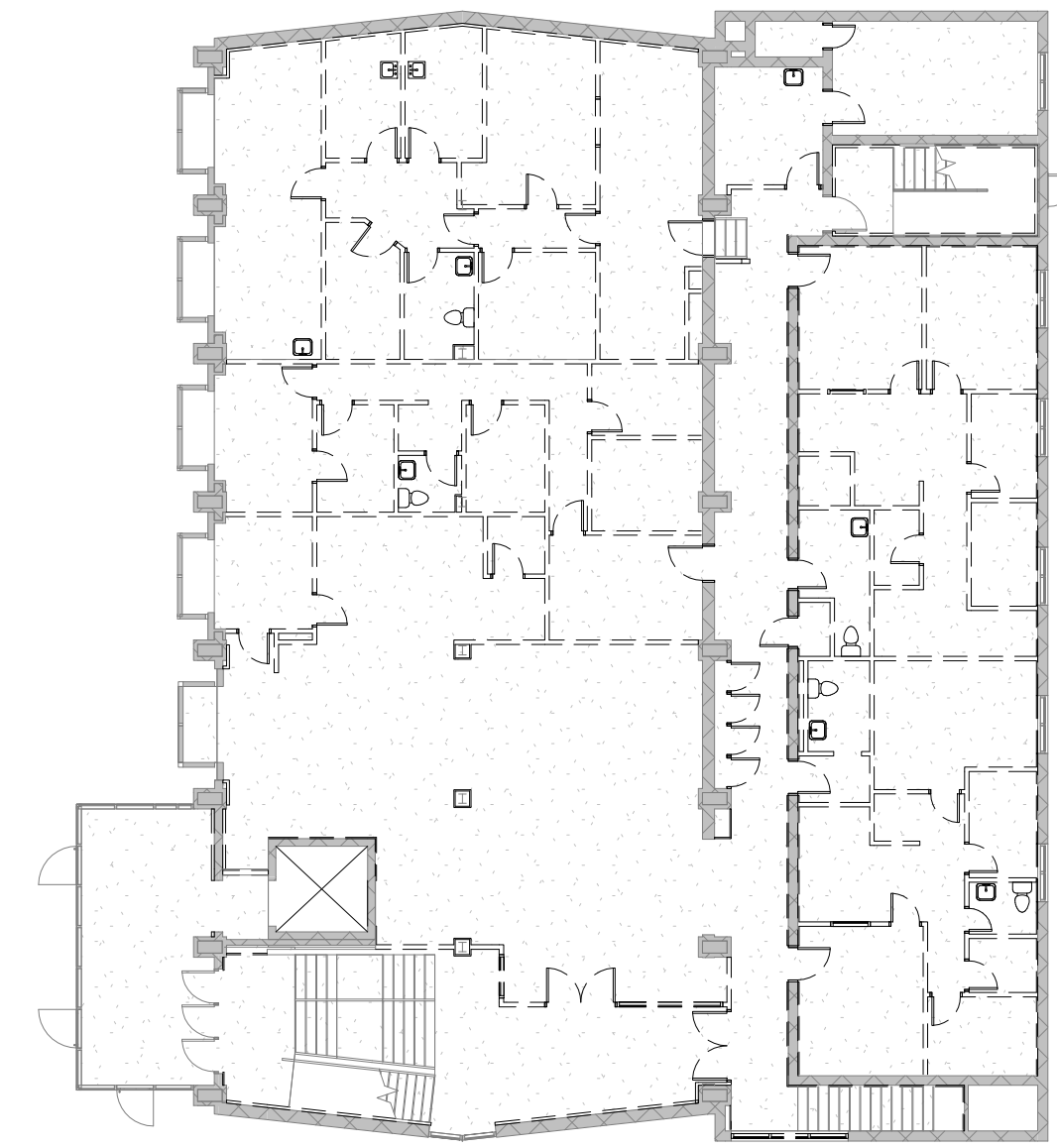


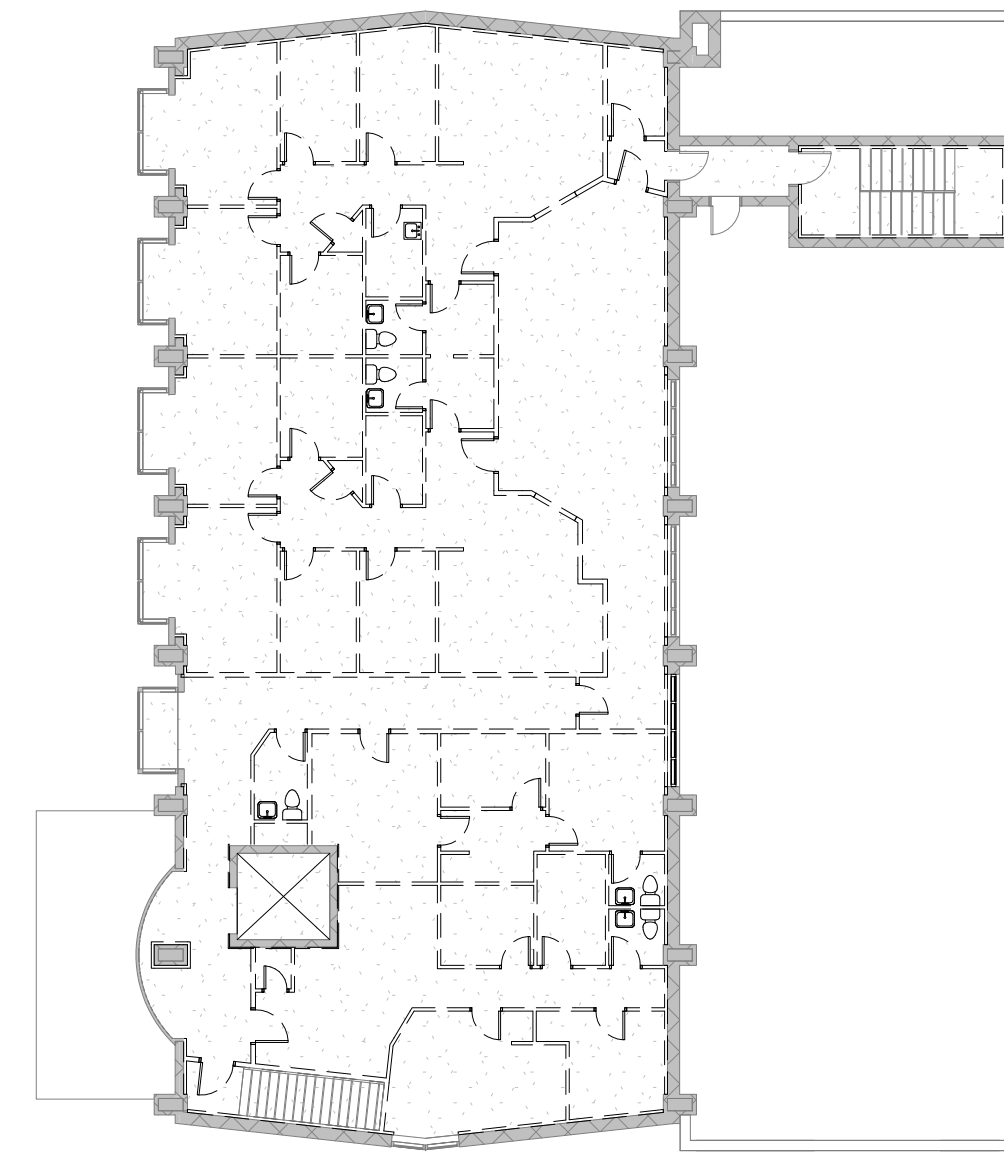
<b>FIRM NAME:</b> WORKSHOP Architecture 6 Sousa Mendes St Toronto, ON M6P 0A8 tel. 416-901-8055		<b>LOCATION:</b> 1615 Dufferin Street Toronto, ON M6H 4H4		<b>OBC REFERENCE</b>  References are to Division B unless noted [A] for Division A or [C] for Division G.		
<b>NAME OF PROJECT:</b> Dufferin St Medical Offices		<b>Project Area:</b> 1826 m <sup>2</sup>				
<b>ONTARIO'S 2012 BUILDING CODE DATA MATRIX - PART 3</b>						
3.00	Building Code Version:	O. Reg. 332/12				
3.01	Project Type:	<input type="checkbox"/> New Construction <input type="checkbox"/> Change of use	<input type="checkbox"/> Addition <input type="checkbox"/> Addition and renovation <input checked="" type="checkbox"/> Renovation	<input type="checkbox"/> PART 11 11.1 TO 11.4  11.12. [A]		
3.02	Major Occupancy Classification:	Occupancy: <u>D</u>	Use: <u>Commercial</u>	3.12		
3.03	Superimposed Major Classification:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	Description:	3.2.2.7		
3.04	Building Area (m <sup>2</sup> )	Existing: 698 m <sup>2</sup>	New: 0	Total: 698 m <sup>2</sup>	1.4.12. [A]	
3.05	Gross Area (m <sup>2</sup> )	Existing: 1826 m <sup>2</sup>	New: 0	Total: 1826 m <sup>2</sup>	1.4.12. [A]	
3.06	Mezzanine Area (m <sup>2</sup> )	Existing: 0	New: 0	Total: 0	3.2.11	
3.07	Building Height	Storeys above grade: 2 Storeys below grade: 1	8.3 (m) Above grade		1.4.12 [A] & 3.2.11.	
3.08	High Building	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	3.2.6			
3.09	Number of Streets	2	streets (s)		3.2.2.10. & 3.2.5.	
3.10	Building Classification:	3.2.2.55	Group/Div: D (Commercial)		3.2.2.20 - 83.	
3.11	Sprinkler System:	<input type="checkbox"/> Required Provided: <input type="checkbox"/> entire building <input type="checkbox"/> selected floor areas <input type="checkbox"/> in lieu of roof rating	<input checked="" type="checkbox"/> Not Required <input type="checkbox"/> selected compartments <input type="checkbox"/> basement <input type="checkbox"/> none	3.2.1.5. & 3.2.2.17. 3.2.2.18. 3.2.4.8. to 3.2.4.10. & 3.2.5.13		
3.12	Standpipe System:	<input type="checkbox"/> Required <input checked="" type="checkbox"/> Not Required	3.2.5.8.			
3.13	Fire Alarm System:	<input type="checkbox"/> Required Type Provided: <input type="checkbox"/> Single stage <input type="checkbox"/> Two stage	<input checked="" type="checkbox"/> None		3.2.4.	
3.14	Water Supply	Adequate: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes	3.2.5.7.			
3.15	Construction Type:	Restriction: <input checked="" type="checkbox"/> Combustible permitted Actual: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Combination of combustible and non-combustible Heavy Timber Construction: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (Roof)	<input type="checkbox"/> Non-combustible required <input type="checkbox"/> Encapsulated mass timber <input type="checkbox"/> Non-combustible <input type="checkbox"/> Non-combustible construction in lieu of rating.	3.2.2.20 - 83.  3.2.1.4.		
3.18	Occupant Load:	Floor Level/Area Type Commercial	Occupancy Type Design	Based on 20	Load. (Persons) No	3.1.1.7. & 3.1.1.7.1(2)
3.19	Barrier-free Design:	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes	Barrier-free Entrances: Number: 1	3.8 3.1.8.2		
3.20	Hazardous Substances:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	3.3.1.2. & 3.3.1.9.			
3.20	Required Fire Resistance Ratings	Horizontal Assembly Storeys below grade Floors over basement Floors Mezzanine Roof	Rating 45min 45min 45min 0	Supporting Assembly 45min* 45min* 45min* 0	* Supporting assembly may be of non-combustible construction in lieu of rating.	3.2.2.20 - 83, 3.2.1.2., 3.2.1.4., 3.2.2.15.
3.22a	Spatial Separation	N/A - No change to exterior walls.			3.2.3.	
3.26	Notes:					



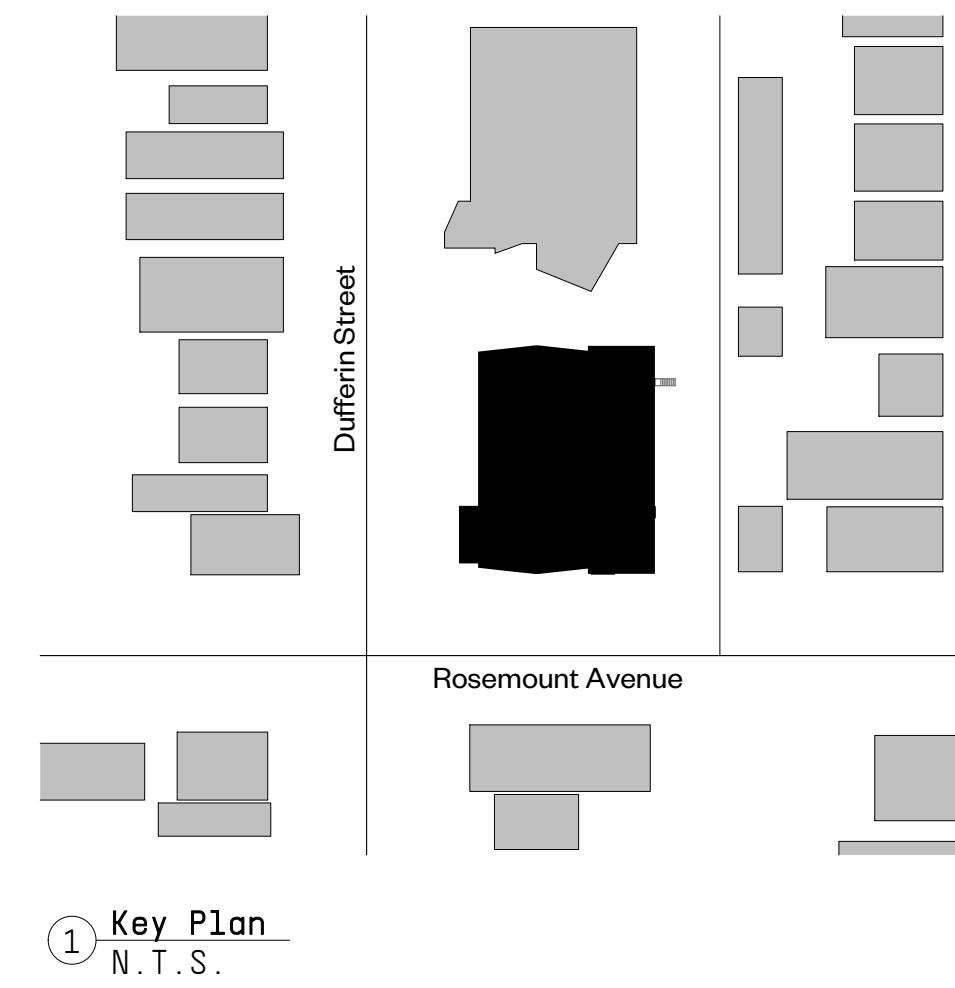
3 Key Plan - Demolition Phase - Basement  
1 : 200



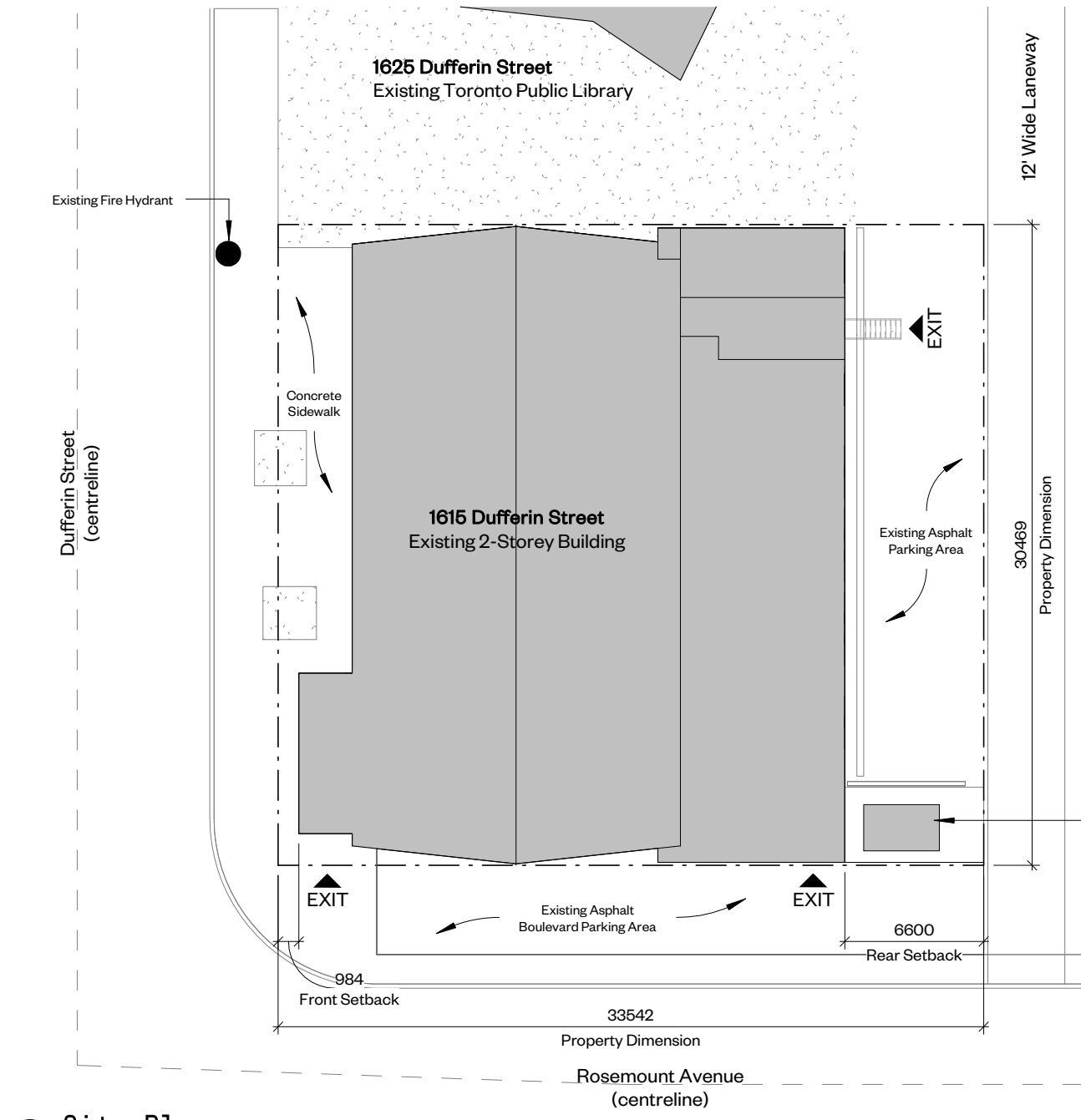
4 Key Plan - Demolition Phase - First Floor  
1 : 200



5 Key Plan - Demolition Phase - Second Floor  
1 : 200



1 Key Plan  
N.T.S.



2 Site Plan  
1 : 300

<b>ONTARIO'S 2012 BUILDING CODE DATA MATRIX - PART 11</b>				
11.00	Building Code Version:	O. Reg. 332/12		
11.10	Existing Building Classification:	Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy)	11.2.11. 11.2.11.A 11.2.11.B to N 4.2.1.(3) and 5.2.2.1(2)	
		Construction Index: 4 Hazard Index: 3 Importance Category: <input type="checkbox"/> Low <input type="checkbox"/> High <input checked="" type="checkbox"/> Normal <input type="checkbox"/> Post-disaster		
11.11	Renovation Type:	<input type="checkbox"/> Basic Renovation <input checked="" type="checkbox"/> Extensive Renovation	11.3.31, 11.3.3.2	
11.15	Reduction in Performance Level:	Structural: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No By increase in occupant load: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No By change of major occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Plumbing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Sewage systems: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Extension of buildings of combustible construction: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	11.4.21. 11.4.2.2. 11.4.2.3 11.4.2.4 11.4.2.5. 11.4.2.6.	
11.16	Compensation Construction:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.3.1. 11.4.3.2. 11.4.3.3. 11.4.3.4 11.4.3.5. 11.4.3.6. 11.4.3.7.	
11.17	Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.5.1	

**General Notes:**

- Drawings are to be read in conjunction with project specifications.
- Site visit is required by General Contractor to verify site conditions. Contact Architect for clarification if required.
- All dimensions are to face of partition unless noted otherwise.
- Angles are 90 degrees unless noted otherwise.
- Contractor to measure and verify all site dimensions and verify existing conditions affecting new work. Notify consultant of any discrepancies before proceeding with new work.
- General Contractor to provide adequate blocking for all millwork, signage, grab bars, equipment, etc mounted to walls/ceilings.
- General Contractor shall be responsible for all mechanical, electrical and plumbing work. The General Contractor shall be responsible for all chases, cutting openings (including scanning/x-ray where required) and patching as required by mechanical, electrical, plumbing and IT cabling trades. Review requirements with these trades.
- Site access, including working hours, for material delivery, work forces and for refuse removal is to be coordinated with the Owner prior to commencing work.
- General Contractor is to co-ordinate and co-operate with trades retained directly by Owner as applicable (eg security contractor, IT, sub trades, etc).
- General Contractor shall be responsible for scheduling the trades identified in item 9, where such work affects the progress of the job.
- Any temporary shoring required, including excavation support systems, shall be coordinated and provided by General Contractor within bid price. Refer also to Structural drawings, details and specification for additional requirements.
- Building Permit shall be obtained by Owner. All other permits/fees (including but not limited to ESA, Municipal road closure permits, service connection fees, sign permits, etc) to be obtained by the Contractor as necessary to complete the Work. All costs for these permits (Municipal Inspections, traffic direction costs, etc) shall be included in bid price and provided at no additional cost to the Owner.
- Coordinate scheduling of test openings and removal and re-instatement of windows with Consultant prior to commencing. Allow for review of existing conditions by Consultant before re-installation of windows and/or temporary hoarding/enclosures.
- The General Contractor shall comply with all applicable Building and Fire Codes.
- Refer to Mechanical and Electrical drawings for mechanical and electrical scope of work.
- All temporary hoarding/support is the responsibility of the contractor.

**SPECIFICATIONS:**

**Division 1 - General Requirements**

- Building Permit will be obtained by Owner. All other permits, licenses and inspections necessary to complete the work shall be obtained by Contractor and/or sub-contractor.
- Temporary hoarding shall remain in place at the conclusion of demolition work.
- Provide waste containers and bins for the disposal of demolition waste and construction materials waste in compliance with the Owner's waste management requirements.
- Contractor to maintain WSIB coverage and any commercial liability insurance as agreed with Owner. Contractor to ensure all necessary insurance is included/ maintained.
- Cleaning: Maintain the Work in tidy condition, free from accumulation of waste and debris. Thoroughly clean entire project area at completion of work.

**Division 2 - Site Work/Demolition**

- The Owner will review Site prior to commencement of demolition and instruct the Contractor, in writing, as to the items to be retained for re-use or be turned over to the Owner (if any).
- Prevent movement, settlement or damage of adjacent structures, services, walks, paving, parts of existing building to remain. Make good damage caused by demolition. Protect building floors/finishes against damage from operations under this Section, including lifting, moving, rolling, etc. of materials.

Refer to Spec 02 4119 Selective Demolition for further details.

Sheet List	
Sheet Number	Sheet Name
<b>ARCHITECTURAL</b>	
AD.0	OBC Matrix, Life Safety Plan, Key Plan
AD.1	Demolition Plans - Basement
AD.2	Demolition Plans - First Floor
AD.3	Demolition Plans - Second Floor
AD.4	Demolition Plans - Roof
AD.5	Demolition Elevations & Details
AZ1.0	OBC Matrix, Life Safety Plan, Site Plan
AZ2.0	Demo & Proposed Plans
AZ3.0	Proposed Elevations & Sections
<b>MECHANICAL</b>	
MO.1	Mechanical Legend, Drawing List, Notes and Diagrams
MI.1	Basement Floor Plumbing Demolition
MI.2	First Floor Plumbing Demolition
MI.3	Second Floor Plumbing Demolition
MI.4	Basement Floor HVAC Demolition
MI.5	First Floor HVAC Demolition
MI.6	Second Floor HVAC Demolition
<b>ELECTRICAL</b>	
EO.1	Electrical Legend, Drawing List and Notes
EO.2	Electrical Specifications
E1.1	Basement Floor Power Demolition
E1.2	First Floor Power Demolition
E1.3	Second Floor Power Demolition
E1.4	Basement Floor Lighting Demolition
E1.5	First Floor Lighting Demolition
E1.6	Second Floor Lighting Demolition

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Rev	Description	Date
1	Demolition Permit	2024.12.03
2	Demolition Tender	2025.02.05

**Site Plan Legend**

- Existing Buildings
- Landscaping
- Hardscaping
- Property Line
- Fence/Gate
- Existing Fire Hydrant
- Entrance/Exit

# WORKSHOP

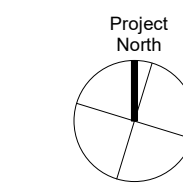
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## 1615 Dufferin Renovation

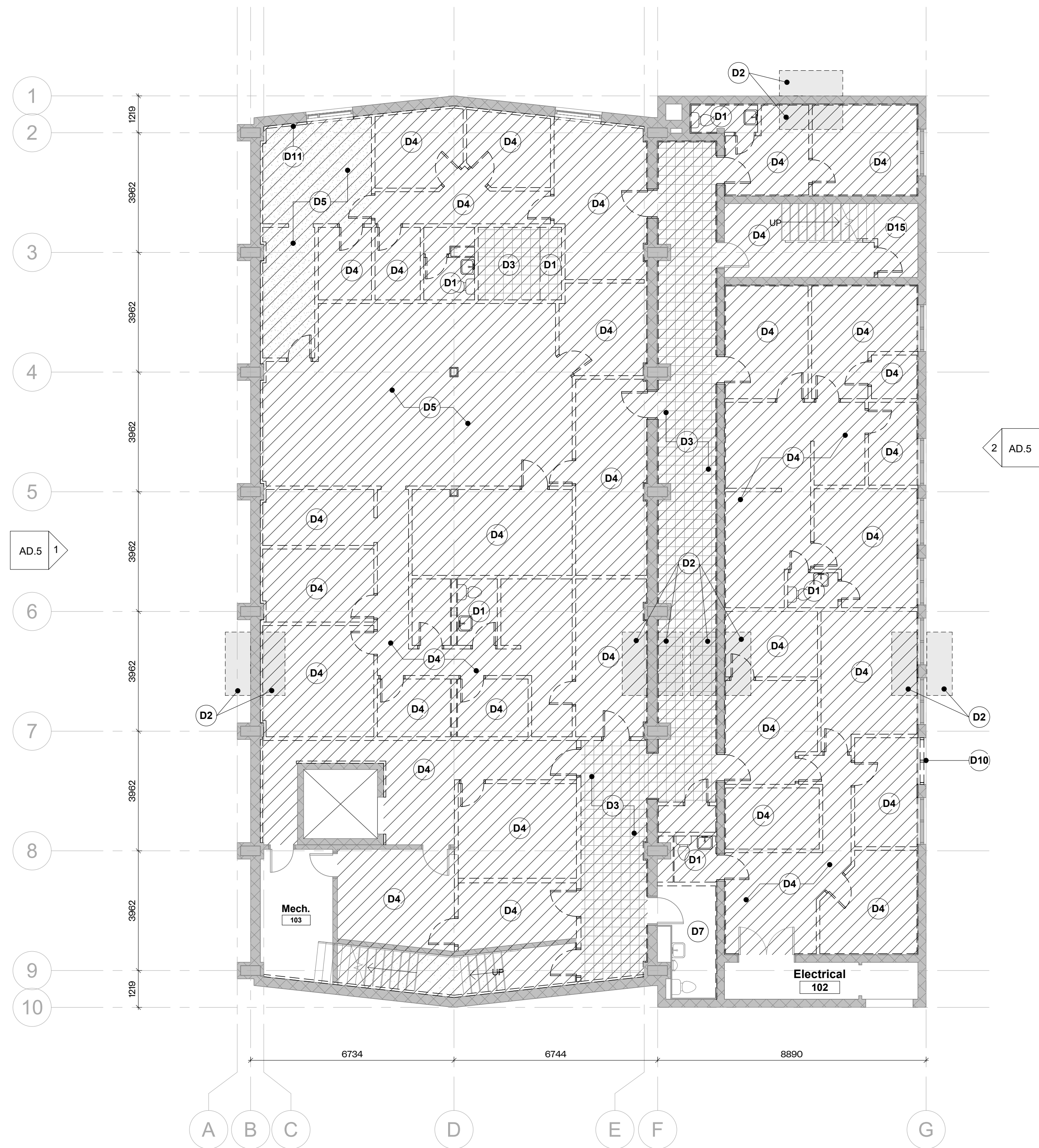
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PROJECT CODE:	SCALE:
2422	As indicated
DATE:	STATUS:
February 2025	Preliminary

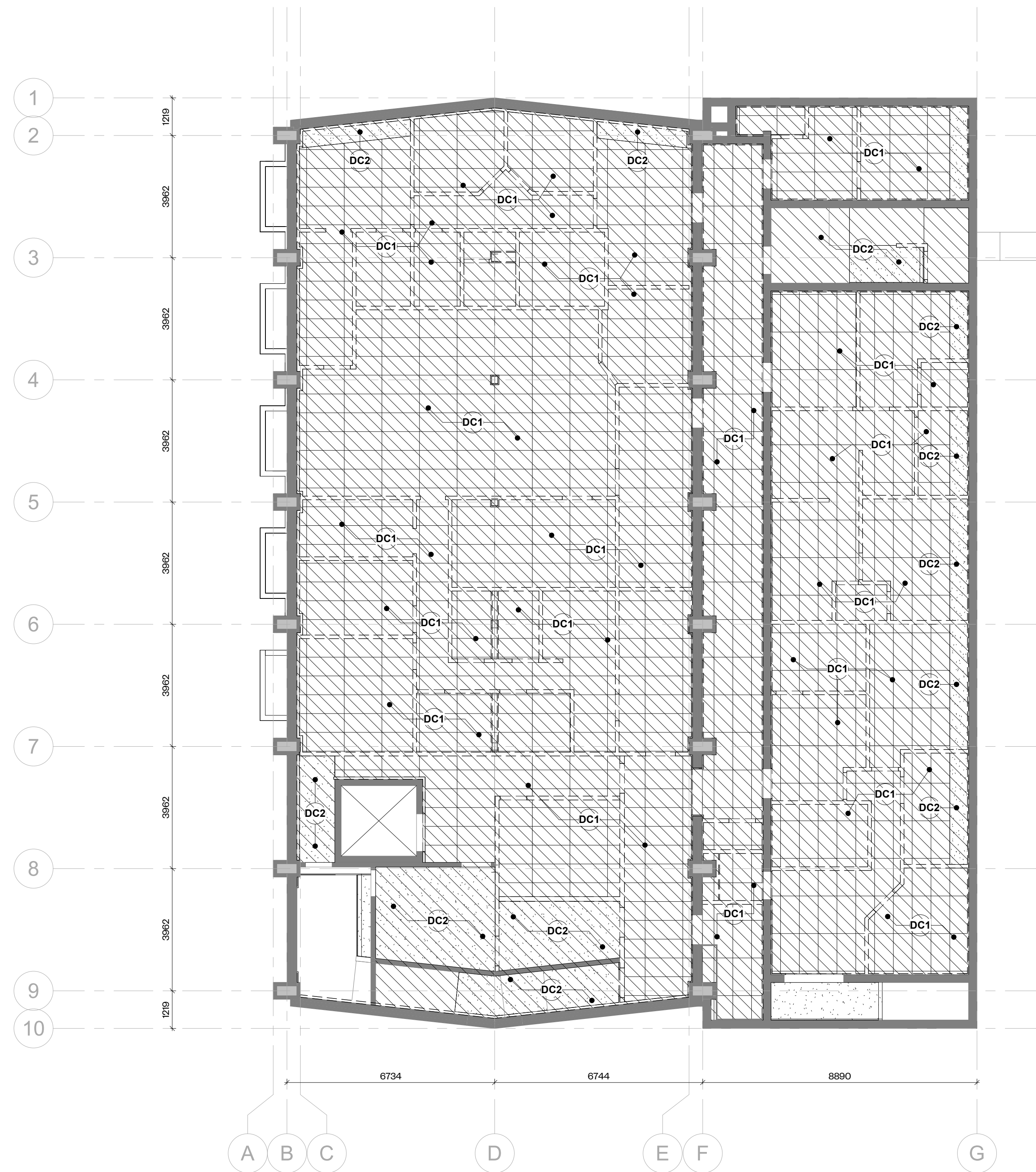
### OBC Matrix, Life Safety Plan, Key Plan



drawing number  
**AD.0**



2 Basement Floor Plan  
1 : 100



1 Basement RCP  
1 : 100

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Rev	Description	Date
1	Demolition Permit	2024.12.03
2	Demolition Tender	2025.02.05

**Demolition Legend**

- Existing CMU partition to be demolished
- Existing wall partition system to be demolished
- Existing element to be demolished
- Approximate extent of resilient /VCT flooring to be removed
- Approximate extent of tile to be removed
- Approximate extent of engineered wood flooring to be removed
- Approximate extent of ceiling to be removed
- Approximate extent of test pit excavation
- Existing door leaf and frame to be demolished

Demolition Notes	
Note	Description
D1	Demolish all millwork, plumbing fixtures, and kitchen/washroom accessories - see Mechanical.
D2	Excavate and expose foundation walls and bearings. Demolish concrete slab on grade as needed.
D3	Demolish existing tile floor and base. Prepare surfaces to receive new (typ.)
D4	Demolish existing VCT floor and base. Prepare surfaces to receive new (typ.)
D5	Demolish existing carpet floor and base. Prepare surfaces to receive new (typ.)
D7	Existing washroom to remain.
D10	Remove existing window to allow for investigation of existing wall assembly. Reinstall following investigation.
D11	Demolish all interior finishes to back-up structure.
D15	Demolish existing vinyl treads, risers, and nosings at stairs and landings (typ.)
DC1	Demolish existing ACT ceiling tiles, grid, and lightweight framing above. Remove all light fixtures and devices. Make good adjacent surfaces
DC2	Demolish existing GWB ceiling and lightweight framing above. Remove all light fixtures and devices. Make good adjacent surfaces

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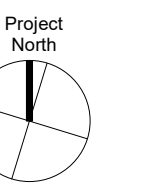
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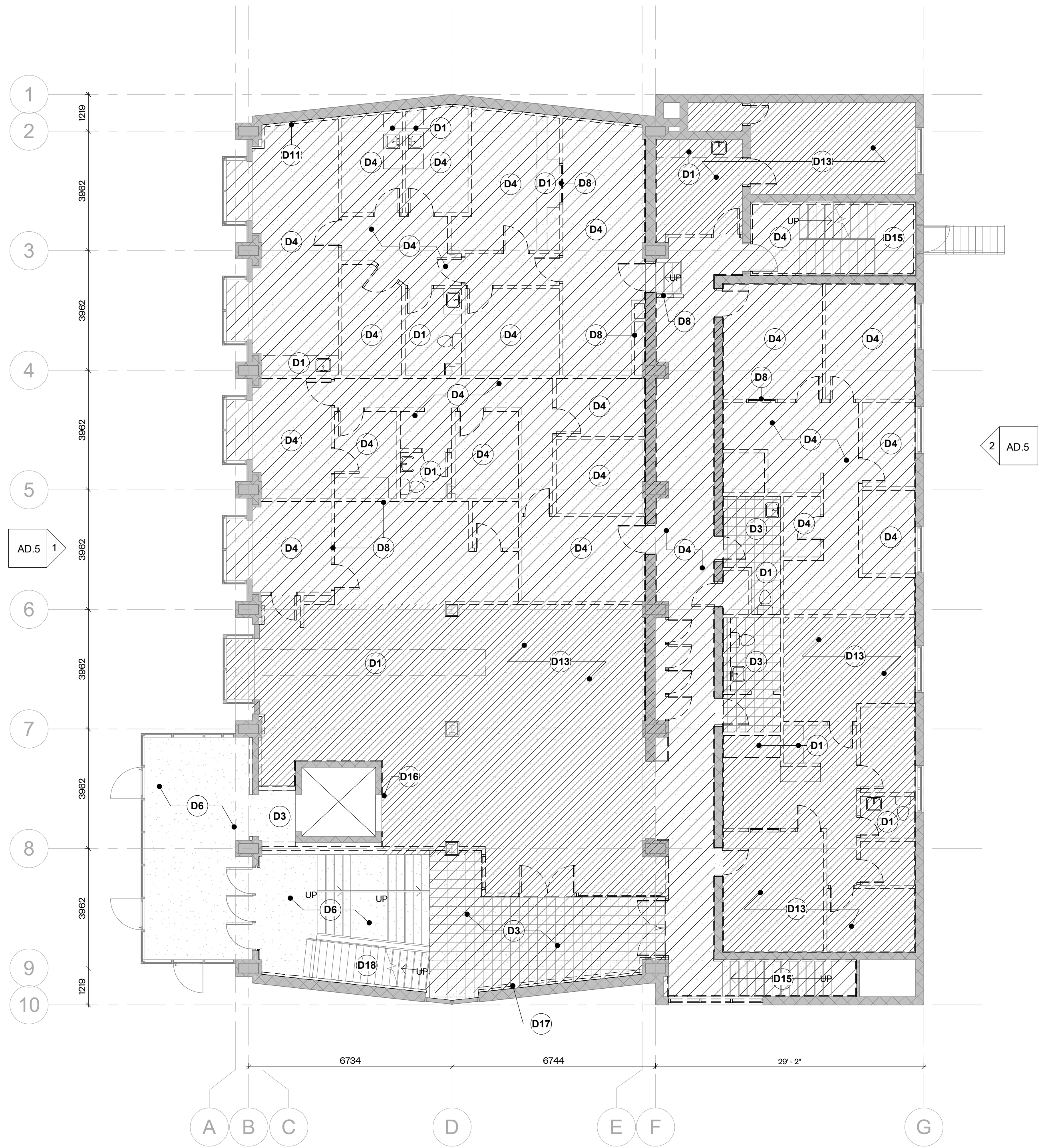
PROJECT CODE:	SCALE:
2422	1:100
DATE:	STATUS:
February 2025	Preliminary

**Demolition Plans - Basement**

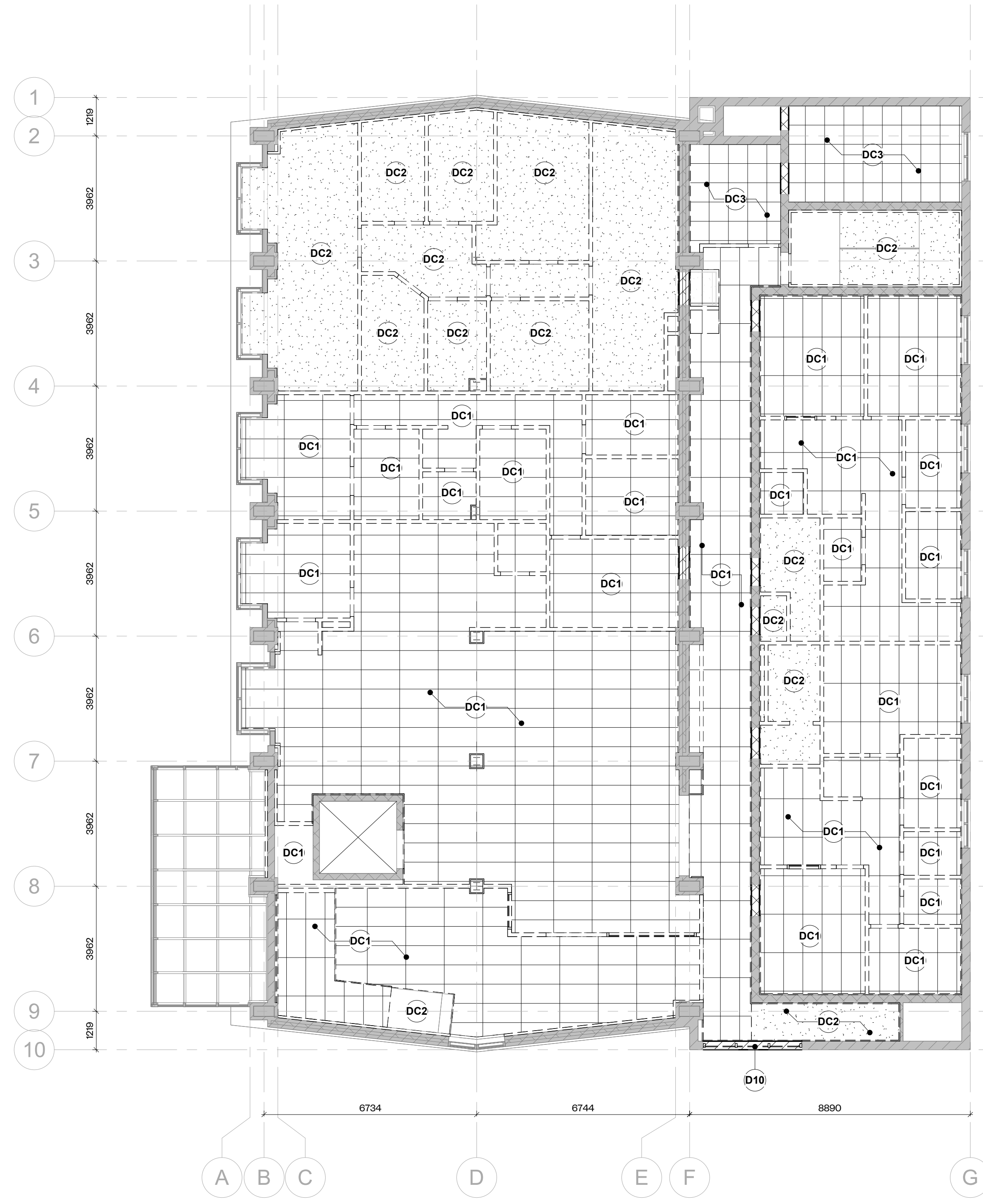


drawing number

**AD.1**



① First Floor Plan  
1 : 100



② First Floor RCP  
1 : 100

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Rev	Description	Date
1	Demolition Permit	2024.12.03
2	Demolition Tender	2025.02.05

**Demolition Legend**

- Existing CMU partition to be demolished
- Existing wall partition system to be demolished
- Existing element to be demolished
- Approximate extent of resilient /VCT flooring to be removed
- Approximate extent of tile to be removed
- Approximate extent of engineered wood flooring to be removed
- Approximate extent of ceiling to be removed
- Approximate extent of test pit excavation
- Existing door leaf and frame to be demolished

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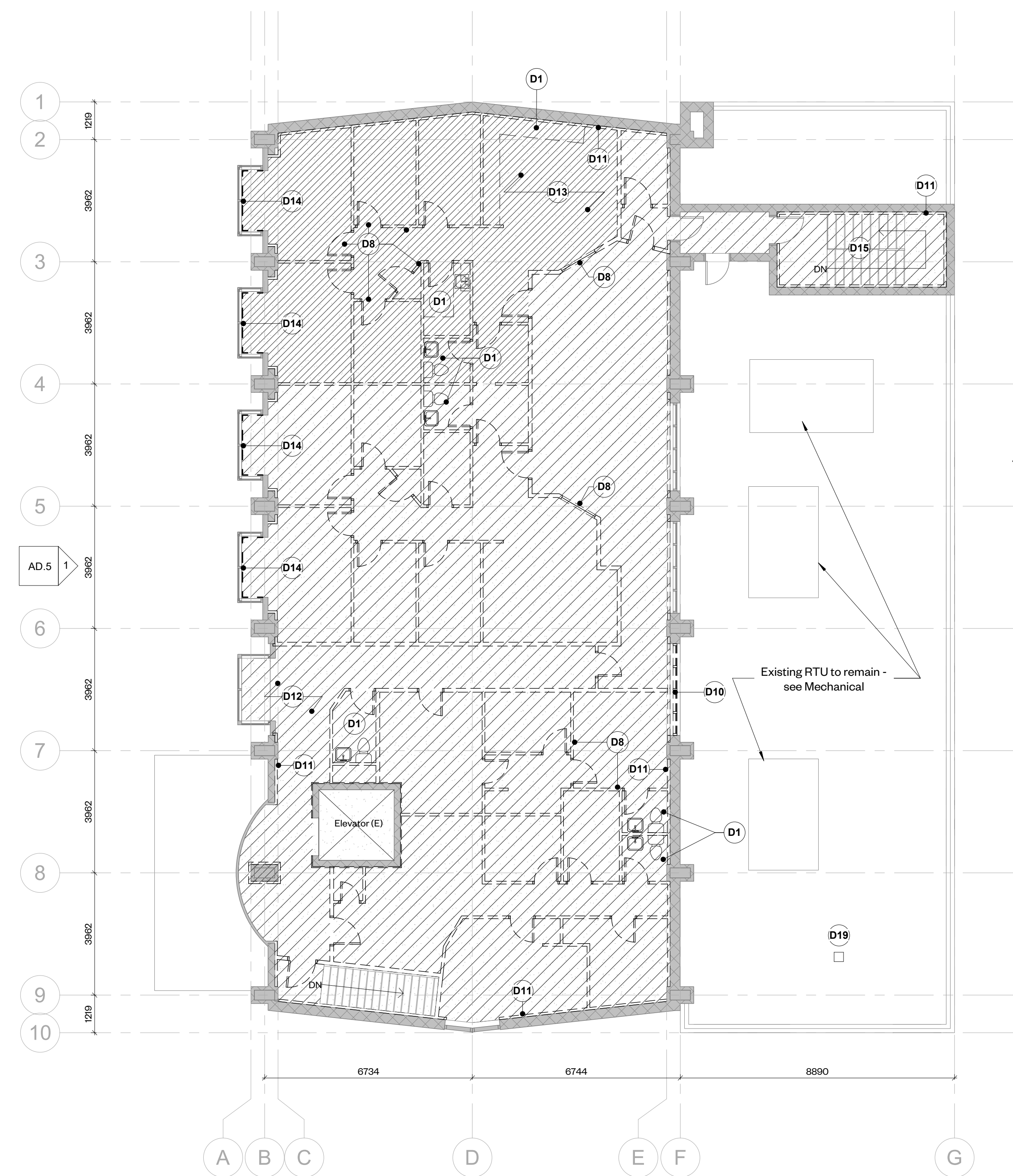
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DATE:	STATUS:
February 2025	Preliminary

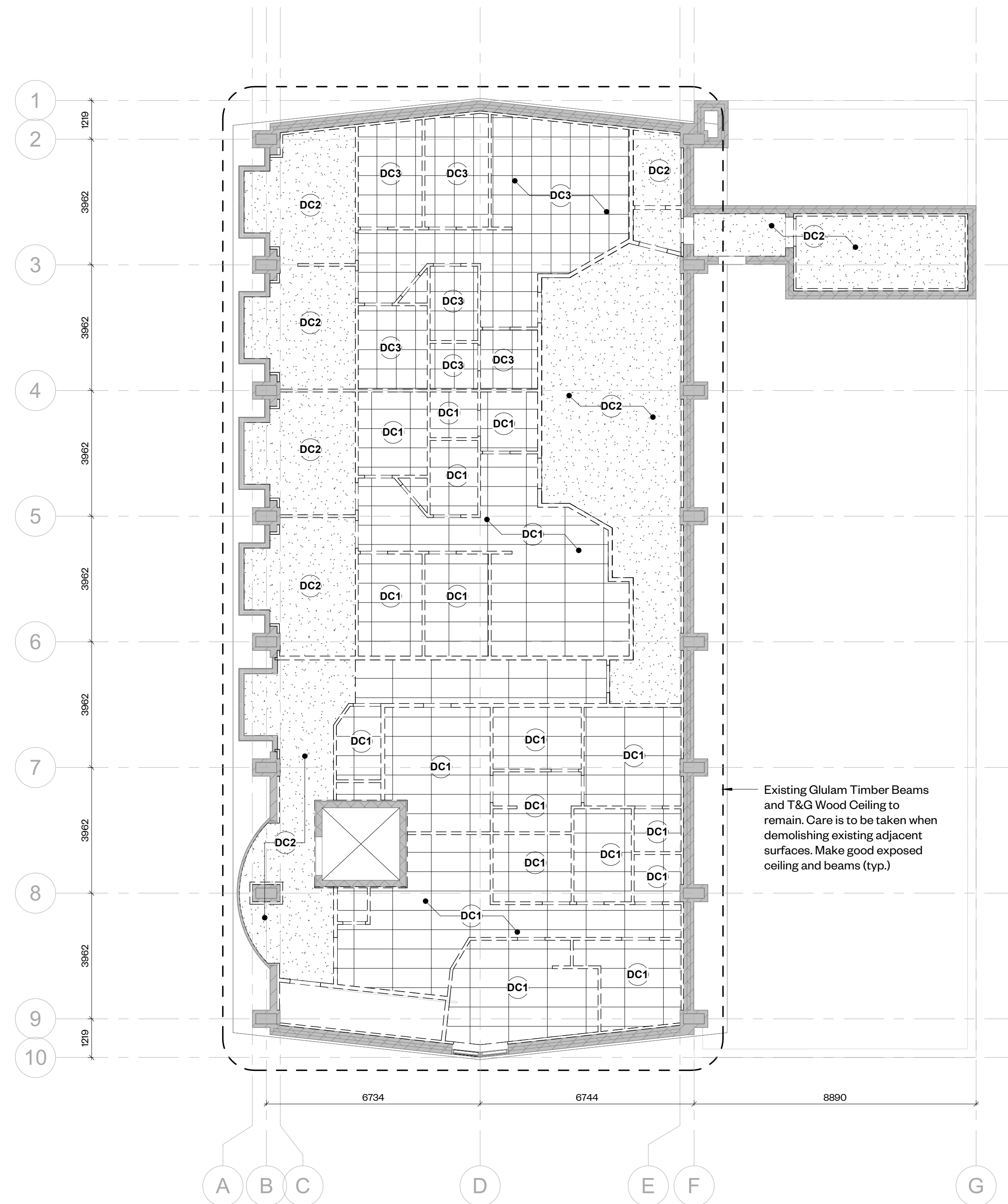
**Demolition Plans - First Floor**

Note	Description
D1	Demolish all millwork, plumbing fixtures, and kitchen/washroom accessories - see Mechanical.
D3	Demolish existing tile floor and base. Prepare surfaces to receive new (typ.)
D4	Demolish existing VCT floor and base. Prepare surfaces to receive new (typ.)
D6	Existing terrazzo flooring to remain.
D8	Demolish all partitions walls, interior screens, doors, door hardware, and frames u.n.o (typ.)
D10	Remove existing window to allow for investigation of existing wall assembly. Reinstate following investigation.
D11	Demolish all interior finishes to back-up structure.
D13	Demolish existing engineered wood/laminate floor and base. Prepare surfaces to receive new (typ.)
D15	Demolish existing vinyl treads, risers, and nosings at stairs and landings (typ.)
D16	Demolish retractable gate at elevator door.
D17	Demolish mirror and tile wall finish beneath.
D18	Demolish existing tile treads, risers, and nosings at stairs and landings (typ.)
DC1	Demolish existing ACT ceiling tiles, grid, and lightweight framing above. Remove all light fixtures and devices. Make good adjacent surfaces.
DC2	Demolish existing GWB ceiling and lightweight framing above. Remove all light fixtures and devices. Make good adjacent surfaces.
DC3	Demolish existing coffered ceiling and lightweight framing above. Remove all light fixtures and devices. Make good adjacent surfaces.





① Second Floor  
1 : 100



② Second Floor RCP  
1 : 100

Demolition Notes	
Note	Description
D1	Demolish all millwork, plumbing fixtures, and kitchen/washroom accessories - see Mechanical.
D8	Demolish all partitions walls, interior screens, doors, door hardware, and frames u.n.o (typ.)
D10	Remove existing window to allow for investigation of existing wall assembly. Reinstate following investigation.
D11	Demolish all interior finishes to back-up structure.
D12	Demolish existing resilient floor and base. Prepare surfaces to receive new (typ.)
D13	Demolish existing engineered wood/laminate floor and base. Prepare surfaces to receive new (typ.)
D14	Remove and dispose of all window coverings (typ.)
D15	Demolish existing vinyl treads, risers, and nosings at stairs and landings (typ.)
D19	Provide approx. 300x300mm exploratory openings in existing roof, including cutting and removal of insulation, drainage board, and membrane. Patch all test cuts. Be prepared to patch an EPDM membrane or to provide 2-ply modified bitumen membrane patches.
DC1	Demolish existing ACT ceiling tiles, grid, and lightweight framing above. Remove all light fixtures and devices. Make good adjacent surfaces.
DC2	Demolish existing GWB ceiling and lightweight framing above. Remove all light fixtures and devices. Make good adjacent surfaces.
DC3	Demolish existing coffered ceiling and lightweight framing above. Remove all light fixtures and devices. Make good adjacent surfaces.

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2	Demolition Tender	2025.02.05

Demolition Legend	
	Existing CMU partition to be demolished
	Existing wall partition system to be demolished
	Existing element to be demolished
	Approximate extent of resilient /VCT flooring to be removed
	Approximate extent of tile to be removed
	Approximate extent of engineered wood flooring to be removed
	Approximate extent of ceiling to be removed
	Approximate extent of test pit excavation
	Existing door leaf and frame to be demolished

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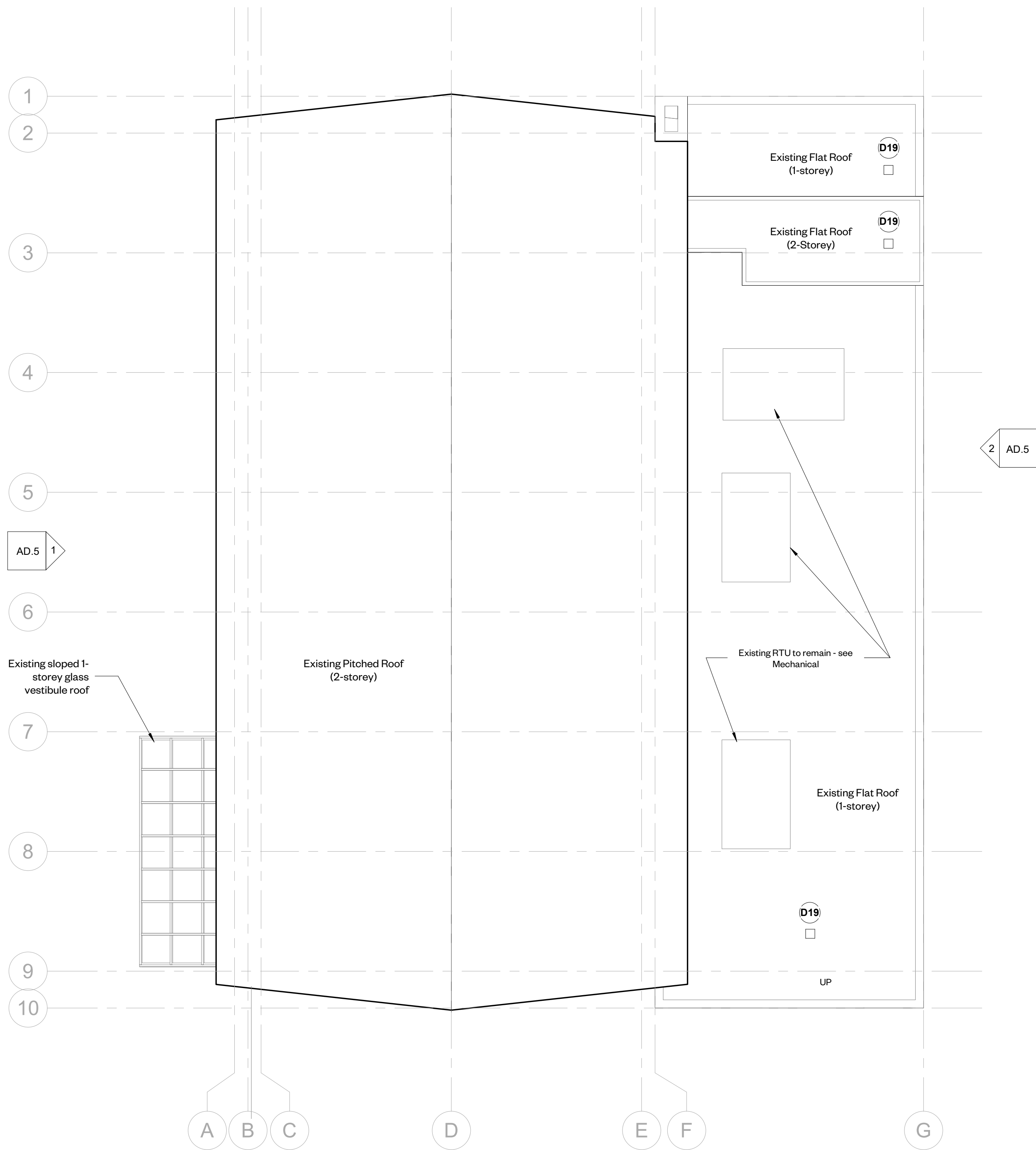
## 1615 Dufferin Renovation

1615 Dufferin St. Toronto, ON M6H4H4

PROJECT CODE: 2422  
DATE: February 2025  
SCALE: 1:100  
STATUS: Preliminary

## Demolition Plans - Second Floor

Project North  
drawing number  
**AD.3**



1 Roof Plan (Demolition)  
1 : 100

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Rev	Description	Date
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2	Demolition Tender	2025.02.05

**Demolition Legend**

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- Existing element to be demolished
- Approximate extent of resilient /VCT flooring to be removed
- Approximate extent of tile to be removed
- Approximate extent of engineered wood flooring to be removed
- Approximate extent of ceiling to be removed
- Approximate extent of test pit excavation
- Existing door leaf and frame to be demolished

Demolition Notes	
Note	Description
D19	Provide approx. 300x300mm exploratory openings in existing roof, including cutting and removal of insulation, drainage board, and membrane. Patch all test cuts. Be prepared to patch an EPDM membrane or to provide 2-ply modified bitumen membrane patches.

# WORKSHOP

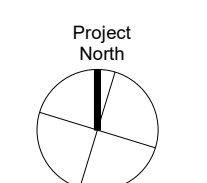
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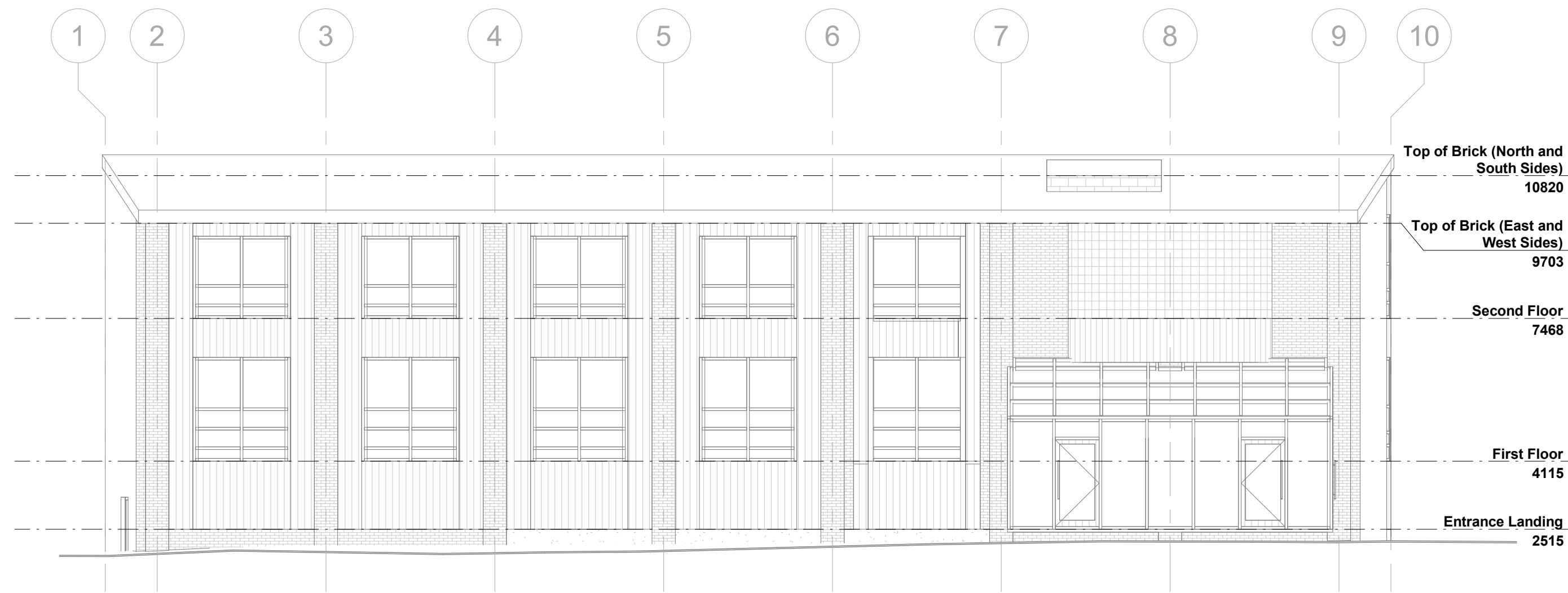
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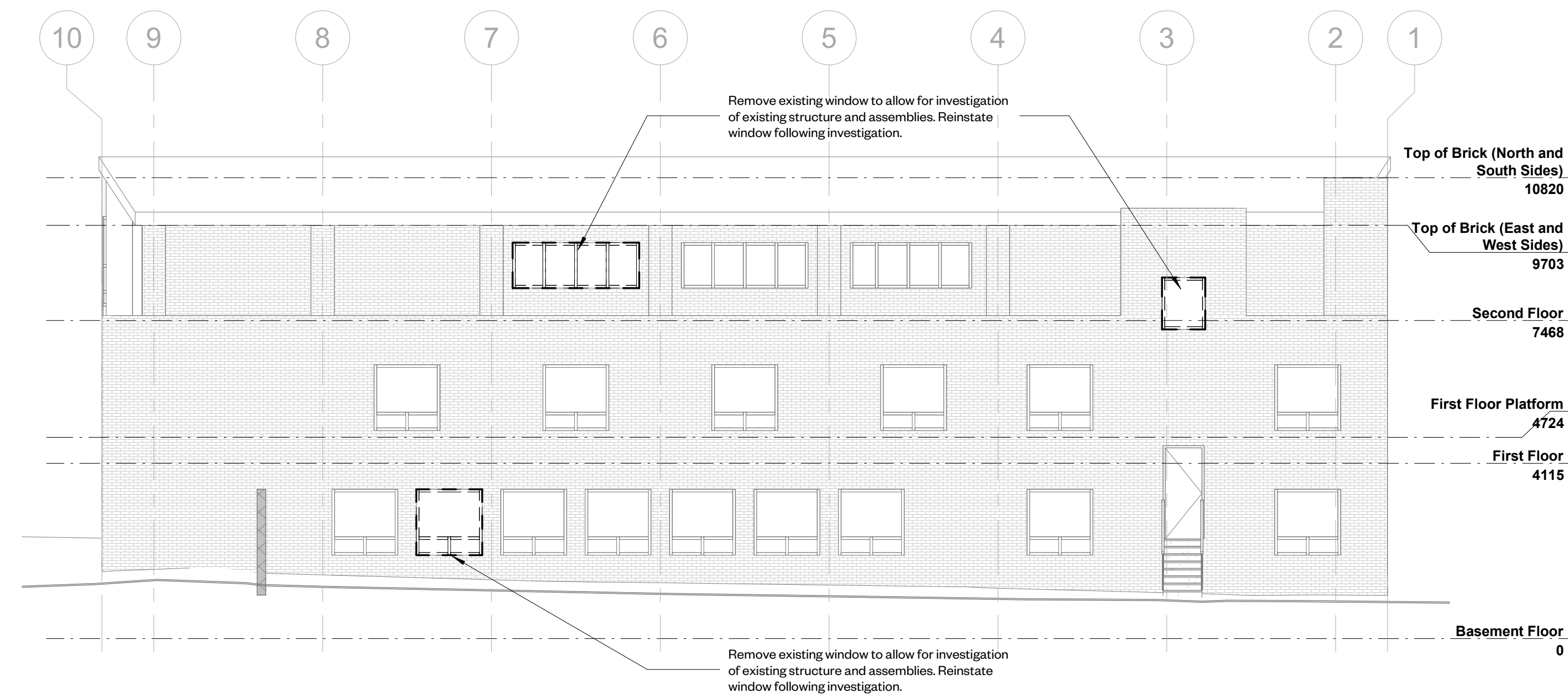
### Demolition Plans - Roof



drawing number  
**AD.4**



① West Elevation - Demolition  
1 : 100



② East Elevation - Demolition  
1 : 100

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Rev	Description	Date
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PROJECT CODE:	SCALE:
2422	1:100
DATE:	STATUS:
February 2025	Preliminary

Demolition Elevations & Details

drawing number

AD.5



MECHANICAL LEGEND

PLUMBING	
SYMBOL	DESCRIPTION
	EXISTING DOMESTIC COLD WATER
	EXISTING DOMESTIC HOT WATER
	EXISTING DOMESTIC HOT WATER RECIRCULATION
	EXISTING SANITARY VENT LINE
	EXISTING BURIED SANITARY DRAIN
	EXISTING SUSPENDED SANITARY DRAIN
	EXISTING SANIT. DRAIN IN CEILING SPACE OF FLOOR BELOW
	EXISTING SANITARY PUMPED DISCHARGE
	EXISTING BURIED STORM DRAIN
	EXISTING SUSPENDED STORM DRAIN
	EXIS. STORM DRAIN IN CEILING SPACE OF FLOOR BELOW
	EXISTING STORM PUMPED DISCHARGE
	CLEANOUT PLUG
	FLOOR CLEANOUT
	EXISTING NATURAL GAS LINE
	ELBOW, TURNED DOWN AND TURNED UP
	BRANCH - TOP CONNECTION
	BRANCH - BOTTOM CONNECTION
	INTERIOR WALL HYDRANT
	EXTERIOR NON FREEZE WALL HYDRANT
	INTERIOR HOSE BIB
	FLOOR DRAIN
	FUNNEL FLOOR DRAIN
	HUB DRAIN
	ROOF DRAIN
VALVES & PIPING FITTINGS	
SYMBOL	DESCRIPTION
	DOMESTIC COLD WATER METER
	DOMESTIC COLD WATER METER WITH REMOTE READOUT
	GATE VALVE
	GLOBE VALVE
	PRESSURE REDUCING VALVE (PRV)
	CHECK VALVE
	RELIEF VALVE
	STRAINER
	DRAIN COCK
	BALL VALVE
	TWO-WAY AUTOMATIC CONTROL VALVE
	CIRCUIT BALANCING VALVE
	BACKFLOW PREVENTER (DOUBLE CHECK VALVE)
	PLUG VALVE
	PRESSURE GAUGE WITH GAUGE COCK AND SNUBBER
	PUMP
	HOSE END
	CAPPED CONNECTION
	BACKFLOW PREVENTER (B.F.P.) (SUPPLIED WITHOUT SHUT-OFF VALVES)
	BACKFLOW PREVENTER (B.F.P.) (SUPPLIED WITH SHUT-OFF VALVES)
FIRE PROTECTION	
SYMBOL	DESCRIPTION
	FIRE EXTINGUISHER
	FIRE EXTINGUISHER IN CABINET
GENERAL	
SYMBOL	DESCRIPTION
	REFER TO NOTE "X" ON THIS DRAWING
	TYPE OF GRILLE OR DIFFUSER
	AIR QUANTITY (L/S)
	GRILLE / DIFFUSER FACE SIZE OR NECK SIZE
HVAC (PIPING)	
SYMBOL	DESCRIPTION
	REFRIGERANT SUCTION
	REFRIGERANT LIQUID
	EXISTING REFRIGERANT SUCTION
	EXISTING REFRIGERANT LIQUID
	CONDENSATE DRAIN
	EXISTING CONDENSATE DRAIN

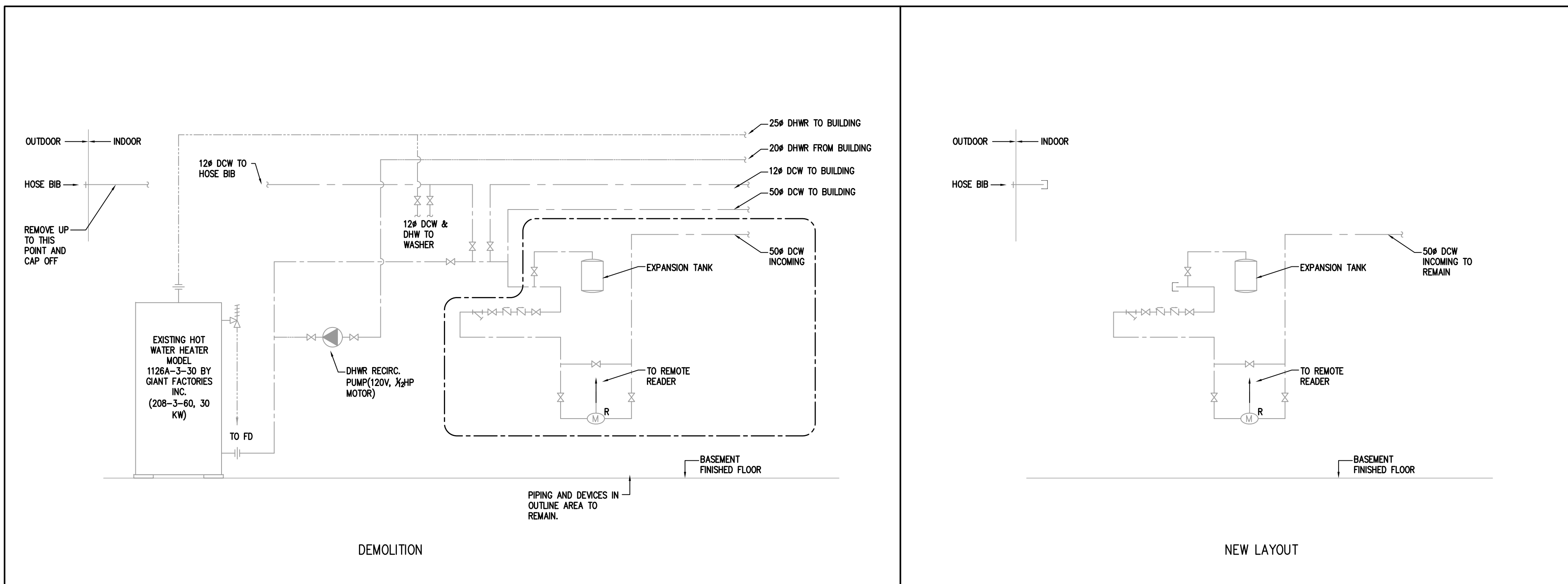
VENTILATION	
SYMBOL	DESCRIPTION
	ELECTRIC PIPE HEATING (HEAT TRACING)
	EYE WASH
	HOSE BIB
	DUCTWORK (DOUBLE LINE)
	EXISTING DUCTWORK (DOUBLE LINE)
	DUCTWORK (SINGLE LINE)
	EXISTING DUCTWORK (SINGLE LINE)
	ACOUSTICALLY LINED DUCTWORK (DOUBLE LINE)
	ACOUSTICALLY LINED DUCTWORK (SINGLE LINE)
	FLEXIBLE DUCT
	EXISTING FLEXIBLE DUCT
	SUPPLY DUCT UP (RECTANGULAR)
	ROUND DUCT UP
	RETURN DUCT UP
	SUPPLY DUCT DOWN
	ROUND DUCT DOWN
	RETURN DUCT DOWN
	CHANGE IN DUCT ELEVATION
	DUCT MOUNTED EQUIPMENT WITH FLEXIBLE CONNECTORS
	SPIN ON FITTING WITH FLEXIBLE DUCT
	EXISTING SPIN ON FITTING WITH FLEXIBLE DUCT
	MANUAL BALANCING DAMPER
	FIRE DAMPER
	AUTOMATIC (MOTORIZED) DAMPER
	SMOKE (MOTORIZED) DAMPER
	BACKDRAFT DAMPER
	EXISTING RETURN OR EXHAUST AIR GRILLE
	EXISTING SQUARE SUPPLY AIR DIFFUSER
	EXISTING ROUND SUPPLY AIR DIFFUSER
	SIDEWALL GRILLE
	EXISTING EQUIPMENT
	EXISTING THERMOSTAT
	EXISTING CENTRAL VACUUM SYSTEM OUTLET

ABBREVIATIONS	
SYMBOL	DESCRIPTION
P	PUMP
HWH	HOT WATER HEATER
DH	ELECTRIC DUCT HEATING COIL
UH	UNIT HEATER
FFH	FORCED FLOW HEATER
BBH	BASEBOARD HEATER
ET	EXPANSION TANK
DHWH	DOMESTIC HOT WATER HEATER
AFF	ABOVE FINISHED FLOOR
N	NEW
ER	DENOTES EXISTING TO BE RELOCATED
EX	EXISTING TO REMAIN
RP	EXISTING IN RELOCATED POSITION
RTU	ROOF TOP UNIT
RF	RETURN FAN
SF	SUPPLY FAN
EF	EXHAUST FAN
S/A	SUPPLY AIR DUCTWORK
R/A	RETURN AIR DUCTWORK
E/A	EXHAUST AIR DUCTWORK
CTE	CONNECT TO EXISTING
	EXISTING SERVICES / EQUIPMENT TO BE REMOVED

MECHANICAL DRAWING LIST	
NUMBER	DESCRIPTION
M0.1	MECHANICAL LEGEND, DRAWING LIST, NOTES AND DIAGRAMS
M1.1	BASEMENT FLOOR - PLUMBING DEMOLITION
M1.2	FIRST FLOOR - PLUMBING DEMOLITION
M1.3	SECOND FLOOR - PLUMBING DEMOLITION
M1.4	BASEMENT FLOOR - HVAC DEMOLITION
M1.5	FIRST FLOOR - HVAC DEMOLITION
M1.6	SECOND FLOOR - HVAC DEMOLITION

DEMOLITION NOTES (APPLIES TO ALL DRAWINGS):	
<b>PLUMBING DEMOLITION</b>	
<ol style="list-style-type: none"> <li>REMOVE ALL PLUMBING FIXTURES (UNLESS STATED OTHERWISE).</li> <li>REMOVE ASSOCIATED DOMESTIC COLD WATER PIPING BACK TO MAIN IN MECH ROOM IN THE BASEMENT.</li> <li>REMOVE DOMESTIC HOT AND RECR. PIPING BACK TO HOT WATER HEATER IN BASEMENT.</li> <li>REMOVE ALL ABOVE GROUND SANITARY DRAINAGE. BELOW SLAB (BURIED) DRAINAGE TO REMAIN. VERTICAL RISERS TO BE CUT OFF AT 500MM A.F.F. AND CAPPED OFF</li> <li>REMOVE REDUNDANT SANITARY VENTS, ENSURE ALL REMAINING SANITARY DRAINAGE INCLUDING FLOOR DRAINS ARE VENTED AS PER CODE. REDUNDANT VENTS TO BE REMOVED UP TO BELOW ROOF WITH VENTS THRU ROOF TO REMAIN.</li> <li>REMOVE ELECTRIC HOT WATER HEATER AND HOT WATER RECRG. PUMP</li> <li>GAS PIPING SERVING ROOF TOP UNITS TO REMAIN</li> <li>COVER FLOOR DRAINS DURING DEMOLITION TO PROTECT FROM DERBIES</li> </ol>	
<b>STORM SYSTEM</b>	
STORM SYSTEM TO REMAIN AS IS	
<b>HVAC SYSTEMS</b>	
<ol style="list-style-type: none"> <li>ALL ROOF TOP UNITS TO REMAIN OPERATIONAL.</li> <li>EXISTING THERMOSTATS TO REMAIN. COORDINATE DEMOLITION OF WALLS WITH GENERAL CONTRACTOR TO ENSURE CONTROL WIRING IS NOT DAMAGED. PROVIDE TEMPORARY SUPPORT OF THERMOSTATS FROM SLAB ABOVE</li> <li>REMOVE LOCAL WASHROOM EXHAUST FANS, UNLESS STATED OTHERWISE. REMOVE ASSOCIATED DUCTWORK UP TO WALL OR ROOF. PROVIDE INSULATION AT WALL / ROOF AND CAP OFF</li> <li>DUCTWORK, DIFFUSERS AND GRILLES AND TO REMAIN (EXCEPT, CEILING RETURN GRILLES - CEILING RETURN GRILLES NOT CONNECTED TO DUCTWORK TO BE REMOVED). AFTER REMOVAL OF THE EXISTING CEILING PROVIDE TEMPORARY SUPPORTS FOR ALL DIFFUSERS AND GRILLES. IN GENERAL, UP ON COMPLETION OF THIS PROJECT HVAC SYSTEMS TO BE OPERATIONAL TO PROVIDE ADEQUATE HEATING FOR THE BUILDING</li> <li>PROTECT DUCTWORK OPENINGS / DIFFUSERS FROM CONSTRUCTION DUST. PROVIDE TEMPORARY FILTERS ON SUPPLY AND RETURN AIR OPENINGS / DIFFUSERS / GRILLES</li> </ol>	
<b>GENERAL NOTES</b>	
<ol style="list-style-type: none"> <li>THIS PROJECT INCLUDES DEMOLITION OF INTERIOR WALLS AND PARTITIONS, FLOORING, DOORS, REMOVAL OF CEILING GRIDS AND TILES, REMOVAL OF DRYWALL CEILING. REFER TO ARCHITECTURAL DRAWINGS FOR MORE DETAILS ON THE EXTEND OF DEMOLITION. COORDINATE WITH GENERAL CONTRACTOR AS REQUIRED.</li> <li>WHERE EXHAUST DUCTWORK PENETRATING EXTERIOR WALL OR ROOF IS SHOWN TO BE REMOVED, REMOVE UP TO WALL / ROOF, PROVIDE INSULATION (R15 OR HIGHER) AND CAP OFF.</li> <li>LAYOUT AND SIZES OF EXISTING MECHANICAL SERVICES ARE SHOWN FOR REFERENCE ONLY. THIS CONTRACTOR TO ALLOW FOR SITE VERIFICATION AND INVESTIGATIONS. REPORT ANY DEVIATION FOR THE PLANS TO CONSULTANTS. PIPING IS NOT SHOWN ON THE DRAWINGS. MAKE ASSUMPTIONS ON REQUIRED DEMOLITIONS SCOPE BASED ON PLUMBING FIXTURES LOCATIONS ETC. ALLOW FOR SITE INVESTIGATION TO CONTROL ALL SERVICES.</li> <li>WHERE EXISTING FIRE EXTINGUISHER IS MOUNTED ON WALL TO BE DEMOLISHED, RELOCATED FIRE EXTINGUISHER TO THE CLOSEST REMAINING WALL. RE-USE EXISTING BRACKETS.</li> </ol>	

MECHANICAL SPECIFICATION	
<b>GENERAL MECHANICAL CONDITIONS - SECTION 15050</b>	
<ol style="list-style-type: none"> <li>CONFORM TO INSTRUCTIONS TO BIDDERS, GENERAL CONDITIONS AND GENERAL REQUIREMENTS.</li> <li>THIS SECTION 15050 SHALL APPLY TO ALL DIVISION 15 SECTIONS.</li> <li>BEFORE SUBMITTING TENDERS, EXAMINE SITE, EXISTING SERVICES AND ALL DRAWINGS. EXTRAS WILL NOT BE ALLOWED FOR FAILURE TO DO SO.</li> <li>PROVIDE ALL LABOUR, MATERIALS AND EQUIPMENT NECESSARY TO EXECUTE THE WORK SHOWN AND DESCRIBED. INSTALLATION OF MATERIALS SHALL MEET ALL APPLICABLE PROVINCIAL, FEDERAL AND MUNICIPAL REQUIREMENTS.</li> <li>OBTAIN PERMITS AND PAY ALL FEES FOR WORK AND REQUIRED INSPECTIONS.</li> <li>MAINTAIN LIABILITY INSURANCE TO PROTECT OWNER AND THE CONTRACTOR FROM ANY AND ALL CLAIMS UNDER THE WORKER'S COMPENSATION ACT.</li> <li>THE DRAWINGS SHALL BE CONSIDERED DIAGRAMMATIC ONLY. ALL MEASUREMENTS SHALL BE TAKEN FROM BUILDING SITE AND ARCHITECT'S DRAWINGS.</li> <li>ALL MATERIALS SHALL CONFORM TO CSA, HEPC AND CEC REQUIREMENTS AND SHALL BEAR CSA LABEL. GAS FIRED EQUIPMENT SHALL BEAR CGA LABEL.</li> <li>ALL EXISTING SERVICES DESIGNATED TO REMAIN MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. THIS CONTRACTOR TO PROVIDE ALL NECESSARY TEMPORARY LINES, ETC. SO AS TO CARRY OUT THE ABOVE.</li> <li>TEMPORARY LIGHT, POWER AND WATER BY GENERAL CONTRACTOR.</li> <li>ALL CUTTING AND PATCHING FOR MECHANICAL WORK WILL BE THE RESPONSIBILITY OF THIS SUB-CONTRACTOR. HIRE SPECIALIZED TRADES TO DO THIS WORK. X-RAY FLOORS PRIOR TO CUTTING AND COORDINATE FOR AFTER HOUR X-RAY OF THE FLOOR.</li> <li>PROVIDE TEMPORARY BUILDINGS AND MATERIAL STORAGE AS REQUIRED AND BE RESPONSIBLE FOR ANY LOSS OR DAMAGE THERETO.</li> <li>COORDINATE WITH ELECTRICAL AND OTHER TRADES AS REQUIRED.</li> <li>WHERE PIPING OR DUCTWORK WAS SUPPORTS FROM WALL OR PARTITION OR CEILING WHICH IS TO BE REMOVED, THIS CONTRACTOR TO PROVIDE SUPPORTS FOR THE REMAINING DUCTWORK AND PIPING FROM STRUCTURE ABOVE. PIPE HANGERS SHALL BE CLEVIS SPLIT TYPE WITH MILD STEEL RODS. FOR COPPER PIPE USE PLASTIC INSERTS. USE OVERSIZED HANGERS AND SADDLES FOR C.W. PIPING. DO NOT SUPPORT EQUIPMENT, DUCTS OR PIPING FROM ROOF DECK WITHOUT PERMISSION FROM ARCHITECTS. SUPPLY AND INSTALL NECESSARY STEEL TO TRANSFER LOAD TO STRUCTURAL MEMBERS.</li> <li>ALL DISSIMILAR METAL (STEEL-COPPER, ETC.) SHALL BE SEPARATED USING GASKETS AND INSULATING WASHERS OR WATTS "DI-ELECTRIC" FITTINGS.</li> <li>KEEP ACCURATE RECORD OF "AS-BUILT" DRAWINGS AND SUBMIT THESE BEFORE FINAL CERTIFICATE OF COMPLETION. BURIED SERVICES MUST BE DIMENSIONED. PROVIDE ELECTRONIC FILES IN AUTOCAD AND PDF FORMAT OF THE AS-BUILT DRAWINGS TO CONSULTANT FOR REVIEW AND VERIFICATION. AFTER VERIFIED, PROVIDE ALSO HARD COPY.</li> <li>IDENTIFY ALL EXISTING PIPING. USE STENCILS OR COLOUR CODES AND DIRECTIONAL ARROWS.</li> <li>ON COMPLETION OF THE WORK, REMOVE FROM THE PREMISES ALL TOOLS, DEBRIS, SURPLUS AND WASTE MATERIALS RESULTING FROM OPERATIONS UNDER THIS SECTION. CLEAN ALL EQUIPMENT AND LEAVE ALL ITEMS IN PERFECT ORDER READY FOR OPERATION.</li> <li>THE CONTRACTOR SHALL, BEFORE FINAL PAYMENT IS MADE, GUARANTEE ALL MATERIALS AND WORKMANSHIP SUPPLIED BY HIM IN THE PERFORMANCE OF THIS CONTRACT FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE AND SHALL, WHEN CALLED UPON, MAKE GOOD WITHOUT FURTHER COST TO THE OWNER SUCH DEFECTS AS MAY APPEAR WITHIN THIS PERIOD.</li> <li>SHOULD ANY DISCREPANCY APPEAR BETWEEN THESE SPECIFICATIONS AND THE DRAWINGS TO CAUSE DOUBT AS TO THE TRUE MEANING AND INTENT OF THE DRAWINGS AND SPECIFICATIONS, A RULING SHALL BE OBTAINED FROM THE ARCHITECT CONSULTANT BEFORE SUBMITTING THE TENDER. IF THIS IS NOT DONE IT WILL BE ASSUMED THAT THE MORE EXPENSIVE ALTERNATIVE HAS BEEN INCLUDED IN THE CONTRACT.</li> <li>ANY ERROR OR INCONSISTENCY IN THE DRAWINGS OR SPECIFICATIONS NOTED AFTER AWARD OF CONTRACT MUST BE REPORTED TO THE ARCHITECT CONSULTANT BEFORE COMMENCING WORK.</li> <li>THE OMISSION OR INCORRECT MENTION OF WORK, MATERIALS, ETC. THAT ARE INDISPENSABLE TO THE COMPLETED WORK, IS NOT TO BE INTERPRETED AS RELIEVING OF THE NECESSITY OF PROVIDING SUCH WORK, MATERIALS, ETC. AT NO EXPENSE TO THE OWNER.</li> </ol>	



1 DOMESTIC HOT WATER HEATER AND TANK DETAIL - DEMO AND NEW LAYOUT  
M0.1 SCALE: N.T.S.

**SHARMA & PARTNERS INC.**  
 Mechanical and Electrical  
 Engineers  
 85 Curlew Drive,  
 Unit 108, Toronto,  
 Ontario  
 M3A 2P8  
 Tel: (416) 291-8822  
 SPI PROJECT#: 2024-1041



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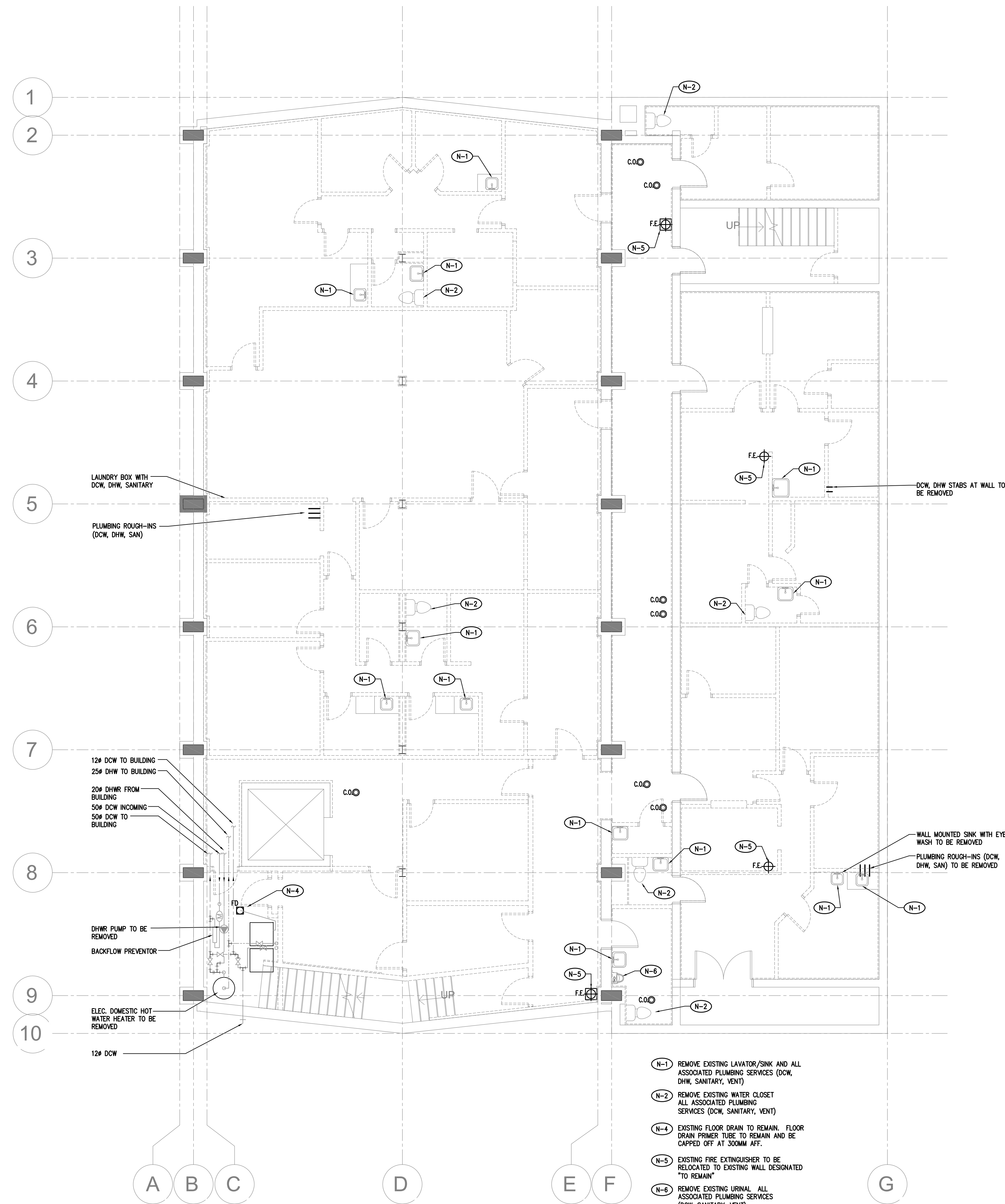
Rev	Description	Date
1	Issued For Permit (Demolition)	Nov-29-2024
2	Issued For Tender (Demolition)	Feb-05-2025

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TSSS Dufferin  
 1615 Dufferin St., Toronto ON M6H 4H4  
 PROJECT CODE: 2422 SCALE: N.T.S.  
 DATE: 05 February, 2025 STATUS: Tender (Demolition)

Mechanical Legend, Drawing List, Notes and Diagrams



- (N-1) REMOVE EXISTING LAVATOR/SINK AND ALL ASSOCIATED PLUMBING SERVICES (DCW, DHW, SANITARY, VENT)
- (N-2) REMOVE EXISTING WATER CLOSET ALL ASSOCIATED PLUMBING SERVICES (DCW, SANITARY, VENT)
- (N-4) EXISTING FLOOR DRAIN TO REMAIN. FLOOR DRAIN PRIMER TUBE TO REMAIN AND BE CAPPED OFF AT 300MM AFF.
- (N-5) EXISTING FIRE EXTINGUISHER TO BE RELOCATED TO EXISTING WALL DESIGNATED TO REMAIN.
- (N-6) REMOVE EXISTING URINAL ALL ASSOCIATED PLUMBING SERVICES (DCW, SANITARY, VENT)



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TSSS Dufferin  
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PROJECT CODE:	SCALE:
2422	1:75
DATE:	STATUS:
05 February, 2025	Tender (Demolition)

## Basement Floor Plumbing Demolition



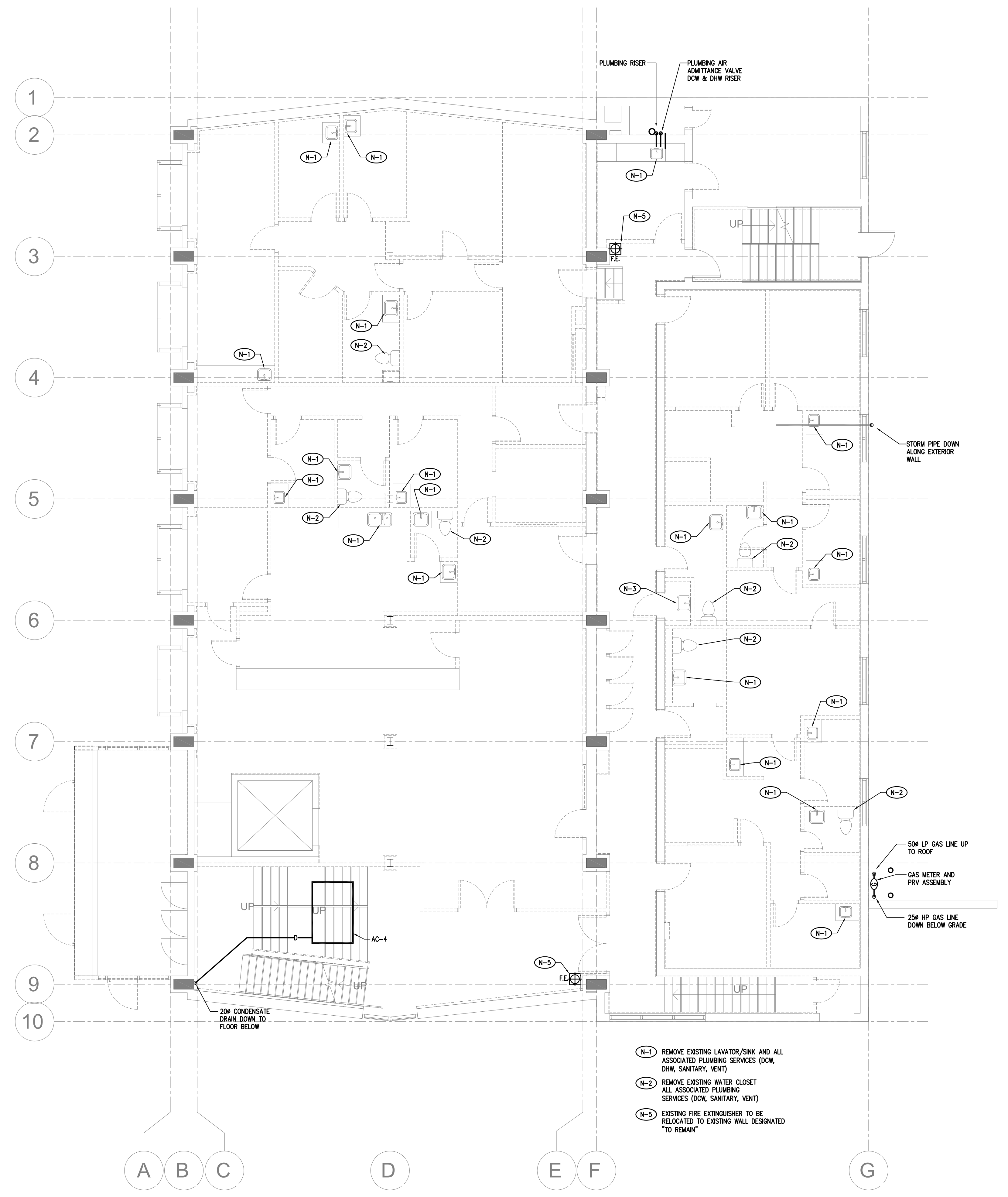


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- (N-1) REMOVE EXISTING LAVATOR/SINK AND ALL ASSOCIATED PLUMBING SERVICES (DCW, DHW, SANITARY, VENT)
- (N-2) REMOVE EXISTING WATER CLOSET ALL ASSOCIATED PLUMBING SERVICES (DCW, SANITARY, VENT)
- (N-5) EXISTING FIRE EXTINGUISHER TO BE RELOCATED TO EXISTING WALL DESIGNATED TO REMAIN

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PROJECT CODE:	SCALE:
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## First Floor Plumbing Demolition

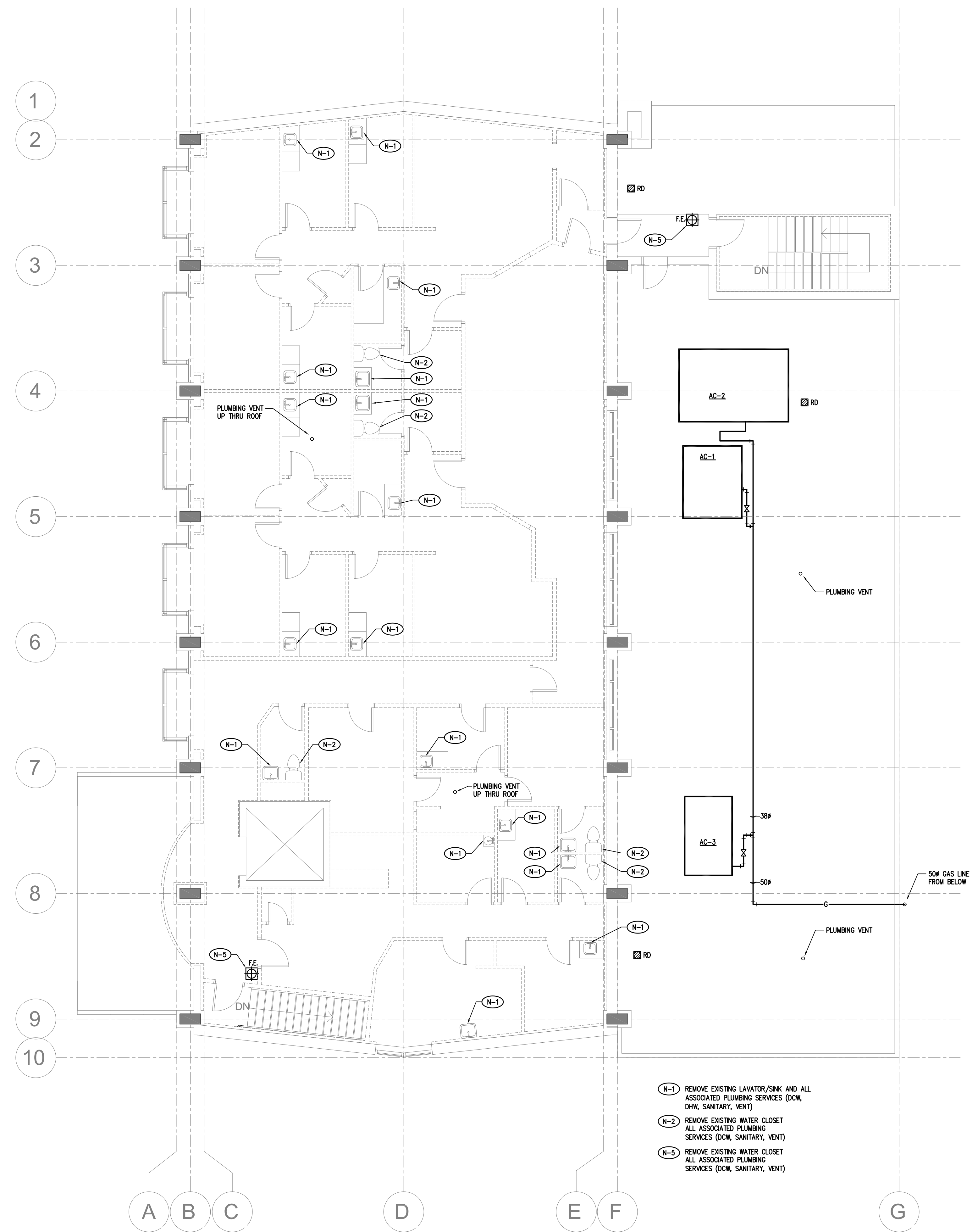


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- (N-1) REMOVE EXISTING LAVATOR/SINK AND ALL ASSOCIATED PLUMBING SERVICES (DCW, DHW, SANITARY, VENT)
- (N-2) REMOVE EXISTING WATER CLOSET ALL ASSOCIATED PLUMBING SERVICES (DCW, SANITARY, VENT)
- (N-5) REMOVE EXISTING WATER CLOSET ALL ASSOCIATED PLUMBING SERVICES (DCW, SANITARY, VENT)

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PROJECT CODE:	SCALE:
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DATE:	STATUS:
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## Second Floor Plumbing Demolition

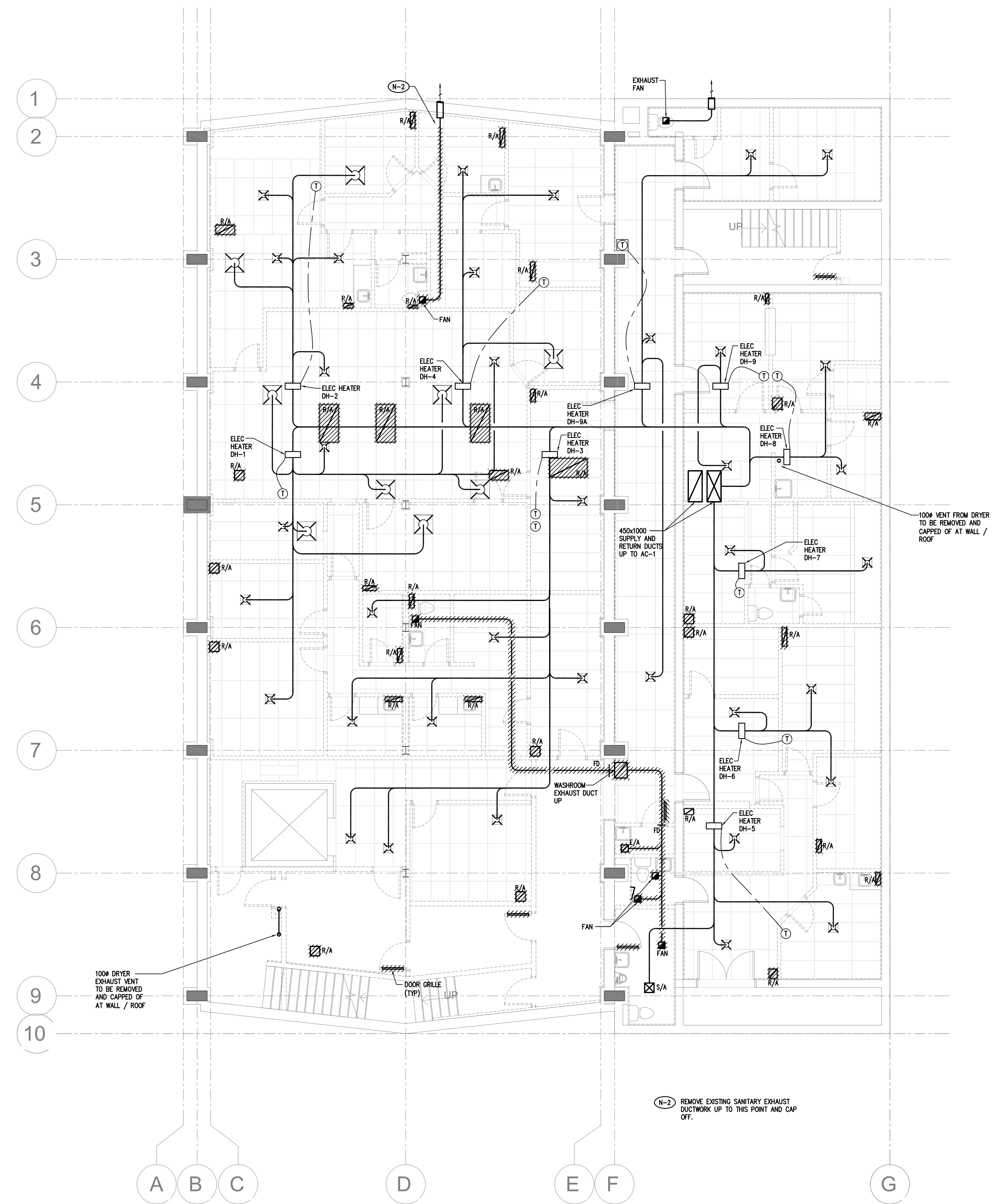


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Basement Floor  
 HVAC Demolition

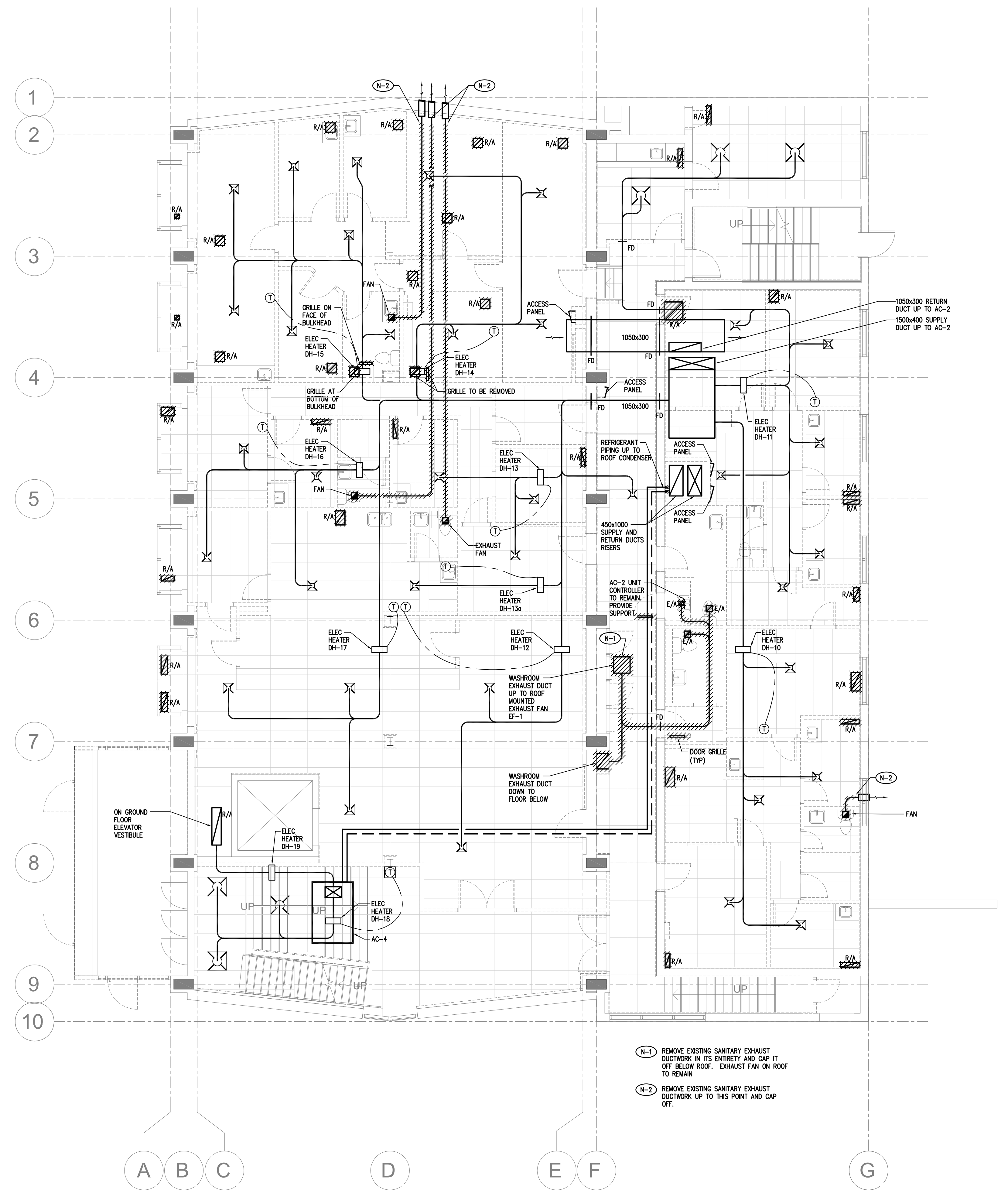




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- (N-1) REMOVE EXISTING SANITARY EXHAUST DUCTWORK IN ITS ENTIRETY AND CAP IT OFF BELOW ROOF. EXHAUST FAN ON ROOF TO REMAIN.
- (N-2) REMOVE EXISTING SANITARY EXHAUST DUCTWORK UP TO THIS POINT AND CAP OFF.

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**First Floor  
 HVAC Demolition**

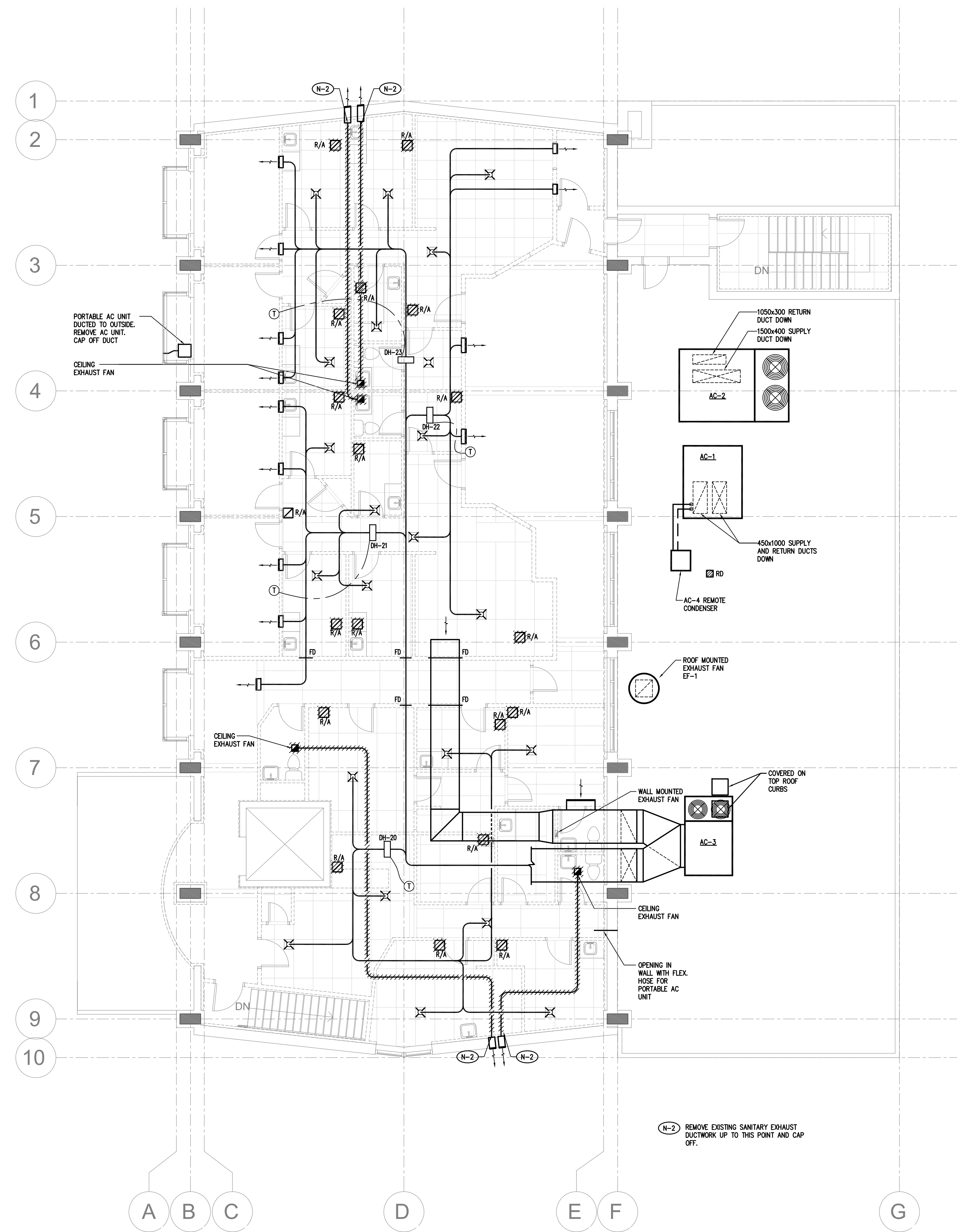


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**Second Floor  
 HVAC Demolition**

ELECTRICAL LEGEND

POWER	
SYMBOL	DESCRIPTION
	125V, 15A DUPLEX U-GROUND RECEPTACLE UNLESS OTHERWISE NOTED.
	DUPLEX RECEPTACLE AS ABOVE, CSA 5-20A TYPE.
	SAME AS ABOVE, EXCEPT CONNECT TO CONTROLLED CIRCUIT. RECEPTACLE SHALL BE GREY COLOUR.
	DOUBLE DUPLEX RECEPTACLE IN A COMMON COVER PLATE.
	125V, 15A SINGLE RECEPTACLE. VOLTAGE/AMPERAGE AND TYPE AS INDICATED.
	SPECIAL RECEPTACLE. VOLTAGE/AMPERAGE AND TYPE AS INDICATED.
	RECEPTACLES AS ABOVE BUT MOUNTED ABOVE COUNTER OR 42" AFF.
	RECEPTACLE AS ABOVE SUBSCRIPTS DENOTE SPECIAL TYPE AS PER ABBREVIATION LIST.
	15A DUPLEX RECEPTACLE WITH TWO USB CHARGERS, MODEL TR5252525BY BY LEGRAND OR APPROVED EQUAL.
	IG DENOTES ISOLATED GROUND RECEPTACLE WITH DEDICATED GROUND WIRE AND SEPARATE CIRCUIT NEUTRAL.
	125V, 15A DUPLEX RECEPTACLE. SPLIT-WIRED WITH EACH HALF ON SEPARATE CIRCUIT.
	125V, 15A FLOOR MOUNTED DUPLEX RECEPTACLE AS SPECIFIED.
	FLOOR MOUNTED RECEPTACLE, TEL/DATA AS SPECIFIED.
	125V, 15A CEILING MOUNTED DUPLEX RECEPTACLE AS SPECIFIED.
	FUSED DISCONNECT SWITCH. SIZE AS NOTE. (EG. 30A/3PSN WITH 20A FUSES)
	AS ABOVE BUT C/W TIME DELAY FUSES.
	BREAKER. SIZE AS NOTED.
	UNFUSED DISCONNECT SWITCH. SIZE TO SUIT OR AS NOTED. SEE ABBREVIATION FOR OTHER SUBSCRIPTS.
	MOTOR AS INDICATED. INCLUDE FINAL CONNECTION.
	COMBINATION LINE VOLTAGE MOTOR STARTER AND SWITCH.
	LINE VOLTAGE MOTOR STARTER. SEE SPECIFICATION FOR SCOPE OF WORK.
	JUNCTION BOX AS INDICATED.
	120V DIRECT CONNECTION FOR USE AS NOTED. INCLUDE FINAL CONNECTION. "PL" DENOTES FOR ELECTRONIC PLUMBING FIXTURES.
	SPECIAL DIRECT CONNECTION FOR USE AS NOTED. INCLUDE FINAL CONNECTION.
	WALL MOUNTED FEED TO SYSTEM FURNITURE. POWER AND COMMUNICATIONS RESPECTIVELY. PROVIDE CONNECTION TO FURNITURE.
	FLUSH OR SURFACE MOUNTED ELECTRICAL PANEL RESPECTIVELY.
	ELECTRIC HEATER. BASEBOARD/FORCED-AIR RESPECTIVELY. TYPE AS INDICATED.
	TRANSIENT VOLTAGE SURGE SUPPRESSION
	ELECTRIC HEATER DESCRIPTION. LETTER DENOTES TYPE. NUMBER DENOTES WATTAGE.
	PUSHBUTTON FOR USE AS NOTED.
	KEY SWITCH

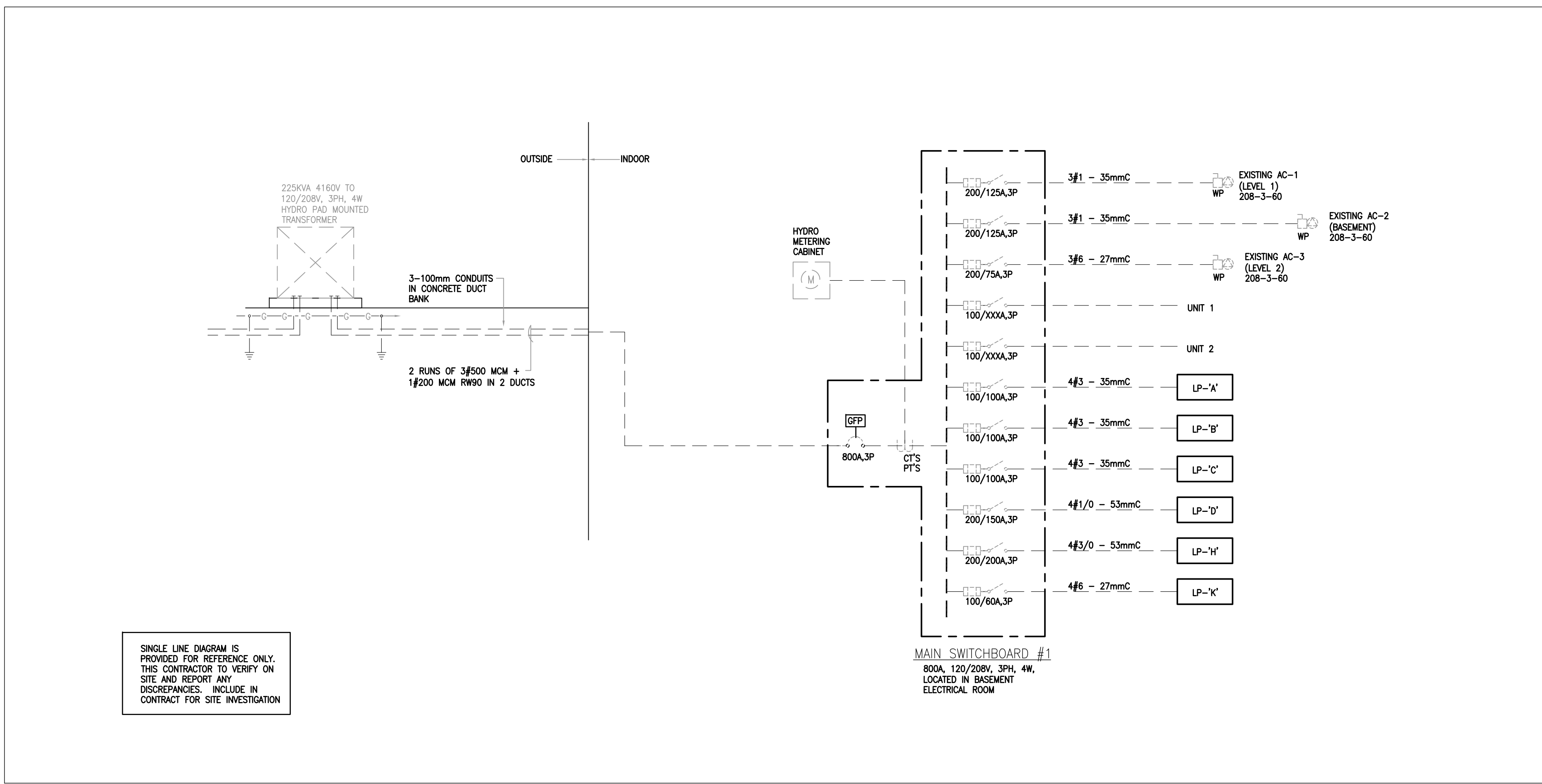
COMMUNICATION / AV SYSTEM	
SYMBOL	DESCRIPTION
	TELEPHONE OUTLET (SEE RISER DIAGRAM WHERE APPLICABLE)
	DATA OUTLET (SEE RISER DIAGRAM WHERE APPLICABLE)
	COMBINATION TELEPHONE/DATA OUTLET. SEE RISER DIAGRAM FOR DETAIL
	OUTLET AS ABOVE BUT MOUNTED ABOVE COUNTER OR 42" AFF.
	FLOOR MOUNTED TELEPHONE, DATA OR COMBINATION AS SPECIFIED.
	SPEAKER (OTHER THAN FIRE ALARM) WITH OUTLET FOR WALL OR CEILING MOUNTED.
	CLOCK OUTLET TO BE C/W SINGLE GANG BOX AND CONDUIT BACK TO GAME CLOCK CONTROLLER OF EACH RINK.
	CATV OUTLET. REFER TO SCOPE OF WORK.
	CEILING OR WALL MOUNTED WIRELESS ACCESS POINT
	INTERCOM STATION

ABBREVIATIONS	
SYMBOL	DESCRIPTION
WP	WEATHERPROOF
GFI	GROUND FAULT INTERRUPTER
MD	MOTORIZED DAMPER
A-1	PANEL "A", CIRCUIT #1.
AUX.	AUXILIARY CONTACT
NIEC	NOT IN THIS ELECTRICAL CONTRACT.
VAV	VARIABLE AIR VOLUME CONTROL
WG	WIREGUARD
UH	UNIT HEATER
FFH	FORCED FLOW HEATER
BBH	BASEBOARD HEATER
HD	HAND DRYER
AFF	ABOVE FINISHED FLOOR
TL	TWIST-LOCK
N	NEW
ER	DENOTES EXISTING TO BE RELOCATED
EX	EXISTING TO REMAIN
R	EXISTING TO BE REMOVED
RP	RELOCATED POSITION
CL	CEILING MOUNTED
1D	ONE DATA OUTLET
1V	ONE VOICE OUTLET
	DETAIL #
	DRAWING WHERE DETAIL IS SHOWN.

LIGHTING	
SYMBOL	DESCRIPTION
F1	LED STRIP LIGHT IN COVE OR VALENCE. LENGTH SHOWN TO SCALE ON THE DRAWINGS. LETTER DENOTES TYPE.
F2	LED LUMINAIRE, CEILING OR WALL MOUNTED RESPECTIVELY. LETTER DENOTES TYPE.
F2 NL	LUMINAIRE AS ABOVE BUT CONNECTED TO NIGHT LIGHT CIRCUIT.
F2 EM	LUMINAIRE AS ABOVE BUT CONNECTED TO EMERGENCY OR NORMAL & EMERGENCY LIGHT CIRCUITS WITH BY-PASS UNIT - SEE SPEC FOR MORE DETAILS
A1	CEILING OR WALL MOUNTED LUMINAIRE RESPECTIVELY. LETTER DENOTES TYPE.
A1 NL	LUMINAIRE AS ABOVE BUT CONNECTED TO NIGHT LIGHT CIRCUIT.
A1 EM	LUMINAIRE AS ABOVE BUT CONNECTED TO EMERGENCY OR NORMAL & EMERGENCY LIGHT CIRCUITS WITH BY-PASS UNIT - SEE SPEC FOR MORE DETAILS
	CEILING OR WALL MOUNTED ILLUMINATED EXIT SIGN RESPECTIVELY. SINGLE OR DOUBLE FACED AS INDICATED BY FILLED IN PORTION(S) WITH ARROW(S) AS INDICATED.
	SURFACE MOUNTED SINGLE OF DOUBLE EMERGENCY LIGHTING REMOTE HEAD. CEILING OR WALL MOUNTED AS SHOWN.
	EMERGENCY BATTERY UNIT "BU1" C/W LIGHTING HEAD(S) AS SHOWN ON PLAN.
	15A/20A 120V SINGLE POLE TOGGLE SWITCH(ES) WITH ONE, TWO OR THREE-GANG COVERPLATE. 15A, 347V UNLESS OTHERWISE NOTED.
	SWITCHES AS ABOVE. SUBSCRIPTS DENOTE 3-WAY OR 4-WAY. SEE ABBREVIATION FOR OTHER SUBSCRIPTS
	MASTER SWITCH FOR USE AS NOTED. LOW OR LINE VOLTAGE TO SUIT APPLICATION.
	KEY-SWITCH FOR USE AS NOTED. LOW OR LINE VOLTAGE TO SUIT APPLICATION.
	DIMMER. 120V OR 347V AND CAPACITY TO SUIT LOADS AND TYPE OF CONTROLS ON LIGHT FIXTURES.
	TIMESWITCH
	PHOTOCELL.
	OCCUPANCY SENSOR. NUMBER DENOTES TYPE. REFER TO SCHEDULE.

SECURITY	
SYMBOL	DESCRIPTION
	SECURITY SYSTEM, DOOR CONTACT.
	SECURITY SYSTEM, CARD READER
	SECURITY SYSTEM, ELECTRIC STRIKE
	SECURITY SYSTEM, KEY PAD
	SECURITY SYSTEM, PANIC BUTTON
	SECURITY SYSTEM, REQUEST TO EXIT MOTION SENSOR
	SECURITY SYSTEM, MOTION SENSOR
	CCTV SYSTEM CAMERA
	DOOR BUZZER.

ELECTRICAL DRAWING LIST	
NUMBER	DESCRIPTION
E0.1	ELECTRICAL LEGEND, DRAWING LIST, NOTES AND DIAGRAMS
E0.2	ELECTRICAL SPECIFICATION
E1.1	BASEMENT FLOOR - POWER DEMOLITION
E1.2	FIRST FLOOR - POWER DEMOLITION
E1.3	SECOND FLOOR - POWER DEMOLITION
E1.4	BASEMENT FLOOR - LIGHTING DEMOLITION
E1.5	FIRST FLOOR - LIGHTING DEMOLITION
E1.6	SECOND FLOOR - LIGHTING DEMOLITION



1 SINGLE LINE DIAGRAM - EXISTING  
E0.1 SCALE: N.T.S.

**DEMOLITION NOTES: (APPLY TO ALL DRAWINGS)**

<p><b>DEMOLITION NOTES:</b></p> <ol style="list-style-type: none"> <li>EMERGENCY BATTERY UNITS, EMERGENCY REMOTE HEADS, EXIT SIGNS TO REMAIN (UNLESS STATED OTHERWISE ON FLOOR PLANS). MAINTAIN POWER AND WIRING FOR THE ABOVE DEVICES. AFTER REMOVAL OF THE CEILING AND WALLS, PROVIDE TEMPORARY SUPPORT FROM SLAB ABOVE.</li> <li>REMOVE ALL POWER OUTLETS, UNLESS SHOWN OTHERWISE OR POWER OUTLET IS FOR BATTERY UNITS OR LIFE SAFETY DEVICES. REMOVE WIRING AND CONDUITS BACK TO PANEL AND MAKE SAFE.</li> <li>REMOVE ALL DATA AND VOICE OUTLETS, REMOVE ALL ASSOCIATED COMMUNICATION CABLES, VOICE AND DATA OUTLETS FOR LIFE SAFETY SYSTEMS TO REMAIN FUNCTIONAL.</li> <li>REMOVE ALL LIGHT FIXTURES, UNLESS SHOWN OTHERWISE. REMOVE ASSOCIATED WIRING, CONDUITS, SWITCHES. PROVIDE TEMPORARY CONSTRUCTION GRADE LIGHTS THROUGHOUT THE BUILDING FOR FUTURE CONSTRUCTION STAGE. CONSTRUCTION LIGHTS TO BE PROVIDED WITH PROTECTIVE GAGES AND INSTALLED TO ACHIEVE MINIMUM LIGHTING LEVEL OF 100 LUX (FOR PRICING PURPOSE ALLOW 1 LIGHT PER EVERY 4 SQ.M. AREA)</li> <li>POWER FOR ALL RTUs TO REMAIN AS IS. ASSIST DEMOLITION CREW AND MAINTAIN ALL FEEDERS.</li> <li>DISTRIBUTION PANELS TO REMAIN. AFTER REMOVAL OF WALLS PROVIDE FLOOR MOUNTED SUPPORTS FOR ALL PANELS.</li> <li>COORDINATE WITH SYSTEMS SERVICE PROVIDERS FOR REMOVAL OF THEIR EQUIPMENT AND DEVICES AS REQUIRED. THIS INCLUDES BUT NOT LIMITED TO ROGERS, BELL (FOR REMOVAL OF PUBLIC PHONE AND OTHER SERVICES), SECURITY COMPANIES ETC.</li> </ol>	<p><b>GENERAL NOTES (APPLIES TO ALL):</b></p> <ol style="list-style-type: none"> <li>WHERE DEVICE OR OUTLET DESIGNATED "EXISTING TO REMAIN" IS LOCATED ON WALL WHICH IS TO BE DEMOLISHED, MAINTAIN WIRING, PROVIDE TEMPORARY SUPPORT OF DEVICE OR OUTLET FROM STRUCTURAL JOIST ABOVE. LENGTH OF SUPPORT / FRAME TO BE SUITABLE FOR LENGTH OF WIRING FOR THE DEVICE.</li> <li>ALLOW FOR SITE INVESTIGATION TO DETERMINE POWER SOURCE ETC.</li> <li>UPDATE DIRECTORIES ALL EXISTING PANELS</li> <li>IN ADDITION TO SHOWN ON DRAWINGS ALLOW FOR THE FOLLOWING: REMOVAL OF 50 POWER OUTLETS AND 100 FT OF CONDUITS AND CABLES PER OUTLET REMOVAL OF 15 VOICE OUTLETS AND 90 FT OF CONDUITS AND CABLES PER OUTLET REMOVAL OF 15 DATA OUTLETS AND 90 FT OF CONDUITS AND CABLES PER OUTLET</li> </ol>
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SPI PROJECT#: 2024-1041

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Rev Description Date  
1 Issued For Permit (Demolition) Nov-29-2024  
2 Issued For Tender (Demolition) Feb-05-2025

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PROJECT CODE: 2422 SCALE: N.T.S.  
DATE: 05 February, 2025 STATUS: Tender (Demolition)

Electrical Legend, Drawing List and Notes



## ELECTRICAL SPECIFICATION

### GENERAL ELECTRICAL CONDITIONS – SECTION 16050

1. COMPLY WITH GENERAL CONDITIONS OF THE CONTRACT AND DIVISION 15, MECHANICAL SPECIFICATIONS AND GENERAL CONTRACTOR.
2. THIS SECTION APPLIES TO ALL SECTIONS OF DIVISION 16.
3. PROVIDE EACH ITEM MENTIONED OR INDICATED OF QUALITY AND SUBJECT TO QUALIFICATIONS NOTED; PERFORM ACCORDING TO CONDITIONS STATED EACH OPERATION PRESCRIBED; AND PROVIDE THEREFORE ALL LABOUR, MATERIAL, EQUIPMENT, INCIDENTALS AND SERVICES REQUIRED TO COMPLETE THE INSTALLATION.
4. OTHER WORK BY THIS DIVISION
  1. CUTTING AND PATCHING WILL BE BY DIVISION 16. PATCHING SHALL BE OF SAME MATERIAL AS SURROUNDING AREA AND SHALL BE PAINTED OR FINISHED TO MATCH EXISTING.
5. MAKE A SET OF WHITE PRINTS AND AS THE JOB PROGRESSES, MARK ON CHANGES MADE THROUGH ANY APPROVED CHANGE ORDER AS WELL AS THE LOCATION OF FEEDERS, CONDUIT RUNS, JUNCTION BOXES, AND ALL CHANGES IN CIRCUITING, LOCATION OF EQUIPMENT, RUNS OF CONDUITS, WIRING, ETC. FROM THAT ORIGINALLY SHOWN, SO THAT ON THE COMPLETION OF THE JOB THE RECORD DRAWINGS WILL SHOW THE EXACT LOCATION AS ACTUALLY INSTALLED. RECORD DRAWINGS SHALL BE KEPT AT THE SITE AND SHALL BE BROUGHT UP TO DATE AS THE WORK PROGRESSES. SUBMIT COMPLETED RECORD DRAWINGS BEFORE FINAL CERTIFICATE OF JOB ACCEPTANCE IS ISSUED.
6. THE FOLLOWING DOCUMENTS SHALL BE SUBMITTED TO THE CONSULTANT ON THE COMPLETION OF THE PROJECT AS DESCRIBED ABOVE:
  - ELECTRICAL INSPECTION CERTIFICATE
  - AS\_BUILT DRAWINGS IN AUTOCAD & PDF FORMAT AND, AFTER THEY ARE REVIEWED BY CONSULTANT, GUARANTEE
  - OTHER CERTIFICATES SPECIFIED.
7. ALL MATERIAL SHALL BE STORED NEATLY AND OUT OF THE WAY. CLEAN UP DAILY ALL REFUSE CAUSED BY WORK.
8. BIND WITHIN A HARD COVERED, LOOSE LEAF BINDER, A COMPLETE SET OF MANUFACTURER'S OPERATING AND MAINTENANCE INSTRUCTIONS SHOWING ALL MAJOR ELECTRICAL EQUIPMENT AND SYSTEMS. INCLUDE SHOP DRAWINGS AND DETAIL DRAWINGS. INSTRUCTIONS SHALL BE COMPLETE FOR INSTALLATION, OPERATION AND MAINTENANCE. SPARE PART SUPPLIERS, LISTS AND ADDRESSES SHALL BE INCLUDED. MAKE ANY ADDITIONS AND/OR CORRECTIONS REQUIRED BY THE CONSULTANT AND SUBMIT TWO CORRECT COPIES TO THE CONSULTANT. INSTRUCTIONS SHALL BE REVIEWED WITH THE OPERATING PERSONNEL TO ENSURE A THOROUGH UNDERSTANDING OF THE EQUIPMENT AND ITS OPERATION.
9. EXAMINE THE SITE, EXISTING EQUIPMENT AND THE LOCAL CONDITIONS AFFECTING THE WORK UNDER THIS CONTRACT. NO ALLOWANCE WILL BE MADE SUBSEQUENTLY FOR ANY OBVIOUS CONSIDERATIONS OVERLOOKED.
10. AFTER THE WORK IS COMPLETE BUT BEFORE FINAL PAYMENT, GIVE THE OWNER A WRITTEN GUARANTEE THAT YOU WILL, AT NO CHARGE TO THE OWNER, REPLACE OR REPAIR ANY DEFECTS IN WORKMANSHIP AND MATERIALS NOT DUE, IN THE OPINION OF THE ARCHITECT TO MISUSE OR NEGLECT. GUARANTEE SHALL COVER A PERIOD OF 12 MONTHS FROM THE DATE OF ACCEPTANCE OF THE WORK BY THE ARCHITECT. THIS GUARANTEE SHALL IN NO WAY SUPPLANT ANY OTHER GUARANTEE OR GUARANTEES OF LONGER PERIOD, BUT SHALL BE BINDING ON ALL OTHER WORK NOT OTHERWISE COVERED.
11. ALL WORK SHALL COMPLY STRICTLY TO THE REQUIREMENTS OF THE LATEST EDITIONS OF THE CANADIAN ELECTRICAL CSA CODE AS ADOPTED AND AMENDED BY PROVINCIAL REGULATIONS AND THE BUILDING CODE. THESE CODES AND ANY ADDITIONAL REQUIREMENTS OF THE POWER UTILITY SHALL FORM AN INTEGRAL PART OF THIS SPECIFICATION. WHERE DRAWINGS CALL FOR EQUIPMENT, WIRING OR OTHER REQUIREMENTS EXCEEDING THE MINIMUM REQUIREMENTS OF THE CODE, THE DRAWINGS SHALL BE FOLLOWED.
12. BEFORE STARTING ANY WORK, SUBMIT THE REQUIRED NUMBER OF COPIES OF THE ELECTRICAL DRAWINGS TO THE POWER AUTHORITY AND ELECTRICAL INSPECTION DEPARTMENT REGIONAL OFFICE, FOR THEIR APPROVAL AND COMMENTS, IF APPLICABLE.
13. PAY ALL FEES FOR EXAMINATION OF DRAWINGS AND OBTAIN ALL PERMITS REQUIRED AND PAY ALL PERMIT AND INSPECTION FEES.
14. ARRANGE FOR INSPECTION OF ALL WORK BY THE POWER AUTHORITY AND INSPECTION DEPARTMENT. ON COMPLETION OF THE WORK, PRESENT TO THE OWNER THE FINAL UNCONDITIONAL CERTIFICATE OF APPROVAL.
15. SCHEDULE AND COORDINATE ALL WORK WITH OTHER TRADES.
16. ALL CLAIMS FOR EXTRAS SHALL BE SUPPORTED BY WRITTEN AUTHORIZATION AND SHALL BE SUBMITTED WITH ITEMIZED MATERIAL AND LABOUR COSTS BREAKDOWNS. THE FORMAT OF THE BREAKDOWN SHALL FOLLOW THAT OF THE CHANGE DOCUMENT (I.E. THAT OF THE NOTICE OF CHANGE, SITE INSTRUCTION, CHANGE DIRECTIVE, ETC.). MATERIALS SHALL BE PRICED AT COST INCLUDING ANY DISCOUNT. LABOUR UNITS SHALL BE BASED ON CECA AND NECA LABOUR UNIT TABLES SUITABLE FOR THE TYPE OF WORK INVOLVED. THERE SHALL BE NO EXTRA CLAIM FOR RELOCATION OF ANY EQUIPMENT WITHIN 10 FEET (3M) FROM THE ORIGINAL LOCATION, PROVIDED THAT THE CHANGE IS MADE BEFORE INSTALLATION.

### 17. WIRING

1. RIGID STEEL CONDUITS SHALL BE USED IN:
    - ALL EXPOSED WIRING SUBJECT TO MECHANICAL DAMAGE,
    - ALL AREAS REQUIRED BY CODE.
  2. EMT CONDUITS MAY BE USED WHERE PERMITTED BY CODE:
    - EXPOSED WIRING,
    - IN FURRED WALLS.
  3. ARMORED FLEXIBLE CABLE TYPE AC90 (BX CABLE) MAY BE USED AS DROP CABLE FROM JUNCTION BOX TO LIGHT FIXTURES, RECEPTACLES AND MOTORS IF RUN IN HOLLOW PARTITIONS OR IN DRY ACCESSIBLE CEILING SPACES. MAXIMUM LENGTH 20FT.
  4. FLEXIBLE CONDUIT SHALL BE USED FOR FINAL SHORT CONNECTIONS BETWEEN OUTLET AND ELECTRICAL EQUIPMENT SUCH AS RECESSED FIXTURES, MOTORS, TRANSFORMERS, MOTORIZED EQUIPMENT AND FIXED APPLIANCES. FLEXIBLE CONDUIT IN MECHANICAL ROOMS AND ON THE EXTERIOR WALL SHALL BE PVC JACKETED, LIQUID TIGHT.
  5. HOME RUNS OF WIRING TO PANELS SHALL BE IN CONDUITS.
18. ALL LOW VOLTAGE AND MULTI CONDUCTOR CABLES SHALL BE INSTALLED IN CONDUIT.
19. ALL CONDUCTORS SHALL BE COPPER 600 VOLT GRADE WITH INSULATION TYPE RW90. MINIMUM CONDUCTOR SIZE SHALL BE #12 AWG AND COLOUR CODED. WIRE CONNECTIONS SHALL BE MADE WITH PRESSURE TYPE SOLDERLESS CONNECTORS WITH VINYL INSULATING CAPS AND LOCKING RINGS.
1. MAXIMUM LENGTH FOR 15 AMP, 120/208 VOLT BRANCH CIRCUIT HOME RUNS SHALL BE AS FOLLOWS:

LOAD	#12 AWG	#10 AWG
RECEPTACLE	65 FT (20M)	OVER 65 FT (20M)
LIGHTING	90 FT (27M)	OVER 90 FT (27M)
20. IF NUMBER OF CONDUCTORS IN ANY ONE CONDUIT EXCEEDS 6 LINE CONDUCTORS, CONDUCTOR SIZE SHALL BE INCREASED TO ALLOW FOR DERATING AS REQUIRED BY CODE.
21. COORDINATE WITH MECHANICAL TRADE FOR REMOVAL OF STARTERS, DISCONNECTS, POWER WIRING, CONTROL TRANSFORMERS AND CONTROLS FOR MECHANICAL EQUIPMENT. ELECTRICAL TRADE SHALL DO REMOVAL OF ALL POWER WIRING, DISCONNECTS, STARTERS, CONTROL WIRING ETC.
22. ALL CONDUITS AND OUTLET BOXES SHALL BE SUPPORTED FROM THE BUILDING SURFACES AND SHALL NOT BE SUPPORTED FROM OTHER CONDUITS, DUCTS OR PIPES.

### SECTION 16450 – LIGHTING

1. SUPPLY AND INSTALL ALL TEMPORARY LIGHTING FIXTURES THROUGH THE BUILDING. THE TEMPORARY LIGHTING WILL BE USED FOR NEXT STAGE OF CONSTRUCTION. ALL TEMPORARY LIGHTS TO BE PROVIDED WITH PROTECTIVE CAGE.
2. PROVIDE MINIMUM LIGHTING LEVEL OF 323 LUX (30 FT CANDLES)
3. RE–USE EXISTING LIGHTING CIRCUITS FOR TEMPORARY LIGHTING
4. REPLACE AND INSTALL WITHOUT EXTRA COST TO THE OWNER:
  - ALL DEFECTIVE OR NOISY BALLASTS OR DRIVERS FOR A PERIOD OF ONE YEAR
  - ANY INCANDESCENT OR LOW VOLTAGE LAMP WHICH FAILS WITHIN 30 DAYS OF TAKEOVER
  - ANY FLUORESCENT OR H.I.D. LAMP WHICH FAILS WITHIN 90 DAYS OF TAKEOVER.
  - LED LIGHTS WITHIN 90 DAYS
5. INCANDESCENT LAMPS SHALL BE 130V STANDARD SERVICE TYPE AS MANUFACTURED BY G.E., PHILIPS, OR SYLVANIA, UNLESS OTHERWISE NOTED.

6. COMPACT FLUORESCENT LAMPS SHALL BE 3500K TYPE OR AS SPECIFIED WITH CRI OF 82 AS MANUFACTURED BY G.E., PHILIPS OR SYLVANIA. BALLASTS FOR COMPACT FLUORESCENT LAMPS SHALL BE HIGH POWER FACTOR, ELECTRONIC.
7. FLUORESCENT T\_8 LAMPS SHALL BE BL\_PIN, RAPID START, 3500K WITH CRI OF 85, INITIAL LUMENS OF 3000 FOR F32 T\_8, AS MANUFACTURED BY G.E., PHILIPS, OSRAM, OR SYLVANIA, UNLESS OTHERWISE NOTED.
8. BALLASTS FOR FLUORESCENT T\_8 LAMPS SHALL BE HIGH FREQUENCY ELECTRONIC, RAPID START WITH CLASS 'A' SOUND RATING, MINIMUM POWER FACTOR OF 95%, MAXIMUM TOTAL HARMONIC DISTORTION OF 15%, MINIMUM BALLAST FACTOR OF 85%, AND MAXIMUM CREST FACTOR OF 1.7; BALLASTS SHALL MEET ANSI/IEEE SPECIFICATION G22.41 FOR TRANSIENT AND SURGE IMMUNITY, AND FCC PART 18 SUBPART C FOR NON CONSUMER LIMITS FOR EMI AND RFI EMISSION. BALLASTS SHALL BE MANUFACTURED TO CERTIFIED BALLAST MANUFACTURERS STANDARDS AND AS MANUFACTURED BY G.E./MOTOROLA, ADVANCE/E.B.T., MAGNETEK, FLOTRONIC (347V ONLY) OR OSRAM.
9. ALL LIGHTING FIXTURES TO BE SUPPORTED FROM BUILDING STRUCTURE.
10. FIXTURES SHALL BE PROPERLY CLEANED AND LEFT CLEAN AND DUST\_FREE.

### WORKING IN EXISTING BUILDING AND CONTINUITY OF SERVICES – SECTION 16500

1. MECHANICAL AND ELECTRICAL DEMOLITION WORK ARE BEING MADE IN THE EXISTING BUILDING AS NOTED ON DRAWINGS AND SPECIFICATIONS.
2. VISIT THE SITE AND EXAMINE THE EXISTING CONDITIONS AND ALL TENDERING DOCUMENTS, DRAWINGS AND SPECIFICATIONS. MAKE ALL NECESSARY ALLOWANCES IN TENDER PRICE FOR REMOVAL, RELOCATION, REROUTING, RECONNECTION OF EXISTING ELECTRICAL EQUIPMENT AND WIRING AS MAY BE NECESSARY FOR THE EXECUTION AND COMPLETION OF THIS PROJECT. NO ALLOWANCE WILL BE MADE LATER FOR ANY EXPENSE INCURRED BY THIS TRADE THROUGH FAILURE TO MAKE THIS EXAMINATION.
3. REMOVE AND/OR RELOCATE AND REINSTALL ALL WIRING AND EQUIPMENT AS NECESSARY TO ACCOMMODATE MECHANICAL ALTERATIONS AND DEMOLITION INDICATED ON THE DRAWINGS. WIRING LOCATED IN AREAS BEING ALTERED OR DEMOLISHED, BUT FEEDING OUTLETS OR EQUIPMENT REQUIRED TO REMAIN IN SERVICE SHALL BE REROUTED AS REQUIRED TO MAINTAIN THE CONTINUITY OF THESE SERVICES.
4. WHEN EXISTING ELECTRICAL EQUIPMENT OR DEVICES TO BE REMOVED, REMOVE ALL ASSOCIATED WIRING BACK TO DISTRIBUTION PANEL(S). REMOVE ALL OTHER COMPONENTS OF THE DISTRIBUTION (STARTERS, DISCONNECTS ETC.). REMOVE ALL UNUSED CONDUITS.
5. ALL WIRING SHALL BE RUN CONCEALED WHERE POSSIBLE EXCEPT THAT CONDUITS IN UNFINISHED AREAS AND ON EXISTING WALLS AND CEILING MAY BE INSTALLED ON SURFACE.
6. REWORK EXISTING POWER SERVICE AND DISTRIBUTION TO SUIT MECHANICAL EQUIPMENT REVISIONS.
7. SUPPLY, INSTALL AND MAINTAIN ALL REQUIRED TEMPORARY WIRING TO EQUIPMENT AND DEVICES THAT IDENTIFIES AS 'EXISTING TO REMAIN'. PROVIDE ADEQUATE PROTECTION TO EXISTING WIRING AND EQUIPMENT SERVING THE EXISTING AND NEW WORK AND PARTICULARLY WHERE WIRING AND ELECTRICAL EQUIPMENT HAVE BECOME EXPOSED TO MECHANICAL INJURY OR MOISTURE IN THE COURSE OF ALTERATIONS.
8. POWER SHUTDOWN, IF REQUIRED, MUST BE COORDINATED WITH CLIENT'S REPRESENTATIVE.
9. FIRE ALARM SHUTDOWN, IF REQUIRED, MUST BE COORDINATED WITH THE CLIENT'S REPRESENTATIVE. AT THE END OF EACH WORKING DAY, ENSURE FIRE ALARM IS FULLY FUNCTIONAL AND THE BUILDING IS PROTECTED. OTHERWISE, PROVIDE FIRE WATCH DURING TIMES WHEN FIRE ALARM SYSTEM OR PART OF THE SYSTEMS OR ZONES ARE DISCONNECTED.
10. PROVIDE PROTECTIVE COVERS FOR ALL DEVICES SENSITIVE TO DUST (SUCH AS SMOKE DETECTORS, HEAT DETECTORS ETC.). FOR ALL FIRE ALARM DEVICES, REMOVE COVERS AT THE END OF EACH WORKING DAY OR AS PER ITEM 9. OF THIS SPEC SECTION.
11. CERTAIN ITEMS ARE IDENTIFIED ON THE DRAWINGS AS EXISTING EQUIPMENT TO BE 'REMOVED'. DISCONNECT SAID EQUIPMENT AND MAKE SAFE. OBSOLETE CONDUITS AND CABLES SHALL BE DISCONNECTED FROM THEIR SOURCE OF SUPPLY, CUT BACK TO A SUITABLE POINT.
12. ALL UNUSED FUSED SWITCHES AND CIRCUIT BREAKERS SHALL BECOME SPARE. PROVIDE NEW, UP–DATED DIRECTORIES FOR PANELS.
13. CERTAIN ITEMS ARE IDENTIFIED ON THE DRAWINGS AS EXISTING EQUIPMENT 'RELOCATED'. DISCONNECT SAID EQUIPMENT FROM ITS PRESENT SOURCE AND AFTER RELOCATION, RECONNECT AND REINSTALL ALL ELECTRICAL COMPONENTS. PROVIDE NEW DISCONNECTS TO SUIT EQUIPMENT RATING.
14. ALL EXISTING EQUIPMENT AND MATERIAL NOT REQUIRED IN THE FINAL INSTALLATION SHALL BE CAREFULLY REMOVED AT THE APPROPRIATE TIME AND SHALL BE DISPOSED OF EXCEPT STARTERS FOR MECHANICAL EQUIPMENT BEING HANDED BACK TO THE CLIENT.

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Rev	Description	Date
1	Issued For Permit (Demolition)	Nov-29-2024
2	Issued For Tender (Demolition)	Feb-05-2025

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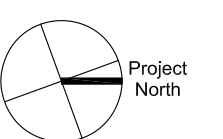
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PROJECT CODE:	SCALE:
2422	N.T.S.
DATE:	STATUS:
05 February, 2025	Tender (Demolition)

Electrical Specification



Project North

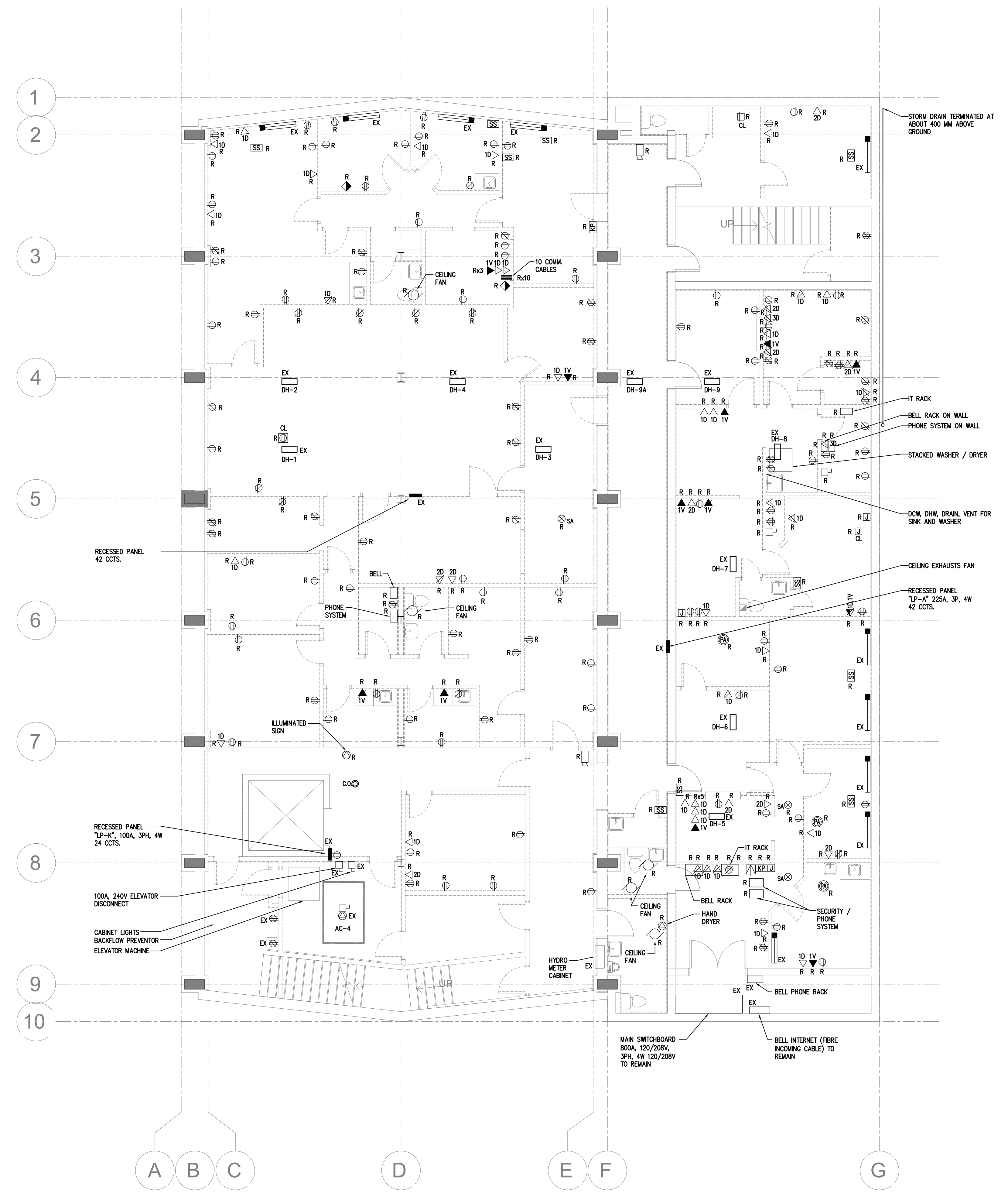
E0.2



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 PROJECT CODE: 2422 SCALE: 1:75  
 DATE: 05 February, 2025 STATUS: Tender (Demolition)

## Basement Floor Power Demolition

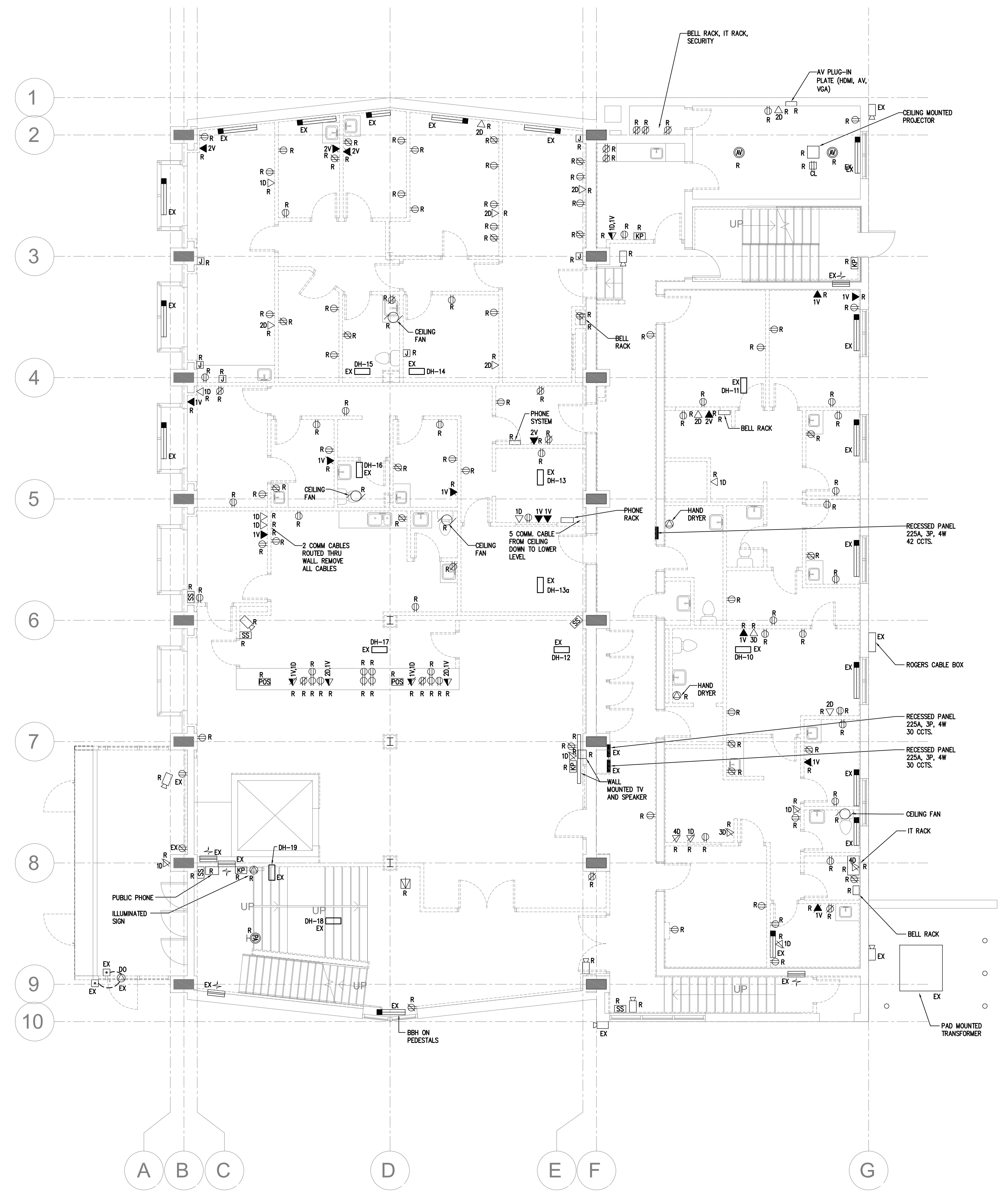


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PROJECT CODE:	SCALE:
2422	1:75
DATE:	STATUS:
05 February, 2025	Tender (Demolition)

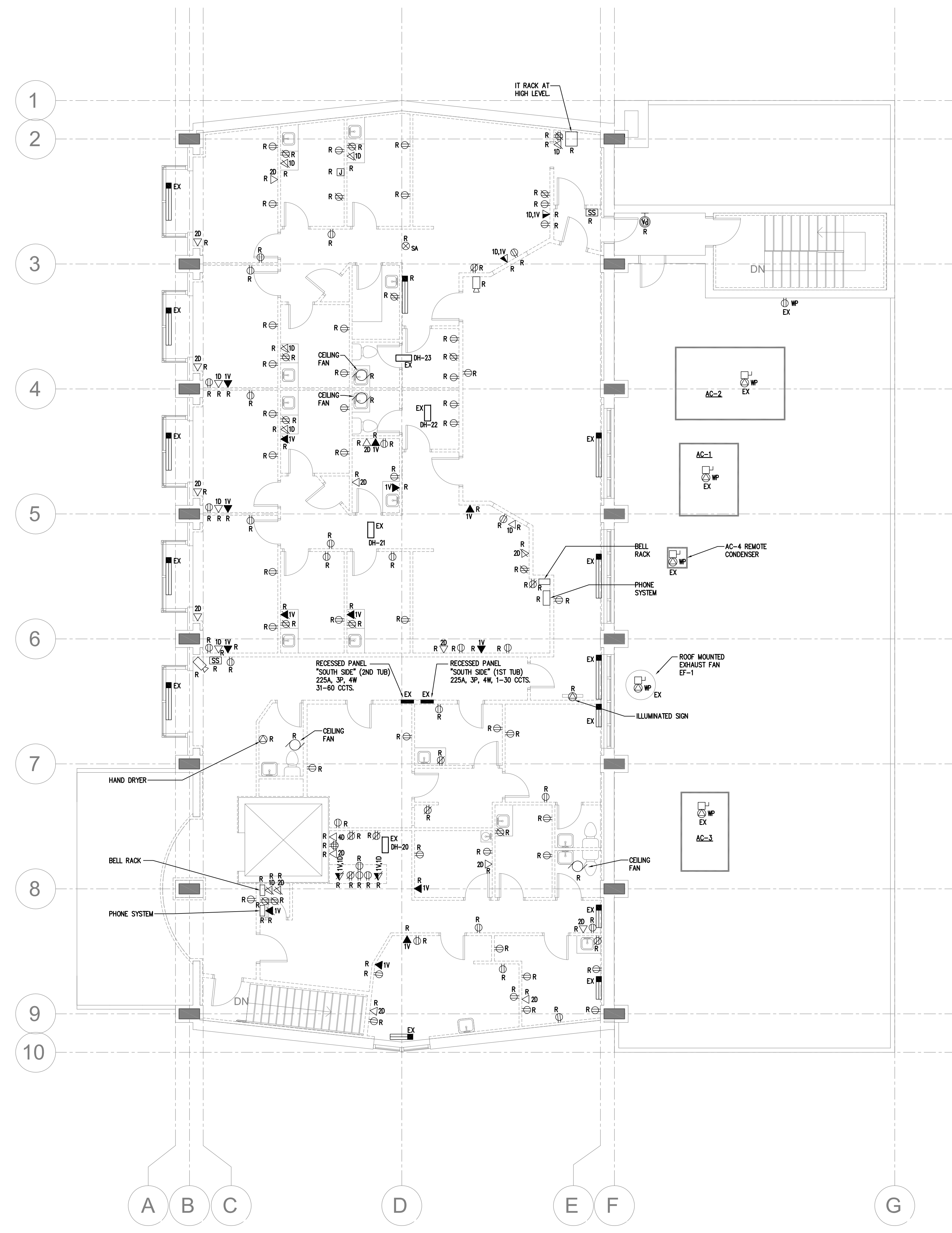
**First Floor  
 Power Demolition**



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Rev	Description	Date
1	Issued For Permit (Demolition)	Nov-29-2024
2	Issued For Tender (Demolition)	Feb-05-2025



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TSSS Dufferin  
 1615 Dufferin St., Toronto ON M6H 4H4

PROJECT CODE:	SCALE:
2422	1:75
DATE:	STATUS:
05 February, 2025	Tender (Demolition)

**Second Floor  
 Power Demolition**

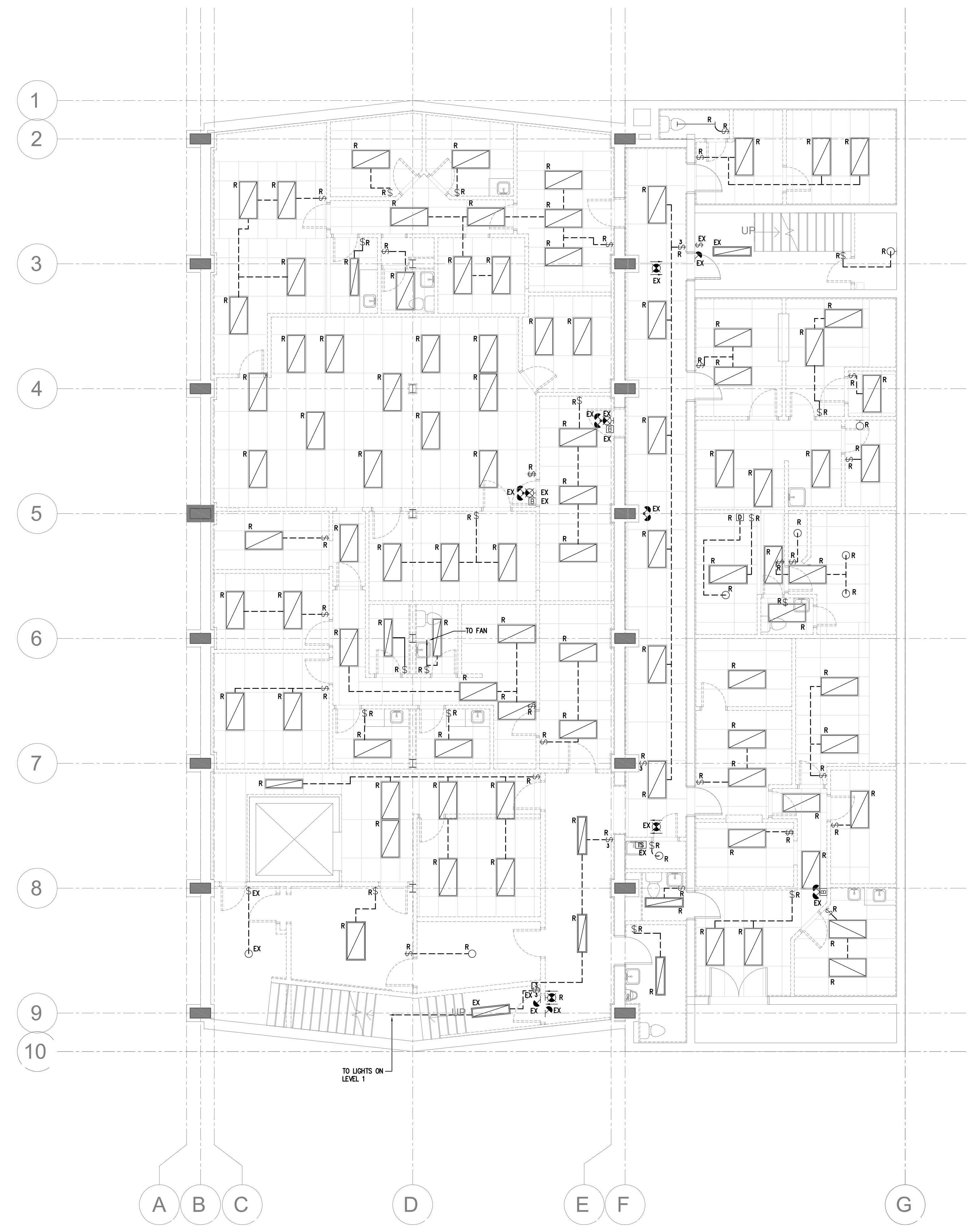


SPI PROJECT#: 2024-1041

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**Basement Floor  
 Lighting Demolition**

LEVEL 1



SPI PROJECT#: 2024-1041

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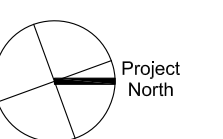
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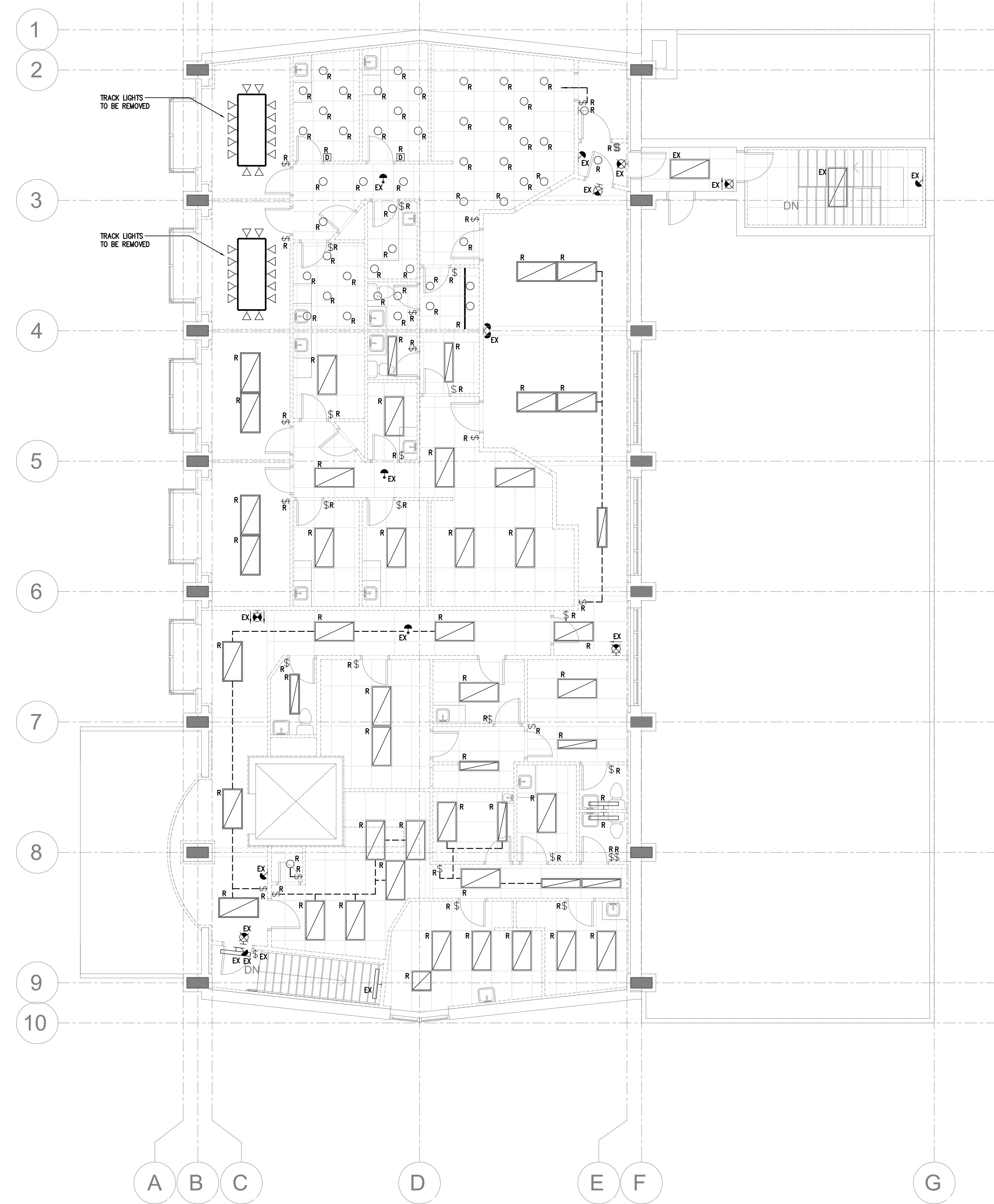
## First Floor Lighting Demolition



Project  
 North  
**E1.5**



LEVEL 2



SHARMA & PARTNERS INC.  
 Mechanical and Electrical  
 Engineers  
 85 Curlew Drive,  
 Unit 108, Toronto,  
 Ontario  
 M3A 2P8  
 Tel.: (416)291-8822  
 SPI PROJECT#: 2024-1041



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## Second Floor Lighting Demolition