

**LEGEND:**

**EXISTING CONDITIONS**

	PROPERTY LINE
	CATCHBASIN
	MANHOLE
	TREE
	SIGN
	BOLLARD
	LIGHT POLE
	PILLAR
	TRAFFIC BOX
	GAS VALVE
	HAND WELL
	TRAFFIC LIGHT
	POWER VAULT
+124.00	SPOT ELEVATION

**NEW CONSTRUCTION**

	PROPOSED SUBDRAIN
	ASPHALT PAVEMENT STRUCTURE 50 mm HL-3 or SP12.5 70 mm HL-8 or SP19.0 300 mm NEW GRANULAR A GEOGRID LAYER TRIAXIAL GEOGRID (TENSAR TX7 OR EQUIVALENT) 420mm TOTAL
	CONCRETE WALKWAY STRUCTURE 180 mm PORTLAND CEMENT CONCRETE (T-310.050-8) 240 mm NEW GRANULAR A GEOGRID LAYER TRIAXIAL GEOGRID (TENSAR TX7 OR EQUIVALENT) 420mm TOTAL
	HEAVY DUTY, NON-WOVEN GEOTEXTILE SILT FENCE

**REMOVALS/DEMOLITION**

	REMOVE EXISTING ASPHALT AND UNDERLYING GRANULAR FILL MATERIALS TO A MAXIMUM DEPTH OF 420mm BELOW FINAL GRADE
	REMOVE EXISTING CONCRETE, PAVERS AND UNDERLYING GRANULAR FILL MATERIALS TO A MAXIMUM DEPTH OF 420mm BELOW FINAL GRADE

**CITY OF TORONTO GENERAL NOTES:**

- ALL WORK TO CONFORM TO THE LATEST CITY OF TORONTO STANDARD DRAWINGS AND SPECIFICATIONS AS WELL AS THE LATEST ADOPTED ONTARIO PROVINCIAL STANDARD DRAWINGS AND SPECIFICATIONS.
- ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CURRENT "OCCUPATIONAL HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS". THE GENERAL CONTRACTOR SHALL BE DEEMED TO BE THE CONSTRUCTOR AS DEFINED IN THE ACT.
- ALL TEMPORARY TRAFFIC CONTROL AND SIGNAGE DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT ONTARIO TRAFFIC MANUAL BOOK 7: TEMPORARY CONDITIONS FIELD EDITION.
- THE CONTRACTOR SHALL RECTIFY ALL DISTURBED AREAS TO THE ORIGINAL CONDITION OR BETTER AND TO THE SATISFACTION OF THE OWNER AND ENGINEER.
- PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPAL RIGHT OF WAY, THE CONTRACTOR OR DEVELOPER OR CONSULTANT WILL OBTAIN ALL NECESSARY ROAD OCCUPANCY PERMITS FROM THE CITY'S RIGHT-OF-WAY MANAGEMENT UNIT.

**GRADING & ROAD / PAVEMENTS**

- ALL AREA GRADING AND RESULTING DRAINAGE PATTERNS SHALL NOT ADVERSELY AFFECT ADJACENT LANDS.
- THE STORM DRAINAGE SHALL BE SELF CONTAINED WITHIN THE SUBJECT PROPERTY UNTIL IT CAN BE DISCHARGED, REUSED, INFILTRATED AND/OR EVAPOTRANSPIRED IN A MANNER ACCEPTABLE TO THE CITY.
- MINIMUM GENERALLY ACCEPTED GRADIENT - 2.0 PERCENT.
- MAXIMUM GENERALLY ACCEPTABLE GRADIENT - 5.0 PERCENT.
- MAXIMUM ACCEPTABLE SLOPE 3 PARTS HORIZONTAL TO 1 PART VERTICAL.
- NO ALTERATIONS TO EXISTING BOUNDARY ELEVATIONS OR ADJACENT LANDS SHALL BE UNDERTAKEN UNLESS WRITTEN AGREEMENT WITH THE ADJACENT PROPERTY OWNER IS OBTAINED AND SUBMITTED IN A FORMAT ACCEPTABLE TO THE CITY.
- THE MINIMUM GRADIENT ON ANY DRIVEWAY SHALL BE 2.0 PERCENT. THE MAXIMUM DRIVEWAY GRADIENT IS 8.0 PERCENT.
- MAXIMUM PONDING DEPTH OF 0.3 METRE.
- PROPOSED SPOT ELEVATIONS WILL BE SHOWN FOR ASPHALT, LANDSCAPE OR CONCRETE AREAS. UNLESS OTHERWISE NOTED TOP OF CURB ELEVATIONS ARE 0.15 METRE ABOVE ASPHALT ELEVATIONS EXCEPT AT CURB DEPRESSIONS AND WHEEL CHAIR RAMPS.
- WHERE NEW ASPHALT MATCHES EXISTING ASPHALT, GRIND EXISTING ASPHALT A MINIMUM OF 300 mm WIDE AND 40 mm DEEP FOR KEYING. APPLY HOT RUBBER SEALING COMPOUND IN ACCORDANCE WITH OPSS 1212. ALL SURFACES TO BE TACK COATED WITH SS-1. SEE DETAIL ON DRAWING 2016-27-5 C104.
- THE CONCRETE CURB, CONCRETE SIDEWALK (IF APPLICABLE) AND ALL RESTORATION ALONG FRONTING ROADWAYS TO THE SITE MUST BE CONSTRUCTED AND CARRIED OUT IN ACCORDANCE WITH ALL APPLICABLE AND CURRENT CITY OF TORONTO STANDARDS.

**CITY OF TORONTO STANDARDS INCLUDE BUT NOT LIMITED TO:**

- T-310.010-4 - COMBINED CONCRETE CURB AND SIDEWALK.
- T-600.11-1 - CONCRETE CURB (BORDERING DRIVEWAY RETURN CURB AT ENTRANCES).
- T-600.05-1 - CONCRETE CURB AND GUTTER.
- T-508.010-1 - ANCHORED HOOK BOLT DOWEL AND CONCRETE REPAIR DETAIL
- T-310.050-8 - DRIVEWAY THICKNESS DETAIL

**EROSION AND SEDIMENTATION CONTROL**

- EROSION AND SEDIMENT CONTROL (ESC) MEASURE WILL BE IMPLEMENTED PRIOR TO, AND MAINTAINED DURING CONSTRUCTION PHASES, TO PREVENT ENTRY OF SEDIMENT INTO THE WATER. ALL DAMAGED EROSION AND SEDIMENTATION CONTROL MEASURE SHOULD BE REPAIRED OR REPLACED WITHIN 48 HOURS OF INSPECTION OR BOTH.
- ALL DISTURBED AREAS WILL BE MINIMIZED TO THE EXTENT POSSIBLE, AND TEMPORARILY OR PERMANENTLY STABILIZED OR RESTORED AS THE WORK PROGRESSES.
- THE EROSION AND SEDIMENTATION CONTROL STRATEGIES OUTLINED ON THE PLANS ARE NOT STATIC AND MAY NEED TO BE UPGRADED/AMENDED AS SITE CONDITIONS CHANGE TO MINIMIZE SEDIMENT LADEN RUNOFF FROM LEAVING THE WORK AREA. IF THE PRESCRIBED MEASURES ARE ON THE PLAN ARE NOT EFFECTIVE IN PREVENTING THE RELEASE OF A DELETERIOUS SUBSTANCE, THEN ALTERNATIVELY MEASURES MUST BE IMPLEMENTED IMMEDIATELY TO MINIMIZE POTENTIAL ECOLOGICAL IMPACTS AND A TORONTO REGION CONSERVATION AUTHORITY ENFORCEMENT OFFICE SHOULD BE IMMEDIATELY CONTACTED. ADDITIONAL ESC MEASURES TO BE KEPT ON SITE AND USED AS NECESSARY.
- ALL ACTIVITIES, INCLUDING MAINTENANCE PROCEDURES, WILL BE CONTROLLED TO PREVENT ENTRY OF PETROLEUM PRODUCTS, DEBRIS, RUBBLE, CONCRETE OR OTHER DELETERIOUS SUBSTANCES INTO THE WATER. VEHICULAR REFUELING AND MAINTENANCE AND REFUELING WILL BE CONDUCTED A MINIMUM OF 30m FROM THE WATER.
- ALL GRADES WITHIN THE REGULATORY FLOOD PLAN WILL BE MAINTAINED OR MATCHED.

- SILTATION CONTROL BARRIERS SHALL BE PLACED AS DETAILED.
- ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL AS DIRECTED AND TO THE SATISFACTION OF THE CITY OF TORONTO.
- ADDITIONAL SILT CONTROL LOCATIONS MAY BE REQUIRED AS DETERMINED BY THE CITY OF TORONTO.
- THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES, TO PROVIDE DURING CONSTRUCTION ACTIVITIES. THIS INCLUDES LIMITING THE AMOUNT OF EXPOSED SOIL, USING FILTER CLOTH UNDER THE GRATES OF CATCHBASINS AND MANHOLES AND INSTALLING SILT FENCES AND OTHER EFFECTIVE SEDIMENT TRAPS. THE CONTRACTOR ACKNOWLEDGES THAT FAILURE TO IMPLEMENT APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES MAY BE SUBJECT TO PENALTIES IMPOSED BY ANY APPLICABLE REGULATORY AGENCY
- ALL SEDIMENT CONTROL DEVICES TO BE ROUTINELY INSPECTED AND MAINTAINED IN PROPER WORKING ORDER UNTIL AREA IS STABILIZED
- IF NECESSARY, TRUCKS MUST BE WASHED DOWN BEFORE LEAVING THE SITE
- THE SITE MUST BE WET DOWN IF NECESSARY TO CONTROL DUST
- ALL CONSTRUCTION EQUIPMENT MUST PARKED ON-SITE
- ALL CONSTRUCTION ACTIVITY WILL COMPLY WITH CITY OF TORONTO NOISE BYLAW
- SEDIMENT CONTROL FENCE TO BE AS PER CITY IF TORONTO T-219-130-1
- ALL TOPSOIL STOCKPILES TO BE SURROUNDED WITH SEDIMENT CONTROL FENCING
- FILTER FABRIC TO BE PLACED UNDER GRATES ON ALL CATCHBASINS TO TRAP SEDIMENT. SILT TRAPS ARE TO BE CLEANED REGULARLY AND ARE NOT TO BE REMOVED UNTIL CONSTRUCTION COMPLETION. FILTER FABRIC FOR SILT CONTROL TO BE TERRA FIX 270r OR APPROVED EQUIVALENT.
- IN THE CASE OF ANY CONFLICT WITH ANOTHER PLAN, THIS PLAN PREVAILS ONLY IN RESPECT TO CONSTRUCTION MEASURES AND ACTIVITIES SUCH AS CONSTRUCTION ACCESS, SILT FENCE, SECURITY FENCING, SEDIMENT CONTROL AND MUD MATS
- STREET SWEEPING, CASHBASIN CLEANING AND DUST CONTROL ARE THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE KEPT UNDER CONTROL ON ALL ROADWAYS TO THE SATISFACTION OF THE CITY
- ALL DISTURBED AREAS WILL BE MINIMIZED TO THE EXTENT POSSIBLE AND TEMPORARILY OR PERMANENTLY STABILIZED OR RESTORED AS THE WORK PROGRESSES

**ADDITIONAL NOTES:**

- UNLESS INDICATED OTHERWISE, ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF TORONTO DESIGN STANDARDS AND SPECIFICATION AND THE UNDERTAKING, ONTARIO PROVINCIAL STANDARDS MAY, SUBJECT TO THE APPROVAL OF THE CITY OF TORONTO, BE USED WHERE NO STANDARD OR SPECIFICATION IS NOTED.
- ANY DISCREPANCIES BETWEEN SITE CONDITIONS AND THE DRAWINGS MUST BE REPORTED TO THE CONSULTING ENGINEER/CITY PRIOR TO COMMENCEMENT OF CONSTRUCTION AND APPROPRIATE ACTION TAKEN TO THE SATISFACTION OF THE CITY OF TORONTO.
- ALL SURVEY POINTS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE LAYOUT SHALL BE REPORTED TO THE CONSULTING ENGINEER/CITY AND THE CONSULTING ENGINEER/CITY SHALL NOTIFY THE CITY OF THE NECESSARY CHANGES.
- NO PORTION OF THE WORK SHALL BE CARRIED OUT WITHOUT FIRST HAVING OBTAINED APPROVED CONSTRUCTION DRAWINGS, APPROVED PROJECT SCHEDULE(S), APPROVED TRAFFIC STAGING PLANS AND PERMITS FOR SUCH PORTION OF THE INFRASTRUCTURE WORK IN ACCORDANCE WITH THE PROVISIONS HERE OF AND GIVING 10 WORKING DAYS PRIOR WRITTEN NOTICE TO THE EXECUTIVE DIRECTOR, TECHNICAL SERVICES THAT SUCH WORK IS TO BE CARRIED OUT WITH SUCH NOTICE TO SPECIFY THE ANTICIPATED DATE OF COMMENCEMENT OF THE WORK. A PRE-CONSTRUCTION COORDINATION MEETING WITH CITY STAFF IS TO BE HELD A MINIMUM OF FIVE WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY OF THE WORK.
- THE REMOVAL OF TREES REQUIRES THE APPROVAL OF PARKS, FORESTRY AND RECREATION DIVISION (CONTACT, SUPERVISOR, URBAN FORESTRY)
- ALL AREAS DISTURBED DURING CONSTRUCTION WITHIN THE CITY'S RIGHT-OF-WAY SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. GRASSED AREAS SHALL BE PROVIDED WITH 100 MM OF TOPSOIL AND SHALL BE SODDED AS PER T.S. 5.00 AND T.S. 5.10.
- THE CONTRACTOR SHALL REFER TO THE ONTARIO TRAFFIC MANUAL BOOK 7, TEMPORARY CONDITIONS FOR TEMPORARY CONSTRUCTION SIGNAGE.
- CONTRACTOR SHALL VERIFY AND MATCH EXISTING PAVEMENT STRUCTURE IN DEPTH AND MATERIAL. ANY DISCREPANCIES BETWEEN EXISTING AND LATEST STANDARD PAVEMENT STRUCTURE SHALL BE REPORTED TO THE CONSULTANT PRIOR TO COMMENCEMENT OF CONSTRUCTION AND APPROPRIATE ACTION TAKEN TO THE SATISFACTION OF THE CITY OF TORONTO.
- ANY DAMAGE TO PROPERTY ADJACENT TO THE CONSTRUCTION SITE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ANY DAMAGE TO EXISTING CURBS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- REPAIR ANY OBSERVED SOFT SPOTS
- SOFT AREAS SHOULD BE REPAIRED BY SUB-EXCAVATING A MINIMUM DEPTH OF 300 MM AND INSTALLING 300 MM THICKNESS OF GRANULAR A (OPSS 1010 GRANULAR A) COMPACTED TO 100% OF THE SPECIFIED MAXIMUM DRY DENSITY (SPMDD).

**CITY OF TORONTO**  
  
 Corporate Real Estate Management  
 Project Management Office  
 Metro Hall Toronto, ON  
 MSV 3C6

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ISSUES		
No.	DESCRIPTION	DATE
A	90% REVIEW	2024-03-26
0	TENDER	2024-06-04

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**SEAL**

LICENCED PROFESSIONAL ENGINEER

  
 B.N. MEDFORD  
 100075540  
 June 19, 2024  
 PROVINCE OF ONTARIO

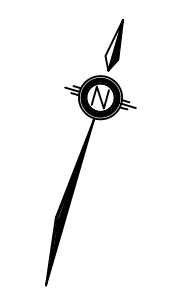
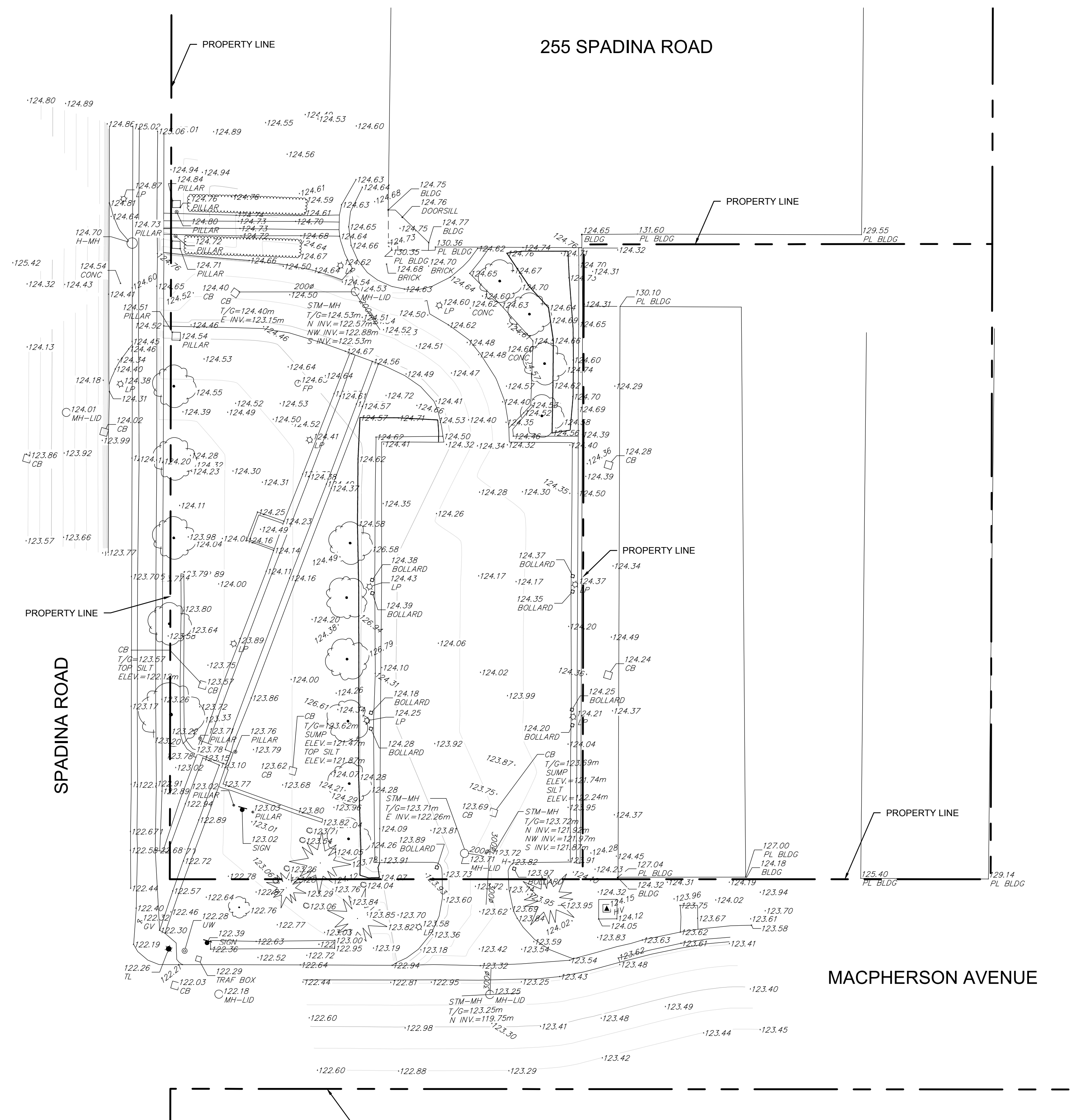
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**PROJECT**

**TORONTO ARCHIVES BUILDING**  
 255 SPADINA RD TORONTO,  
 ON M5R 2V3

<b>SHEET TITLE</b>	
LEGEND AND NOTES	
PROJECT NO: <b>145241</b>	
DRAWN BY: <b>P. GUTIERREZ</b>	CHECKED BY: <b>B. MEDFORD</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>A. COVELLO</b>
SHEET NUMBER <b>C001</b>	ISSUE <b>00</b>



SCALE 1:250  
2.5m 5.0m

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Project Management Office  
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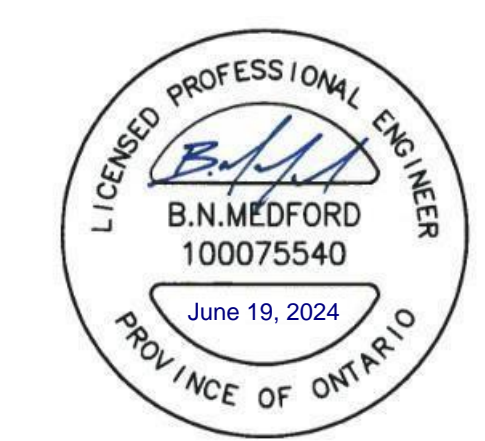
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ISSUES	DESCRIPTION	DATE
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PROJECT  
**TORONTO ARCHIVES BUILDING**  
255 SPADINA RD TORONTO,  
ON M5R 2V3

SHEET TITLE  
**TOPOGRAPHIC SURVEY PLAN**

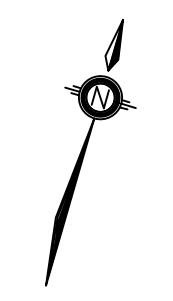
PROJECT NO:  
**145241**

DRAWN BY: <b>P. GUTIERREZ</b>	CHECKED BY: <b>B. MEDFORD</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>A. COVELLO</b>

SHEET NUMBER <b>C002</b>	ISSUE <b>00</b>
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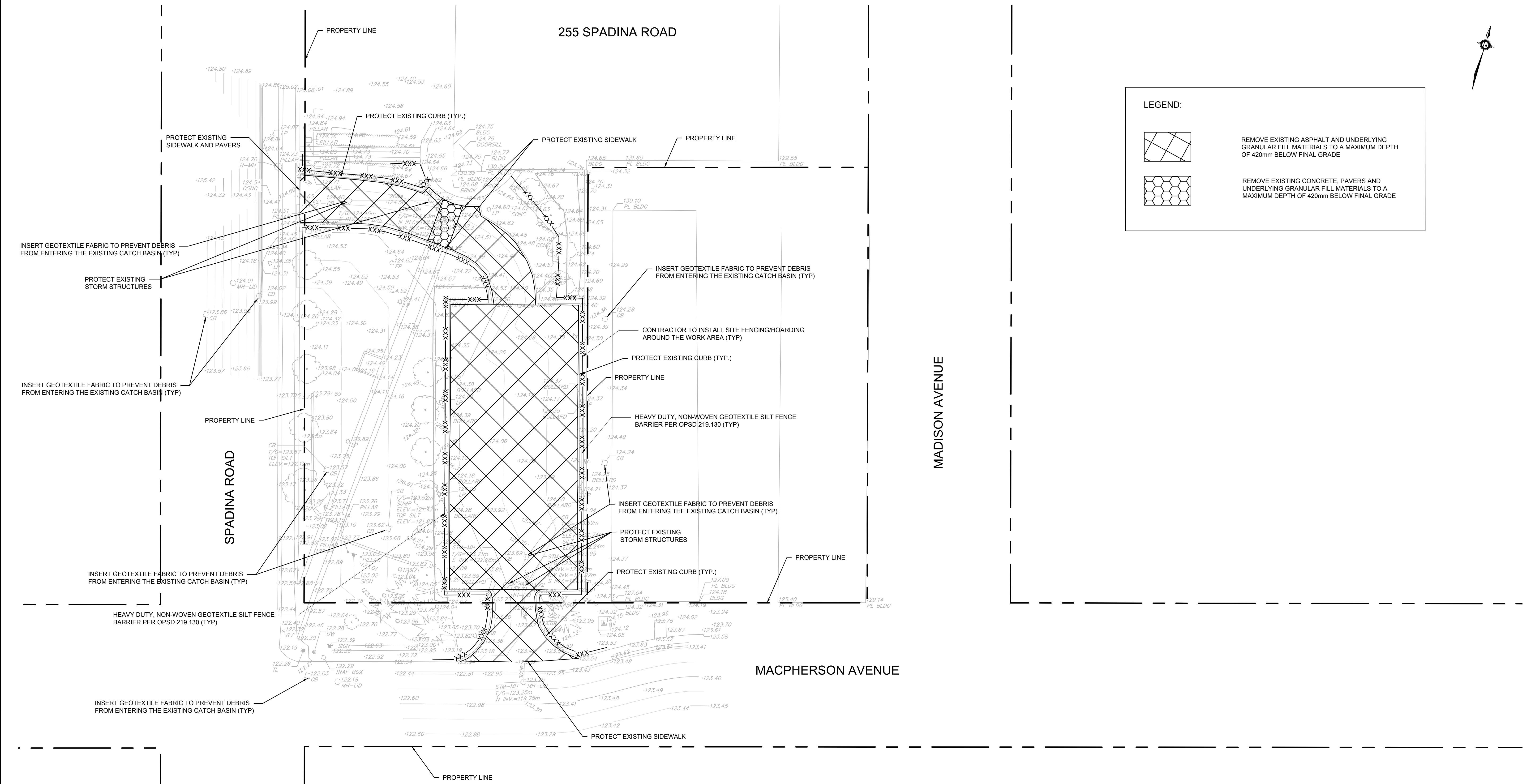
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255 SPADINA ROAD



**LEGEND:**

- REMOVE EXISTING ASPHALT AND UNDERLYING GRANULAR FILL MATERIALS TO A MAXIMUM DEPTH OF 420mm BELOW FINAL GRADE
- REMOVE EXISTING CONCRETE, PAVERS AND UNDERLYING GRANULAR FILL MATERIALS TO A MAXIMUM DEPTH OF 420mm BELOW FINAL GRADE



SCALE 1:250  
2.5m 5.0m

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**SHEET TITLE**  
REMOVALS PLAN

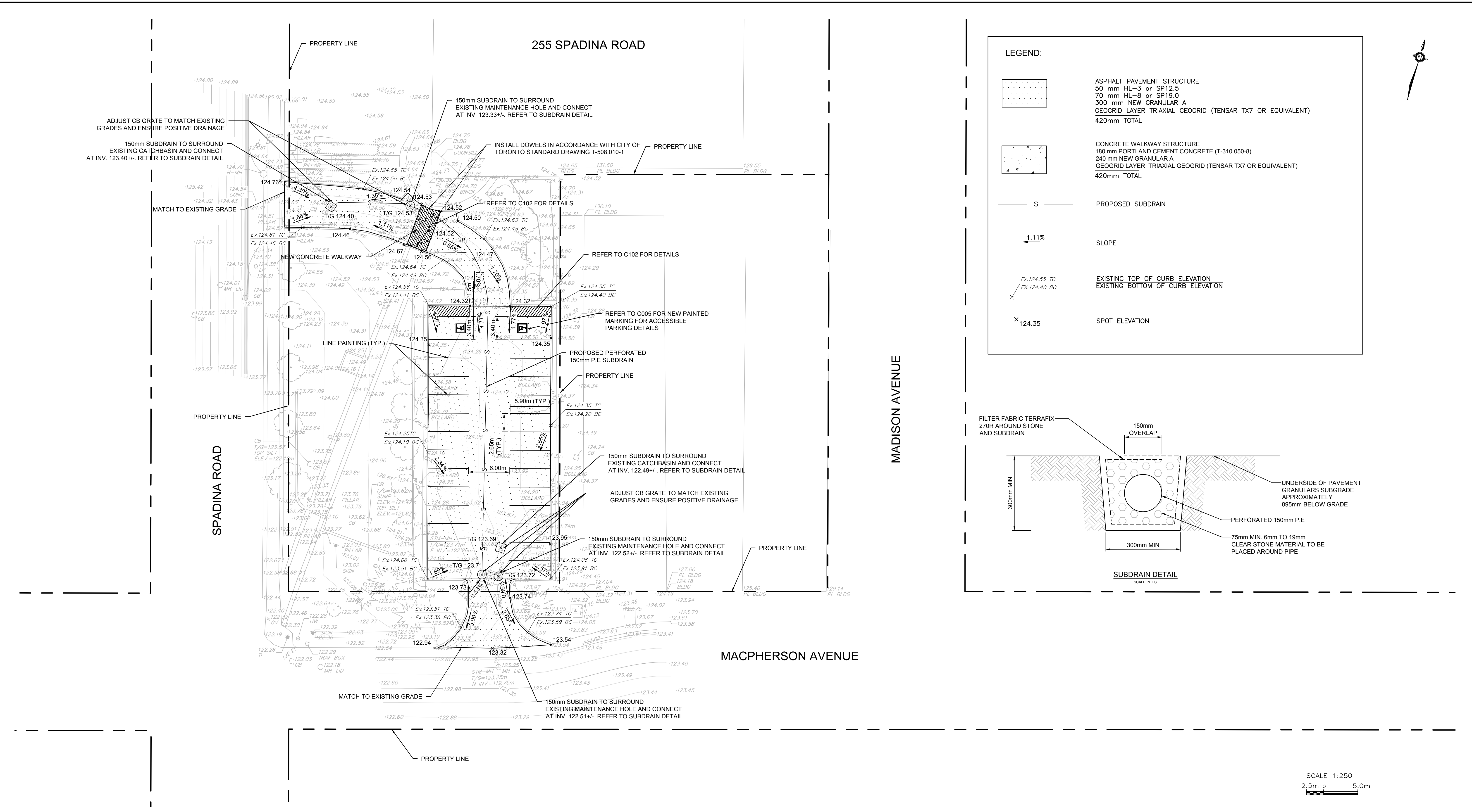
**PROJECT**  
TORONTO ARCHIVES BUILDING  
255 SPADINA RD TORONTO,  
ON M5R 2V3

<b>PROJECT NO:</b> 145241	
<b>DRAWN BY:</b> P. GUTIERREZ	<b>CHECKED BY:</b> B. MEDFORD
<b>PROJECT MGR:</b> F. BOLOURIAN	<b>APPROVED BY:</b> A. COVELLO

**SHEET NUMBER**  
C003

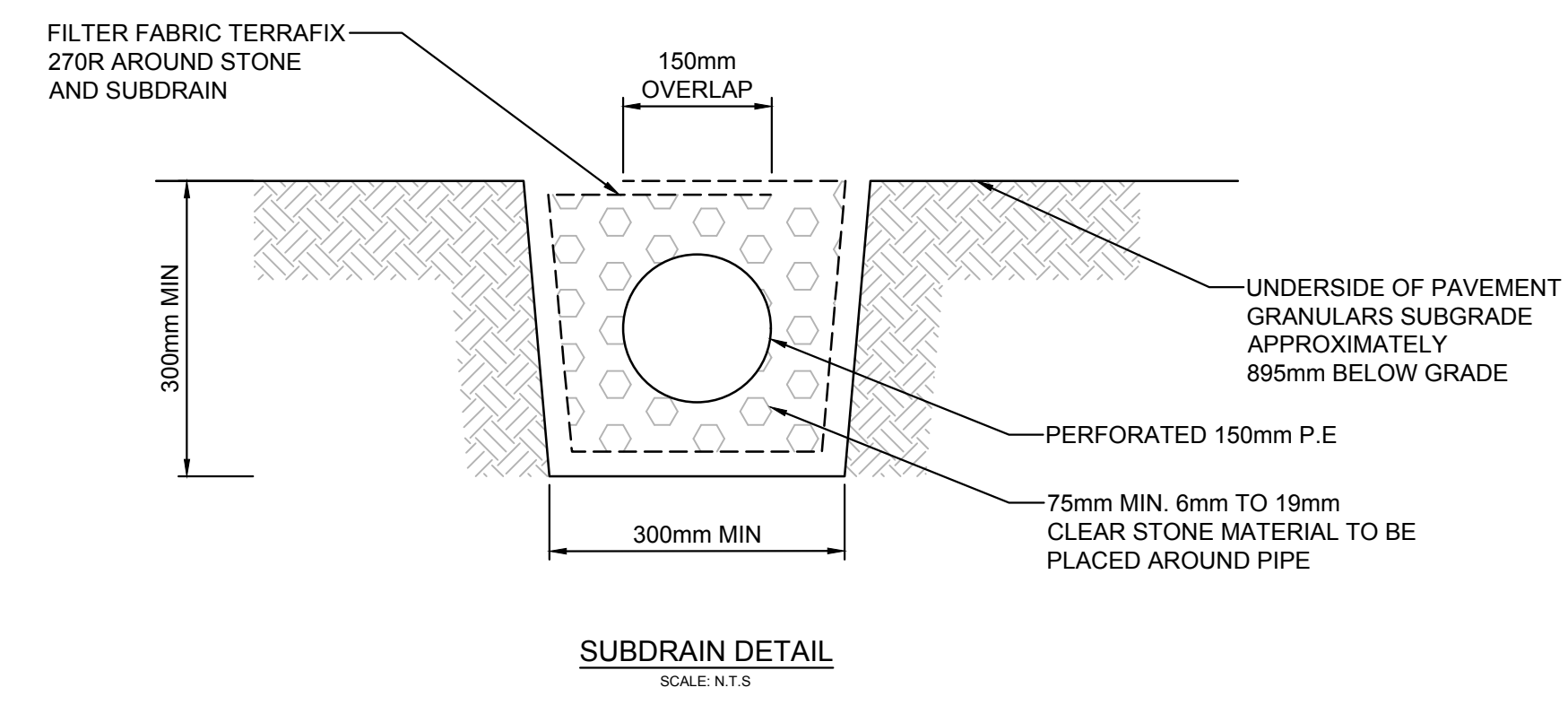
**ISSUE**  
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**LEGEND:**

- ASPHALT PAVEMENT STRUCTURE  
50 mm HL-3 or SP12.5  
70 mm HL-8 or SP19.0  
300 mm NEW GRANULAR A  
GEOGRID LAYER TRIAXIAL GEOGRID (TENSAR TX7 OR EQUIVALENT)  
420mm TOTAL
- CONCRETE WALKWAY STRUCTURE  
180 mm PORTLAND CEMENT CONCRETE (T-310.050-8)  
240 mm NEW GRANULAR A  
GEOGRID LAYER TRIAXIAL GEOGRID (TENSAR TX7 OR EQUIVALENT)  
420mm TOTAL
- PROPOSED SUBDRAIN
- SLOPE
- EXISTING TOP OF CURB ELEVATION  
EXISTING BOTTOM OF CURB ELEVATION
- SPOT ELEVATION



SCALE 1:250  
2.5m 5.0m

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June 19, 2024  
PROVINCE OF ONTARIO

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PROJECT  
**TORONTO ARCHIVES BUILDING**  
255 SPADINA RD TORONTO,  
ON M5R 2V3

SHEET TITLE  
**NEW CONSTRUCTION PLAN**

PROJECT NO:  
**145241**

DRAWN BY:  
**P. GUTIERREZ**

CHECKED BY:  
**B. MEDFORD**

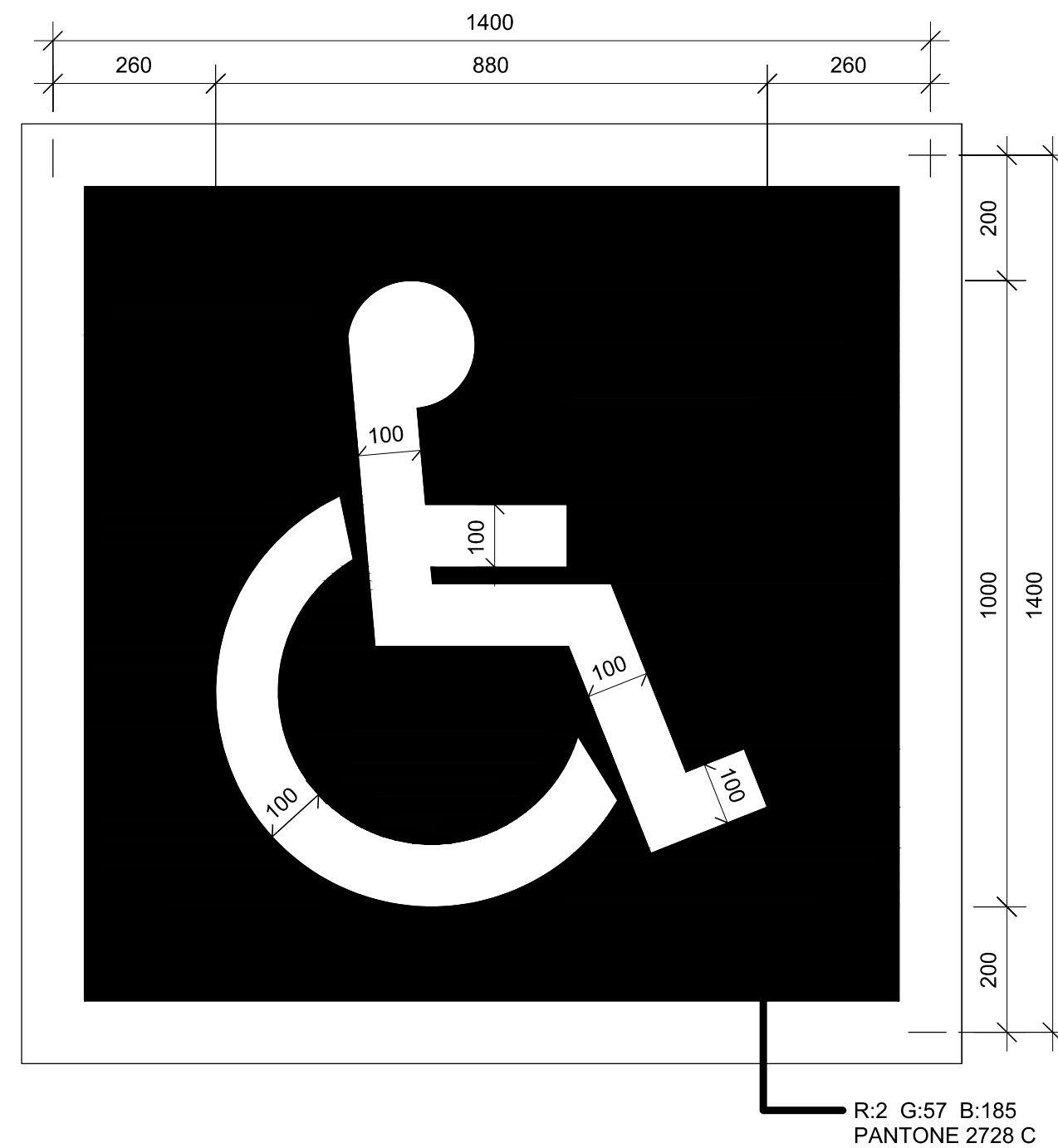
PROJECT MGR:  
**F. BOLOURIAN**

APPROVED BY:  
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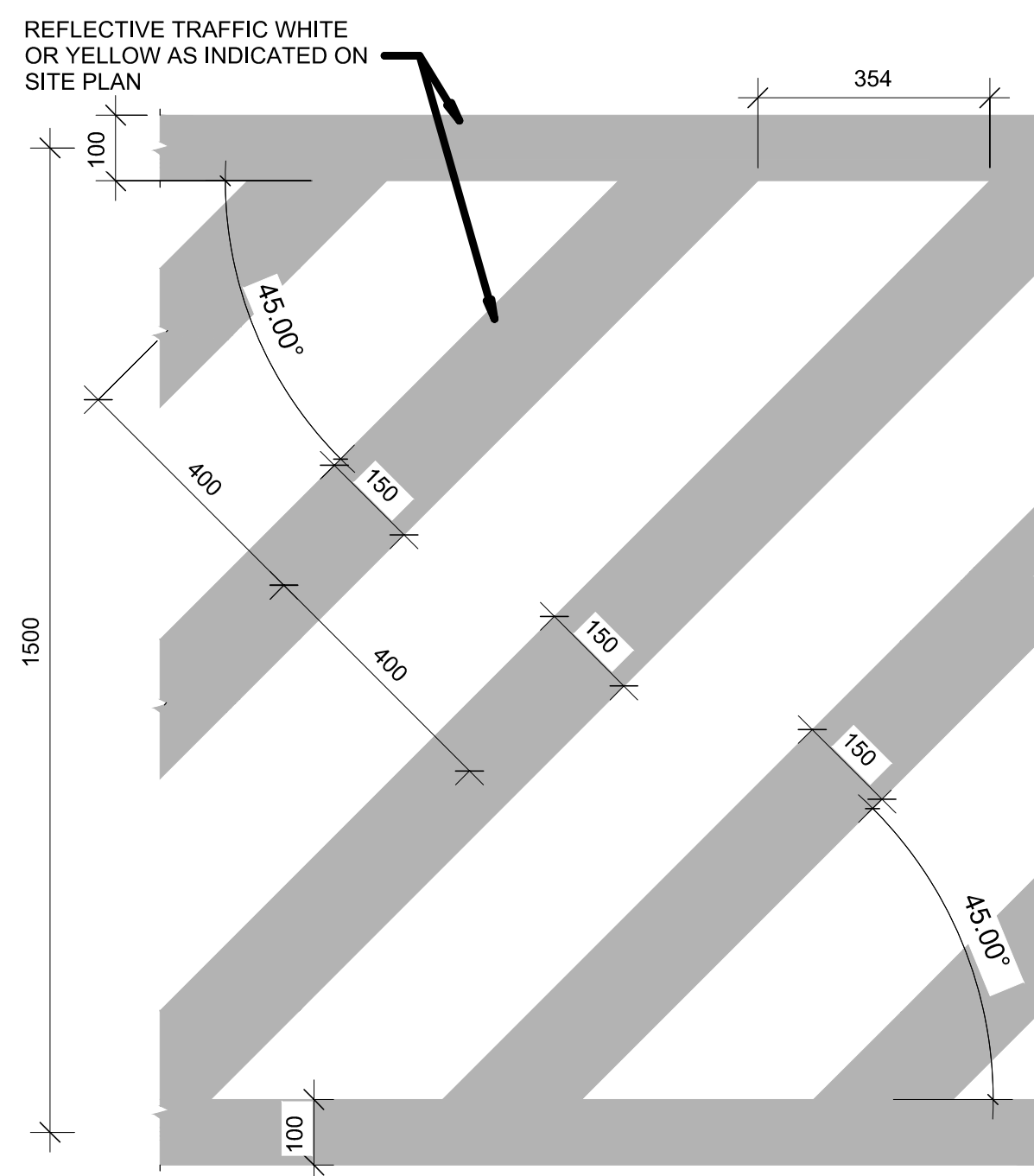
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**C101**

ISSUE  
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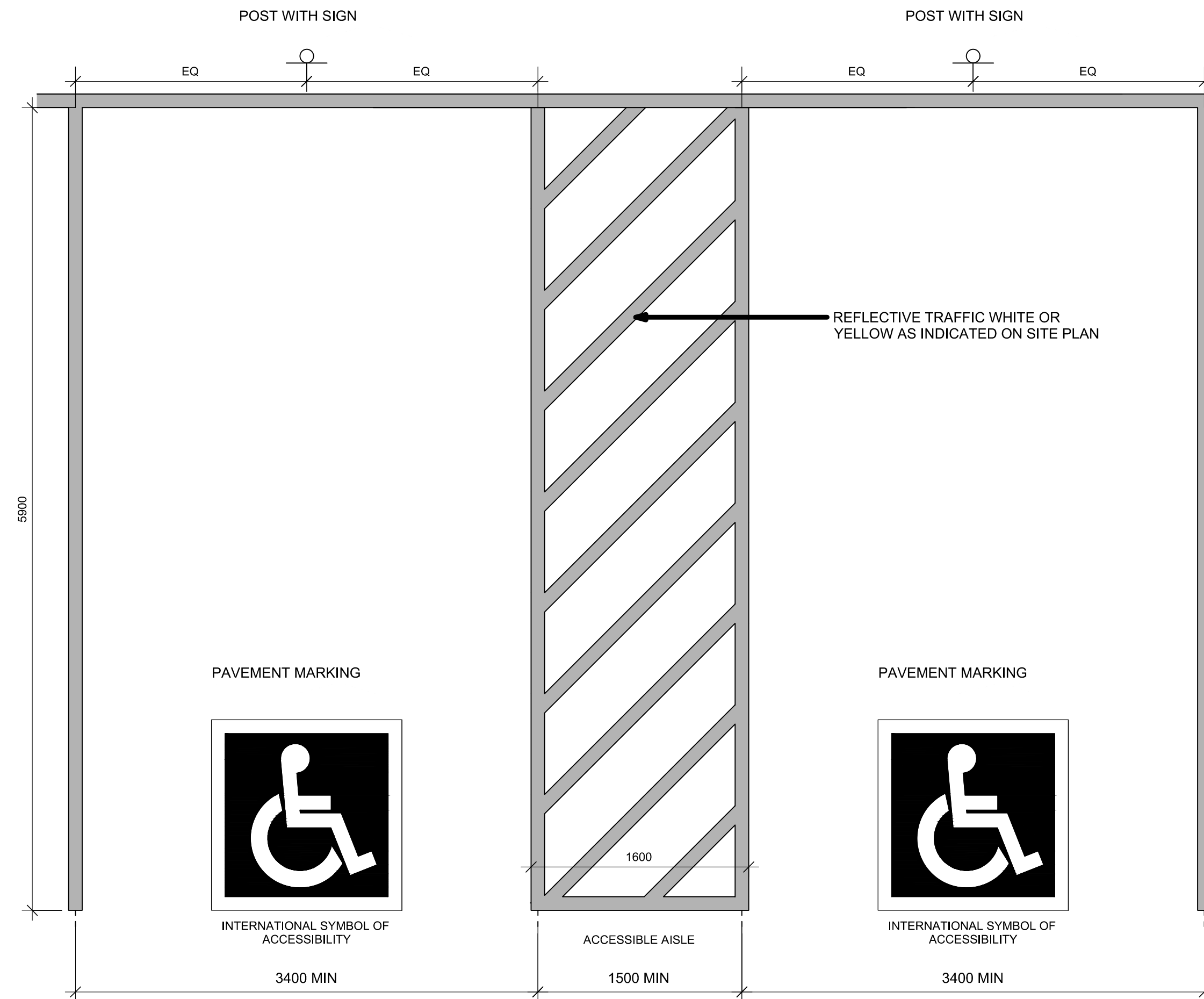
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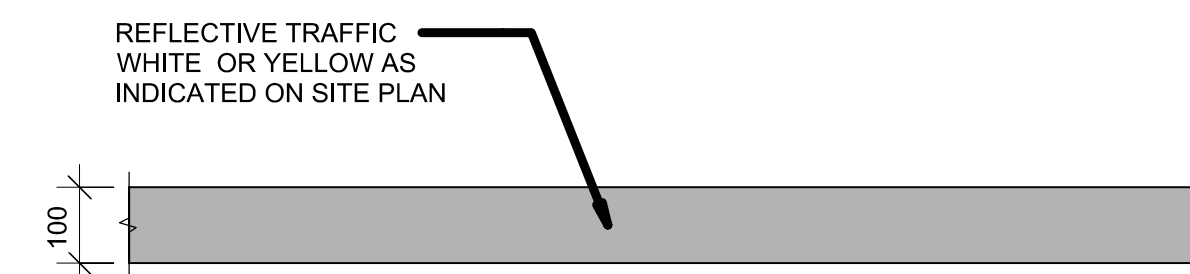
**1 ACCESSIBLE PARKING PAVEMENT MARKING**  
SCALE: N.T.S



**2 SITE DETAILS - PAINTED WALKWAY DETAILS**  
SCALE: N.T.S



**3 ACCESSIBLE PARKING SPACES**  
SCALE: N.T.S



**4 SITE DETAILS - PAINTED LANE MARKING DETAILS**  
SCALE: N.T.S

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KEY PLAN

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SHEET TITLE  
**DETAILS**

PROJECT NO:  
**145241**

PROJECT  
**TORONTO ARCHIVES BUILDING**  
255 SPADINA RD TORONTO,  
ON M5R 2V3

DRAWN BY:  
**P. GUTIERREZ**

CHECKED BY:  
**B. MEDFORD**

PROJECT MGR:  
**PM**

APPROVED BY:  
**A. COVELLO**

SHEET NUMBER  
**C102**

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