

# Renovations at Ecole Elementaire Jeanne-Lajoie

150 Carnforth Road  
North York, Ontario

## LIST OF DRAWINGS

A000 DRAWING LIST AND OBC MATRIX

### ARCHITECTURAL

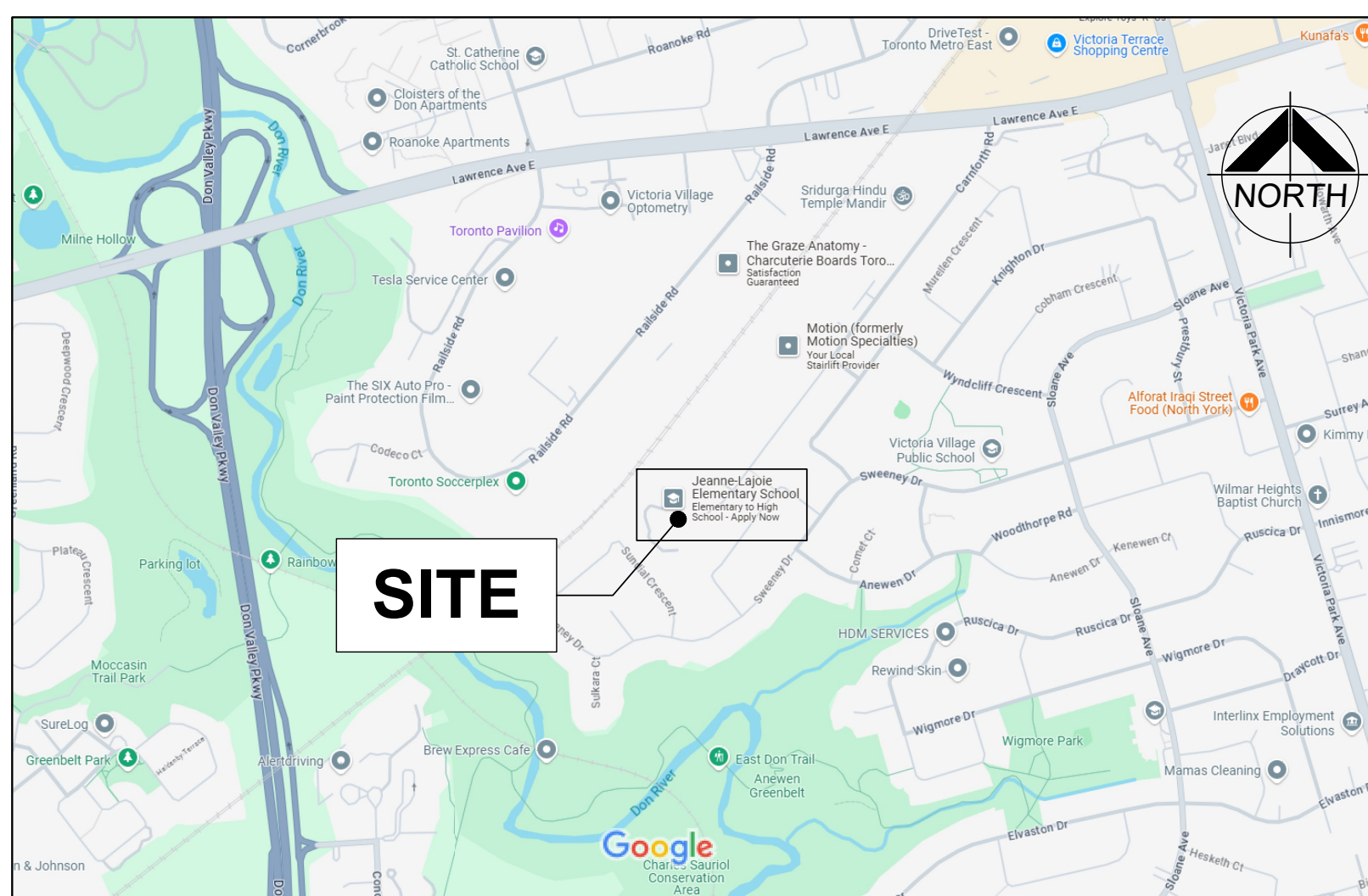
- A201 FIRST FLOOR DEMOLITION AND KEY PLAN
- A202 SECOND FLOOR DEMOLITION AND KEY PLAN
- A203 PART FIRST FLOOR DEMOLITION PLANS
- A204 PART DEMOLITION PLANS
- A205 PART FLOOR PLANS
- A206 PART REFLECTED CEILING PLANS
- A207 PART REFLECTED CEILING PLANS
- A208 PART REFLECTED CEILING PLANS
- A301 PART EAST ELEVATIONS
- A302 PART WEST ELEVATIONS AND DETAILS
- A303 PART NORTH AND SOUTH ELEVATIONS
- A401 STAGE SECTION AND ELEVATION
- A701 INTERIOR ELEVATIONS
- A702 INTERIOR ELEVATIONS
- A801 MILLWORK SECTIONS
- A901 SCHEDULES
- A905 ELEVATION PHOTOS
- A906 ELEVATION PHOTOS
- A907 ELEVATION PHOTOS
- A908 ELEVATION PHOTOS
- A909 ELEVATION PHOTOS
- A910 ELEVATION PHOTOS
- A911 ELEVATION PHOTOS
- A912 ELEVATION PHOTOS
- A913 ELEVATION PHOTOS
- A914 GENERAL NOTES

### MECHANICAL

- M-0 TITLE PAGE
- M-1.1 MECHANICAL SPECIFICATIONS I
- M-1.2 MECHANICAL SPECIFICATIONS II AND LEGEND
- M-1.3 MECHANICAL SCHEDULES AND DETAILS
- M-2.1 PART 1ST & 2ND FLOOR DEMOLITION PLAN - HVAC
- M-2.2 PART 1ST FLOOR DEMOLITION PLAN - HVAC
- M-2.3 PART 1ST & 2ND FLOOR NEW PLAN - HVAC
- M-2.4 PART 1ST FLOOR NEW PLAN - HVAC
- M-3.1 PART 1ST FLOOR DEMOLITION PLAN - PLUMBING & DRAINAGE
- M-3.2 PART 1ST FLOOR DEMOLITION PLAN - PLUMBING & DRAINAGE
- M-3.3 PART 1ST FLOOR NEW PLAN - PLUMBING & DRAINAGE
- M-3.4 PART 1ST FLOOR NEW PLAN - PLUMBING & DRAINAGE

### ELECTRICAL

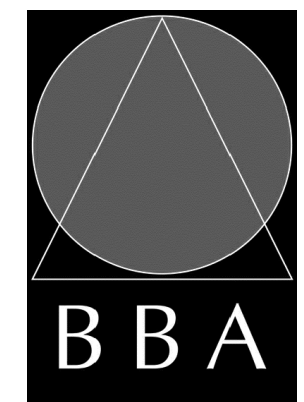
- E-1.0 ELECTRICAL LEGEND AND DETAILS
- E-1.1 ELECTRICAL DETAILS
- E-1.2 ELECTRICAL DETAILS
- E-1.3 ELECTRICAL DETAILS
- E-2.1 ELECTRICAL FACILITY PLAN - FIRST FLOOR
- E-2.2 ELECTRICAL FACILITY PLAN - SECOND FLOOR
- E-5.1 ELECTRICAL DEMOLITION PLAN - FIRST FLOOR
- E-5.2 ELECTRICAL DEMOLITION PLAN - SECOND FLOOR
- E-6.1 REFLECTED CEILING DEMOLITION PLAN - FIRST FLOOR
- E-6.2 REFLECTED CEILING DEMOLITION PLAN - SECOND FLOOR
- E-9.1 ELECTRICAL AND REFLECTED CEILING PLANS - FIRST FLOOR
- E-9.2 ELECTRICAL AND REFLECTED CEILING PLANS - SECOND FLOOR



1 A000 LOCATION PLAN  
N.T.S.

## CONSULTANTS

### ARCHITECTURAL / STRUCTURAL:



**BARRY BRYAN ASSOCIATES**

Architects  
Engineers  
Project Managers

250 Water St.  
Suite 201  
Whitby, Ontario  
L1N 0G5

Tel: (905) 666-5252  
Fax: (905) 666-5258  
e-mail: bba@bba-archeng.com

### MECHANICAL:

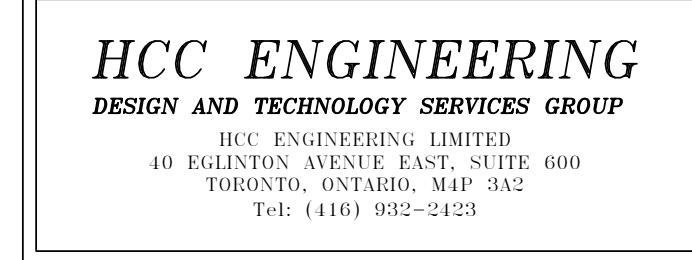


**Giallonardo Engineering Inc.**


220-4550 Highway 7  
Woodbridge, Ontario  
L4L 4T7

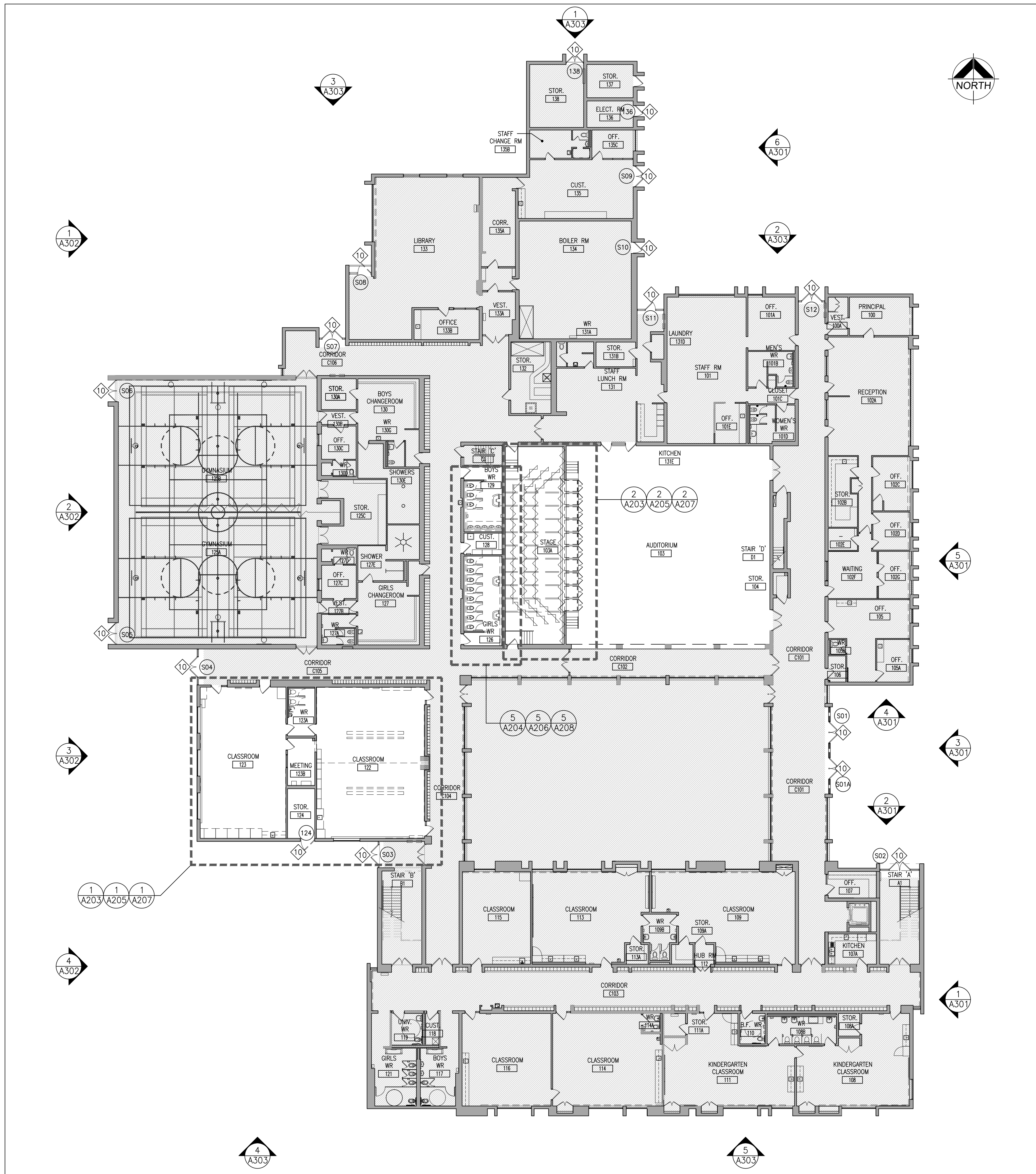
Tel: (905) 265-1052  
info@giallonardoeng.com  
Web: http://www.giallonardoeng.com

### ELECTRICAL:



HCC ENGINEERING LIMITED  
40 EGLINTON AVENUE EAST, SUITE 600  
TORONTO, ONTARIO, M4P 3A2  
Tel: (416) 932-2123

| NAME OF CONSULTANT: BARRY BRYAN ASSOCIATES<br>CERTIFICATE OF PRACTICE NUMBER: 5192<br>250 WATER STREET, SUITE 201<br>WHITBY, ONTARIO, CANADA, L1N 0G5<br>TEL: (905) 666-5252<br>(Toronto) (905) 427-4495<br>FAX: (905) 666-5258 |   | <br>LICENCE<br>4910 |  |
|---|---|--|--|
| NAME OF PROJECT:<br>RENOVATIONS AT ECOLE ELEMENTAIRE JEANNE-LAJOIE  |   |  |  |
| LOCATION OF PROJECT:<br>150 CARNFORTH ROAD, NORTH YORK, ON  |   |  |  |
| DATE:<br>MARCH 2025   |   |  |  |
| Ontario Building Code Data Matrix Part 3  |   |  | OBC Reference  |
| 3.00 Building Code Version: O.Reg. 183/24   | Last Amendment: O.Reg. 447/24   |  |  |
| 3.01 Project Type:  | <input type="checkbox"/> New<br><input type="checkbox"/> Change of use<br><input checked="" type="checkbox"/> Addition<br><input checked="" type="checkbox"/> Renovation  | <input type="checkbox"/> Addition and Renovation<br><input checked="" type="checkbox"/> Renovation     | [A] 1.3.3.2  |
| 3.02 Major Occupancy Classification:  | Description: RENOVATIONS AT ECOLE ELEMENTAIRE JEANNE-LAJOIE<br>Occupancy Group: A, DIV. 2<br>Use: ELEMENTARY SCHOOL   |  | 3.1.2  |
| 3.03 Superimposed Major Occupancies:  | <input checked="" type="checkbox"/> No<br><input type="checkbox"/> Yes  | Description:   | 3.2.2.7  |
| 3.04 Building Area (m <sup>2</sup> ):   | Description: EXISTING FIRST FLOOR, EXISTING SECOND FLOOR, EXISTING MECH. PENTHOUSE<br>Existing: 4,474.07, 1,130.33, 180.78<br>New: 4,474.07, 1,130.33, 180.78<br>Total: 5,785.18  |  | [A] 1.4.1.2  |
| 3.05 Gross Area (m <sup>2</sup> ):  | Description: EXISTING FIRST FLOOR, EXISTING SECOND FLOOR, EXISTING MECH. PENTHOUSE<br>Existing: 4,474.07, 1,130.33, 180.78<br>New: 4,474.07, 1,130.33, 180.78<br>Total: 5,785.18  |  | [A] 1.4.1.2  |
| 3.06 Mezzanine Area (m <sup>2</sup> ):  | Description: N/A<br>Existing: 0<br>New: 0<br>Total: 0   |  | 3.2.1.1  |
| 3.07 Building Height:   | 2 (two) Storeys above grade<br>0 (zero) Storeys below grade<br>6.0 (m) Above grade  |  | [A] 1.4.1.2 & 3.2.1.1  |
| 3.08 High Building:   | <input checked="" type="checkbox"/> No<br><input type="checkbox"/> Yes  |  | 3.2.6  |
| 3.09 Number of streets/ fire fighter access:  | 1 (one) street(s) Existing  |  | 3.2.2.10 & 3.2.5   |
| 3.10 Building Classification:   | Existing Group/ Div. Group A, Div. 2  |  | 3.2.2.20 - 93  |
| 3.11 Sprinkler System:  | <input type="checkbox"/> Required<br><input checked="" type="checkbox"/> Not Required<br>Proposed: <input type="checkbox"/> entire building, <input type="checkbox"/> selected compartments, <input type="checkbox"/> selected floor areas, <input type="checkbox"/> basement, <input type="checkbox"/> in lieu of roof rating, <input type="checkbox"/> none   |  | 3.2.2.10, 3.2.2.22, 3.2.2.26, 3.2.4.9, 3.2.4.15 and 3.2.5.12 to 14 |
| 3.12 Standpipe System:  | <input type="checkbox"/> Required<br><input checked="" type="checkbox"/> Not Required<br><input type="checkbox"/> None  |  | 3.2.5.8-11   |
| 3.13 Fire Alarm System:   | <input type="checkbox"/> Required<br><input checked="" type="checkbox"/> Not Required<br>Type Provided: <input type="checkbox"/> Single Stage, <input type="checkbox"/> Two Stage, <input type="checkbox"/> None  |  | 3.2.4  |
| 3.14 Water Service/ Supply is Adequate:   | <input type="checkbox"/> No<br><input checked="" type="checkbox"/> Yes  |  | 3.2.5.7  |
| 3.15 Construction Type:   | Restriction: <input type="checkbox"/> Combustible Permitted, <input checked="" type="checkbox"/> Non-combustible Required, <input type="checkbox"/> Encapsulated mass timber<br>Actual: <input type="checkbox"/> Combustible, <input checked="" type="checkbox"/> Non-combustible, <input type="checkbox"/> Encapsulated mass timber<br>Combination of Combustible and non-combustible<br>Combination of Encapsulated mass timber and non-combustible   |  | 3.2.2.20 - 93 & 3.1.6  |
| 3.16 Importance Category:   | <input type="checkbox"/> Low human occupancy<br><input type="checkbox"/> Normal<br><input checked="" type="checkbox"/> High<br><input type="checkbox"/> Post-disaster<br>Explosives or hazardous substances: <input type="checkbox"/> No, <input type="checkbox"/> Yes  |  | 4.1.8.4-10 & 14.1.2.1  |
| 3.17 Seismic Category:  | Seismic Category: <input type="checkbox"/> I, <input type="checkbox"/> II, <input type="checkbox"/> III, <input type="checkbox"/> IV, <input type="checkbox"/> V<br>Site Class: <input type="checkbox"/> A, <input type="checkbox"/> B, <input type="checkbox"/> C, <input type="checkbox"/> D, <input type="checkbox"/> E, <input type="checkbox"/> F, <input type="checkbox"/> G, <input type="checkbox"/> H, <input type="checkbox"/> I, <input type="checkbox"/> J, <input type="checkbox"/> K, <input type="checkbox"/> L, <input type="checkbox"/> M, <input type="checkbox"/> N, <input type="checkbox"/> O, <input type="checkbox"/> P, <input type="checkbox"/> Q, <input type="checkbox"/> R, <input type="checkbox"/> S, <input type="checkbox"/> T, <input type="checkbox"/> U, <input type="checkbox"/> V, <input type="checkbox"/> W, <input type="checkbox"/> X, <input type="checkbox"/> Y, <input type="checkbox"/> Z<br>Seismic design required for Table 4.1.1.1B, Items 6 to 22: <input type="checkbox"/> Not Required, <input checked="" type="checkbox"/> Required  |  | 4.1.8.4-11, 4.1.8.5.B, 4.1.8.18                                    |
| 3.18 Occupant Load:   | Floor Level/ Area: GROUND, GROUND (DAYCARE), 2ND FLOOR<br>Occupancy Type: STAFF, ELEMENTARY CLASSROOMS, 2ND ROOM, EXISTING CLASSROOMS, 2ND ROOM<br>Based On ACTUAL COUNT: 38, 125, 100, 225<br>Posted limit Required: 38, 125, 100, 225   |  | 3.1.17   |
| 3.19 Barrier-free Design:   | <input checked="" type="checkbox"/> Yes<br><input type="checkbox"/> No<br>Explanation: BOYS & GIRLS TO BE B.F.  |  | 3.8  |
| 3.20 Hazardous Substances:  | <input type="checkbox"/> Yes<br><input checked="" type="checkbox"/> No<br>Explanation: UPGRADE EXISTING MAIN ENTRANCE, DOOR TO BE B.F.  |  | 3.1.8.2  |
| 3.21 Required Fire Resistance:  | Horizontal Assembly: <input type="checkbox"/> None, <input type="checkbox"/> 1 hr, <input type="checkbox"/> 2 hr, <input type="checkbox"/> 3 hr, <input type="checkbox"/> 4 hr, <input type="checkbox"/> 5 hr, <input type="checkbox"/> 6 hr, <input type="checkbox"/> 7 hr, <input type="checkbox"/> 8 hr, <input type="checkbox"/> 9 hr, <input type="checkbox"/> 10 hr, <input type="checkbox"/> 12 hr, <input type="checkbox"/> 15 hr, <input type="checkbox"/> 20 hr, <input type="checkbox"/> 30 hr, <input type="checkbox"/> 45 hr, <input type="checkbox"/> 60 hr, <input type="checkbox"/> 90 hr, <input type="checkbox"/> 120 hr, <input type="checkbox"/> 180 hr, <input type="checkbox"/> 240 hr, <input type="checkbox"/> 360 hr, <input type="checkbox"/> 480 hr, <input type="checkbox"/> 720 hr, <input type="checkbox"/> 960 hr, <input type="checkbox"/> 1440 hr, <input type="checkbox"/> 2160 hr, <input type="checkbox"/> 2880 hr, <input type="checkbox"/> 3600 hr, <input 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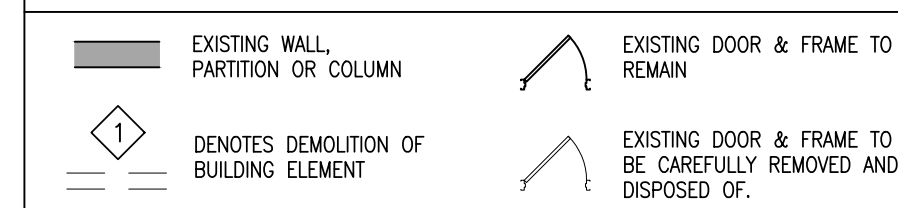


**1** FIRST FLOOR DEMOLITION AND KEY PLAN  
1:200

**TYPICAL DEMOLITION NOTES**

- SITE VERIFY ALL DIMENSIONS AND CONDITIONS. REPORT DISCREPANCIES TO THE CONSULTANTS.
- ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
- COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.
- PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE, LANDSCAPE OR PART THEREOF.
- COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION OF BUILDING ELEMENTS INCLUDES BUT NOT LIMITED TO COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE.
- ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS ARE COMPLEMENTARY AND SHALL BE READ TOGETHER.
- PROVIDE ALL SHORING AS REQUIRED. SHORING SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
- NOTIFY CONSULTANT OF LOAD BEARING MEMBERS OR ASSEMBLIES IDENTIFIED OR DISCOVERED DURING WORK AND NOT INDICATED ON DRAWINGS. DO NOT PROCEED WITH REMOVALS WITHOUT PRIOR REVIEW BY THE CONSULTANT.
- PROVIDE TEMPORARY SUPPORT OF PIPES, DUCTS AND ELECTRICAL CHASES AS REQUIRED FOR SAFE REMOVAL. EXISTING AND PROPOSED SUPPORTS ARE TO BE REVIEWED BY THE CONSULTANT PRIOR TO THE REMOVAL OF ANY COMPONENTS WHICH MAY FALL OR CAUSE OTHERS TO FALL.
- MAINTAIN ALL WORK AREAS AND ALL STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES INCLUDING EXISTING AREAS THAT REMAIN IN OPERATION DURING CONSTRUCTION. DUST CONTROL MEASURES ARE TO BE IN PLACE AT ALL TIMES AND NOISY WORK SHALL BE COORDINATED AROUND PROGRAM EVENTS.
- REMOVAL OF EXISTING FLOOR FINISHES IS TO INCLUDE COMPLETE REMOVAL OF BASE AND ALL MORTAR AND ADHESIVES AND PREPARATION OF EXISTING SUBSTRATES TO RECEIVE NEW FLOORING, SATISFACTORY TO THE MANUFACTURER OF NEW FLOOR FINISHES. ALLOW FOR EXCESSIVE LEVELING OF SLABS.
- DEMOLITION INCLUDES ALL ASSOCIATED MECHANICAL AND ELECTRICAL SERVICES, EQUIPMENT, FITTINGS, FIXTURES, HANGERS, BRACKETS, TRIM AND ACCESSORIES AS REQUIRED TO COMPLETE THE WORK.
- SAWCUT, BREAK OUT AND MAKE GOOD (MATCH EXISTING U.N.O.) ALL EXISTING FLOOR SLABS WHERE REQUIRED TO INSTALL NEW UNDERGROUND PLUMBING AND OTHER BURIED SERVICES AS INDICATED AND AS REQUIRED ON MECHANICAL AND ELECTRICAL DRAWINGS.
- REMOVAL OF DOORS AND FRAMES IS TO INCLUDE REMOVAL OF ALL HARDWARE.
- REMOVE ALL PROTRUSIONS IN FLOOR SLAB AND GRIND DOWN TO FLOOR LEVEL.
- CLEAN, PATCH / REPAIR ALL EXISTING SURFACES TO REMAIN TO RECEIVE NEW FINISHES. ALLOW FOR REMOVAL OR SCRAPIFICATION OF EXISTING PAINT FINISH ON WALLS THAT ARE TO RECEIVE NEW WALL TILE FINISH. REMOVE ALL MORTAR, ADHESIVES AND RUST AS REQUIRED TO PREPARE EXISTING SUBSTRATES TO RECEIVE NEW PAINT FINISHES.
- DISCONNECT AND CAP OFF ALL SERVICES PRIOR TO DEMOLITION.
- DISPOSE OF MATERIALS OFF SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR /REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.
- BUILDING TO BE SECURED BY THE G.C. AT ALL TIMES.
- REFER TO "DESIGNATED SUBSTANCES SURVEY-PRE-RENOVATION, ECOLE ELEMENTAIRE JEANNE-LAJOIE, 150 CARNFORTH ROAD, TORONTO, ONTARIO" DATED MARCH 24 2025, AND "ASBESTOS ABATEMENT SPECIFICATIONS, ECOLE ELEMENTAIRE JEANNE-LAJOIE, 150 CARNFORTH ROAD, TORONTO, ONTARIO" DATED MARCH 2025. PREPARED BY ARCADIS PROFESSIONAL SERVICES (CANADA) INC. DESIGNATED SUBSTANCES AND HAZARDOUS MATERIALS REMOVALS SHALL COMPLY WITH CURRENT LEGISLATION.
- PATCH, REPAIR & MAKE GOOD ALL SURFACES AFFECTED BY THE WORK, INCLUDING BUT NOT LIMITED TO WALL, PATCHING, PAINTING, MILLWORKS, FLOORING AND CEILING.

**DEMOLITION LEGEND**



**DEMOLITION NOTES**

- REMOVE AND DISPOSE OF EXISTING PLUMBING FIXTURES. PATCH, REPAIR & MAKE GOOD ALL SURFACES FOR NEW WORK.
- REMOVE AND DISPOSE OF EXISTING TOILET PARTITIONS. PATCH, REPAIR & MAKE GOOD ALL SURFACES FOR NEW WORK.
- REMOVE AND DISPOSE OF EXISTING WALL TILES. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES. PARGE WALLS AS REQUIRED FOR RECEIPT OF NEW FINISHES.
- NOT USED
- REMOVE AND DISPOSE OF EXISTING VCT FLOORING & BASE. PATCH, REPAIR AND MAKE GOOD SURFACES AS REQUIRED FOR NEW FINISH.
- REMOVE AND DISPOSE OF EXISTING ACOUSTIC CEILING IN IT'S ENTIRETY INCLUDING PANELS, GRID, LIGHT FIXTURES, DIFFUSERS, GRILLES, FIRE ALARM AND ELECTRICAL DEVICES. SEE ALSO MECHANICAL AND ELECTRICAL DWGS FOR FULL SCOPE OF WORK.
- REMOVE AND DISPOSE OF EXISTING MILLWORK. PATCH, REPAIR & MAKE GOOD ALL SURFACES.
- REMOVE EXISTING ROLLER SHADES AND REINSTALL AS REQUIRED TO COMPLETE NEW WORK.
- REMOVE AND DISPOSE OF EXISTING BLACK BOARDS AND TACK BOARDS.
- REMOVE AND REPLACE ALL EXISTING EXTERIOR DOORS AND FRAME. PATCH, REPAIR & MAKE GOOD ALL AS REQUIRED FOR NEW DOOR AND FRAME.
- SAND EXISTING WOOD FLOORING DOWN TO BARE WOOD. PATCH, REPAIR AND MAKE GOOD FOR NEW SATIN AND POLYURETHANE COATING.
- REMOVE & DISPOSE OF UNDER STAGE STORAGE DOORS & HARDWARE. PATCH, REPAIR & MAKE GOOD ALL SURFACES FOR INSTALLATION OF NEW DOORS.
- SCHOOL BOARD TO REMOVE & STORE EXISTING TV/ SMART BOARD. EXISTING TV/ BOARD TO BE REINSTALLED BY SCHOOL BOARD.
- REMOVE AND DISPOSE OF EXISTING METAL SHELVING IN IT'S ENTIRETY. MAKE GOOD ALL AREAS FOR NEW WORK.
- REMOVE EXISTING CERAMIC TILE FLOORING & BASE. PATCH, REPAIR & MAKE GOOD FOR NEW FINISHES.
- REMOVE & DISPOSE OF EXISTING FOLDING PANEL PARTITION IN IT'S ENTIRETY INCLUDING FLOOR & CEILING RAILS AND WALL PANEL TRACK.
- REMOVE & DISPOSE OF EXISTING STAGE CURTAINS AND RIGGING AND MAKE GOOD FOR NEW CURTAIN INSTALLATION.
- SAWCUT AND REMOVE EXISTING MASONRY WALL AS REQUIRED FOR NEW OPENING. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK (SHORE STRUCTURE AS REQUIRED)
- REMOVE EXISTING HANGING CEILING BARS.
- REMOVE AND DISPOSE INTERIOR DOORS & FRAMES. PATCH, REPAIR AND MAKE GOOD ALL SURFACES AS REQUIRED FOR NEW FINISHES.
- REMOVE EXISTING LIGHTING FIXTURES AND SOUND SYSTEMS. REFER TO ELECTRICAL DRAWINGS FOR MORE DETAILS.

DO NOT SCALE THE DRAWINGS  
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.  
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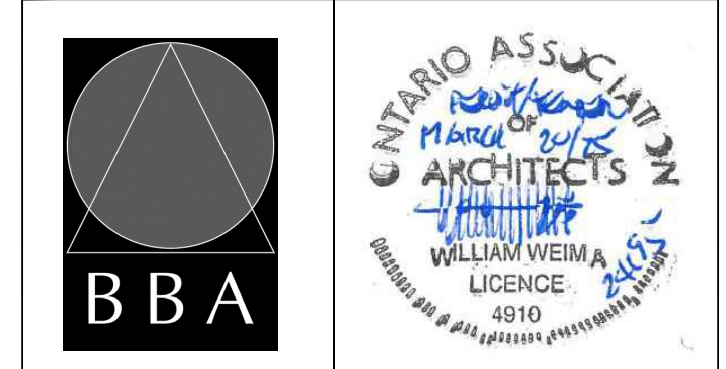


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| 1   | ISSUED FOR REVIEW          | MAR. 18, 2025 | BBA |
| 2   | ISSUED FOR PERMIT & TENDER | MAR. 20, 2025 | BBA |

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**PROJECT:**  
**RENOVATIONS AT ECOLE ELEMENTAIRE JEANNE-LAJOIE**  
150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
Conseil scolaire Viamonde

**DRAWING:**  
**FIRST FLOOR DEMOLITION AND KEY PLAN**

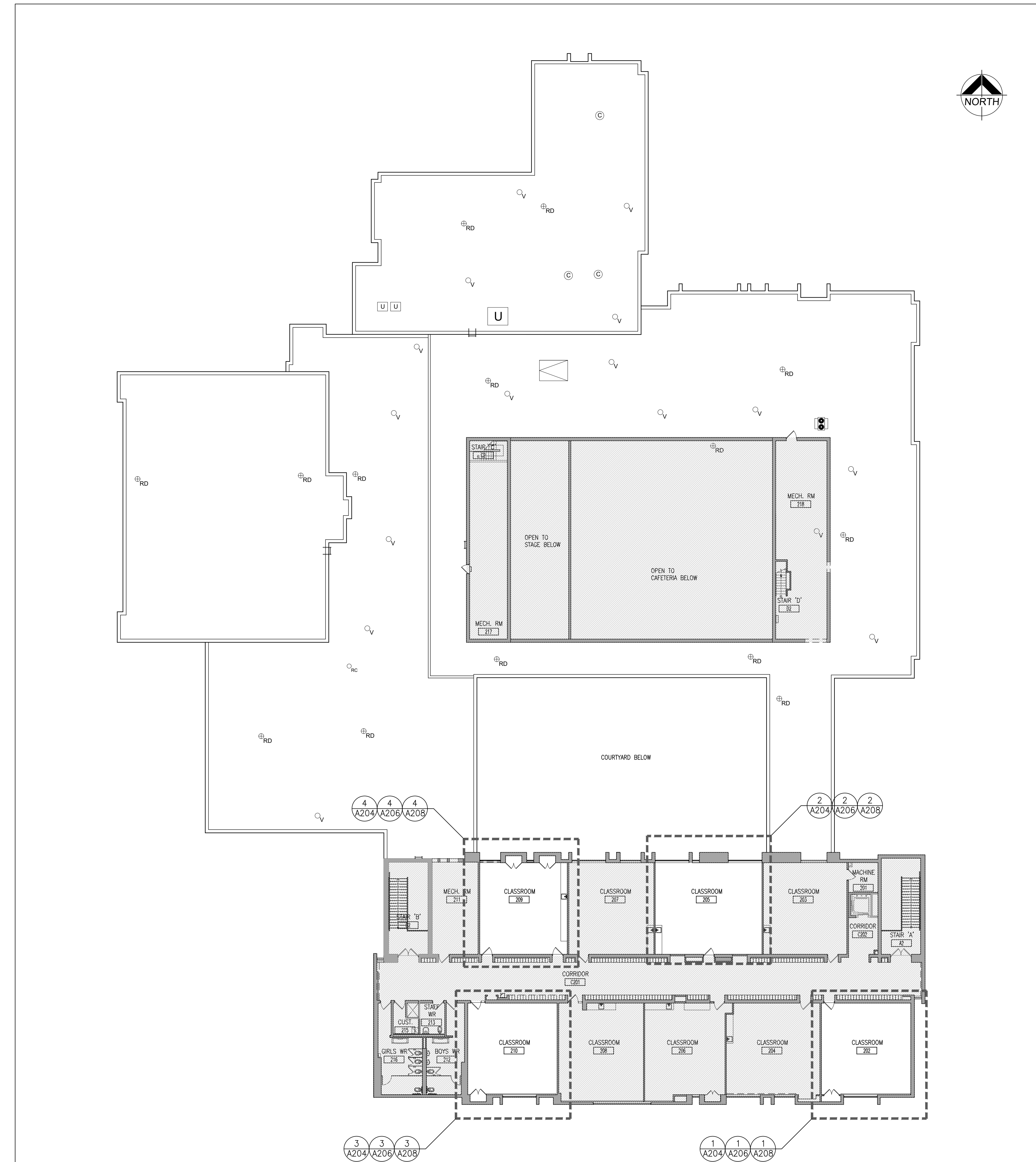


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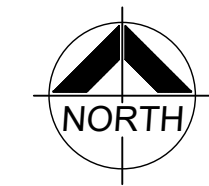
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PROJECT NO: **24195**  
DRAWING NO: **A201**



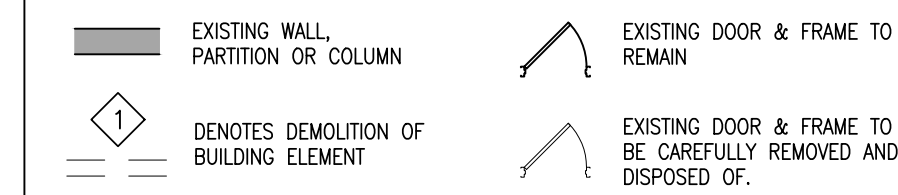
1 SECOND FLOOR DEMOLITION & KEY PLAN  
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**TYPICAL DEMOLITION NOTES**

1. SITE VERIFY ALL DIMENSIONS AND CONDITIONS. REPORT DISCREPANCIES TO THE CONSULTANTS.
2. ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
3. COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.
4. PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE, LANDSCAPE OR PART THEREOF.
5. COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION OF BUILDING ELEMENTS INCLUDES BUT NOT LIMITED TO COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE.
6. ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS ARE COMPLEMENTARY AND SHALL BE READ TOGETHER.
7. PROVIDE ALL SHORING AS REQUIRED. SHORING SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
8. NOTIFY CONSULTANT OF LOAD BEARING MEMBERS OR ASSEMBLIES IDENTIFIED OR DISCOVERED DURING WORK AND NOT INDICATED ON DRAWINGS. DO NOT PROCEED WITH REMOVALS WITHOUT PRIOR REVIEW BY THE CONSULTANT.
9. PROVIDE TEMPORARY SUPPORT OF PIPES, DUCTS AND ELECTRICAL CHASES AS REQUIRED FOR SAFE REMOVAL. EXISTING AND PROPOSED SUPPORTS ARE TO BE REVIEWED BY THE CONSULTANT PRIOR TO THE REMOVAL OF ANY COMPONENTS WHICH MAY FALL OR CAUSE OTHERS TO FALL.
10. MAINTAIN ALL WORK AREAS AND ALL STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES INCLUDING EXISTING AREAS THAT REMAIN IN OPERATION DURING CONSTRUCTION. DUST CONTROL MEASURES ARE TO BE IN PLACE AT ALL TIMES AND NOISY WORK SHALL BE COORDINATED AROUND PROGRAM EVENTS.
11. REMOVAL OF EXISTING FLOOR FINISHES IS TO INCLUDE COMPLETE REMOVAL OF BASE AND ALL MORTAR AND ADHESIVES AND PREPARATION OF EXISTING SUBSTRATES TO RECEIVE NEW FLOORING, SATISFACTORY TO THE MANUFACTURER OF NEW FLOOR FINISHES. ALLOW FOR EXCESSIVE LEVELING OF SLABS.
12. DEMOLITION INCLUDES ALL ASSOCIATED MECHANICAL AND ELECTRICAL SERVICES, EQUIPMENT, FITTINGS, FIXTURES, HANGERS, BRACKETS, TRIM AND ACCESSORIES AS REQUIRED TO COMPLETE THE WORK.
13. SAWCUT, BREAK OUT AND MAKE GOOD (MATCH EXISTING U.N.O.) ALL EXISTING FLOOR SLABS WHERE REQUIRED TO INSTALL NEW UNDERGROUND PLUMBING AND OTHER BURIED SERVICES AS INDICATED AND AS REQUIRED ON MECHANICAL AND ELECTRICAL DRAWINGS.
14. REMOVAL OF DOORS AND FRAMES IS TO INCLUDE REMOVAL OF ALL HARDWARE.
15. REMOVE ALL PROTRUSIONS IN FLOOR SLAB AND GRIND DOWN TO FLOOR LEVEL.
16. CLEAN, PATCH / REPAIR ALL EXISTING SURFACES TO REMAIN TO RECEIVE NEW FINISHES. ALLOW FOR REMOVAL OR SCRAPIFICATION OF EXISTING PAINT FINISH ON WALLS THAT ARE TO RECEIVE NEW WALL TILE FINISH. REMOVE ALL MORTAR, ADHESIVES AND RUST AS REQUIRED TO PREPARE EXISTING SUBSTRATES TO RECEIVE NEW PAINT FINISHES.
17. DISCONNECT AND CAP OFF ALL SERVICES PRIOR TO DEMOLITION.
18. DISPOSE OF MATERIALS OFF SITE.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR /REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.
20. BUILDING TO BE SECURED BY THE G.C. AT ALL TIMES.
21. REFER TO "DESIGNATED SUBSTANCES SURVEY-PRE-RENOVATION, ECOLE ELEMENTAIRE JEANNE-LAJOIE, 150 CARNFORTH ROAD, TORONTO, ONTARIO" DATED MARCH 24 2025, AND "ASBESTOS ABATEMENT SPECIFICATIONS, ECOLE ELEMENTAIRE JEANNE-LAJOIE, 150 CARNFORTH ROAD, TORONTO, ONTARIO" DATED MARCH 2025. PREPARED BY ARCADIS PROFESSIONAL SERVICES (CANADA) INC. DESIGNATED SUBSTANCES AND HAZARDOUS MATERIALS REMOVALS SHALL COMPLY WITH CURRENT LEGISLATION.
22. PATCH, REPAIR & MAKE GOOD ALL SURFACES AFFECTED BY THE WORK, INCLUDING BUT NOT LIMITED TO WALL, PATCHING, PAINTING, MILLWORKS, FLOORING AND CEILING.

**DEMOLITION LEGEND**



**DEMOLITION NOTES**

- 1 REMOVE AND DISPOSE OF EXISTING PLUMBING FIXTURES. PATCH, REPAIR & MAKE GOOD ALL SURFACES FOR NEW WORK.
- 2 REMOVE AND DISPOSE OF EXISTING TOILET PARTITIONS. PATCH, REPAIR & MAKE GOOD ALL SURFACES FOR NEW WORK.
- 3 REMOVE AND DISPOSE OF EXISTING WALL TILES. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES. PARGE WALLS AS REQUIRED FOR RECEIPT OF NEW FINISHES.
- 4 NOT USED
- 5 REMOVE AND DISPOSE OF EXISTING VCT FLOORING & BASE. PATCH, REPAIR AND MAKE GOOD SURFACES AS REQUIRED FOR NEW FINISH.
- 6 REMOVE AND DISPOSE OF EXISTING ACOUSTIC CEILING IN IT'S ENTIRETY INCLUDING PANELS, GRID, LIGHT FIXTURES, DIFFUSERS, GRILLES, FIRE ALARM AND ELECTRICAL DEVICES. SEE ALSO MECHANICAL AND ELECTRICAL DWGS FOR FULL SCOPE OF WORK.
- 7 REMOVE AND DISPOSE OF EXISTING MILLWORK. PATCH, REPAIR & MAKE GOOD ALL SURFACES.
- 8 REMOVE EXISTING ROLLER SHADES AND REINSTALL AS REQUIRED TO COMPLETE NEW WORK.
- 9 REMOVE AND DISPOSE OF EXISTING BLACK BOARDS AND TACK BOARDS.
- 10 REMOVE AND REPLACE ALL EXISTING EXTERIOR DOORS AND FRAME. PATCH, REPAIR & MAKE GOOD ALL AS REQUIRED FOR NEW DOOR AND FRAME.
- 11 SAND EXISTING WOOD FLOORING DOWN TO BARE WOOD. PATCH, REPAIR AND MAKE GOOD FOR NEW SATIN AND POLYURETHANE COATING.
- 12 REMOVE & DISPOSE OF UNDER STAGE STORAGE DOORS & HARDWARE. PATCH, REPAIR & MAKE GOOD ALL SURFACES FOR INSTALLATION OF NEW DOORS.
- 13 SCHOOL BOARD TO REMOVE & STORE EXISTING TV/ SMART BOARD. EXISTING TV/ BOARD TO BE REINSTALLED BY SCHOOL BOARD.
- 14 REMOVE AND DISPOSE OF EXISTING METAL SHELVING IN IT'S ENTIRETY. MAKE GOOD ALL AREAS FOR NEW WORK.
- 15 REMOVE EXISTING CERAMIC TILE FLOORING & BASE. PATCH, REPAIR & MAKE GOOD FOR NEW FINISHES.
- 16 REMOVE & DISPOSE OF EXISTING FOLDING PANEL PARTITION IN IT'S ENTIRETY INCLUDING FLOOR & CEILING RAILS AND WALL PANEL TRACK.
- 17 REMOVE & DISPOSE OF EXISTING STAGE CURTAINS AND RIGGING AND MAKE GOOD FOR NEW CURTAIN INSTALLATION.
- 18 SAWCUT AND REMOVE EXISTING MASONRY WALL AS REQUIRED FOR NEW OPENING. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK (SHORE STRUCTURE AS REQUIRED)
- 19 REMOVE EXISTING HANGING CEILING BARS.
- 20 REMOVE AND DISPOSE INTERIOR DOORS & FRAMES. PATCH, REPAIR AND MAKE GOOD ALL SURFACES AS REQUIRED FOR NEW FINISHES.
- 21 REMOVE EXISTING LIGHTING FIXTURES AND SOUND SYSTEMS. REFER TO ELECTRICAL DRAWINGS FOR MORE DETAILS.

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PROJECT:  
**RENOVATIONS AT  
ECOLE ELEMENTAIRE  
JEANNE-LAJOIE**  
150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
Conseil scolaire Viamonde

DRAWING:  
**2ND FLOOR DEMOLITION  
AND KEY PLAN**



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**24195**

DRAWING NO:  
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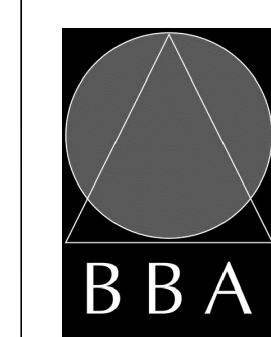


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PROJECT:  
**RENOVATIONS AT  
ECOLE ELEMENTAIRE  
JEANNE-LAJOIE**  
150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
Conseil scolaire Viamonde

DRAWING:  
**PART FIRST FLOOR  
DEMOLITION PLANS**



**BARRY BRYAN  
ASSOCIATES**

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PROJECT NO:  
**24195**

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**A203**

**TYPICAL DEMOLITION NOTES**

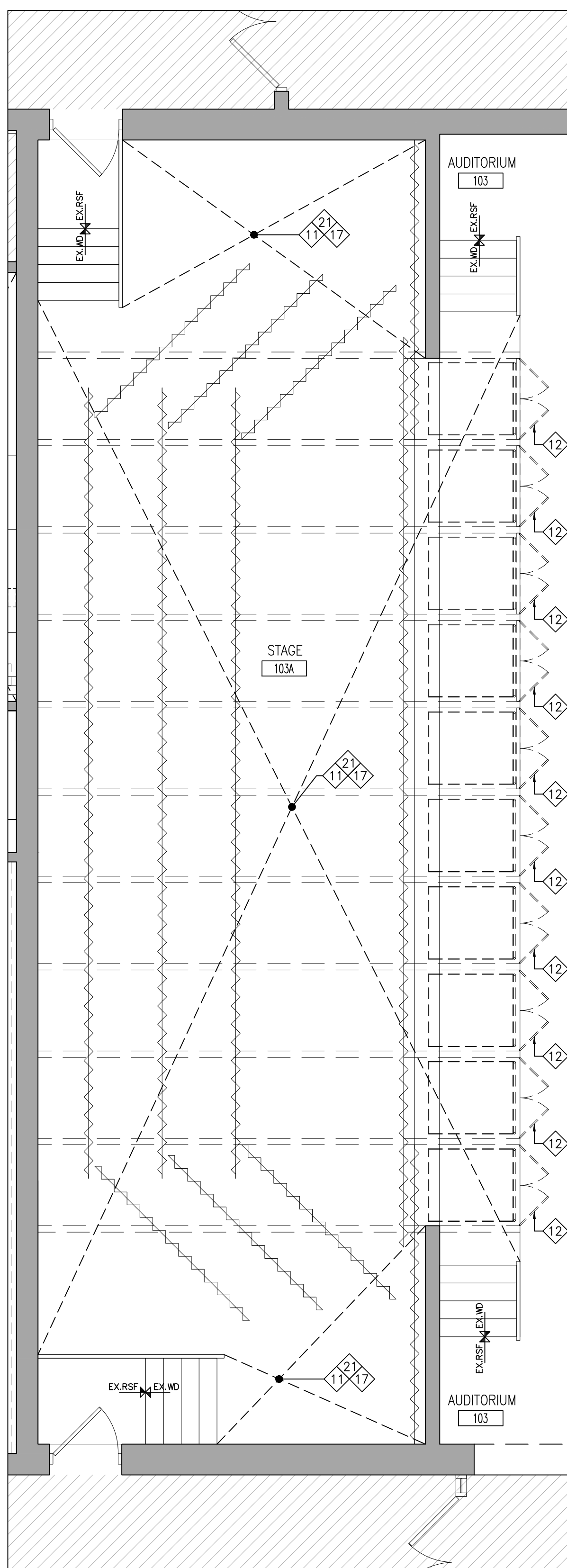
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- ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
- COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.
- PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE, LANDSCAPE OR PART THEREOF.
- COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION OF BUILDING ELEMENTS INCLUDES BUT NOT LIMITED TO COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE.
- ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS ARE COMPLEMENTARY AND SHALL BE READ TOGETHER.
- PROVIDE ALL SHORING AS REQUIRED. SHORING SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
- NOTIFY CONSULTANT OF LOAD BEARING MEMBERS OR ASSEMBLIES IDENTIFIED OR DISCOVERED DURING WORK AND NOT INDICATED ON DRAWINGS. DO NOT PROCEED WITH REMOVALS WITHOUT PRIOR REVIEW BY THE CONSULTANT.
- PROVIDE TEMPORARY SUPPORT OF PIPES, DUCTS AND ELECTRICAL CHASES AS REQUIRED FOR SAFE REMOVAL. EXISTING AND PROPOSED SUPPORTS ARE TO BE REVIEWED BY THE CONSULTANT PRIOR TO THE REMOVAL OF ANY COMPONENTS WHICH MAY FALL OR CAUSE OTHERS TO FALL.
- MAINTAIN ALL WORK AREAS AND ALL STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES INCLUDING EXISTING AREAS THAT REMAIN IN OPERATION DURING CONSTRUCTION. DUST CONTROL MEASURES ARE TO BE IN PLACE AT ALL TIMES AND NOISY WORK SHALL BE COORDINATED AROUND PROGRAM EVENTS.
- REMOVAL OF EXISTING FLOOR FINISHES IS TO INCLUDE COMPLETE REMOVAL OF BASE AND ALL MORTAR AND ADHESIVES AND PREPARATION OF EXISTING SUBSTRATES TO RECEIVE NEW FLOORING, SATISFACTORY TO THE MANUFACTURER OF NEW FLOOR FINISHES. ALLOW FOR EXCESSIVE LEVELING OF SLABS.
- DEMOLITION INCLUDES ALL ASSOCIATED MECHANICAL AND ELECTRICAL SERVICES, EQUIPMENT, FITTINGS, FIXTURES, HANGERS, BRACKETS, TRIM AND ACCESSORIES AS REQUIRED TO COMPLETE THE WORK.
- SAWCUT, BREAK OUT AND MAKE GOOD (MATCH EXISTING U.N.O.) ALL EXISTING FLOOR SLABS WHERE REQUIRED TO INSTALL NEW UNDERGROUND PLUMBING AND OTHER BURIED SERVICES AS INDICATED AND AS REQUIRED ON MECHANICAL AND ELECTRICAL DRAWINGS.
- REMOVAL OF DOORS AND FRAMES IS TO INCLUDE REMOVAL OF ALL HARDWARE.
- REMOVE ALL PROTRUSIONS IN FLOOR SLAB AND GRIND DOWN TO FLOOR LEVEL.
- CLEAN, PATCH / REPAIR ALL EXISTING SURFACES TO REMAIN TO RECEIVE NEW FINISHES. ALLOW FOR REMOVAL OR SCRAPING OF EXISTING PAINT FINISH ON WALLS THAT ARE TO RECEIVE NEW WALL TILE FINISH. REMOVE ALL MORTAR, ADHESIVES AND RUST AS REQUIRED TO PREPARE EXISTING SUBSTRATES TO RECEIVE NEW PAINT FINISHES.
- DISCONNECT AND CAP OFF ALL SERVICES PRIOR TO DEMOLITION.
- DISPOSE OF MATERIALS OFF SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR / REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.
- BUILDING TO BE SECURED BY THE G.C. AT ALL TIMES.
- REFER TO "DESIGNATED SUBSTANCES SURVEY-PRE-RENOVATION, ECOLE ELEMENTAIRE JEANNE-LAJOIE, 150 CARNFORTH ROAD, TORONTO, ONTARIO" DATED MARCH 24 2025, AND "ASBESTOS ABATEMENT SPECIFICATIONS, ECOLE ELEMENTAIRE JEANNE-LAJOIE, 150 CARNFORTH ROAD, TORONTO, ONTARIO" DATED MARCH 2025, PREPARED BY ARCADIS PROFESSIONAL SERVICES (CANADA) INC. DESIGNATED SUBSTANCES AND HAZARDOUS MATERIALS REMOVALS SHALL COMPLY WITH CURRENT LEGISLATION.
- PATCH, REPAIR & MAKE GOOD ALL SURFACES AFFECTED BY THE WORK, INCLUDING BUT NOT LIMITED TO WALL, PATCHING, PAINTING, MILLWORKS, FLOORING AND CEILING.

**DEMOLITION LEGEND**

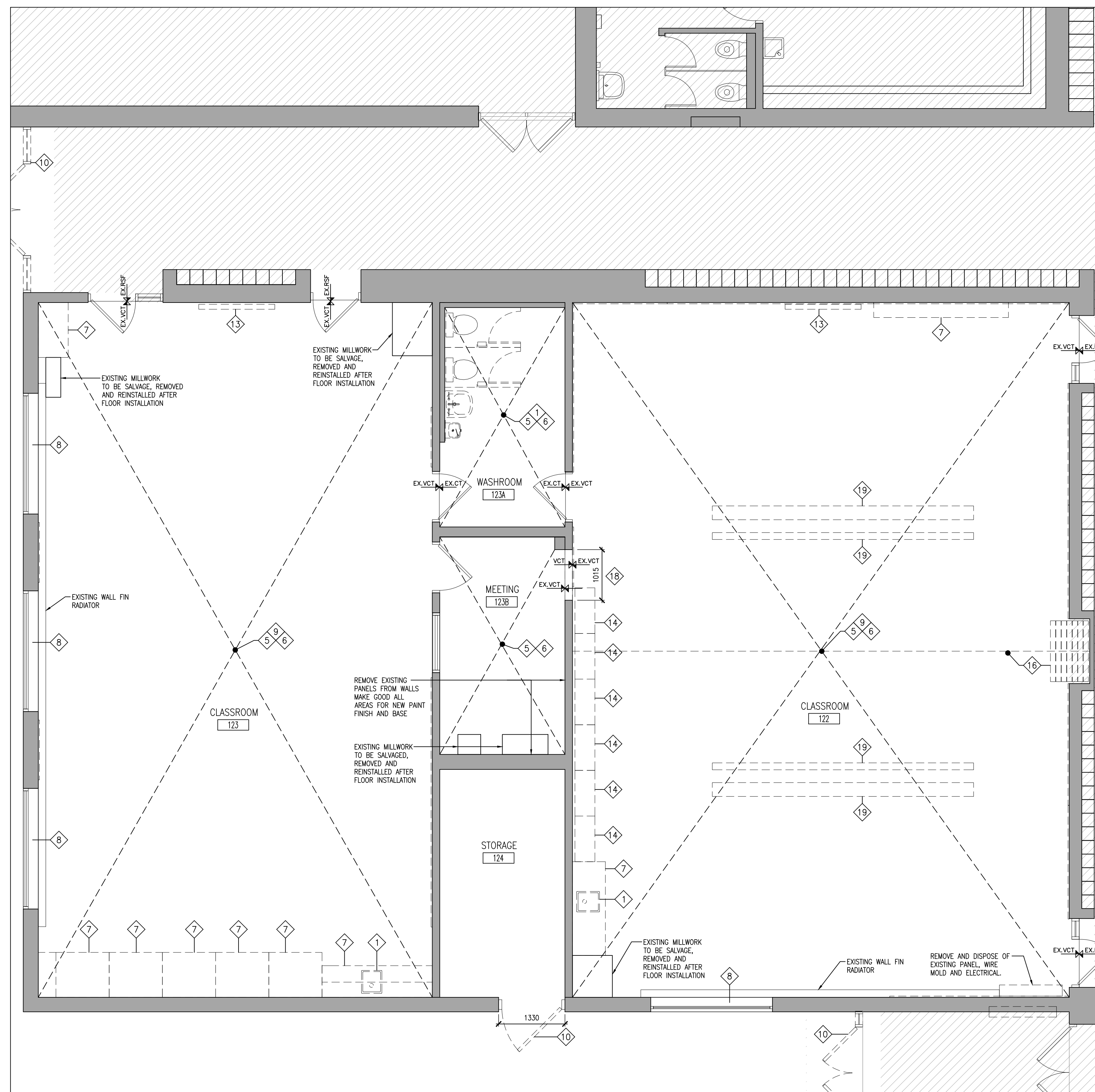
- EXISTING WALL, PARTITION OR COLUMN
- EXISTING DOOR & FRAME TO REMAIN
- NOTES DEMOLITION OF BUILDING ELEMENT
- EXISTING DOOR & FRAME TO BE CAREFULLY REMOVED AND DISPOSED OF.

**DEMOLITION NOTES**

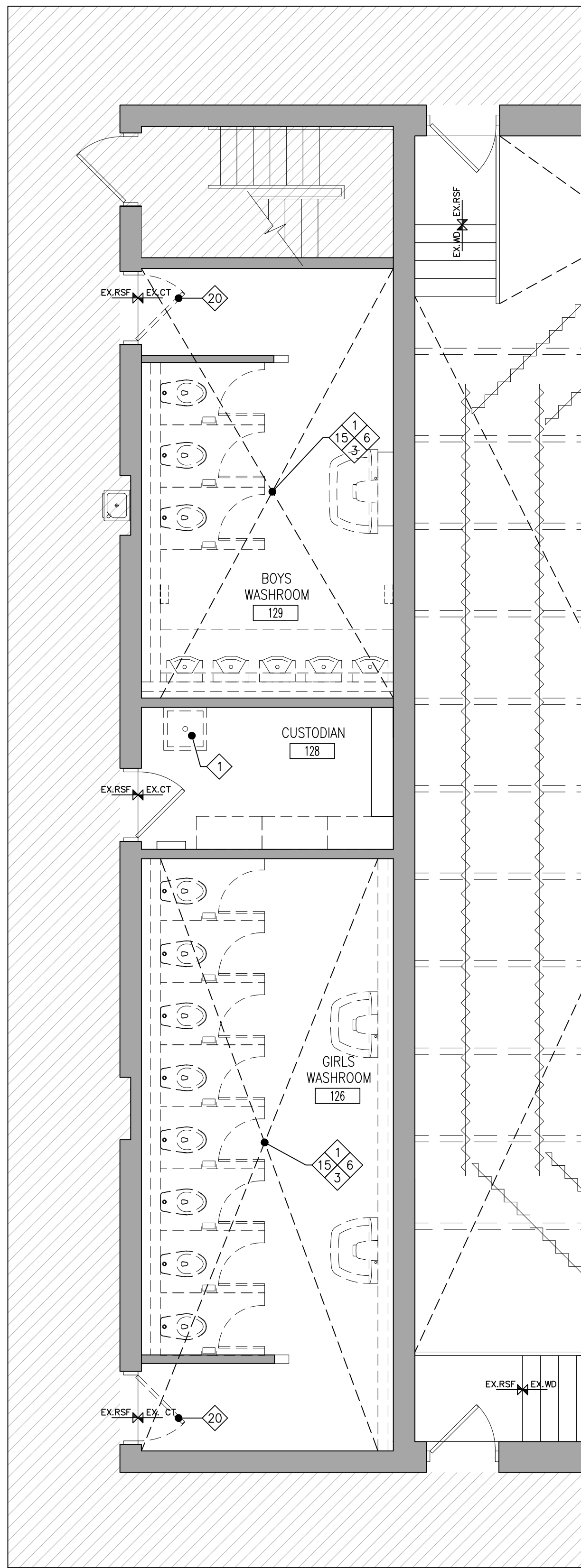
- REMOVE AND DISPOSE OF EXISTING PLUMBING FIXTURES. PATCH, REPAIR & MAKE GOOD ALL SURFACES FOR NEW WORK.
- REMOVE AND DISPOSE OF EXISTING TOILET PARTITIONS. PATCH, REPAIR & MAKE GOOD ALL SURFACES FOR NEW WORK.
- REMOVE AND DISPOSE OF EXISTING WALL TILES. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES. PARGE WALLS AS REQUIRED FOR RECEIPT OF NEW FINISHES.
- NOT USED
- REMOVE AND DISPOSE OF EXISTING VCT FLOORING & BASE. PATCH, REPAIR AND MAKE GOOD SURFACES AS REQUIRED FOR NEW FINISH.
- REMOVE AND DISPOSE OF EXISTING ACOUSTIC CEILING IN IT'S ENTIRETY INCLUDING PANELS, GRID, LIGHT FIXTURES, DIFFUSERS, GRILLES, FIRE ALARM AND ELECTRICAL DEVICES. SEE ALSO MECHANICAL AND ELECTRICAL DWGS FOR FULL SCOPE OF WORK.
- REMOVE AND DISPOSE OF EXISTING MILLWORK. PATCH, REPAIR & MAKE GOOD ALL SURFACES.
- REMOVE EXISTING ROLLER SHADES AND REINSTALL AS REQUIRED TO COMPLETE NEW WORK.
- REMOVE AND DISPOSE OF EXISTING BLACK BOARDS AND TACK BOARDS.
- REMOVE AND REPLACE ALL EXISTING EXTERIOR DOORS AND FRAME. PATCH, REPAIR & MAKE GOOD ALL AS REQUIRED FOR NEW DOOR AND FRAME.
- SAND EXISTING WOOD FLOORING DOWN TO BARE WOOD. PATCH, REPAIR AND MAKE GOOD FOR NEW SATIN AND POLYURETHANE COATING.
- REMOVE & DISPOSE OF UNDER STAGE STORAGE DOORS & HARDWARE. PATCH, REPAIR & MAKE GOOD ALL SURFACES FOR INSTALLATION OF NEW DOORS.
- SCHOOL BOARD TO REMOVE & STORE EXISTING TV / SMART BOARD. EXISTING TV / BOARD TO BE REINSTALLED BY SCHOOL BOARD.
- REMOVE AND DISPOSE OF EXISTING METAL SHELVING IN IT'S ENTIRETY. MAKE GOOD ALL AREAS FOR NEW WORK.
- REMOVE EXISTING CERAMIC TILE FLOORING & BASE. PATCH, REPAIR & MAKE GOOD FOR NEW FINISHES.
- REMOVE & DISPOSE OF EXISTING FOLDING PANEL PARTITION IN IT'S ENTIRETY INCLUDING FLOOR & CEILING RAILS AND WALL PANEL TRACK.
- REMOVE & DISPOSE OF EXISTING STAGE CURTAINS AND RIGGING AND MAKE GOOD FOR NEW CURTAIN INSTALLATION.
- SAWCUT AND REMOVE EXISTING MASONRY WALL AS REQUIRED FOR NEW OPENING. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK (SHORE STRUCTURE AS REQUIRED)
- REMOVE EXISTING HANGING CEILING BARS.
- REMOVE AND DISPOSE INTERIOR DOORS & FRAMES. PATCH, REPAIR AND MAKE GOOD ALL SURFACES AS REQUIRED FOR NEW FINISHES.
- REMOVE EXISTING LIGHTING FIXTURES AND SOUND SYSTEMS. REFER TO ELECTRICAL DRAWINGS FOR MORE DETAILS.



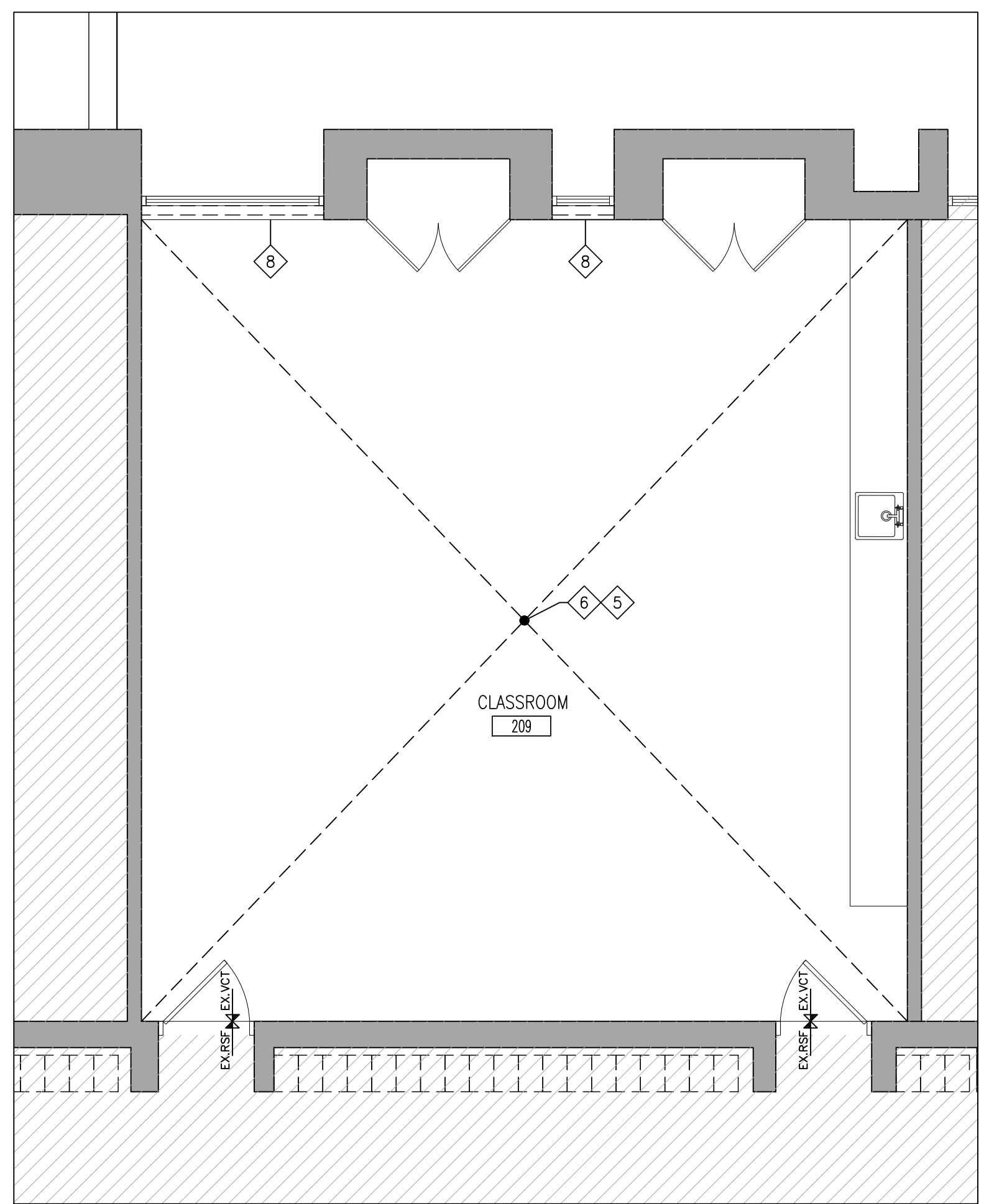
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A203 1:50



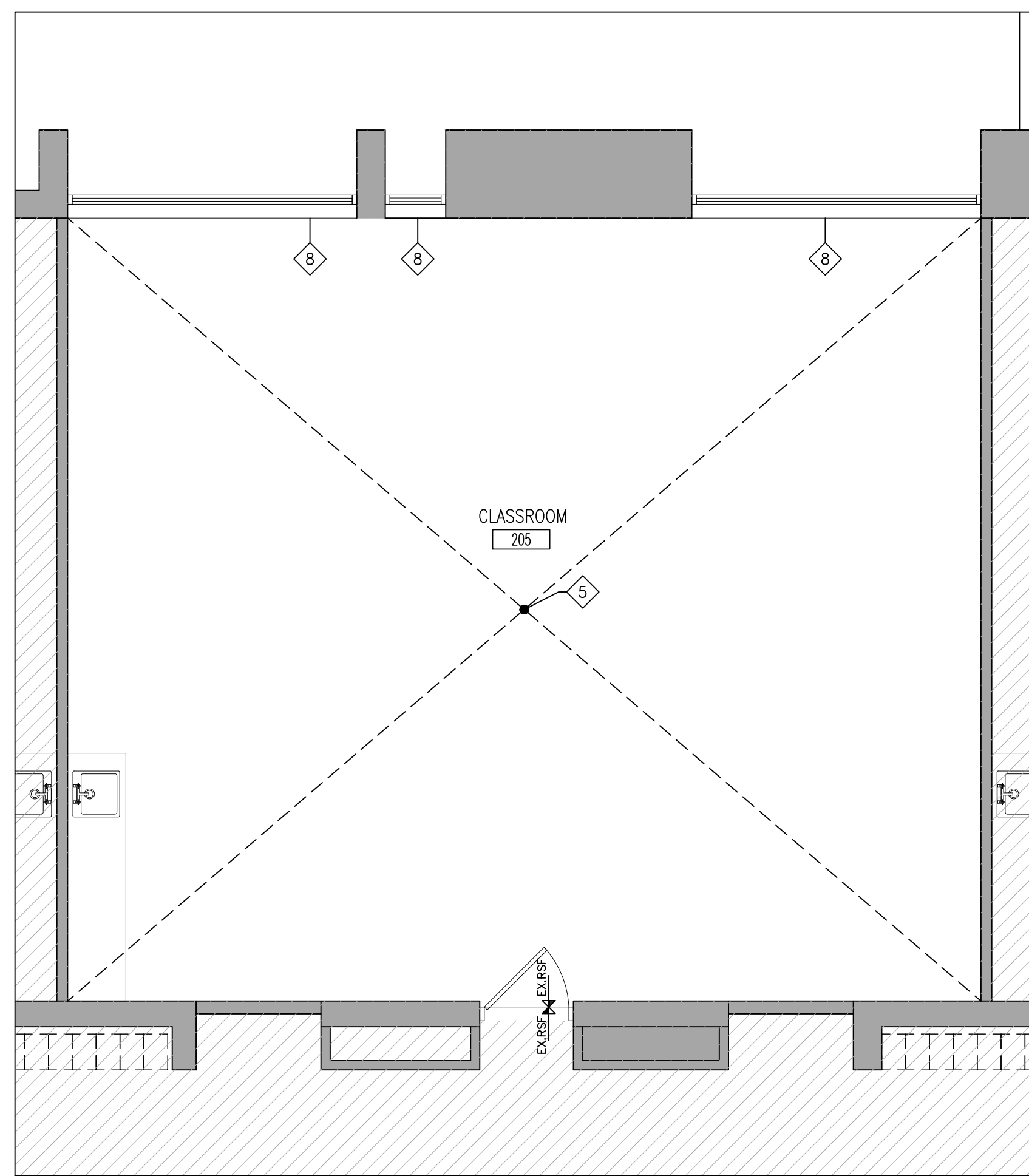
**1** PART 1ST FLOOR DEMOLITION PLAN  
A203 1:50



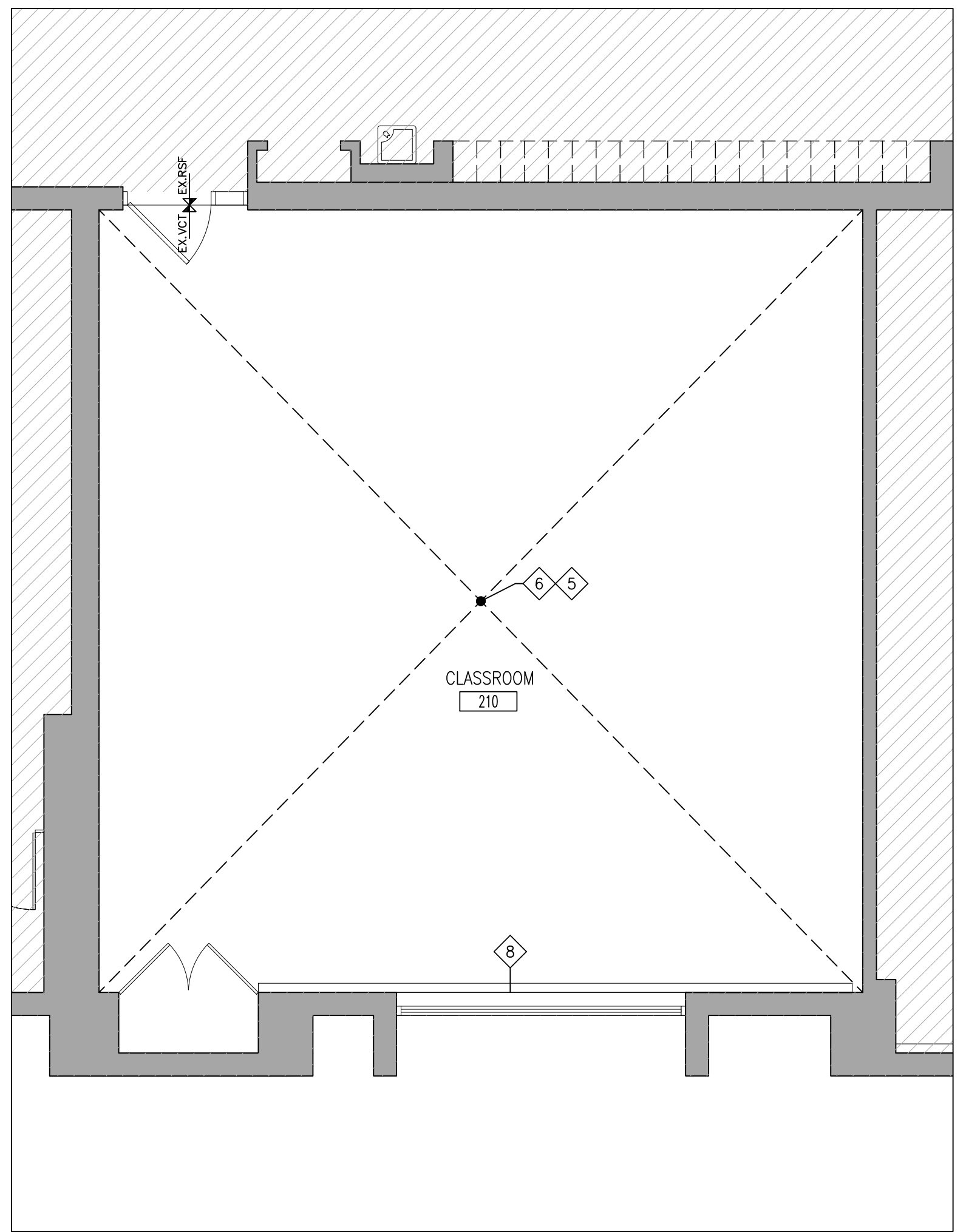
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**A204** PART 1ST FLOOR DEMOLITION PLAN  
1:50



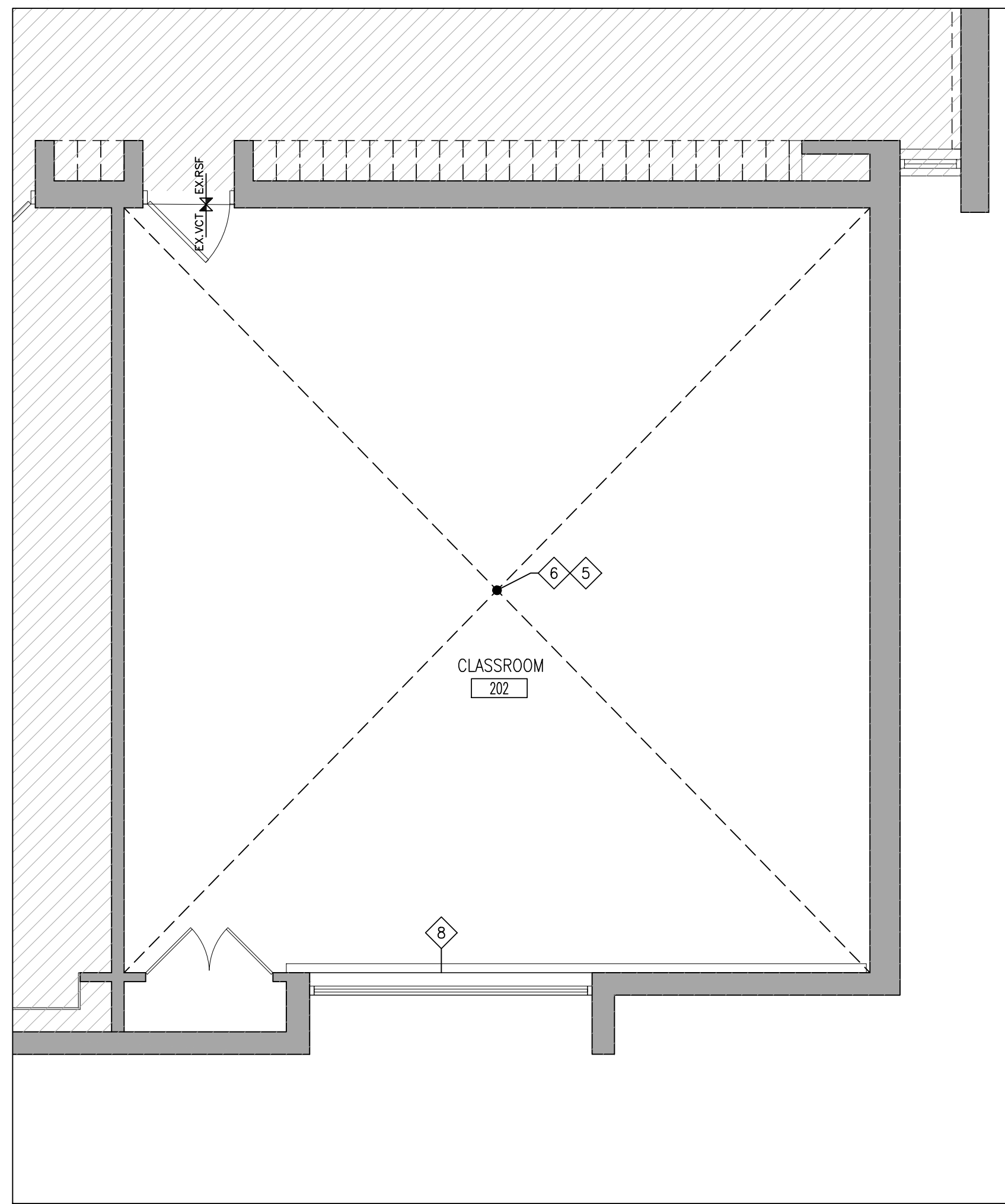
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**A209** PART DEMOLITION PLAN AT CLASSROOM 202  
1:50



**2**  
**A204** PART DEMOLITION PLAN AT CLASSROOM 205  
1:50



**3**  
**A204** PART DEMOLITION PLAN AT CLASSROOM 210  
1:50

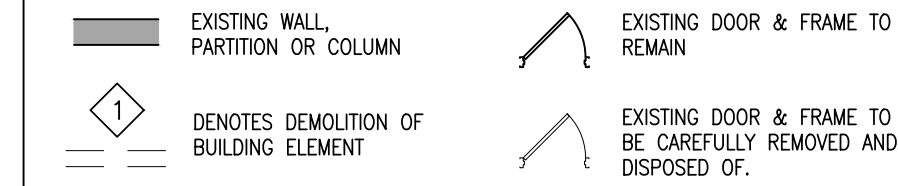


**1**  
**A204** PART DEMOLITION PLAN AT CLASSROOM 202  
1:50

**TYPICAL DEMOLITION NOTES**

1. SITE VERIFY ALL DIMENSIONS AND CONDITIONS. REPORT DISCREPANCIES TO THE CONSULTANTS.
2. ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
3. COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.
4. PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE, LANDSCAPE OR PART THEREOF.
5. COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION OF BUILDING ELEMENTS INCLUDES BUT NOT LIMITED TO COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE.
6. ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DEMOLITION DRAWINGS ARE COMPLEMENTARY AND SHALL BE READ TOGETHER.
7. PROVIDE ALL SHORING AS REQUIRED. SHORING SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
8. NOTIFY CONSULTANT OF LOAD BEARING MEMBERS OR ASSEMBLIES IDENTIFIED OR DISCOVERED DURING WORK AND NOT INDICATED ON DRAWINGS. DO NOT PROCEED WITH REMOVALS WITHOUT PRIOR REVIEW BY THE CONSULTANT.
9. PROVIDE TEMPORARY SUPPORT OF PIPES, DUCTS AND ELECTRICAL CHASES AS REQUIRED FOR SAFE REMOVAL. EXISTING AND PROPOSED SUPPORTS ARE TO BE REVIEWED BY THE CONSULTANT PRIOR TO THE REMOVAL OF ANY COMPONENTS WHICH MAY FALL OR CAUSE OTHERS TO FALL.
10. MAINTAIN ALL WORK AREAS AND ALL STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES INCLUDING EXISTING AREAS THAT REMAIN IN OPERATION DURING CONSTRUCTION. DUST CONTROL MEASURES ARE TO BE IN PLACE AT ALL TIMES AND NOISY WORK SHALL BE COORDINATED AROUND PROGRAM EVENTS.
11. REMOVAL OF EXISTING FLOOR FINISHES IS TO INCLUDE COMPLETE REMOVAL OF BASE AND ALL MORTAR AND ADHESIVES AND PREPARATION OF EXISTING SUBSTRATES TO RECEIVE NEW FLOORING, SATISFACTORY TO THE MANUFACTURER OF NEW FLOOR FINISHES. ALLOW FOR EXCESSIVE LEVELING OF SLABS.
12. DEMOLITION INCLUDES ALL ASSOCIATED MECHANICAL AND ELECTRICAL SERVICES, EQUIPMENT, FITTINGS, FIXTURES, HANGERS, BRACKETS, TRIM AND ACCESSORIES AS REQUIRED TO COMPLETE THE WORK.
13. SAWCUT, BREAK OUT AND MAKE GOOD (MATCH EXISTING U.N.O.) ALL EXISTING FLOOR SLABS WHERE REQUIRED TO INSTALL NEW UNDERGROUND PLUMBING AND OTHER BURIED SERVICES AS INDICATED AND AS REQUIRED ON MECHANICAL AND ELECTRICAL DRAWINGS.
14. REMOVAL OF DOORS AND FRAMES IS TO INCLUDE REMOVAL OF ALL HARDWARE.
15. REMOVE ALL PROTRUSIONS IN FLOOR SLAB AND GRIND DOWN TO FLOOR LEVEL.
16. CLEAN, PATCH / REPAIR ALL EXISTING SURFACES TO REMAIN TO RECEIVE NEW FINISHES. ALLOW FOR REMOVAL OR SCORIFICATION OF EXISTING PAINT FINISH ON WALLS THAT ARE TO RECEIVE NEW WALL TILE FINISH. REMOVE ALL MORTAR, ADHESIVES AND RUST AS REQUIRED TO PREPARE EXISTING SUBSTRATES TO RECEIVE NEW PAINT FINISHES.
17. DISCONNECT AND CAP OFF ALL SERVICES PRIOR TO DEMOLITION.
18. DISPOSE OF MATERIALS OFF SITE.
19. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR /REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.
20. BUILDING TO BE SECURED BY THE G.C. AT ALL TIMES.
21. REFER TO "DESIGNATED SUBSTANCES SURVEY-PRE-RENOVATION, ECOLE ELEMENTAIRE JEANNE-LAJOIE, 150 CARNFORTH ROAD, TORONTO, ONTARIO" DATED MARCH 24 2025, AND "ASBESTOS ABATEMENT SPECIFICATIONS, ECOLE ELEMENTAIRE JEANNE-LAJOIE, 150 CARNFORTH ROAD, TORONTO, ONTARIO" DATED MARCH 2025, PREPARED BY ARCADIS PROFESSIONAL SERVICES (CANADA) INC. DESIGNATED SUBSTANCES AND HAZARDOUS MATERIALS REMOVALS SHALL COMPLY WITH CURRENT LEGISLATION.
22. PATCH, REPAIR & MAKE GOOD ALL SURFACES AFFECTED BY THE WORK, INCLUDING BUT NOT LIMITED TO WALL, PATCHING, PAINTING, MILLWORKS, FLOORING AND CEILING.

**DEMOLITION LEGEND**



**DEMOLITION NOTES**

1. REMOVE AND DISPOSE OF EXISTING PLUMBING FIXTURES. PATCH, REPAIR & MAKE GOOD ALL SURFACES FOR NEW WORK.
2. REMOVE AND DISPOSE OF EXISTING TOILET PARTITIONS. PATCH, REPAIR & MAKE GOOD ALL SURFACES FOR NEW WORK.
3. REMOVE AND DISPOSE OF EXISTING WALL TILES. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES. PARGE WALLS AS REQUIRED FOR RECEIPT OF NEW FINISHES.
4. NOT USED
5. REMOVE AND DISPOSE OF EXISTING VCT FLOORING & BASE. PATCH, REPAIR AND MAKE GOOD SURFACES AS REQUIRED FOR NEW FINISH.
6. REMOVE AND DISPOSE OF EXISTING ACOUSTIC CEILING IN IT'S ENTIRETY INCLUDING PANELS, GRID, LIGHT FIXTURES, DIFFUSERS, GRILLES, FIRE ALARM AND ELECTRICAL DEVICES. SEE ALSO MECHANICAL AND ELECTRICAL DWGS FOR FULL SCOPE OF WORK.
7. REMOVE AND DISPOSE OF EXISTING MILLWORK. PATCH, REPAIR & MAKE GOOD ALL SURFACES.
8. REMOVE EXISTING ROLLER SHADES AND REINSTALL AS REQUIRED TO COMPLETE NEW WORK.
9. REMOVE AND DISPOSE OF EXISTING BLACK BOARDS AND TACK BOARDS.
10. REMOVE AND REPLACE ALL EXISTING EXTERIOR DOORS AND FRAME. PATCH, REPAIR & MAKE GOOD ALL AS REQUIRED FOR NEW DOOR AND FRAME.
11. SAND EXISTING WOOD FLOORING DOWN TO BARE WOOD. PATCH, REPAIR AND MAKE GOOD FOR NEW SATIN AND POLYURETHANE COATING.
12. REMOVE & DISPOSE OF UNDER STAGE STORAGE DOORS & HARDWARE. PATCH, REPAIR & MAKE GOOD ALL SURFACES FOR INSTALLATION OF NEW DOORS.
13. SCHOOL BOARD TO REMOVE & STORE EXISTING TV/ SMART BOARD. EXISTING TV/ BOARD TO BE REINSTALLED BY SCHOOL BOARD.
14. REMOVE AND DISPOSE OF EXISTING METAL SHELVING IN IT'S ENTIRETY. MAKE GOOD ALL AREAS FOR NEW WORK.
15. REMOVE EXISTING CERAMIC TILE FLOORING & BASE. PATCH, REPAIR & MAKE GOOD FOR NEW FINISHES.
16. REMOVE & DISPOSE OF EXISTING FOLDING PANEL PARTITION IN IT'S ENTIRETY INCLUDING FLOOR & CEILING RAILS AND WALL PANEL TRACK.
17. REMOVE & DISPOSE OF EXISTING STAGE CURTAINS AND RIGGING AND MAKE GOOD FOR NEW CURTAIN INSTALLATION.
18. SAWCUT AND REMOVE EXISTING MASONRY WALL AS REQUIRED FOR NEW OPENING. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED FOR NEW WORK (SHORE STRUCTURE AS REQUIRED)
19. REMOVE EXISTING HANGING CEILING BARS.
20. REMOVE AND DISPOSE INTERIOR DOORS & FRAMES. PATCH, REPAIR AND MAKE GOOD ALL SURFACES AS REQUIRED FOR NEW FINISHES.
21. REMOVE EXISTING LIGHTING FIXTURES AND SOUND SYSTEMS. REFER TO ELECTRICAL DRAWINGS FOR MORE DETAILS.

DO NOT SCALE THE DRAWINGS  
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| NO. | ISSUES                     | DATE          | BY  |
|-----|----------------------------|---------------|-----|
| 1   | ISSUED FOR REVIEW          | MAR. 18, 2025 | BBA |
| 2   | ISSUED FOR PERMIT & TENDER | MAR. 20, 2025 | BBA |

| NO. | REVISIONS | DATE | BY |
|-----|-----------|------|----|
|     |           |      |    |
|     |           |      |    |
|     |           |      |    |
|     |           |      |    |

PROJECT:  
**RENOVATIONS AT  
ECOLE ELEMENTAIRE  
JEANNE-LAJOIE**  
150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
Conseil scolaire Viamonde

DRAWING:  
**PART DEMOLITION PLANS**



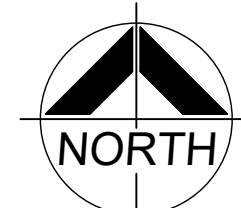
**BARRY BRYAN  
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250 Water Street  
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Tel: (905) 666-5252  
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DESIGN BY:  
BBA  
DRAWN BY:  
LQ  
CHECKED BY:  
CM  
DATE:  
NOV. 2024  
SCALE:  
1:50  
FILE:

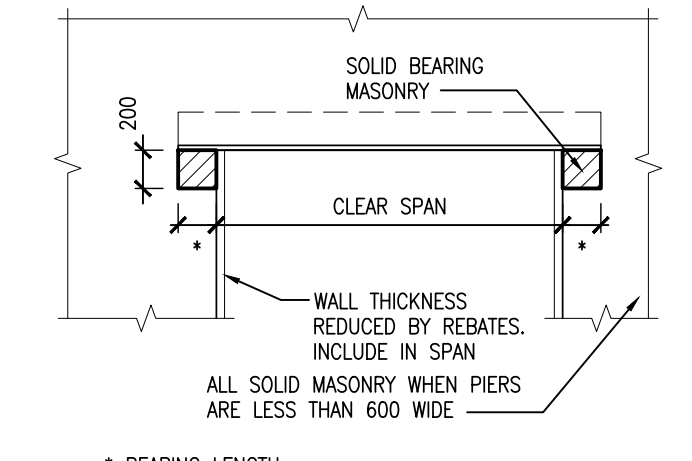
DOC CONTROL:  
DATE:  
% COMPLETE:  
INITIAL:

PROJECT NO:  
**24195**

DRAWING NO:  
**A204**



| LINTEL SCHEDULE |                     |        |                               |
|-----------------|---------------------|--------|-------------------------------|
| MARK            | SIZE                | DETAIL | REMARKS                       |
| L1              | (2)-L127x89x9.5 LLV | N/A    | SEE. TYP. DETAILS FOR BEARING |



\* BEARING LENGTH  
 150 (6") MINIMUM EACH END (STEEL ANGLE LINTEL)  
 200 (8") MINIMUM EACH END (BLOCK LINTELS)

| FLOOR PLAN NOTATION LEGEND |   |
|----------------------------|---|
| CA                         | CORRIDOR  |
| WXX                        | ROOM NAME & NUMBER                                |
| FX                         | WALL TYPE   |
| 101                        | INTERIOR PARTITION OR FURRING TYPE                |
| 1                          | DOOR NUMBER                                       |
| A403                       | WALL SECTION REFERENCE                            |
| A701                       | INTERIOR ELEVATION REFERENCE NUMBER               |
| FF2                        | FLOOR FINISH TYPE (SEE ALSO ROOM FINISH SCHEDULE) |
| M1                         | MILLWORK NUMBER                                   |
| X                          | WASHROOM ACCESSORIES. REFER TO DRAWING NO. A702   |

| PARTITION TYPE SCHEDULE |   |
|-------------------------|---|
| P1                      | 140mm CONCRETE BLOCK                    |
| P2                      | 13mm GYPSUM BOARD ON METAL STUD FURRING |
|                         | EXISTING WALL, PARTITION OR COLUMN      |

| WALL FINISH LEGEND |                   |
|--------------------|-------------------|
|                    | CERAMIC WALL TILE |

| WHITE BOARD & TACK BOARD LEGEND: |                 |
|----------------------------------|-----------------|
| WB1 = 2440x1220                  | WB2 = 1830x1220 |
| WB3 = 1220x1220                  |                 |
| TB1 = 2440x1220                  | TB2 = 1830x1220 |
| TB3 = 1220x1220                  |                 |

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 CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.  
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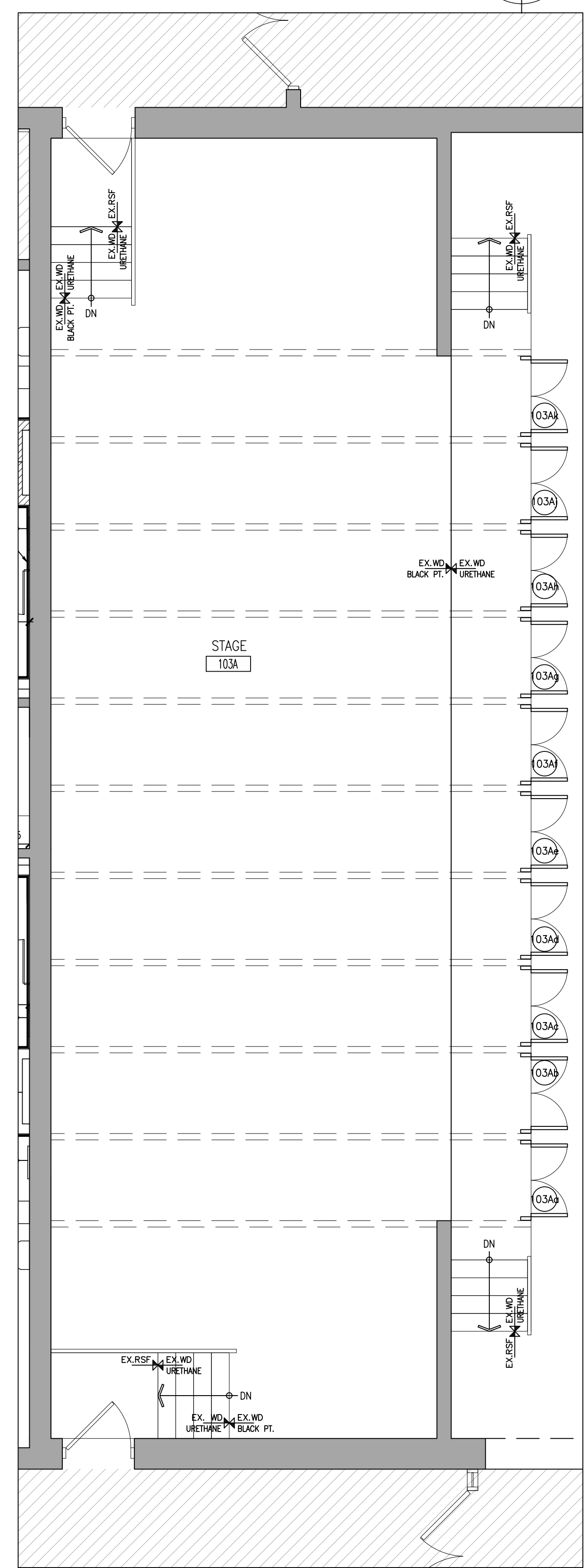
| NO. | REVISIONS | DATE | BY |
|-----|-----------|------|----|
|     |           |      |    |

PROJECT:  
**RENOVATIONS AT ECOLE ELEMENTAIRE JEANNE-LAJOIE**  
 150 CARNFORTH ROAD  
 NORTH YORK, ONTARIO  
 Conseil scolaire Viamonde

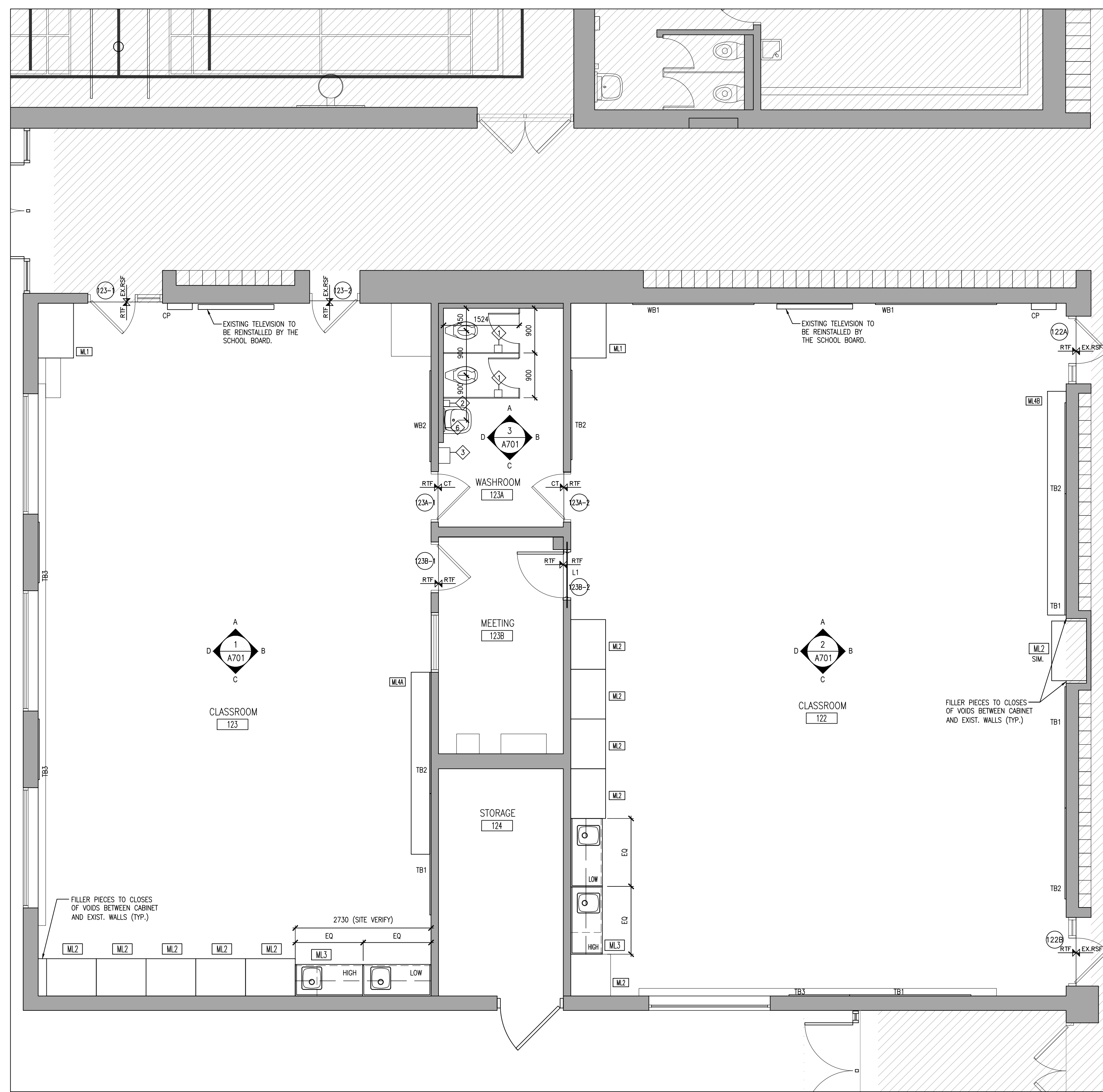
DRAWING:  
**PART FLOOR PLANS**

|  |                                |                               |
|--|--------------------------------|-------------------------------|
| <br><b>BARRY BRYAN ASSOCIATES</b><br>Architects<br>Engineers<br>Project Managers<br>250 Water Street<br>Suite 201<br>Whitby, Ontario<br>L1N 0G5<br>Tel: (905) 696-6252<br>Fax: (905) 696-6256<br>e-mail: bba@bba-archeng.com | DESIGN BY:<br>BBA<br>DATE:     | DOC. CONTROL:<br>DATE:        |
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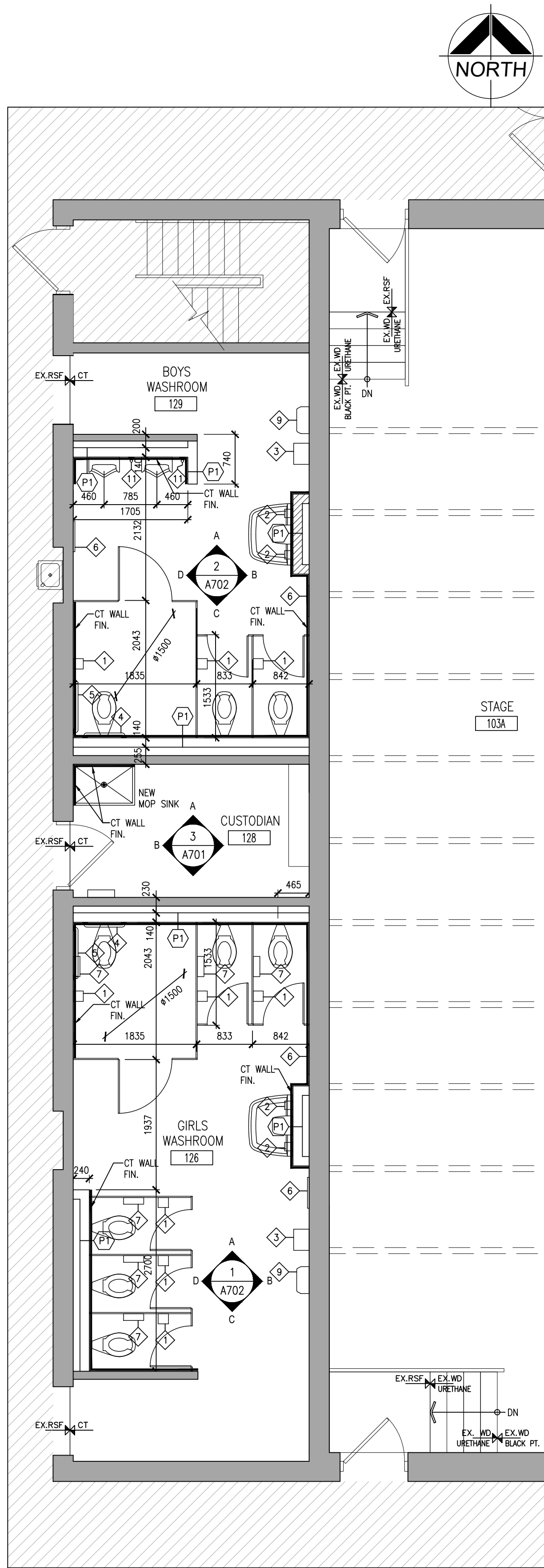
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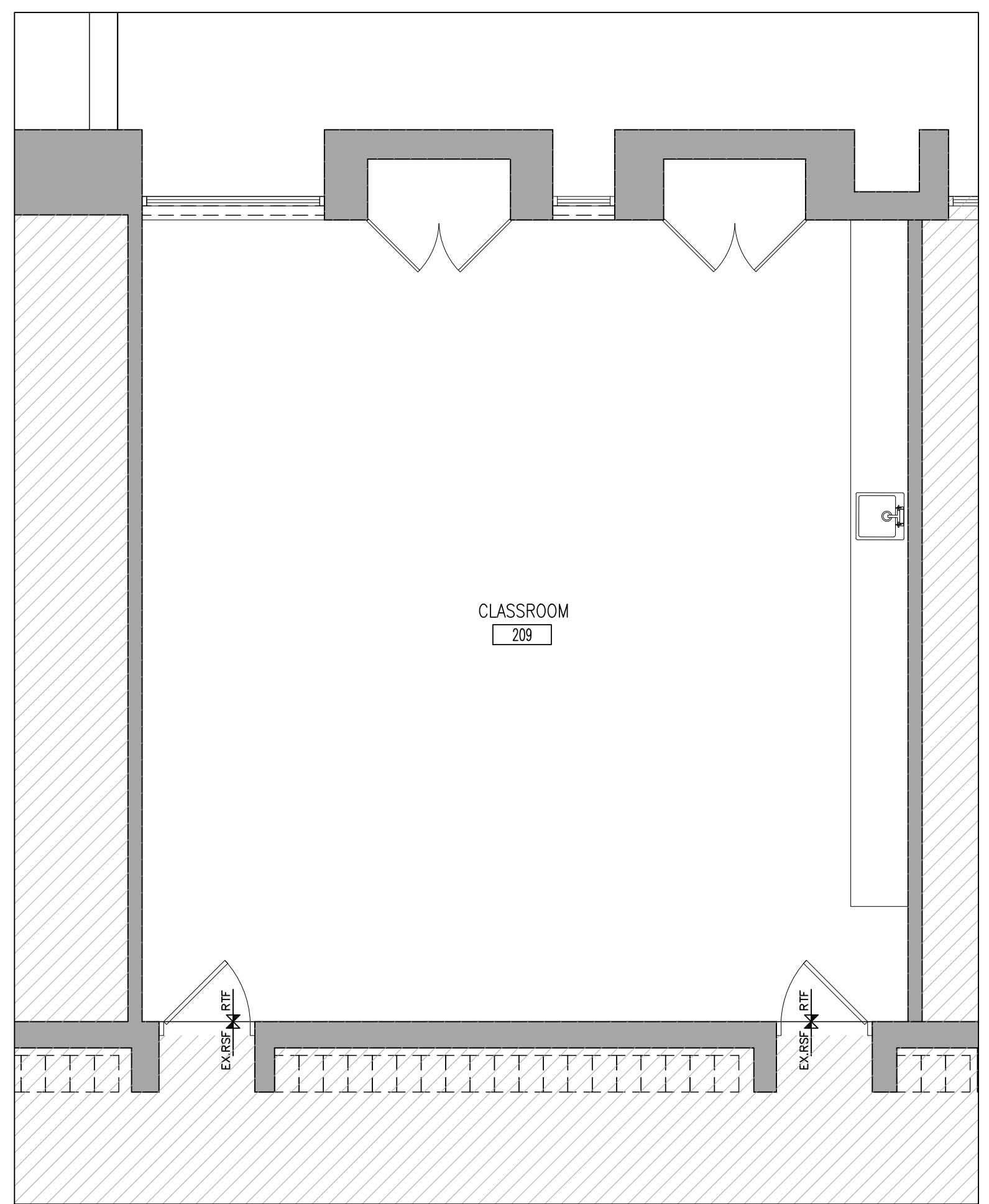
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 A205 1:50



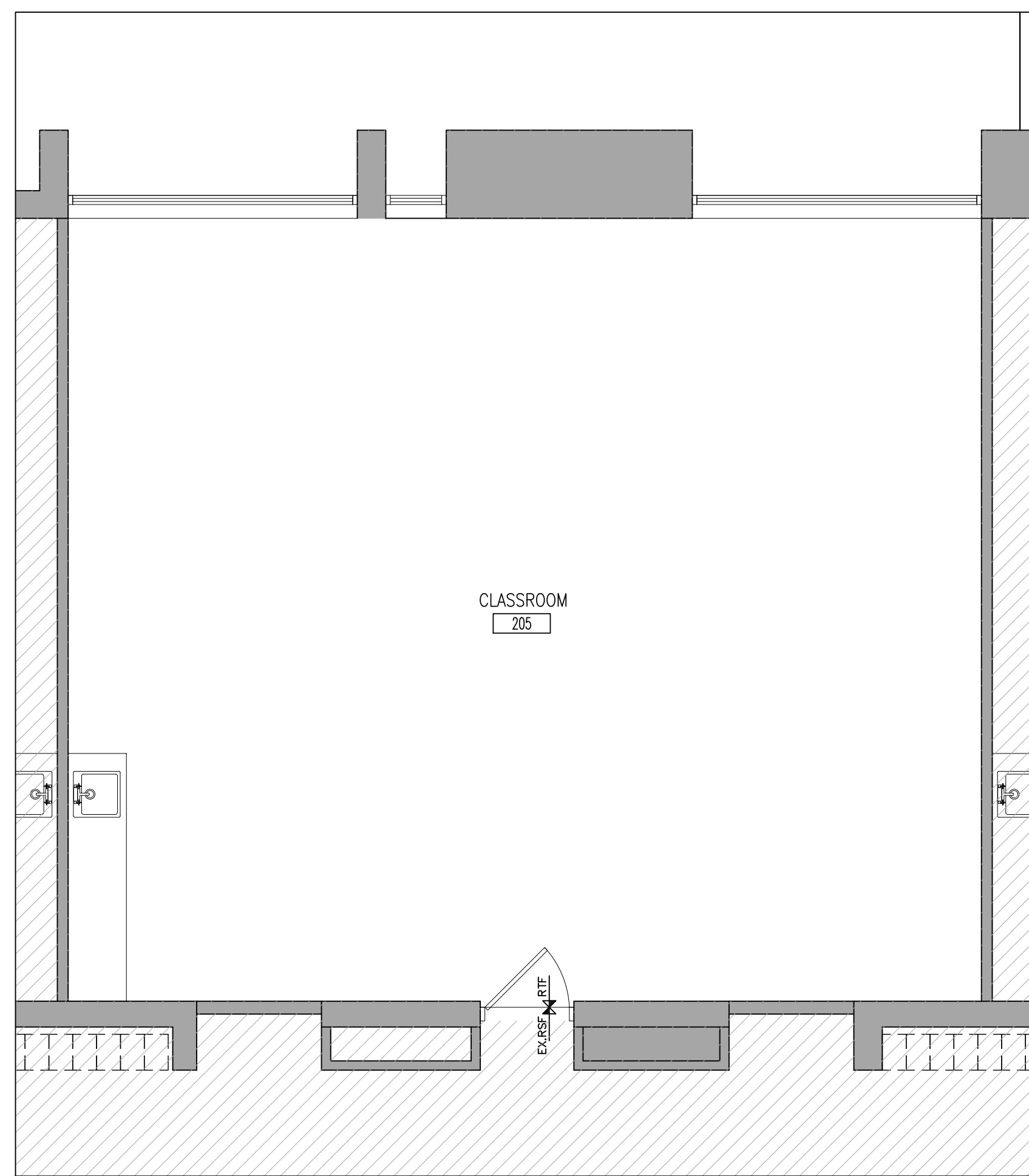
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 A205 1:50



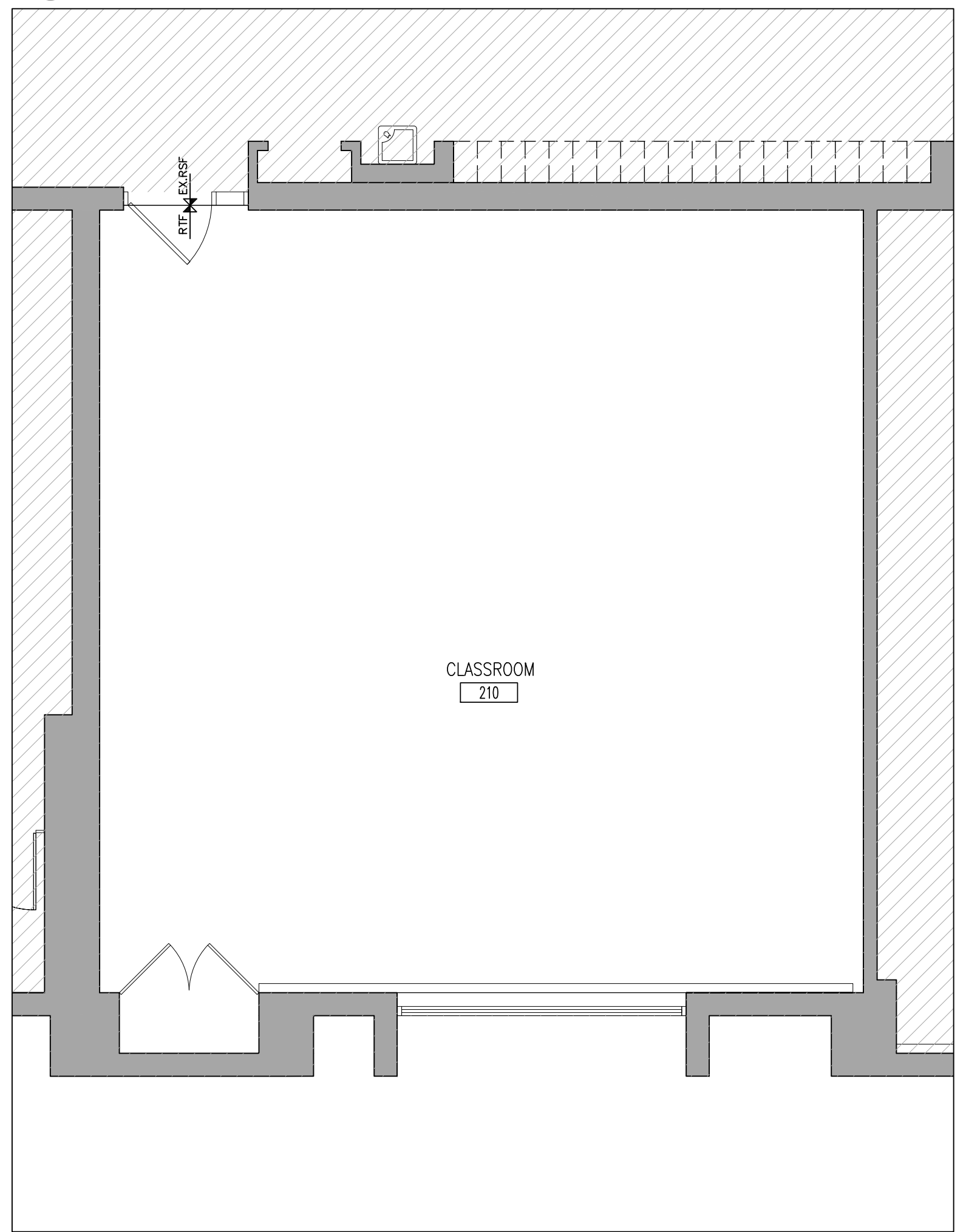
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A206 1:50



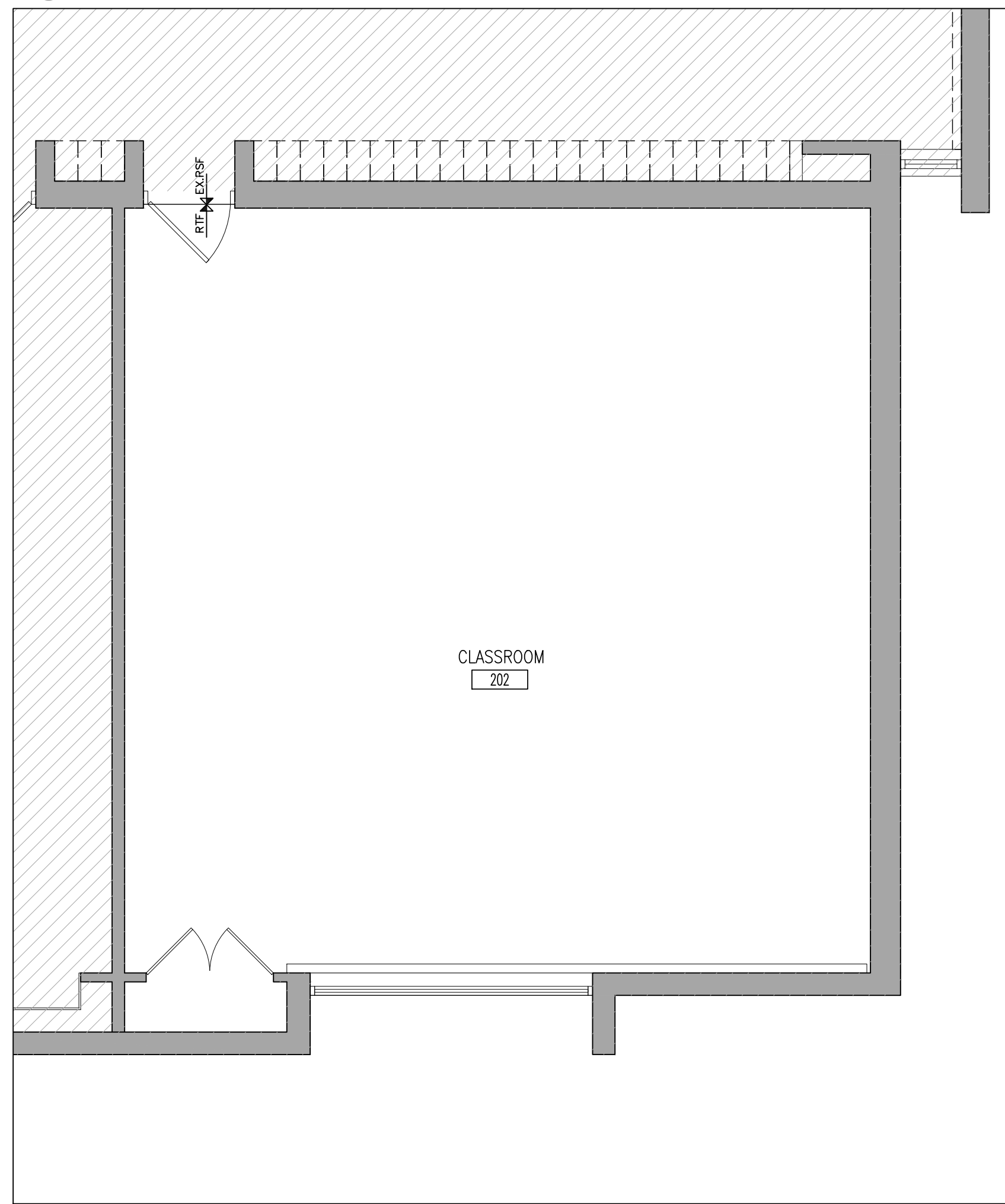
4 PART PLAN AT CLASSROOM 202  
A206 1:50



2 PART PLAN AT CLASSROOM 205  
A206 1:50



3 PART PLAN AT CLASSROOM 210  
A206 1:50



1 PART PLAN AT CLASSROOM 202  
A206 1:50

FLOOR PLAN NOTATION LEGEND

- CORRIDOR
  - CA
- ROOM NAME & NUMBER
- WALL TYPE
  - WxX
- INTERIOR PARTITION OR FURRING TYPE
  - PxX
- DOOR NUMBER
  - 101
- WALL SECTION REFERENCE
  - 1 A403
- INTERIOR ELEVATION REFERENCE NUMBER
  - A A701
- FLOOR FINISH TYPE (SEE ALSO ROOM FINISH SCHEDULE)
  - FF2 FF1
- MILLWORK NUMBER
  - M1
- WASHROOM ACCESSORIES. REFER TO DRAWING NO. A702
  - X

PARTITION TYPE SCHEDULE

- P1 140mm CONCRETE BLOCK
- P2 13mm GYPSUM BOARD ON METAL STUD FURRING
- EXISTING WALL, PARTITION OR COLUMN

WALL FINISH LEGEND

- CERAMIC WALL TILE

WHITE BOARD & TACK BOARD LEGEND:

- WB1= 2440x1220
- WB2= 1830x1220
- WB3= 1220x1220
- TB1= 2440x1220
- TB2= 1830x1220
- TB3= 1220x1220

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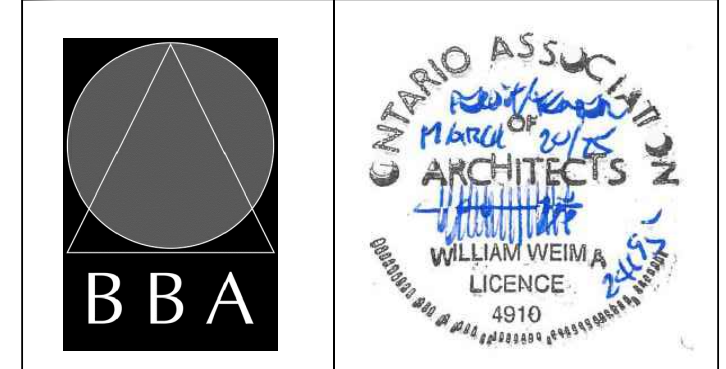


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| 2   | ISSUED FOR PERMIT & TENDER | MAR. 20, 2025 | BBA |

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PROJECT:  
**RENOVATIONS AT ECOLE ELEMENTAIRE JEANNE-LAJOIE**  
150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
Conseil scolaire Viamonde

DRAWING:  
**PART FLOOR PLANS**

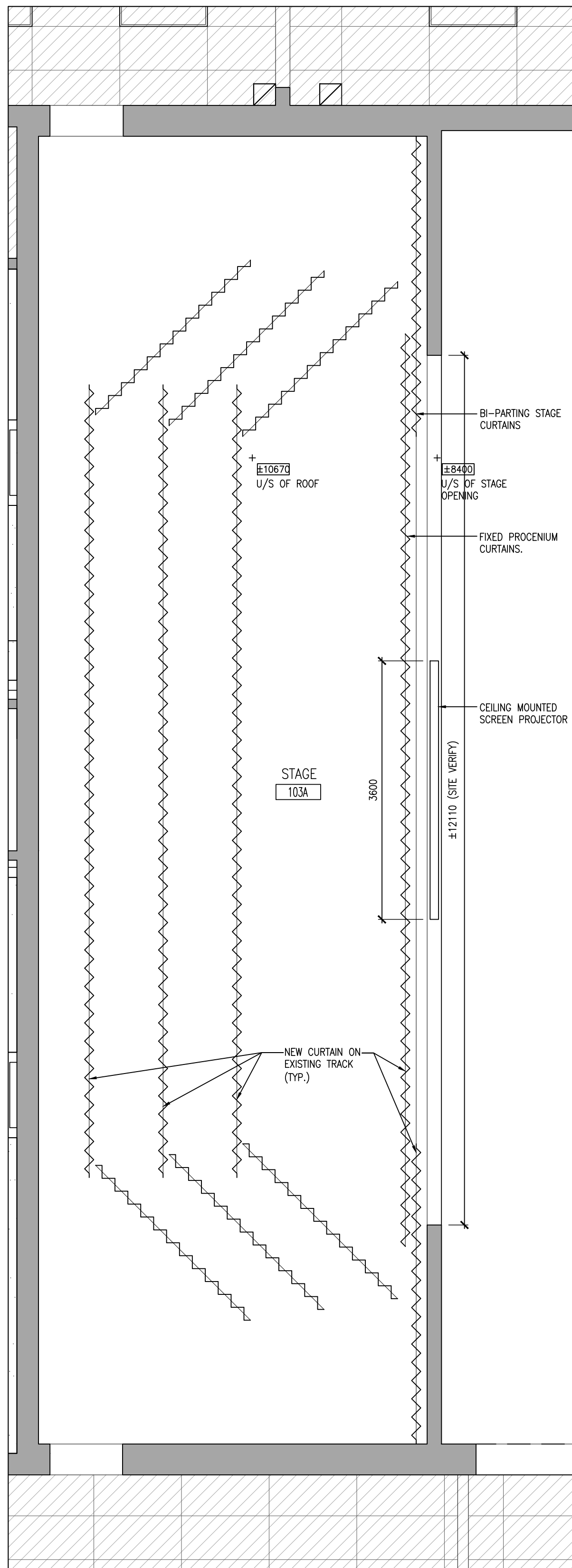


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Tel: (905) 666-6252  
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e-mail: bba@bba-archeng.com

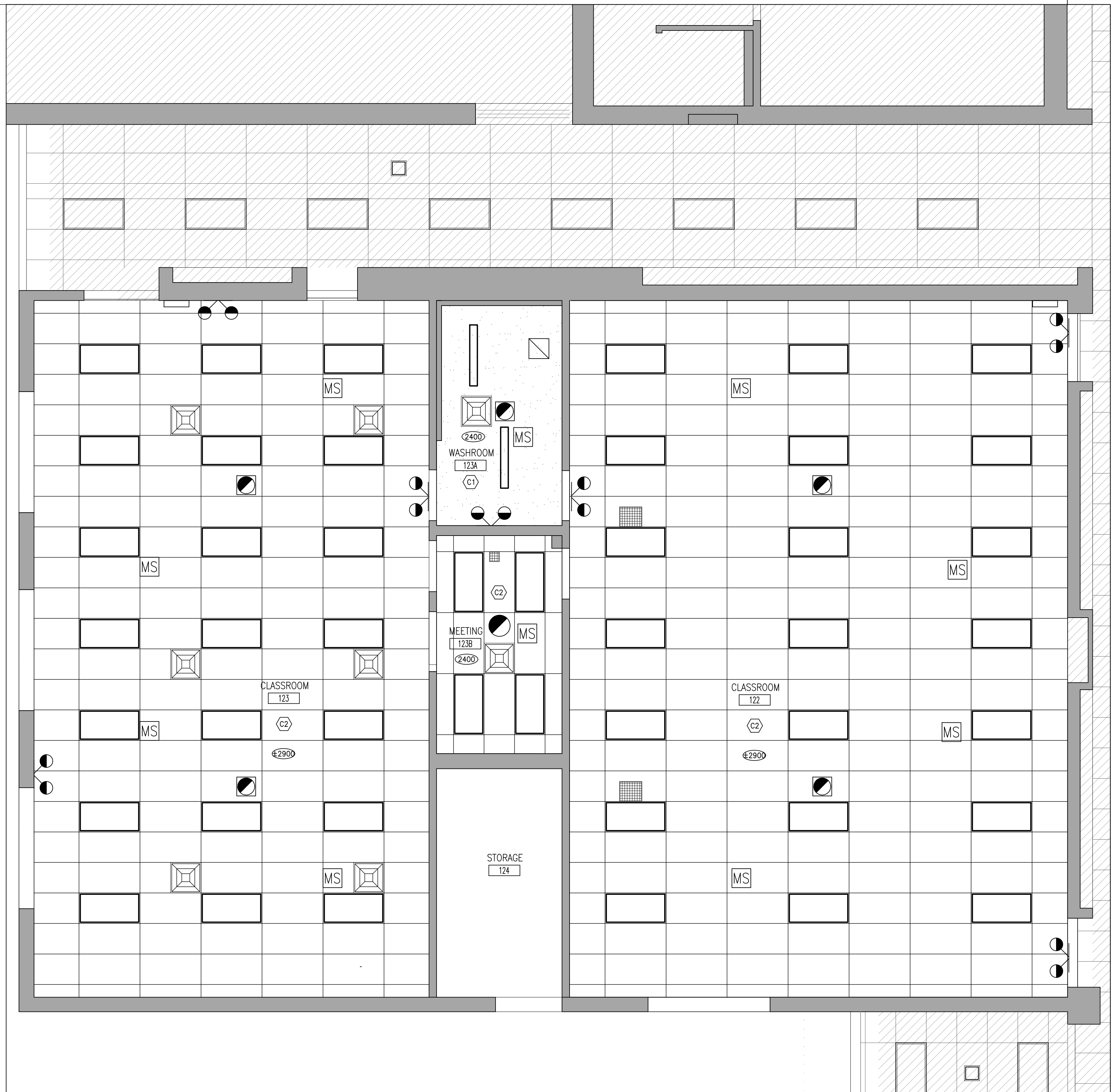
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DRAWN BY: LQ  
CHECKED BY: CM  
DATE: NOV. 2024  
SCALE: 1:50  
FILE:

DOC. CONTROL: DATE:  
% COMPLETE:  
INITIAL:

PROJECT NO. **24195**  
DRAWING NO. **A206**



2 PART 1ST FLOOR - CEILING PLAN  
A207 1:50



1 PART 1ST FLOOR - CEILING PLAN  
A207 1:50



**CEILING TYPES**

|  |   |
|--|---|
|  | C1 13mm GYPSUM BOARD WITH HIGH DENSITY WATER RESISTANT ON SUSPENDED METAL FRAMING |
|  | C2 610 x 1220 ACOUSTIC CEILING PANELS IN SUSPENDED T-BAR GRID                     |
|  | C3 EXISTING 610 x 1220 ACOUSTIC CEILING PANELS                                    |

**CEILING NOTATION LEGEND**

|  |   |
|--|---|
|  | CEILING TYPE (REFER TO CEILING TYPE LEGEND, ROOM FINISH SCHEDULE & SPECIFICATION) |
|  | CEILING LEVEL ABOVE FINISHED FLOOR (SEE ALSO ROOM FINISH SCHEDULE)                |
|  | RECESSED LIGHT FIXTURES   |
|  | RETURN AIR GRILLE, SIZES VARY   |
|  | CEILING OR WALL MOUNTED EXIT LIGHT  |
|  | SMOKE DETECTOR  |
|  | CEILING MOUNTED OCCUPANCY SENSOR  |
|  | CEILING DIFFUSER  |
|  | EXHAUST FAN   |

1. PAINT ALL EXPOSED DUCTWORK.

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PROJECT:  
**RENOVATIONS AT ECOLE ELEMENTAIRE JEANNE-LAJOIE**  
 150 CARNFORTH ROAD  
 NORTH YORK, ONTARIO  
 Conseil scolaire Viamonde

DRAWING:  
**PART REFLECTED CEILING PLANS**



**BARRY BRYAN ASSOCIATES**  
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 Engineers  
 Project Managers  
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|                    |                       |
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| FILE:              |                       |

PROJECT NO: **24195**  
 DRAWING NO: **A207**



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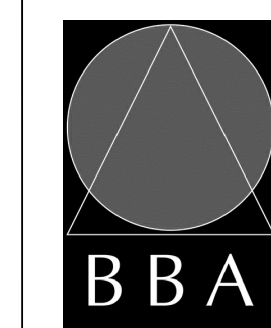


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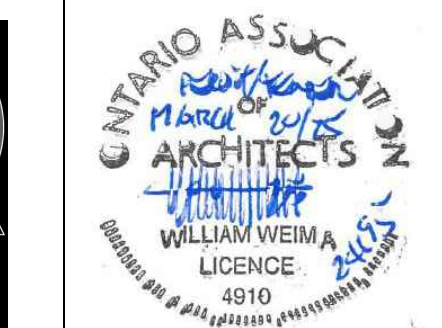
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PROJECT:  
**RENOVATIONS AT  
ECOLE ELEMENTAIRE  
JEANNE-LAJOIE**  
150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
Conseil scolaire Viamonde

DRAWING:  
**PART REFLECTED  
CEILING PLANS**



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ASSOCIATES**  
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PROJECT NO:  
**24195**  
DRAWING NO:  
**A208**

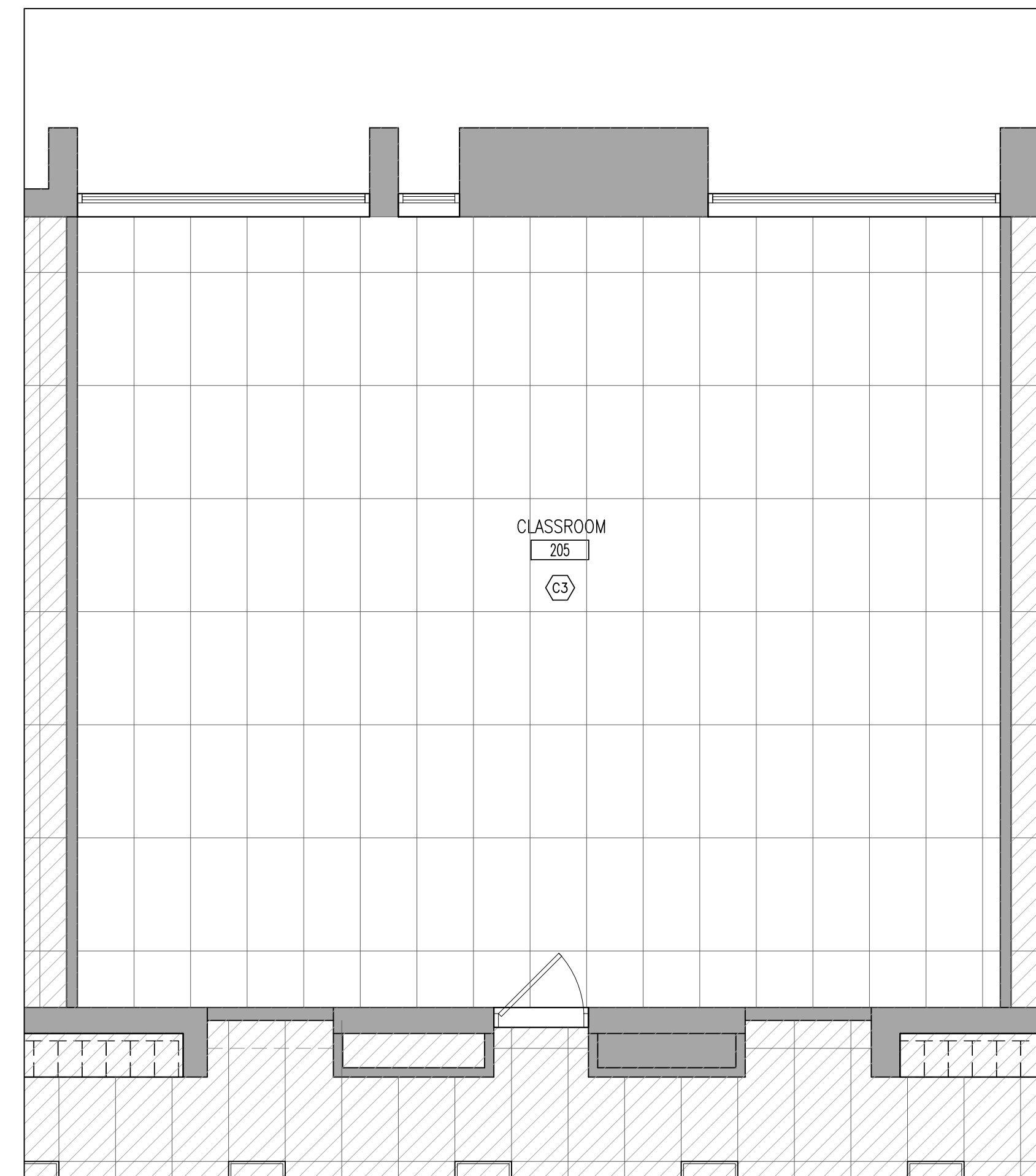
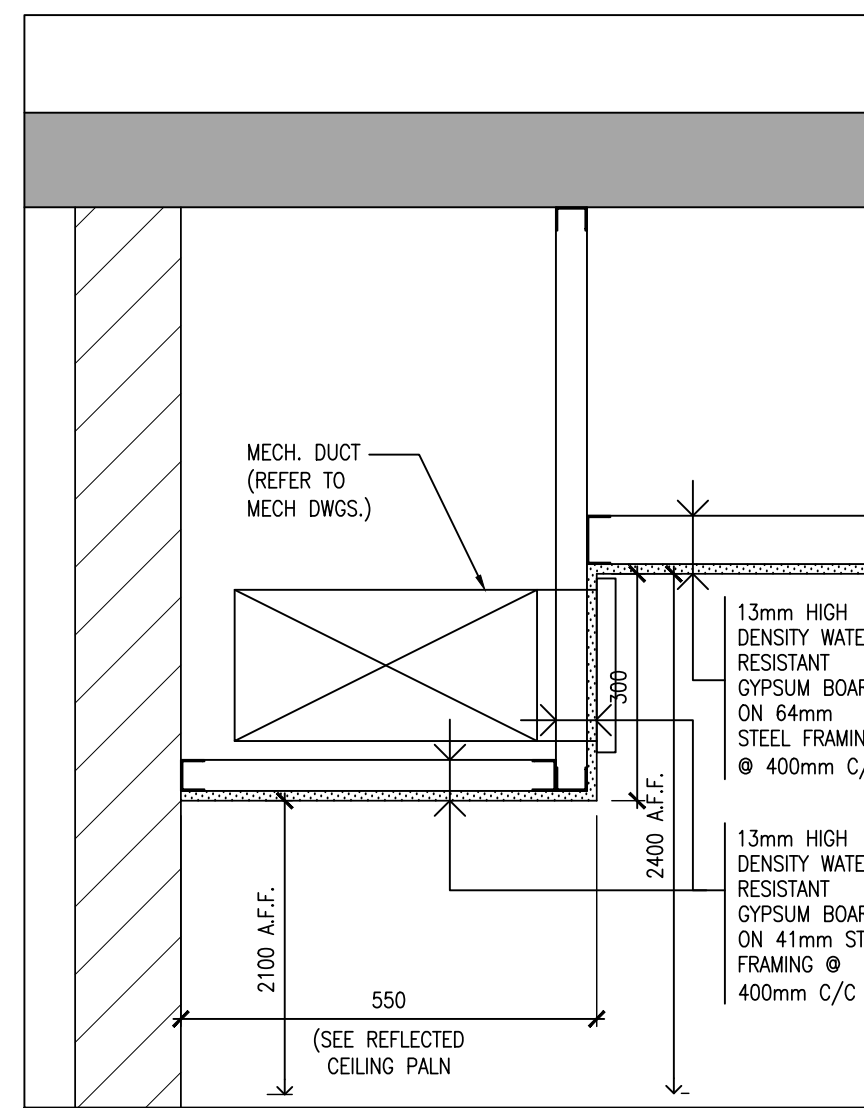
**CEILING TYPES**

- C1 13mm GYPSUM BOARD WITH HIGH DENSITY WATER RESISTANT ON SUSPENDED METAL FRAMING
- C2 610 x 1220 ACOUSTIC CEILING PANELS IN SUSPENDED T-BAR GRID
- C3 EXISTING 610 x 1220 ACOUSTIC CEILING PANELS

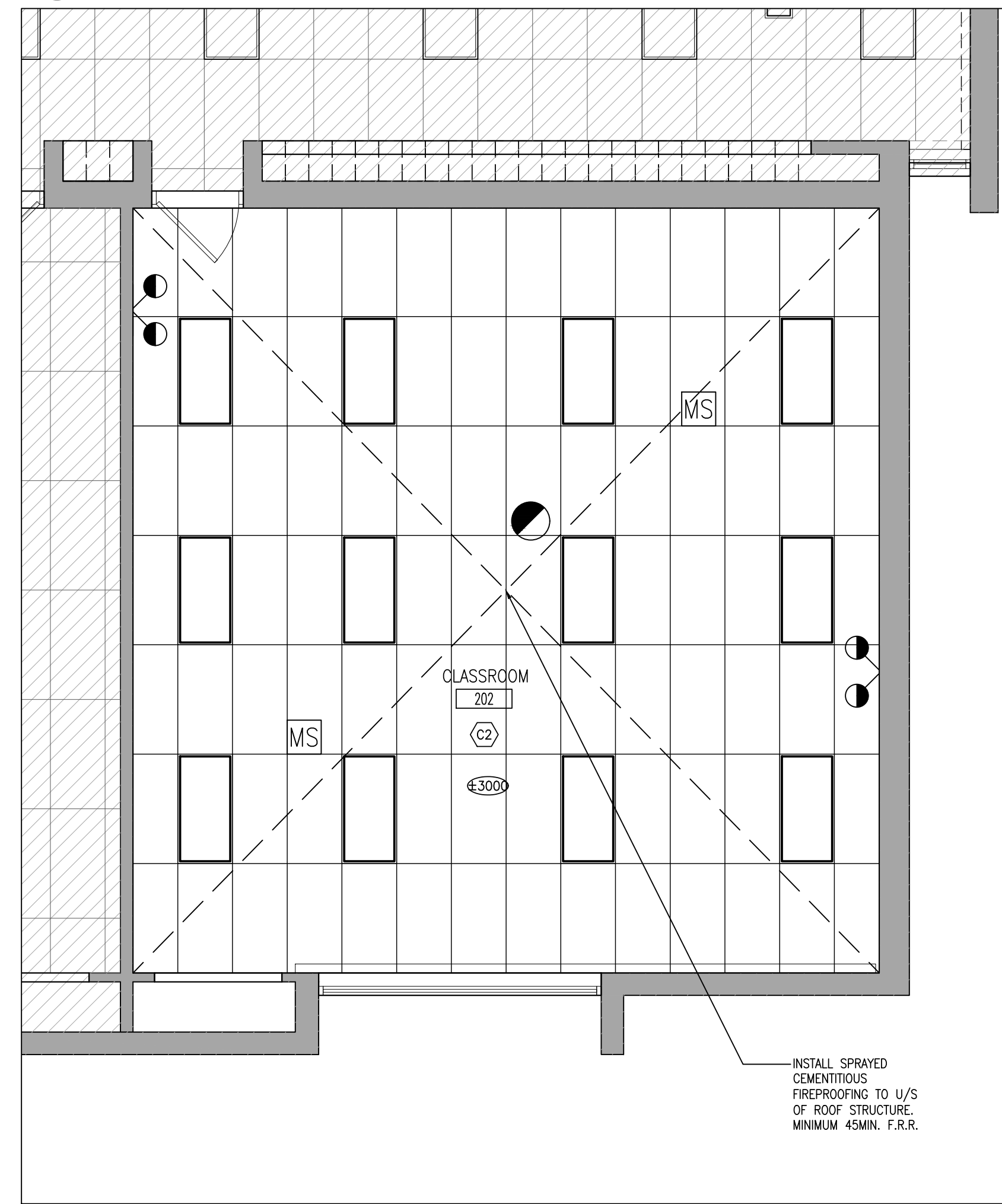
**CEILING NOTATION LEGEND**

- C1 CEILING TYPE (REFER TO CEILING TYPE LEGEND, ROOM FINISH SCHEDULE & SPECIFICATION)
- 2500 CEILING LEVEL ABOVE FINISHED FLOOR (SEE ALSO ROOM FINISH SCHEDULE)
- RECESSED LIGHT FIXTURES
- RETURN AIR GRILLE, SIZES VARY
- CEILING OR WALL MOUNTED EXIT LIGHT
- SMOKE DETECTOR
- MS CEILING MOUNTED OCCUPANCY SENSOR
- CEILING DIFFUSER
- EXHAUST FAN

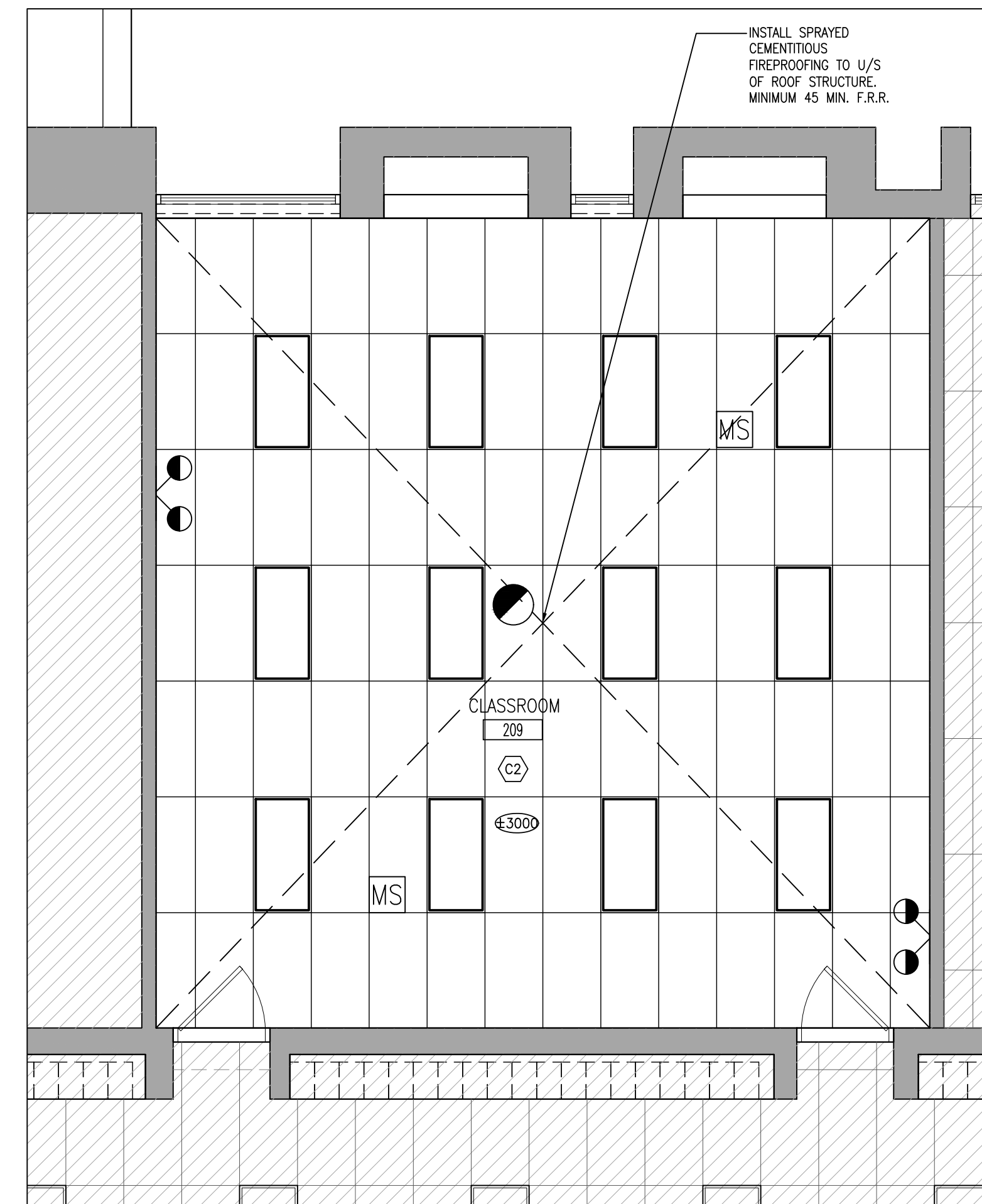
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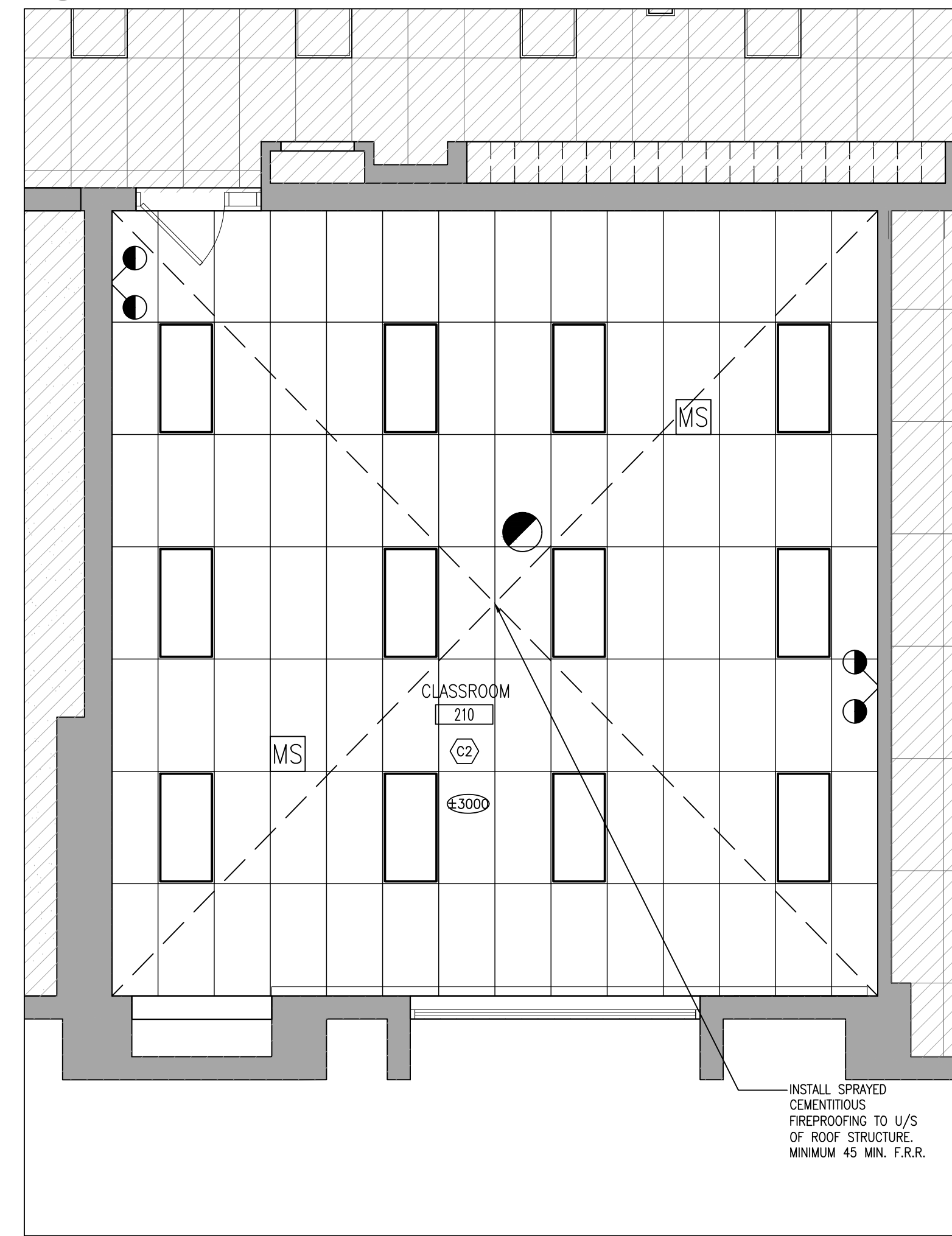
**2**  
PART CEILING PLAN AT CLASSROOM 205  
1:50



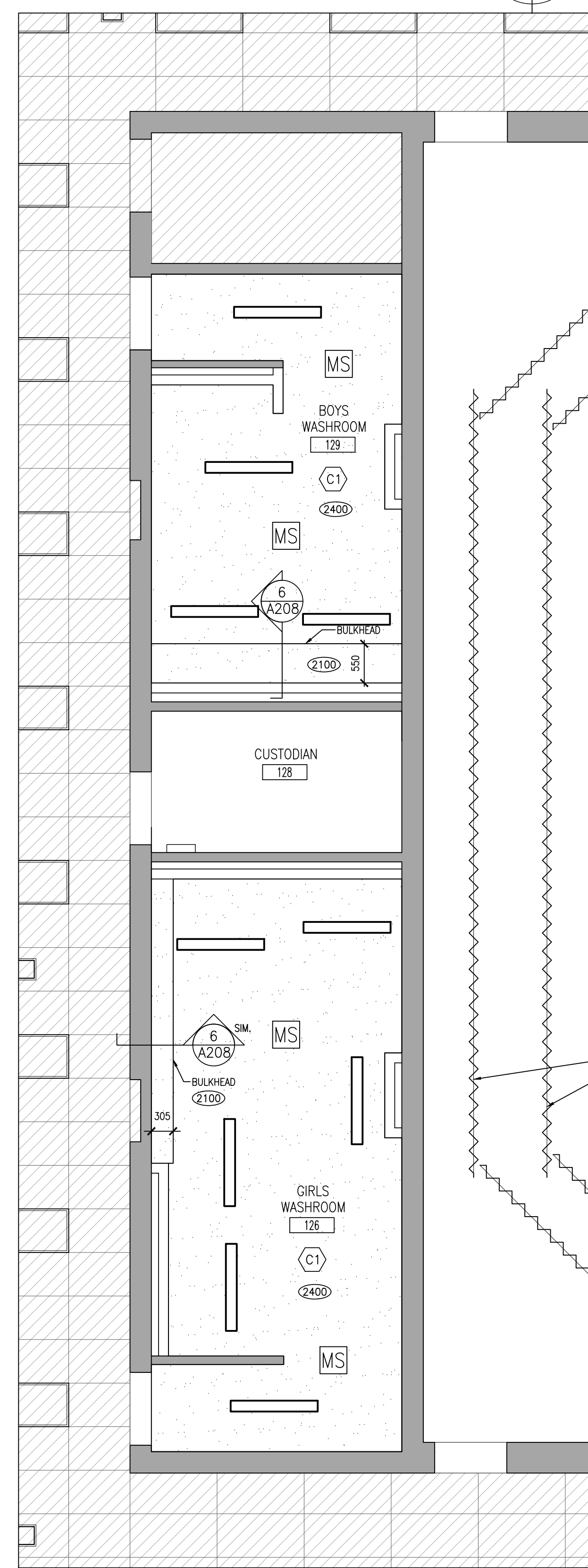
**1**  
PART CEILING PLAN AT CLASSROOM 202  
1:50



**4**  
PART CEILING PLAN AT CLASSROOM 202  
1:50



**3**  
PART CEILING PLAN AT CLASSROOM 210  
1:50



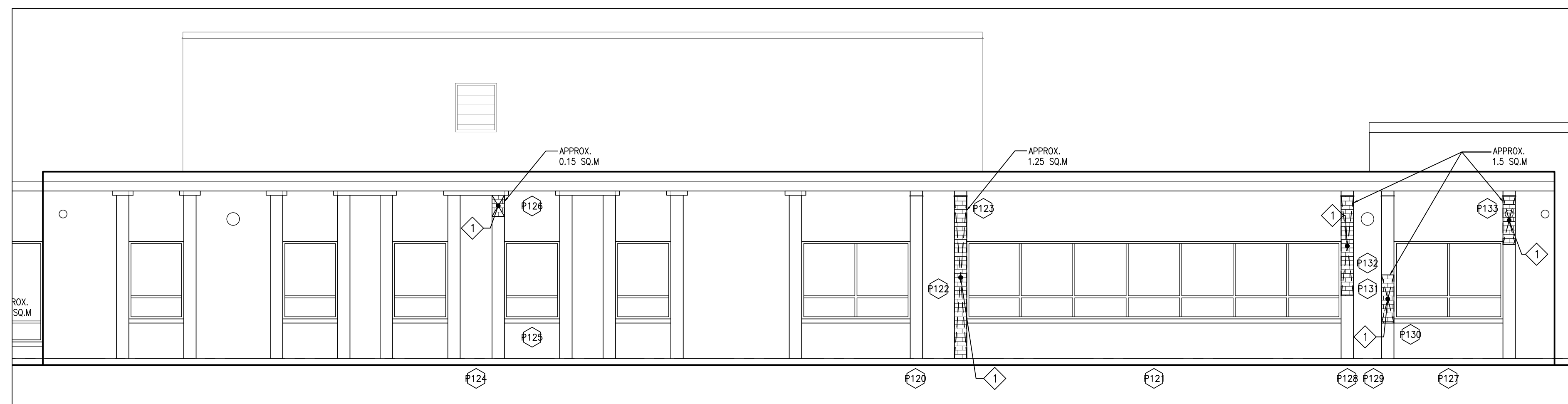
**5**  
PART 1ST FLOOR - CEILING PLAN  
1:50



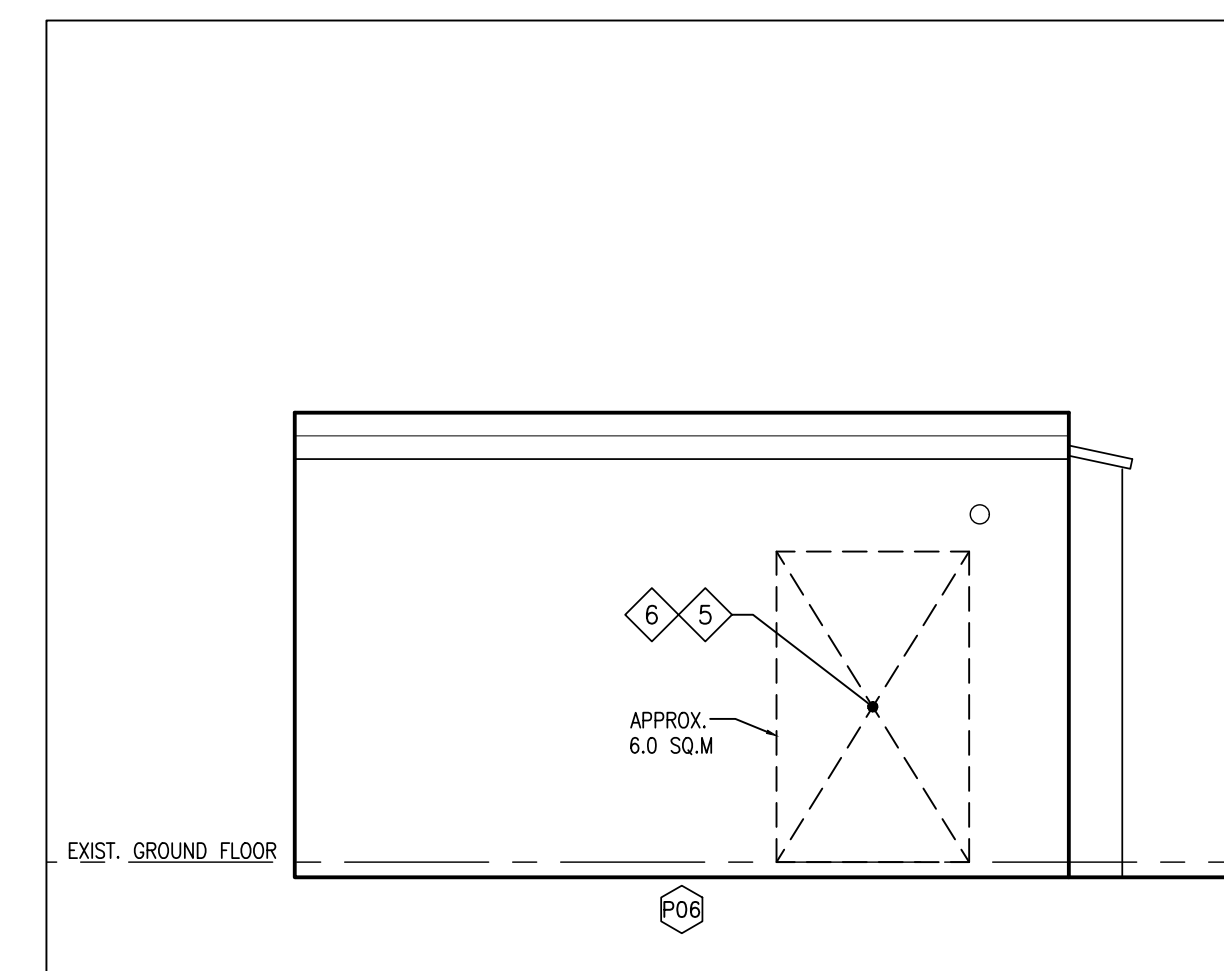
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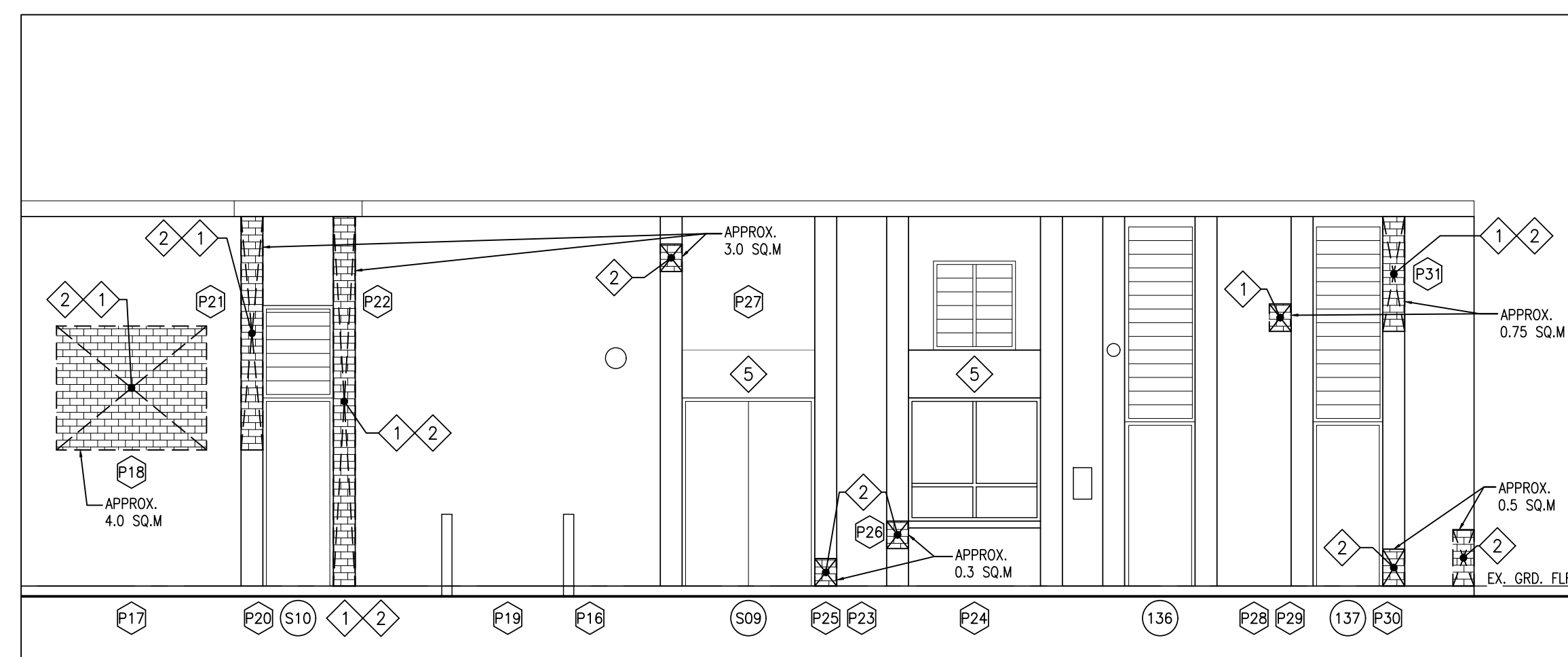
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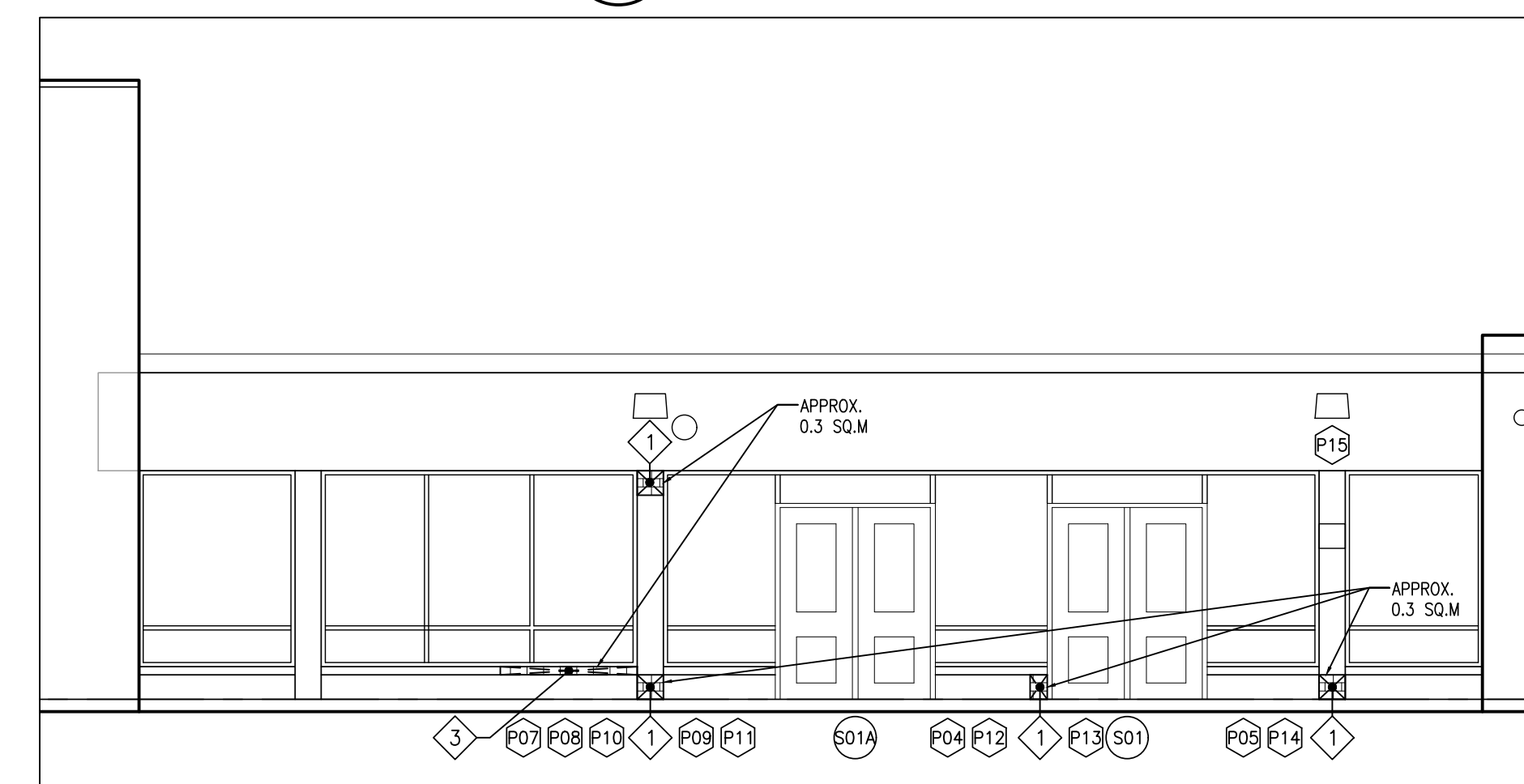
**5**  
**A301** PART EAST ELEVATION  
1:75



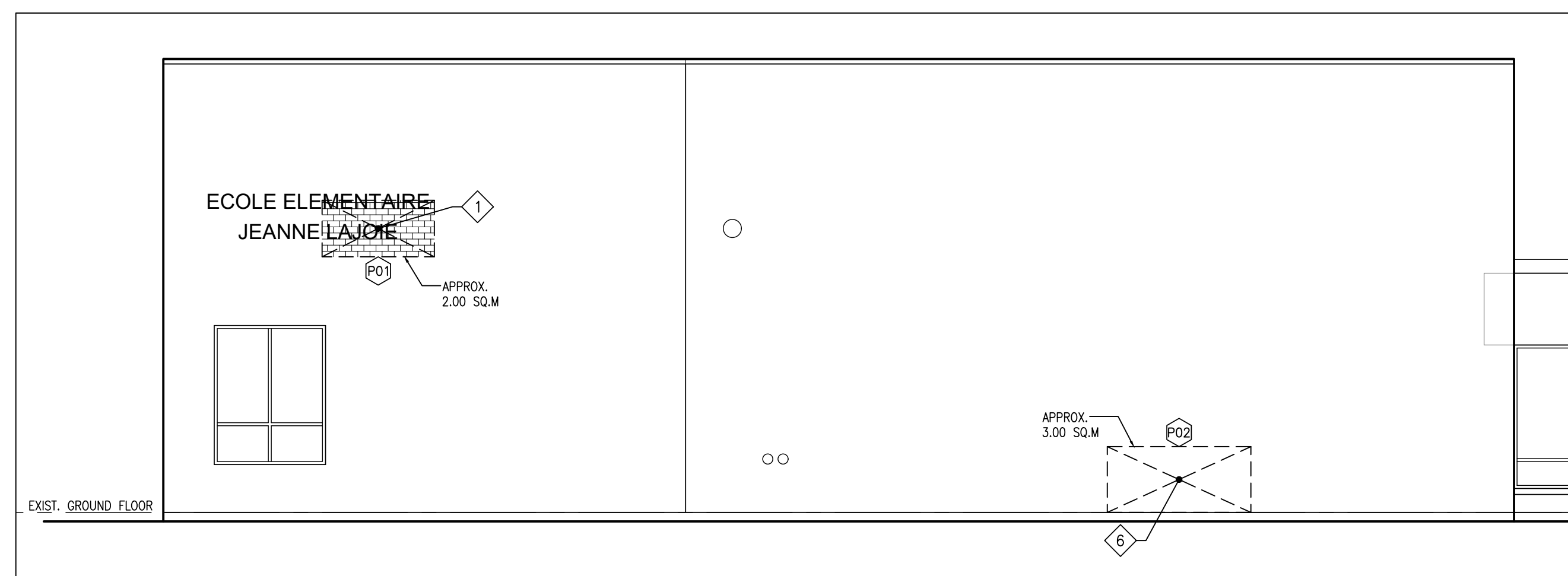
**4**  
**A301** PART SOUTH ELEVATION  
1:75



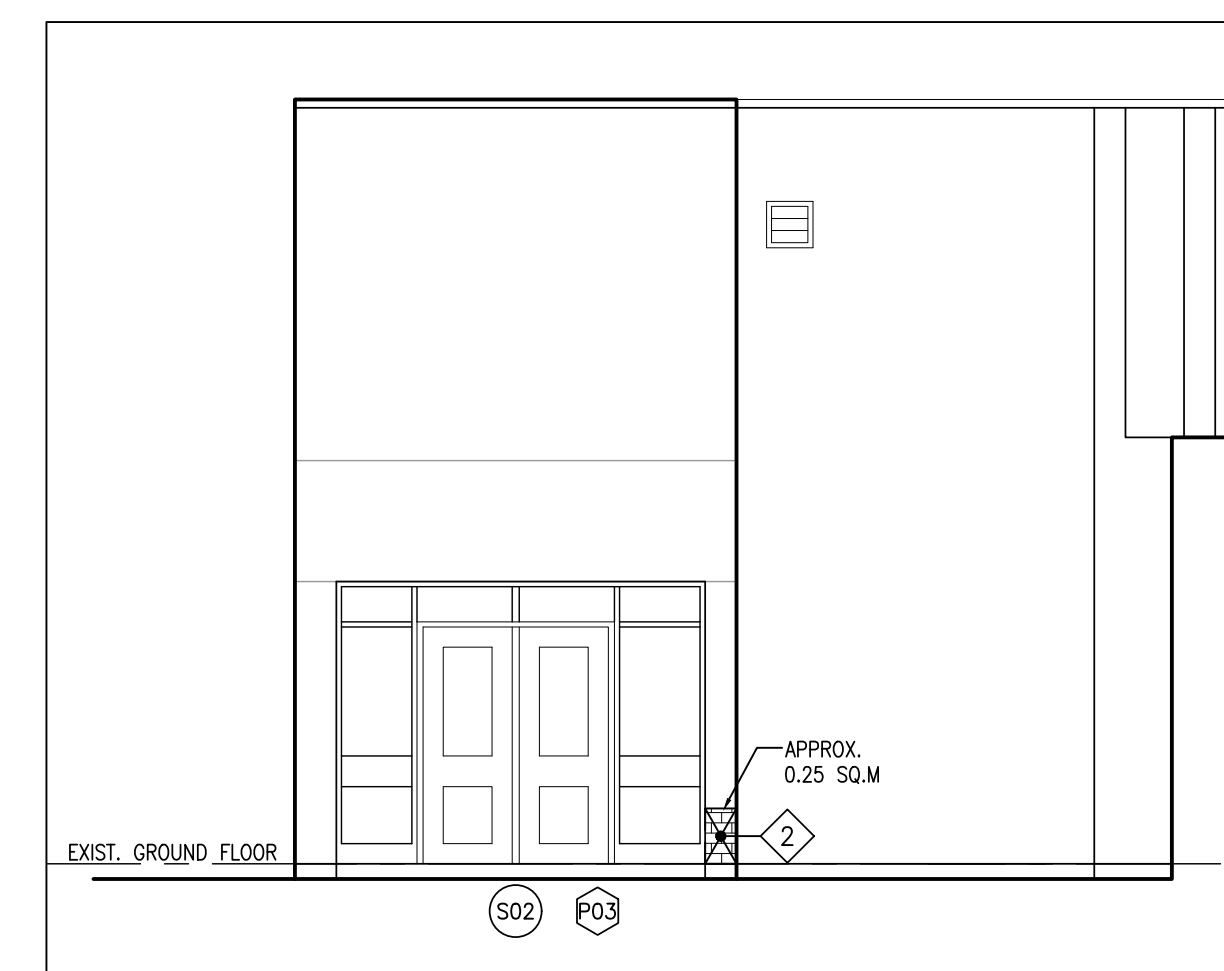
**6**  
**A301** PART EAST ELEVATION  
1:75



**3**  
**A301** PART EAST ELEVATION (MAIN ENTRANCE)  
1:75



**1**  
**A301** PART EAST ELEVATION  
1:75



**2**  
**A301** PART NORTH ELEVATION  
1:75

| REPAIR LEGEND:  | REPAIR NOTES   |
|---|--|
| <p>AREAS INDICATED ON ELEVATIONS ARE VISUAL ESTIMATED LOCATIONS. CONFIRM ON SITE. NOTE: AREAS FOR DETERIORATED / SPALLED MASONRY BRICKS (NOT INDICATED ON THESE DRAWINGS) TO OWNER AND CONSULTANTS.</p> <p>REMOVE AND REPLACE DETERIORATED/SPALLED BRICKS COLOUR TO MATCH EXISTING BRICK REFER TO ELEVATIONS FOR EXTENTS.</p> <p>NOTES:</p> <p>1. ALL BRICKS THAT DO NOT MATCH EXISTING COLOUR ARE TO BE STAINED TO MATCH EXISTING COLOR AND HERITAGE CONDITION.</p> <p>2. ALL NEW BRICKS TO MATCH EXISTING DIMENSIONS, COLOURS AND TEXTURES.</p> | <p>1. REPAIR BROKEN AND DAMAGED BRICK. INSTALL REPLACEMENT BRICK WHERE INDICATED.</p> <p>2. REPAIR BROKEN MASONRY AT CORNERS OF BRICK RELIEF.</p> <p>3. REPAIR BROKEN MASONRY BRICK / MORTAR AT WINDOW SILLS AND REPLACE WITH NEW TO MATCH. PROVIDE DRIP FLASHING. NOTE: RE-SEAL ALL WINDOW JAMBS FOLLOWING BRICK WALL REPAIR.</p> <p>4. ROUT OUT JOINTS AND RE POINT MATCH EXISTING.</p> <p>5. POWER WASH / CLEAN ALL EXTERIOR BRICK / CONCRETE SURFACES POST NEW CONSTRUCTION.</p> <p>6. REMOVE GRAFFITI FROM BRICK.</p> <p>7. SCRAPE OFF EXISTING LOOSE PAINT, MAKE SURFACE READY FOR NEW AND REPAINT.</p> <p>8. REMOVE ABANDONED STEEL CONDUIT C/W ALL LOCALIZED ABANDONED MOUNTING BOLTS. INFILL BRICK VENEER WITH GROUT, COLOUR TO MATCH EXISTING.</p> |
| NOTATION LEGEND:  |  |
| <p>SITE VERIFY (CONFIRM) FOR ALL LOCATIONS TO BE REPAIRED.</p> <p>(DR#) EXISTING DOOR NUMBER</p> <p>(P#) REFER TO A905-AB13 SERIES FOR PHOTO CONSTRUCTION NOTES</p>   |  |

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PROJECT:  
**RENOVATIONS AT  
ECOLE ELEMENTAIRE  
JEANNE-LAJOIE**  
150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
Conseil scolaire Viamonde

DRAWING:  
**PART EAST ELEVATIONS**

|  |                             |                            |                        |
|--|-----------------------------|----------------------------|------------------------|
| <br><b>BARRY BRYAN ASSOCIATES</b><br>Architects<br>Engineers<br>Project Managers<br>250 Water Street<br>Suite 201<br>Whitby, Ontario<br>L1N 0G5<br>Tel: (905) 666-6252<br>Fax: (905) 666-6256<br>e-mail: bba@bba-archeng.com |                             | DESIGN BY:<br>BBA          | DOC. CONTROL:<br>DATE: |
|  |                             | DRAWN BY:<br>JJA           | % COMPLETE:            |
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| FILE:<br>24195 A301-A303   | PROJECT NO:<br><b>24195</b> | DRAWING NO:<br><b>A301</b> |                        |

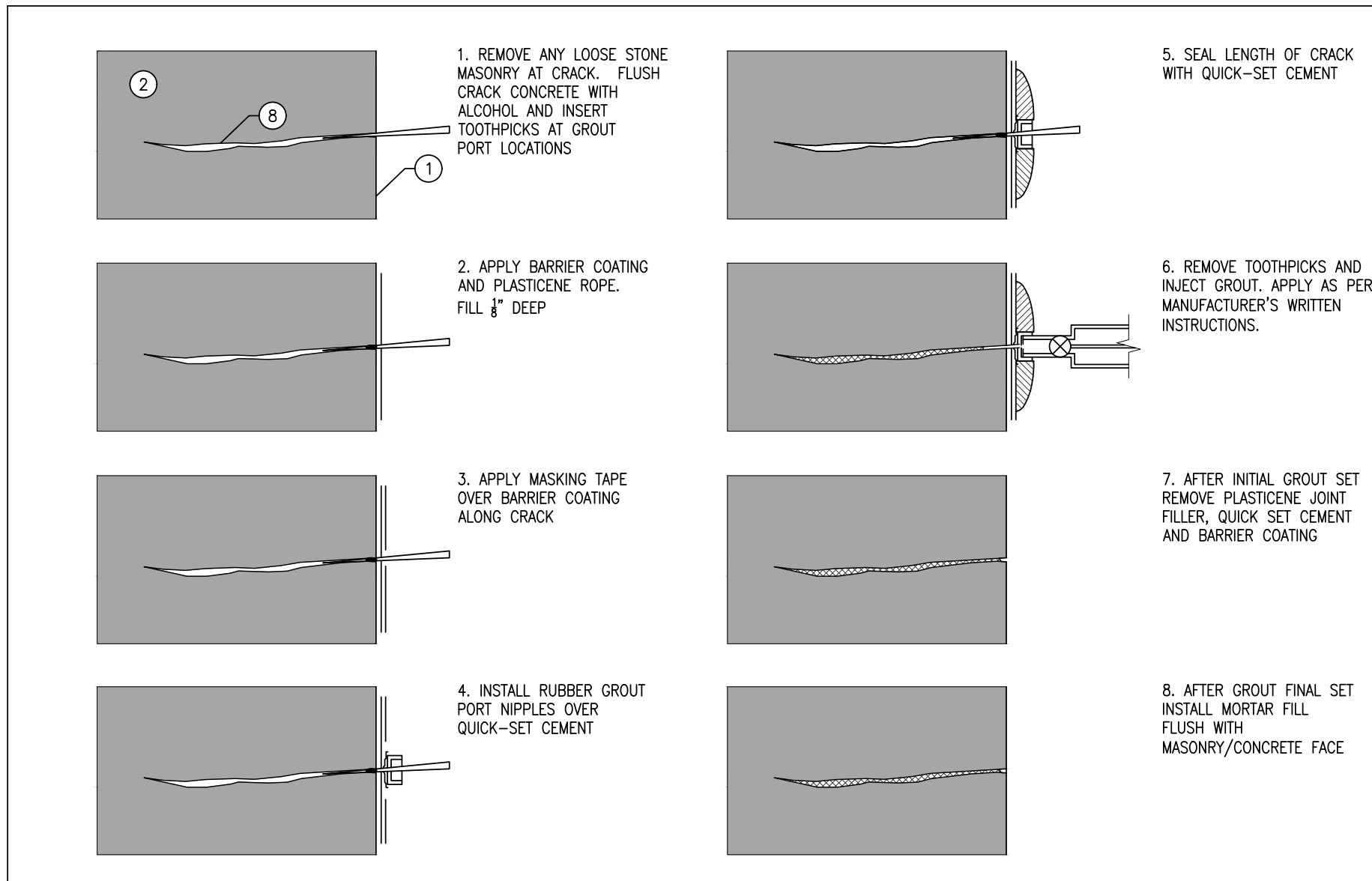
| DRAWING NOTES   | MATERIAL SECTION HATCH PATTERN |
|---|--------------------------------|
| 1 EXISTING FACE OF MASONRY                                | STONE BRICK                    |
| 2 EXISTING BRICK  |                                |
| 3 EXTERIOR LIME MORTAR                                    |                                |
| 4 STONE BLOCK   |                                |
| 5 TAPE  | CONCRETE EXISTING              |
| 6 NEW LIME MORTAR   |                                |
| 7 FINISH FLAT WITH SLIGHTLY RECESSED BRUSH-STIPPLED JOINT |                                |
| 8 EXISTING CRACK  |                                |

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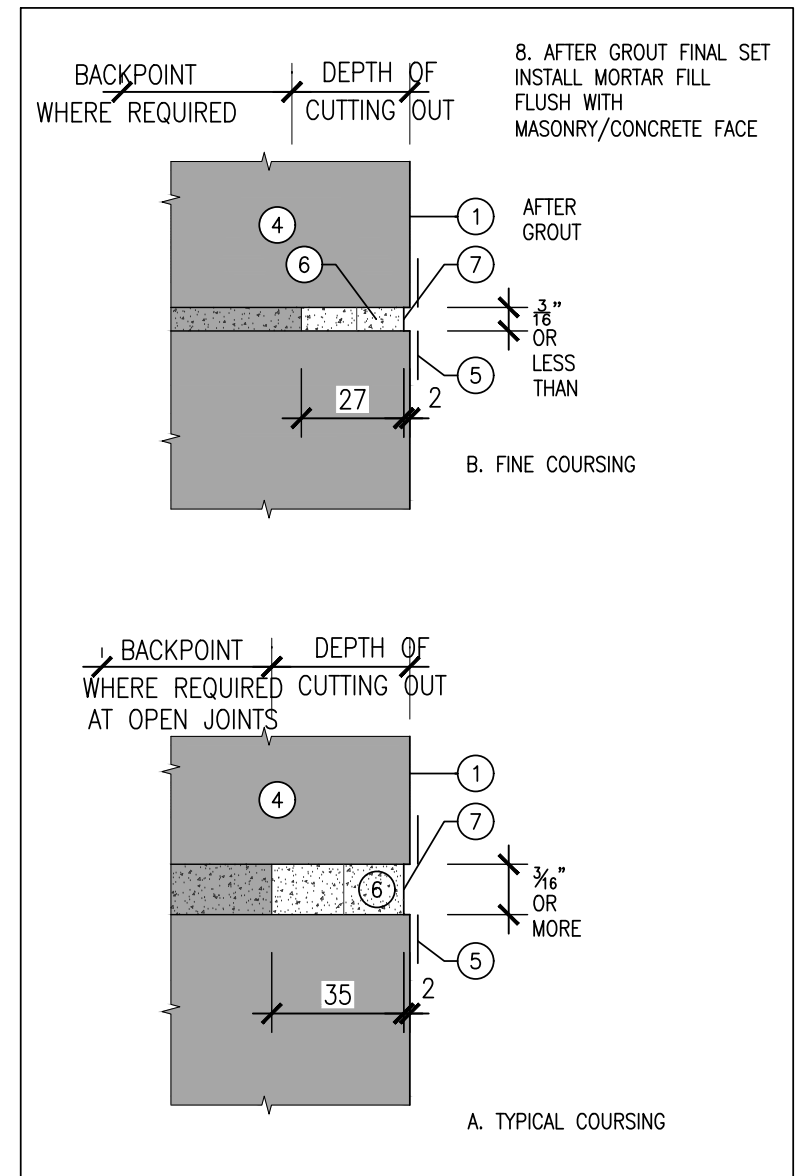


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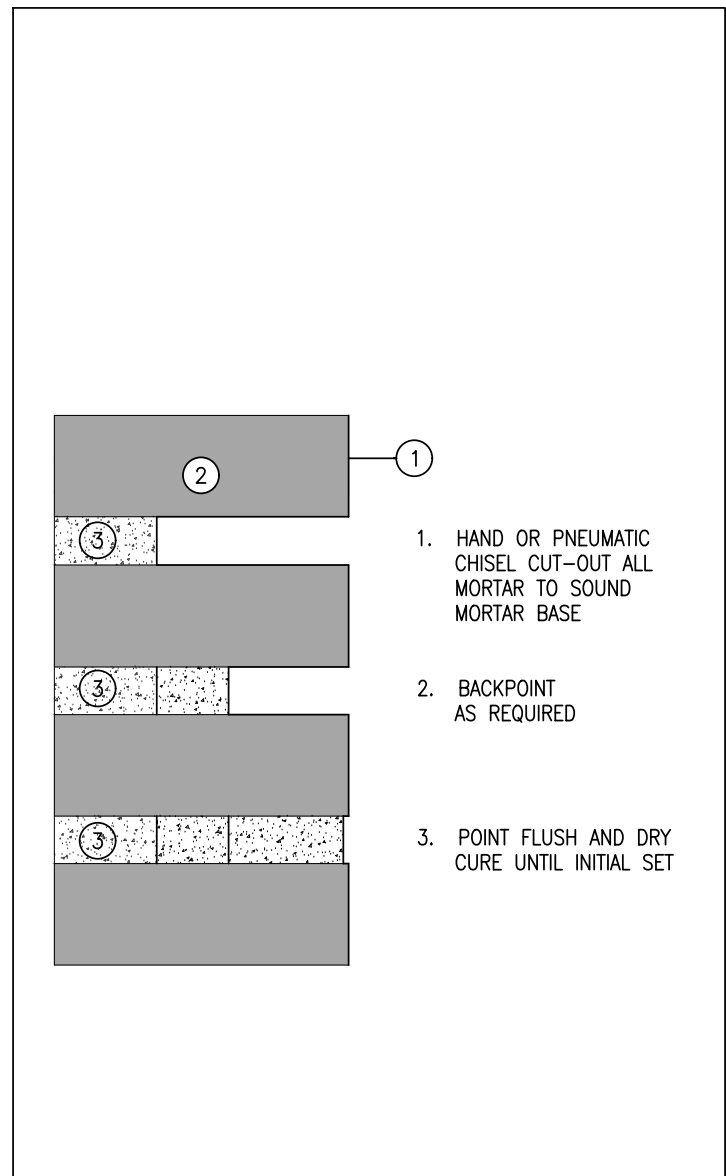
| REPAIR LEGEND:  | REPAIR NOTES   |
|---|--|
| AREAS INDICATED ON ELEVATIONS ARE VISUAL ESTIMATED LOCATIONS. CONFIRM ON SITE.<br>NOTE: AREAS FOR DETERIORATED / SPALLED MASONRY BRICKS (NOT INDICATED ON THESE DRAWINGS) TO OWNER AND CONSULTANTS. | 1 REPAIR BROKEN AND DAMAGED BRICK. INSTALL REPLACEMENT BRICK WHERE INDICATED.  |
| REMOVE AND REPLACE DETERIORATED/SPALLED BRICKS COLOUR TO MATCH EXISTING BRICK REFER TO ELEVATIONS FOR EXTENTS.  | 2 REPAIR BROKEN MASONRY AT CORNERS OF BRICK RELIEF.  |
| NOTES:<br>1. ALL BRICKS THAT DO NOT MATCH EXISTING COLOR ARE TO BE STAINED TO MATCH EXISTING COLOR AND HERITAGE CONDITION.<br>2. ALL NEW BRICKS TO MATCH EXISTING DIMENSIONS, COLOURS AND TEXTURES. | 3 REPAIR BROKEN MASONRY BRICK / MORTAR AT WINDOW SILLS AND REPLACE WITH NEW TO MATCH. PROVIDE DRIP FLASHING.<br>NOTE: RE-SEAL ALL WINDOW JAMBS FOLLOWING BRICK WALL REPAIR |
| <b>NOTATION LEGEND:</b><br>SITE VERIFY (CONFIRM) FOR ALL LOCATIONS TO BE REPAIRED.  | 4 ROUT OUT JOINTS AND RE POINT MATCH EXISTING.   |
| DR# EXISTING DOOR NUMBER  | 5 POWER WASH / CLEAN ALL EXTERIOR BRICK / CONCRETE SURFACES POST NEW CONSTRUCTION.   |
| P# REFER TO A905-A913 SERIES FOR PHOTO CONSTRUCTION NOTES   | 6 REMOVE GRAFFITI FROM BRICK.  |
|   | 7 SCRAPE OFF EXISTING LOOSE PAINT, MAKE SURFACE READY FOR NEW AND REPAIR.  |
|   | 8 REMOVE ABANDONED STEEL CONDUIT C/W ALL LOCALIZED ABANDONED MOUNTING BOLTS. INFILL BRICK VENEER WITH GROUT, COLOUR TO MATCH EXISTING.                                     |



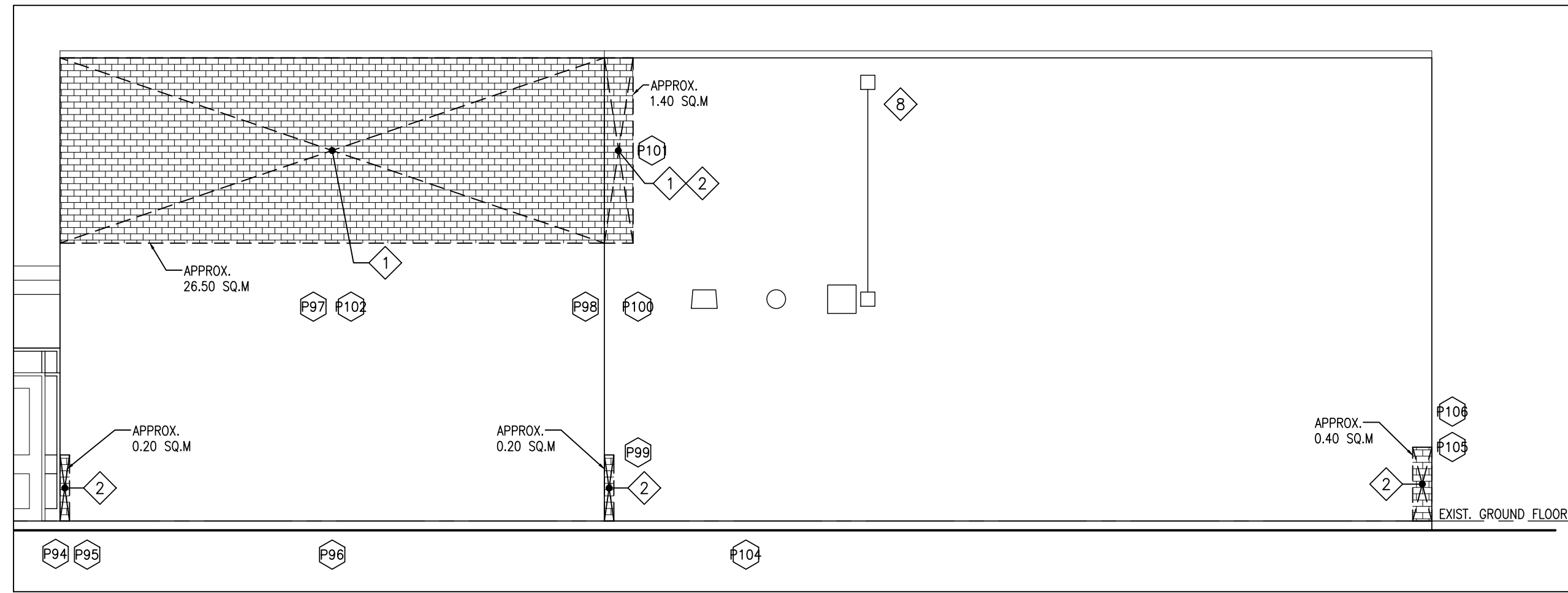
7 A302 DETAIL - MICRO-INJECTION EPOXY INSTALLATION SEQUENCE NTS



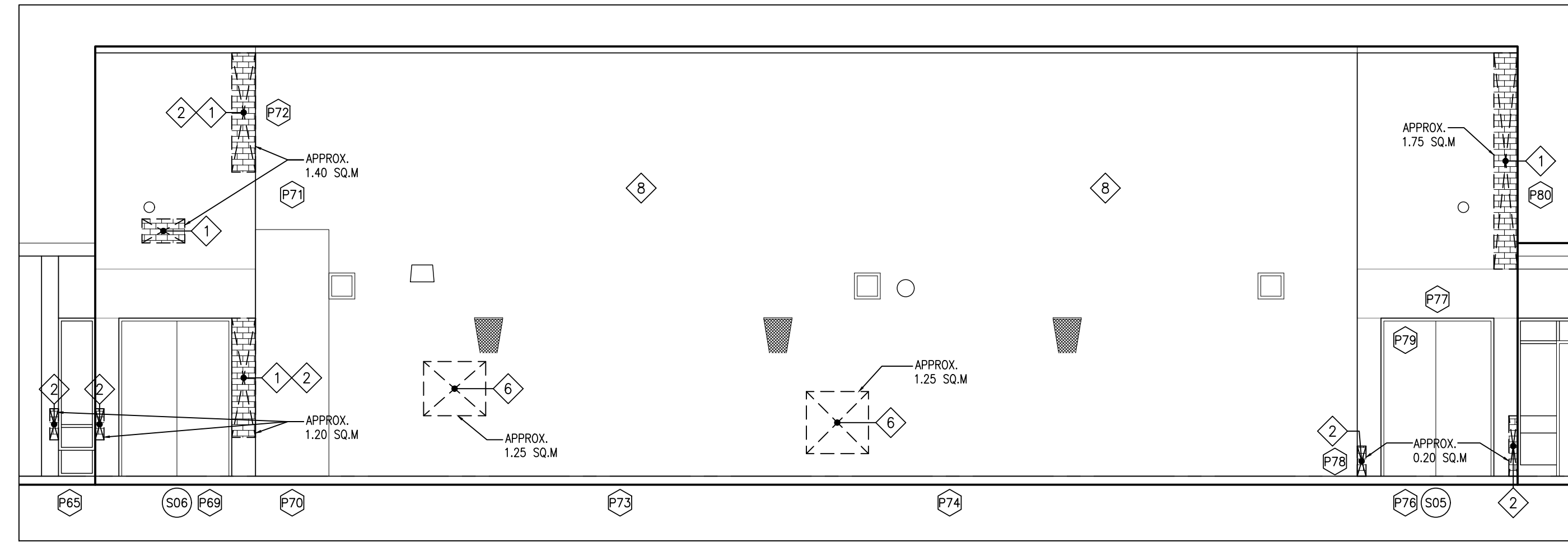
6 A302 DETAIL - STONE REPOINTING SEQUENCE NTS



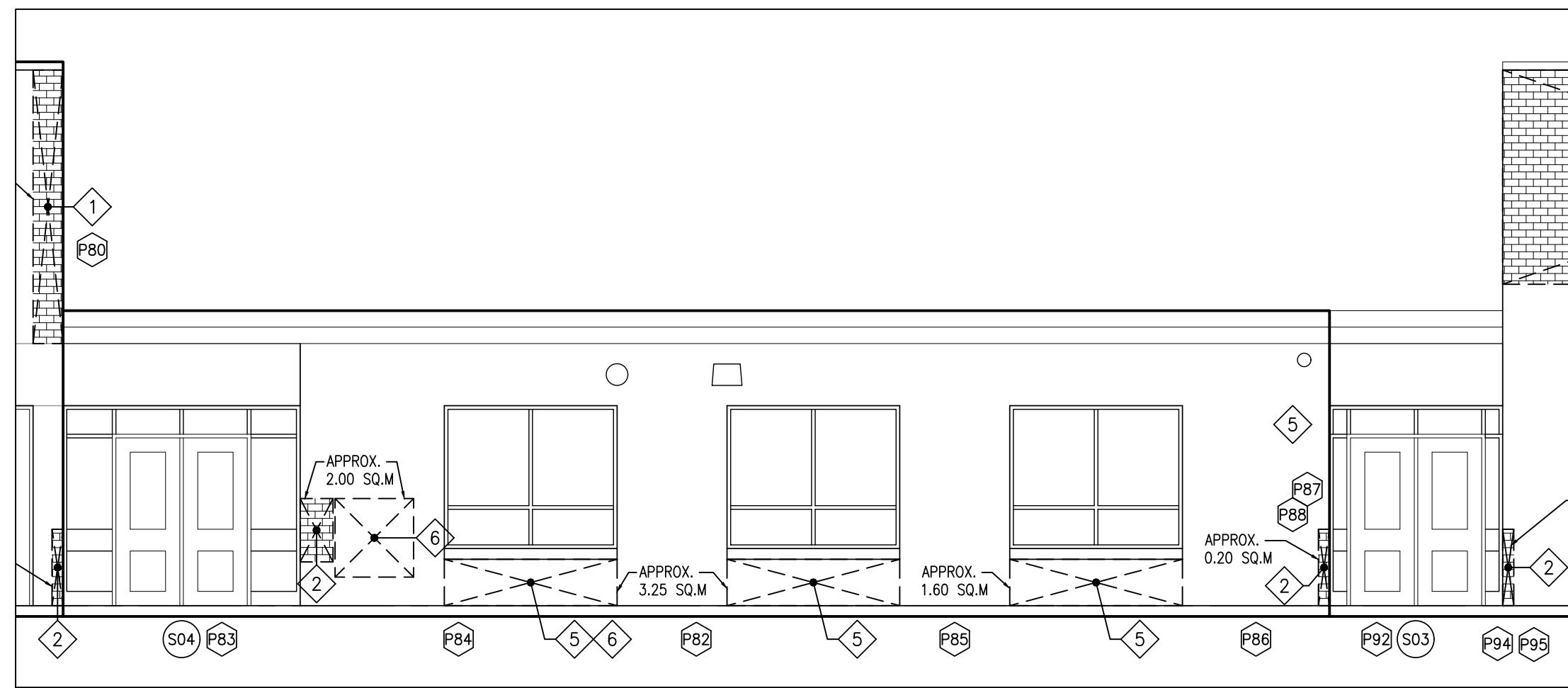
5 A302 DETAIL - BRICK REPOINTING SEQUENCE NTS



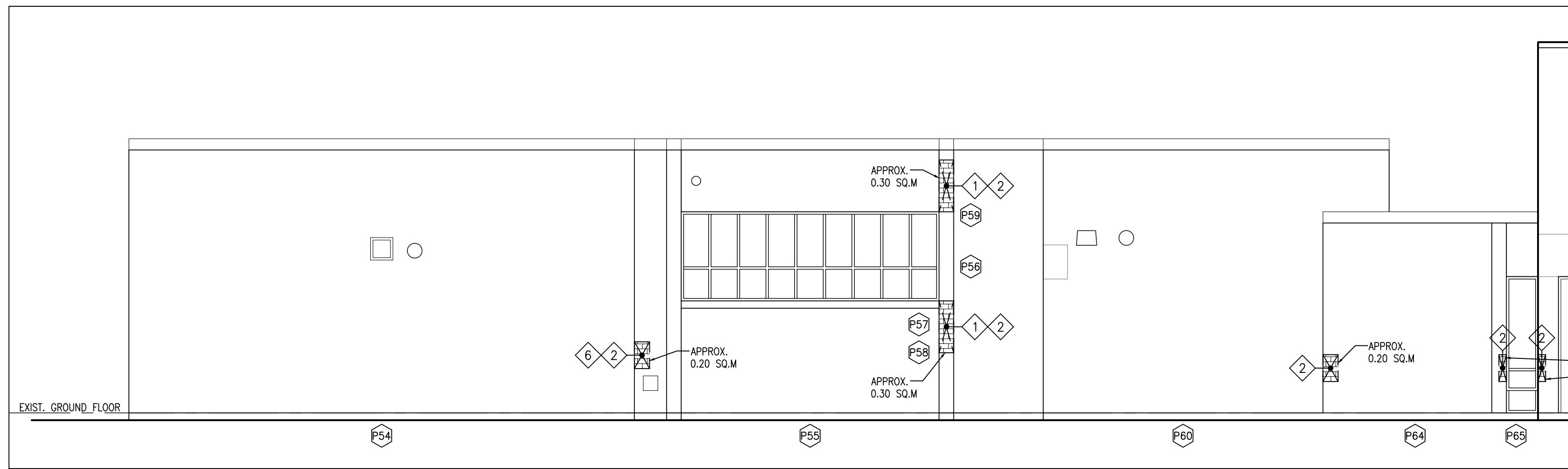
4 A302 PART WEST ELEVATION 1:75



2 A302 PART WEST ELEVATION 1:75



3 A302 PART WEST ELEVATION 1:75



1 A302 PART WEST ELEVATION 1:75

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PROJECT:  
**RENOVATIONS AT ECOLE ELEMENTAIRE JEANNE-LAJOIE**  
 150 CARNFORTH ROAD  
 NORTH YORK, ONTARIO  
 Conseil scolaire Viamonde

DRAWING:  
**PART WEST ELEVATIONS AND DETAILS**

**BARRY BRYAN ASSOCIATES**  
 Architects  
 Engineers  
 Project Managers

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 L1N 0G5  
 Tel: (905) 666-6252  
 Fax: (905) 666-6256  
 e-mail: bba@bba-archeng.com

DESIGN BY: BBA  
 DRAWN BY: JJA  
 CHECKED BY: --  
 DATE: JAN. 2025  
 SCALE: 1:75  
 FILE: 24195 A301-A303

PROJECT NO: **24195** DRAWING NO: **A302**

**REPAIR LEGEND:**

AREAS INDICATED ON ELEVATIONS ARE VISUAL ESTIMATED LOCATIONS. CONFIRM ON SITE.  
NOTE AREAS FOR DETERIORATED / SPALLED MASONRY BRICKS (NOT INDICATED ON THESE DRAWINGS) TO OWNER AND CONSULTANTS.

REMOVE AND REPLACE DETERIORATED/SPALLED BRICKS COLOUR TO MATCH EXISTING BRICK REFER TO ELEVATIONS FOR EXTENTS.

NOTES:  
1. ALL BRICKS THAT DO NOT MATCH EXISTING COLOR ARE TO BE STAINED TO MATCH EXISTING COLOR AND HERITAGE CONDITION.  
2. ALL NEW BRICKS TO MATCH EXISTING DIMENSIONS, COLOURS AND TEXTURES.

**NOTATION LEGEND:**

SITE VERIFY (CONFIRM) FOR ALL LOCATIONS TO BE REPAIRED.

(DR#) EXISTING DOOR NUMBER  
(P#) REFER TO A905-A913 SERIES FOR PHOTO CONSTRUCTION NOTES

**REPAIR NOTES**

- 1 REPAIR BROKEN AND DAMAGED BRICK. INSTALL REPLACEMENT BRICK WHERE INDICATED.
- 2 REPAIR BROKEN MASONRY AT CORNERS OF BRICK RELIEF.
- 3 REPAIR BROKEN MASONRY BRICK / MORTAR AT WINDOW SILLS AND REPLACE WITH NEW TO MATCH. PROVIDE DRIP FLASHING.  
NOTE: RE-SEAL ALL WINDOW JAMBS FOLLOWING BRICK WALL REPAIR
- 4 ROUT OUT JOINTS AND RE POINT MATCH EXISTING.
- 5 POWER WASH / CLEAN ALL EXTERIOR BRICK / CONCRETE SURFACES POST NEW CONSTRUCTION.
- 6 REMOVE GRAFFITI FROM BRICK.
- 7 SCRAPE OFF EXISTING LOOSE PAINT, MAKE SURFACE READY FOR NEW AND REPAINT.
- 8 REMOVE ABANDONED STEEL CONDUIT C/W ALL LOCALIZED ABANDONED MOUNTING BOLTS, INFILL BRICK VENEER WITH GROUT, COLOUR TO MATCH EXISTING.

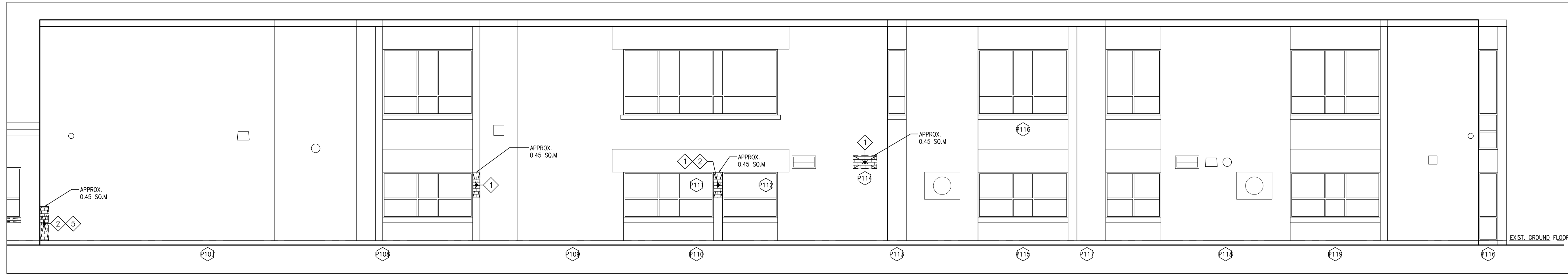
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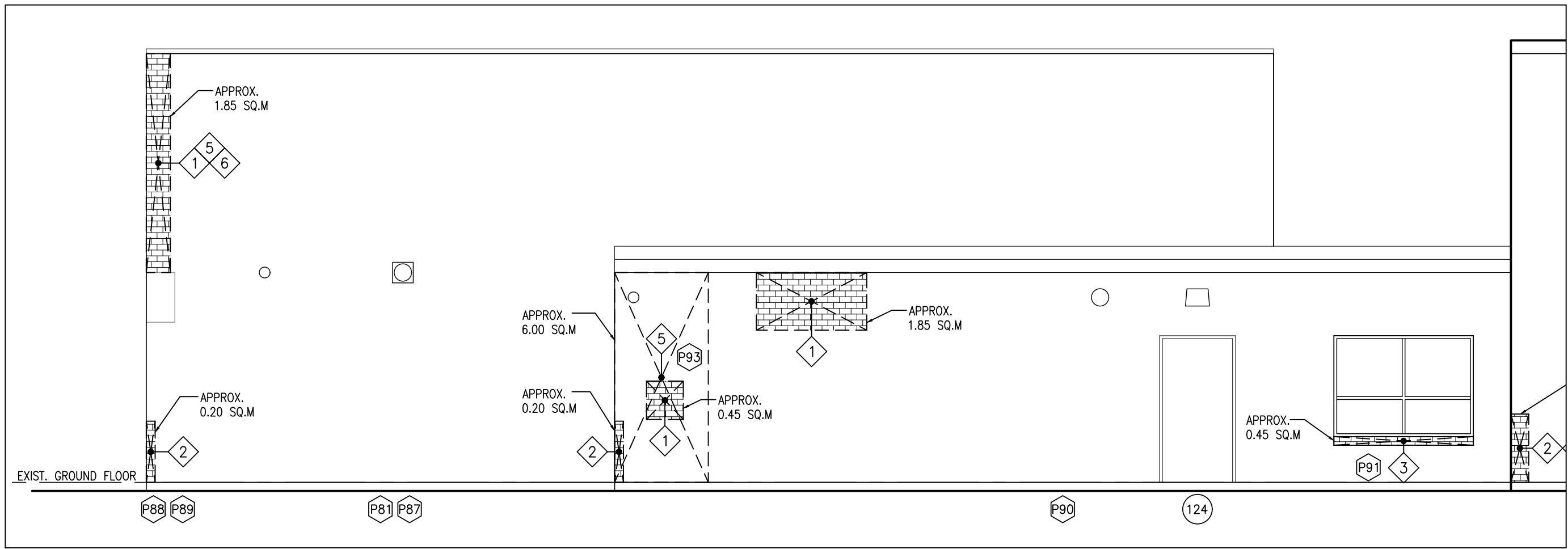
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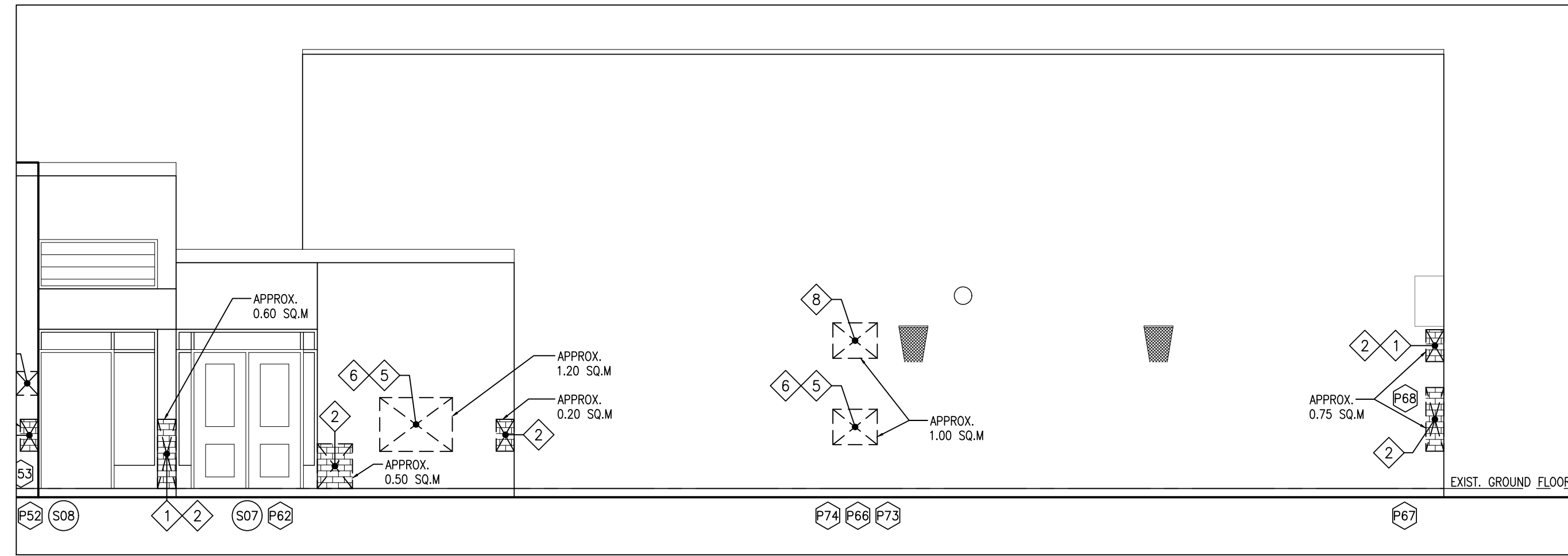
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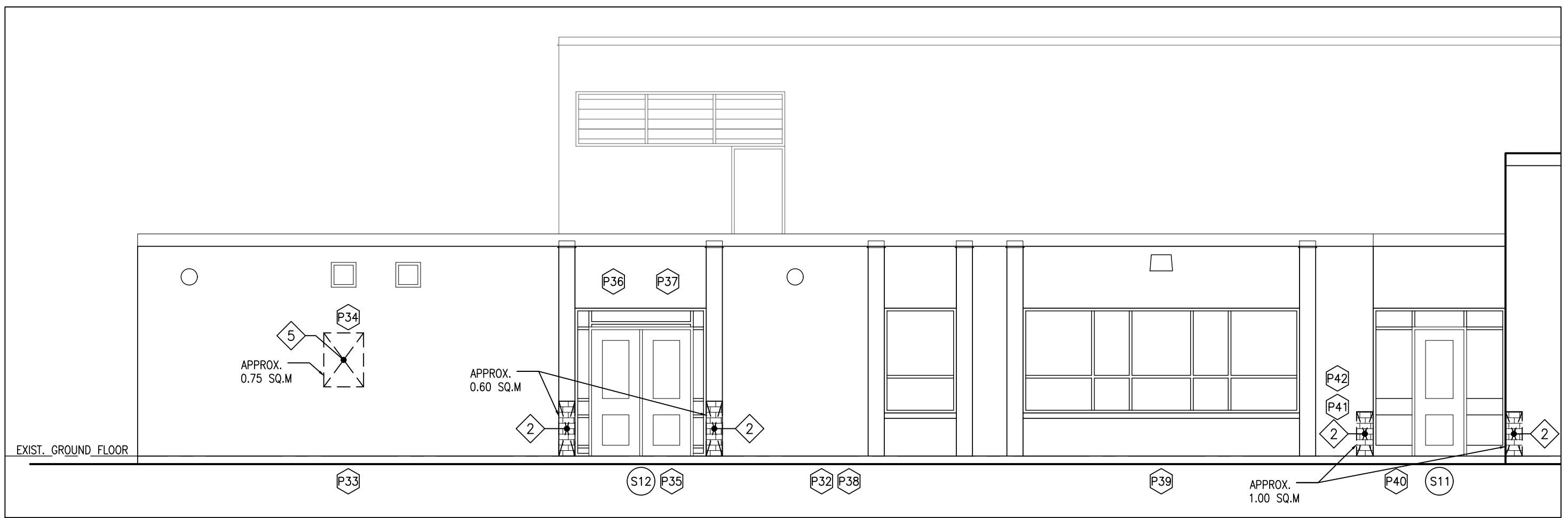
**5 PART SOUTH ELEVATION**  
A303 1:75



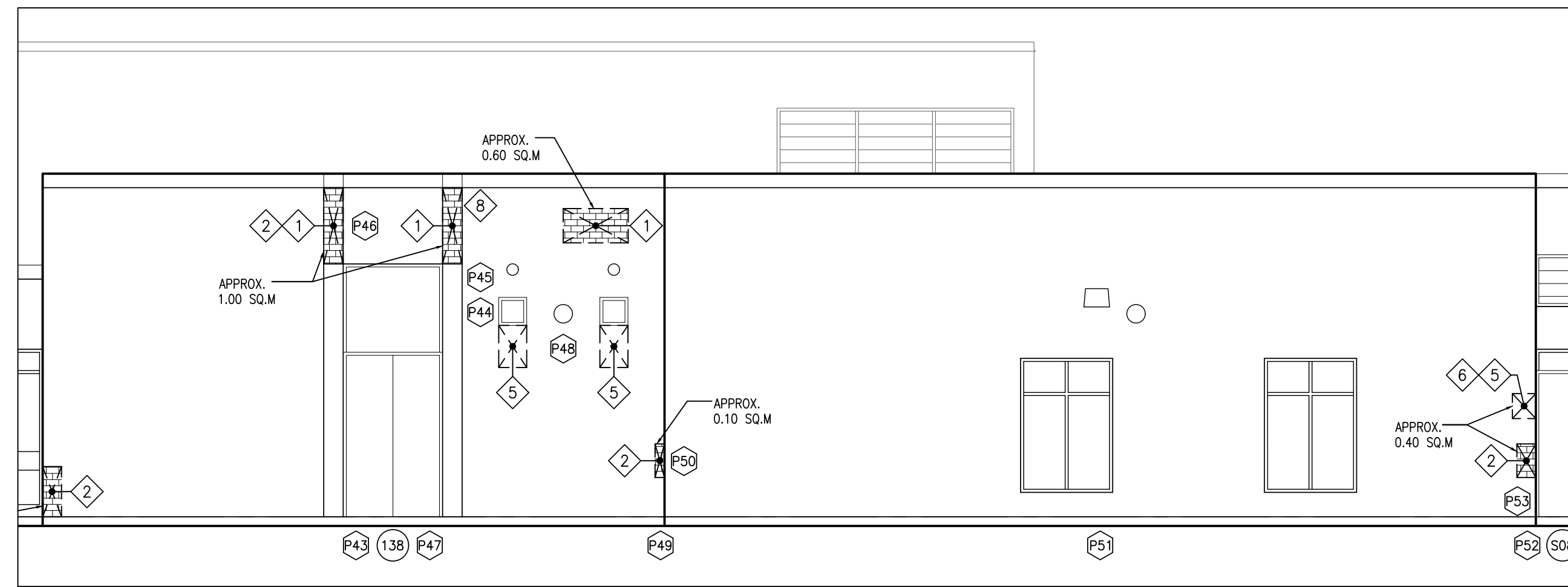
**4 PART SOUTH ELEVATION**  
A303 1:75



**3 PART NORTH ELEVATION**  
A303 1:75



**2 PART NORTH ELEVATION**  
A303 1:75



**1 PART NORTH ELEVATION**  
A303 1:75

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**PROJECT:**  
**RENOVATIONS AT ECOLE ELEMENTAIRE JEANNE-LAJOIE**  
150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
Conseil scolaire Viamonde

**DRAWING:**  
**PART NORTH AND SOUTH ELEVATIONS**

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Project Managers  
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100181883  
PROVINCE OF ONTARIO

|                          |                        |
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| DRAWN BY:<br>JJA         | % COMPLETE:            |
| CHECKED BY:              | INITIAL:               |
| DATE:<br>JAN. 2025       |                        |
| SCALE:<br>1:75           |                        |
| FILE:<br>24195 A301-A303 |                        |

**PROJECT NO:** 24195  
**DRAWING NO:** A303

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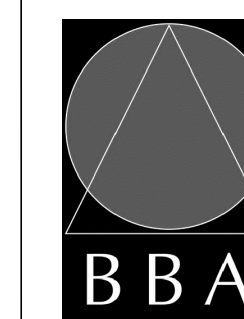


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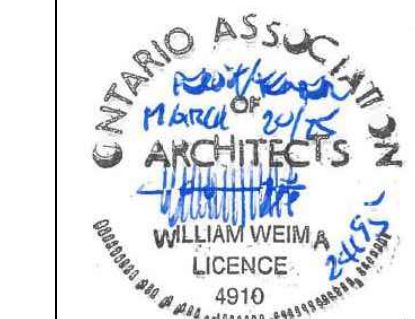
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PROJECT:  
**RENOVATIONS AT  
ECOLE ELEMENTAIRE  
JEANNE-LAJOIE**  
150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
Conseil scolaire Viamonde

DRAWING:  
**STAGE SECTION AND  
ELEVATION**

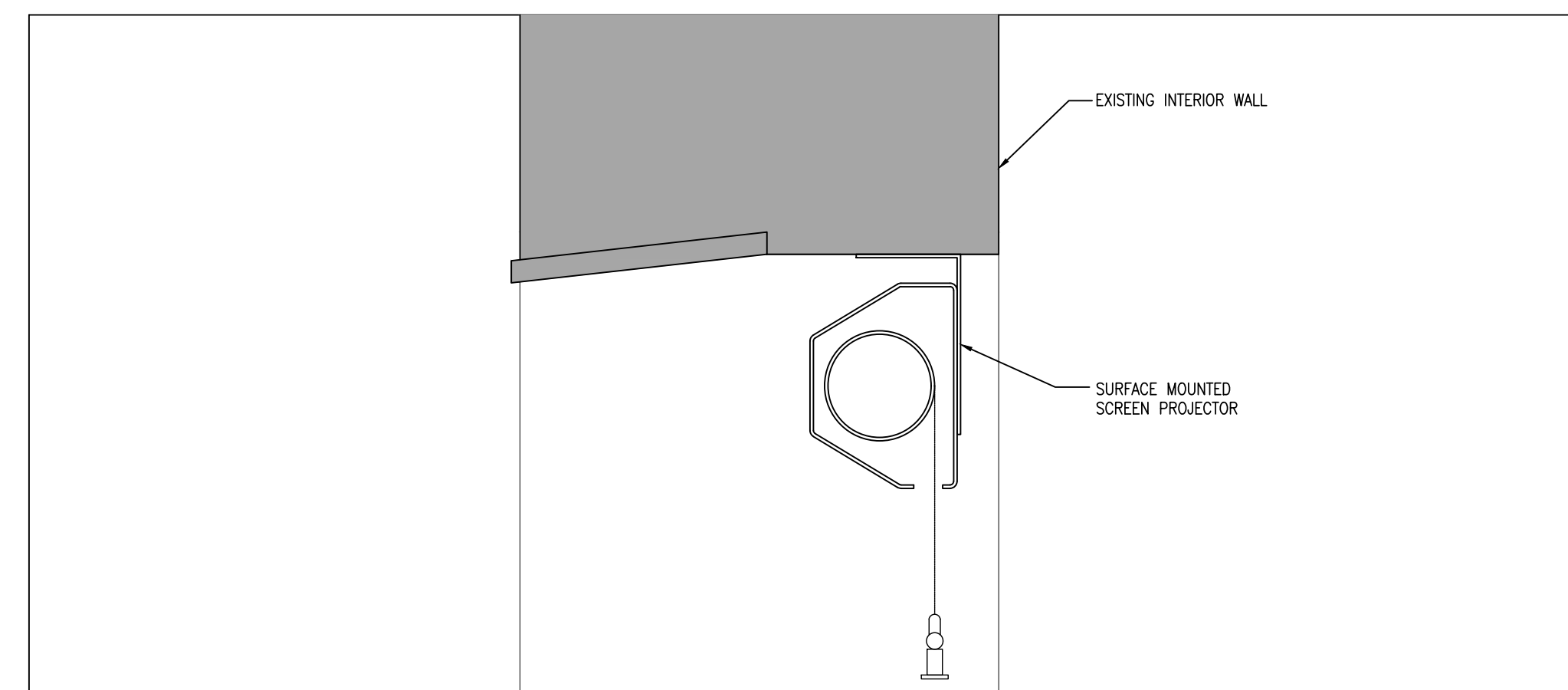


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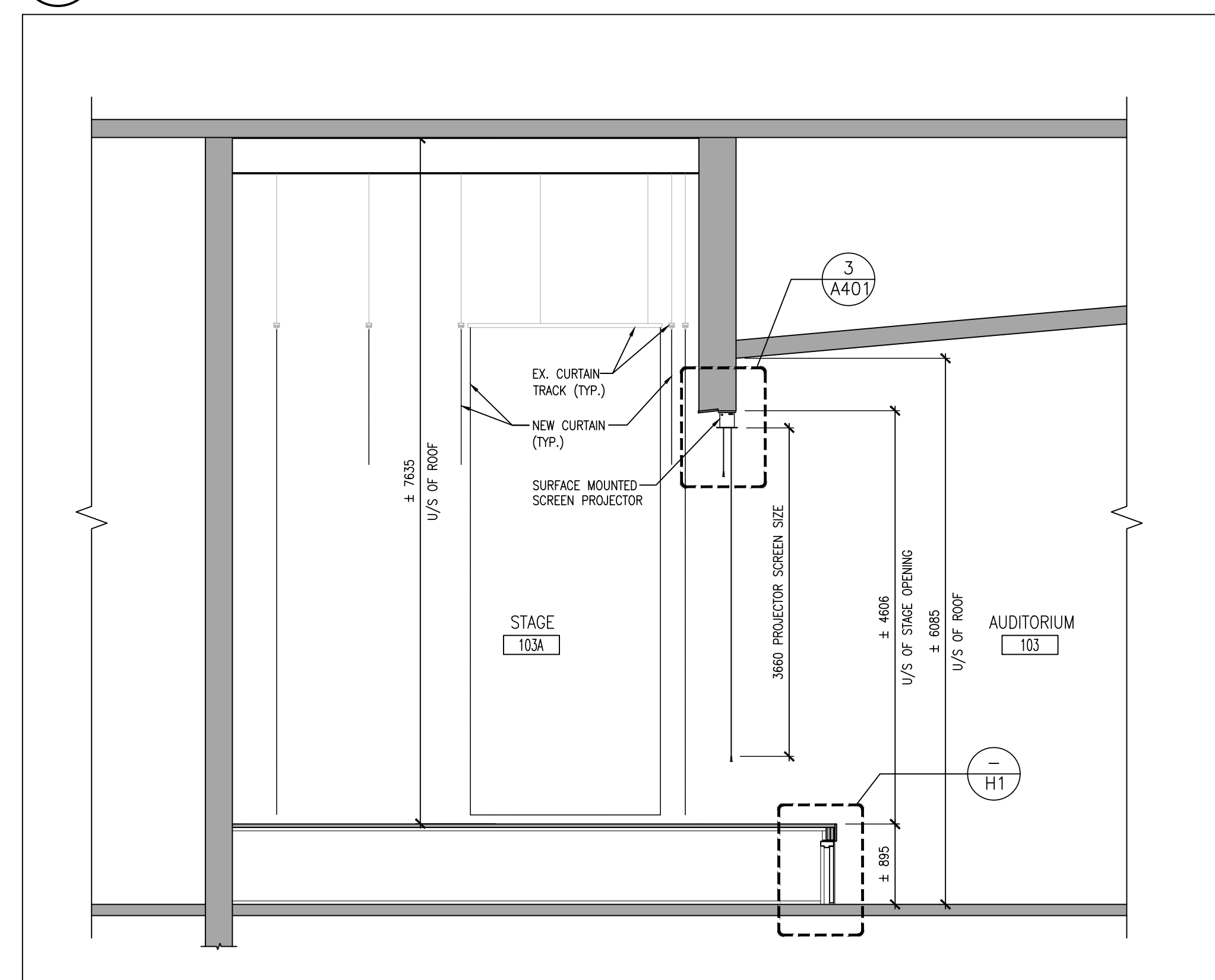


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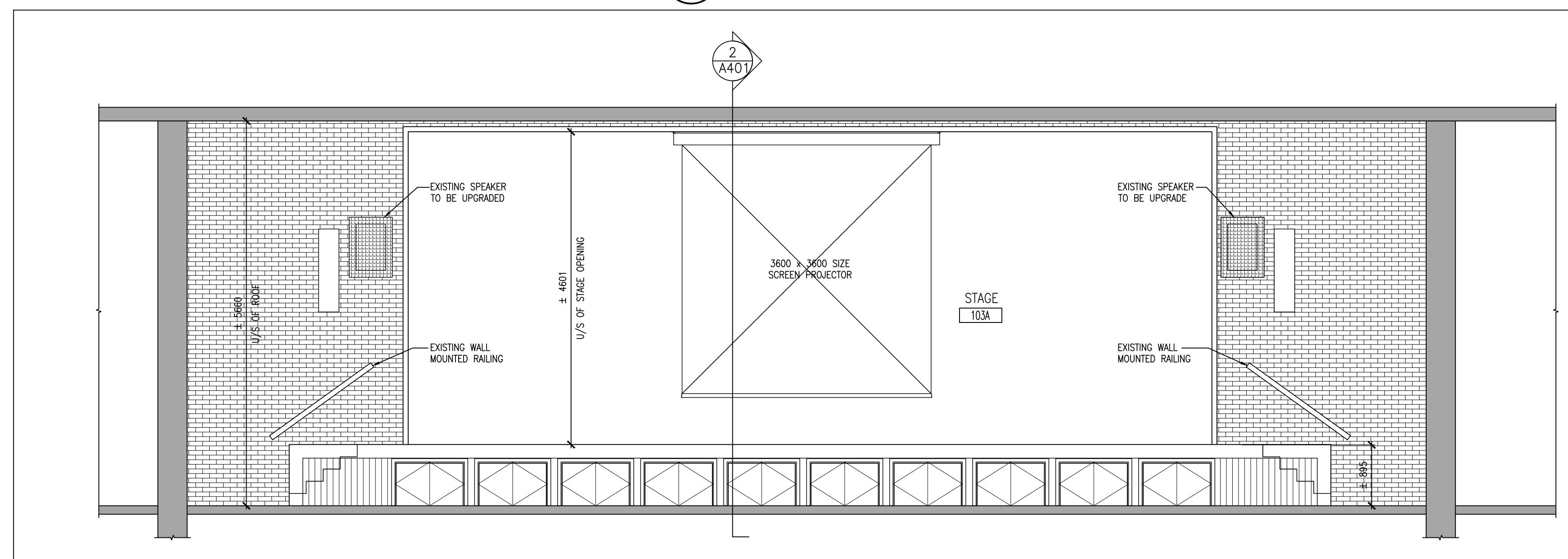
PROJECT NO: **24195**  
DRAWING NO: **A401**



**3**  
**A401** SECTION DETAIL  
1:5



**2**  
**A401** BUILDING SECTION - STAGE #103A  
1:50



**1**  
**A401** INTERIOR ELEVATION - AUDITORIUM #103  
1:50

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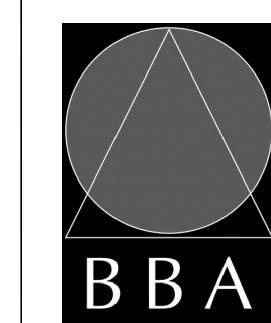


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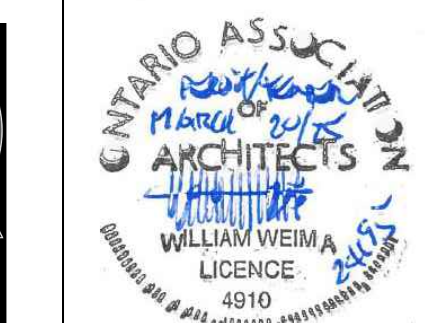
PROJECT:  
**RENOVATIONS AT  
ECOLE ELEMENTAIRE  
JEANNE-LAJOIE**  
150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
Conseil scolaire Viamonde

DRAWING:  
**INTERIOR ELEVATIONS**



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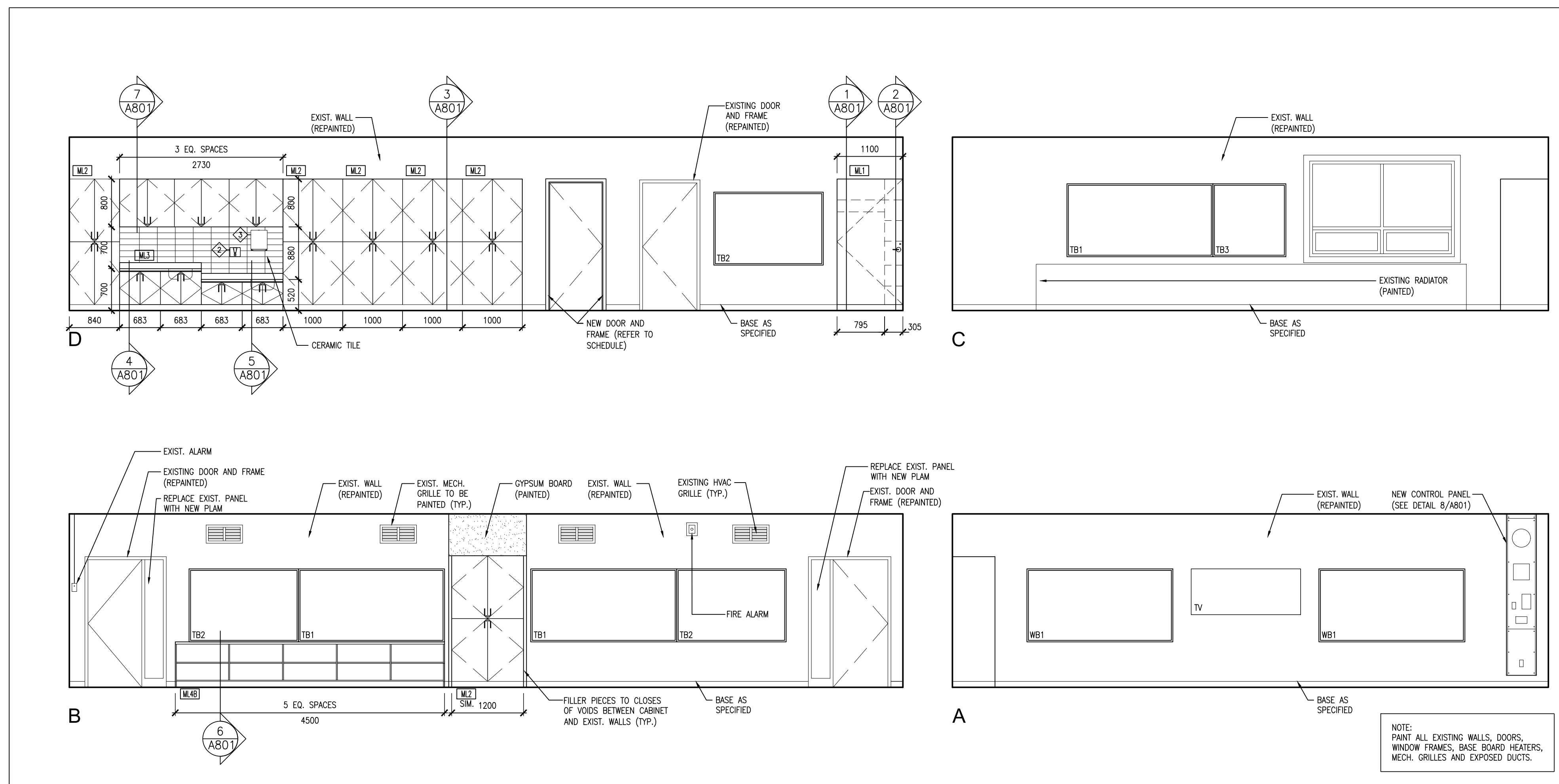


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DRAWN BY:  
JJA/LQ  
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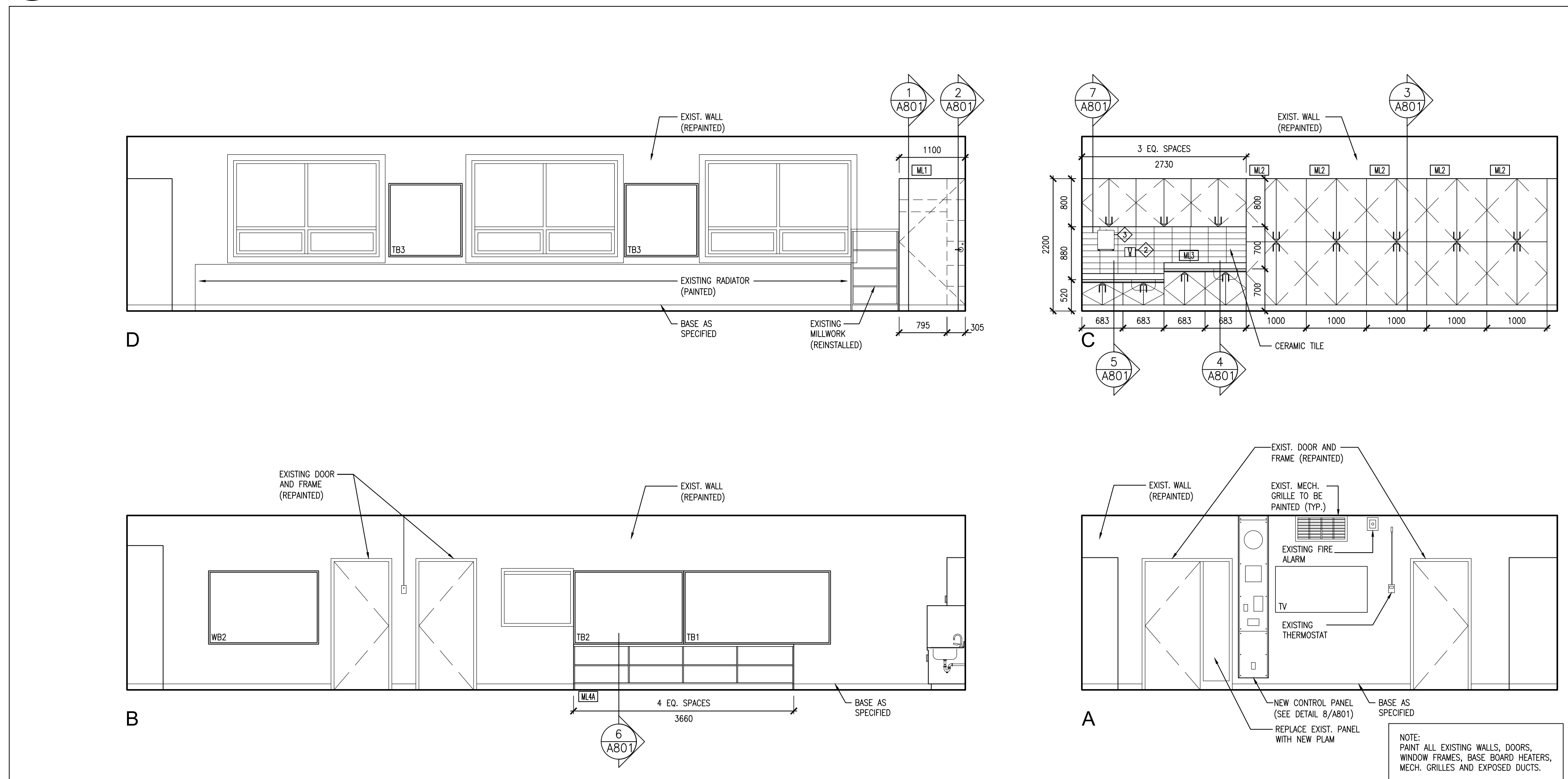
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DATE:  
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SCALE:  
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FILE:  
24195-A701-A702

PROJECT NO:  
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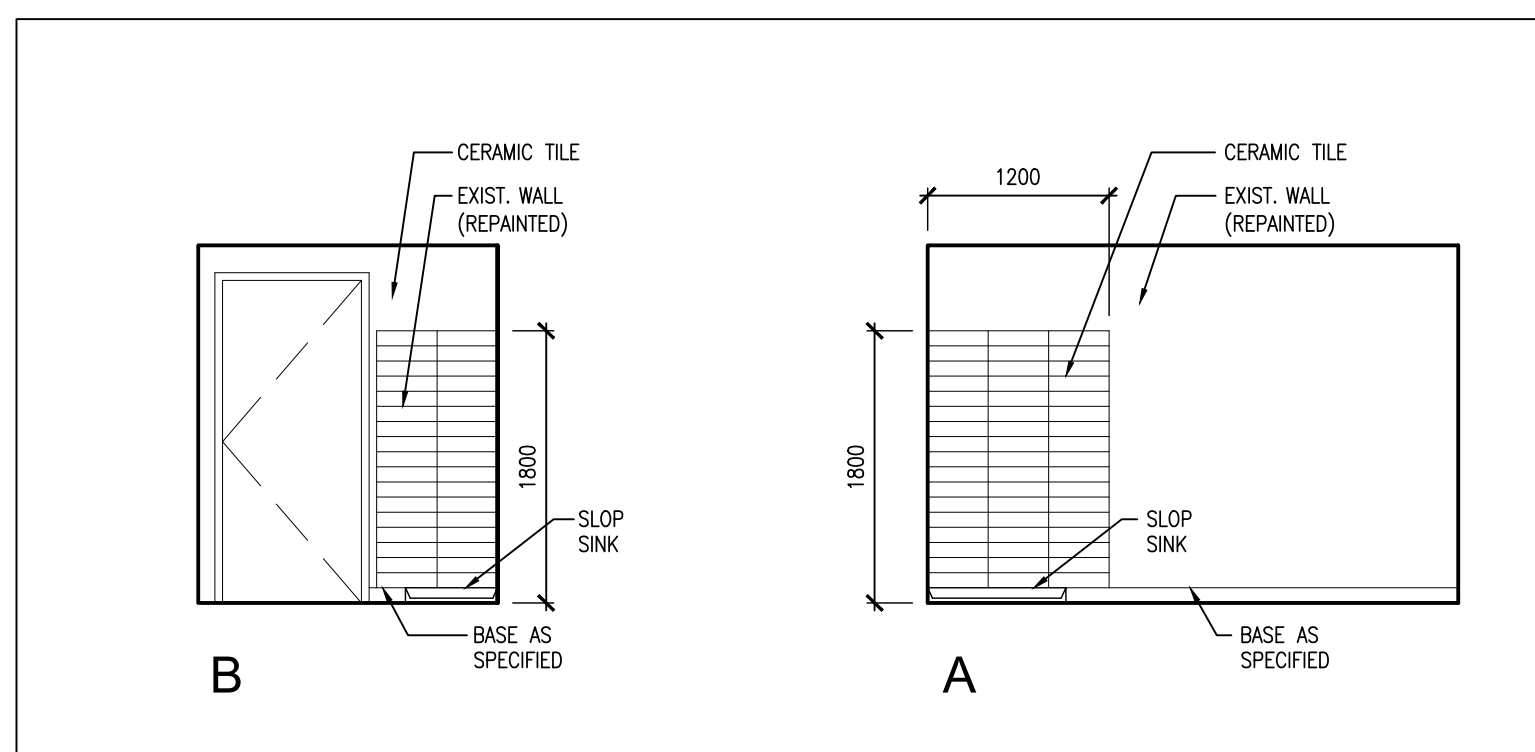
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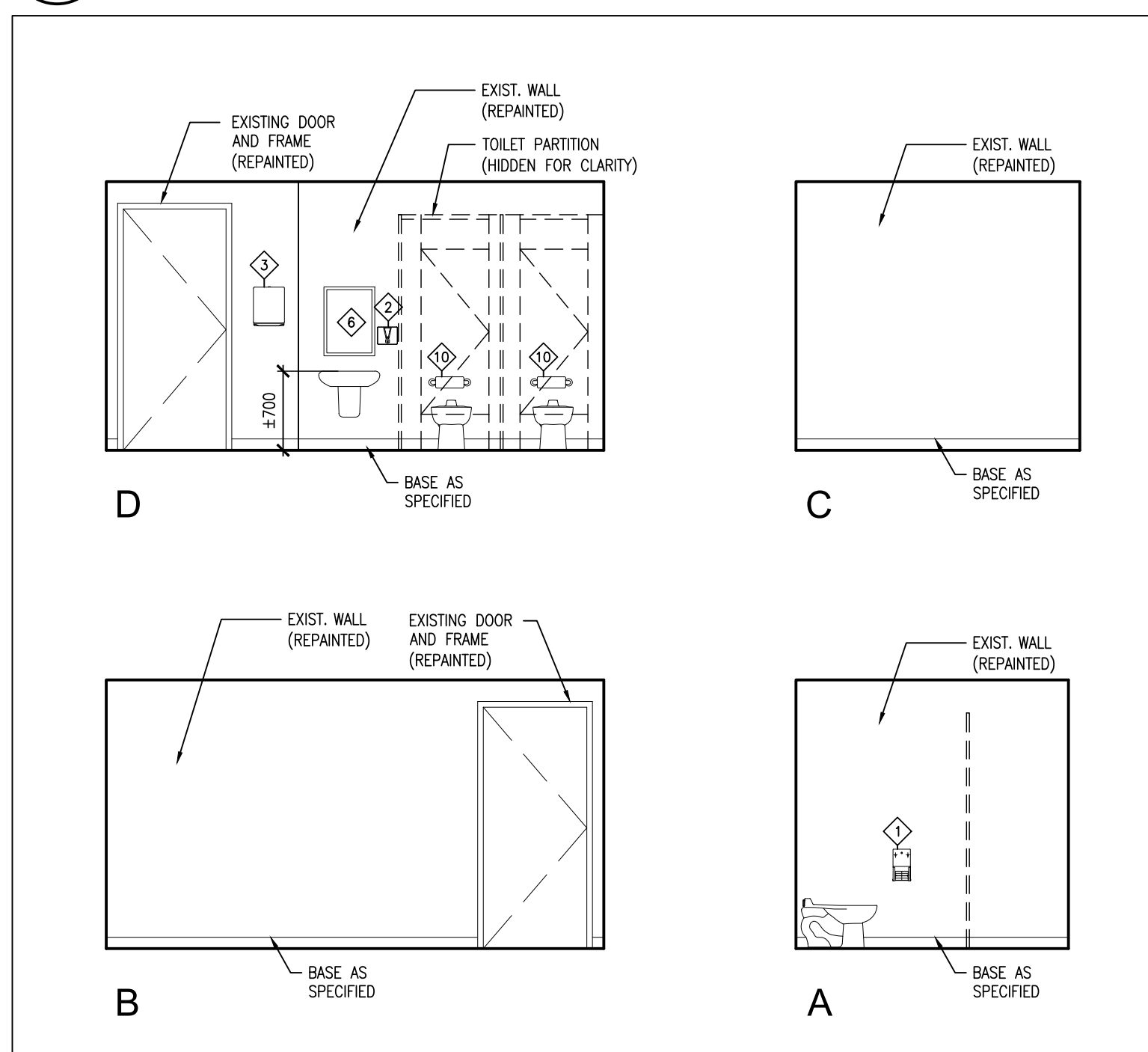
**2**  
**A701** INTERIOR ELEVATIONS - CLASSROOM 122  
1 : 50



**1**  
**A701** INTERIOR ELEVATIONS - CLASSROOM 123  
1 : 50



**5**  
**A701** INT. ELEV. - CUSTODIAN 128  
1 : 50



**3**  
**A701** INTERIOR ELEVATIONS - WASHROOM 123A  
1 : 50

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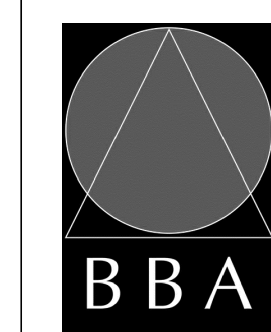


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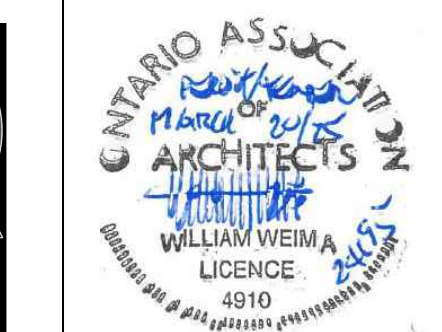
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PROJECT:  
**RENOVATIONS AT  
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JEANNE-LAJOIE**  
150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
Conseil scolaire Viamonde

DRAWING:  
**INTERIOR ELEVATIONS**



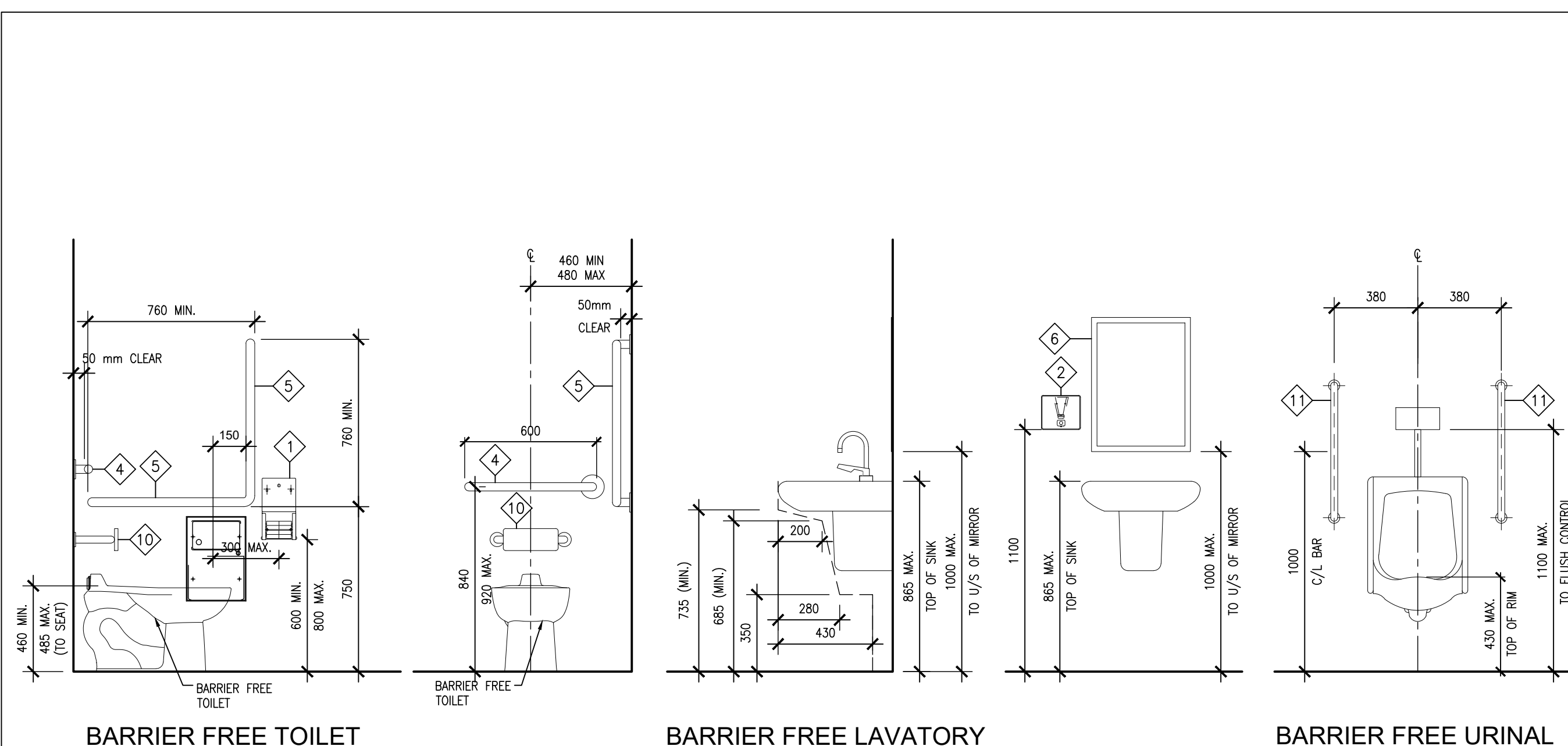
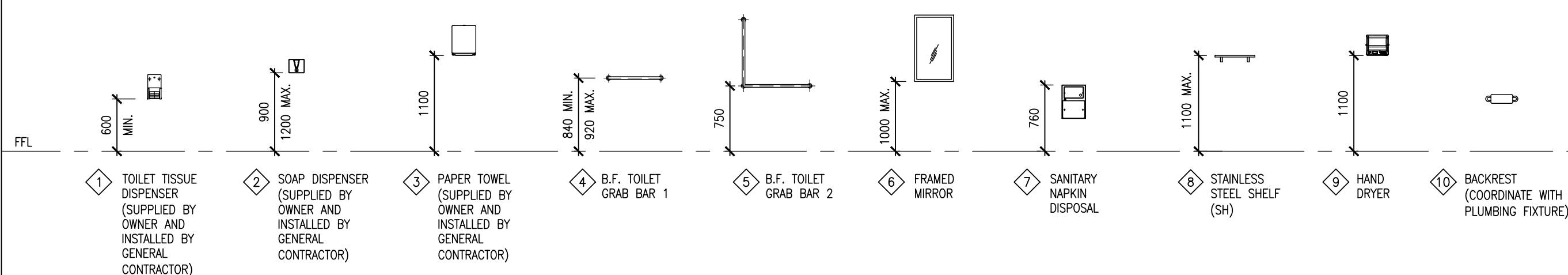
**BARRY BRYAN  
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DRAWN BY: JJA/LQ  
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FILE: 24195 A701-A702

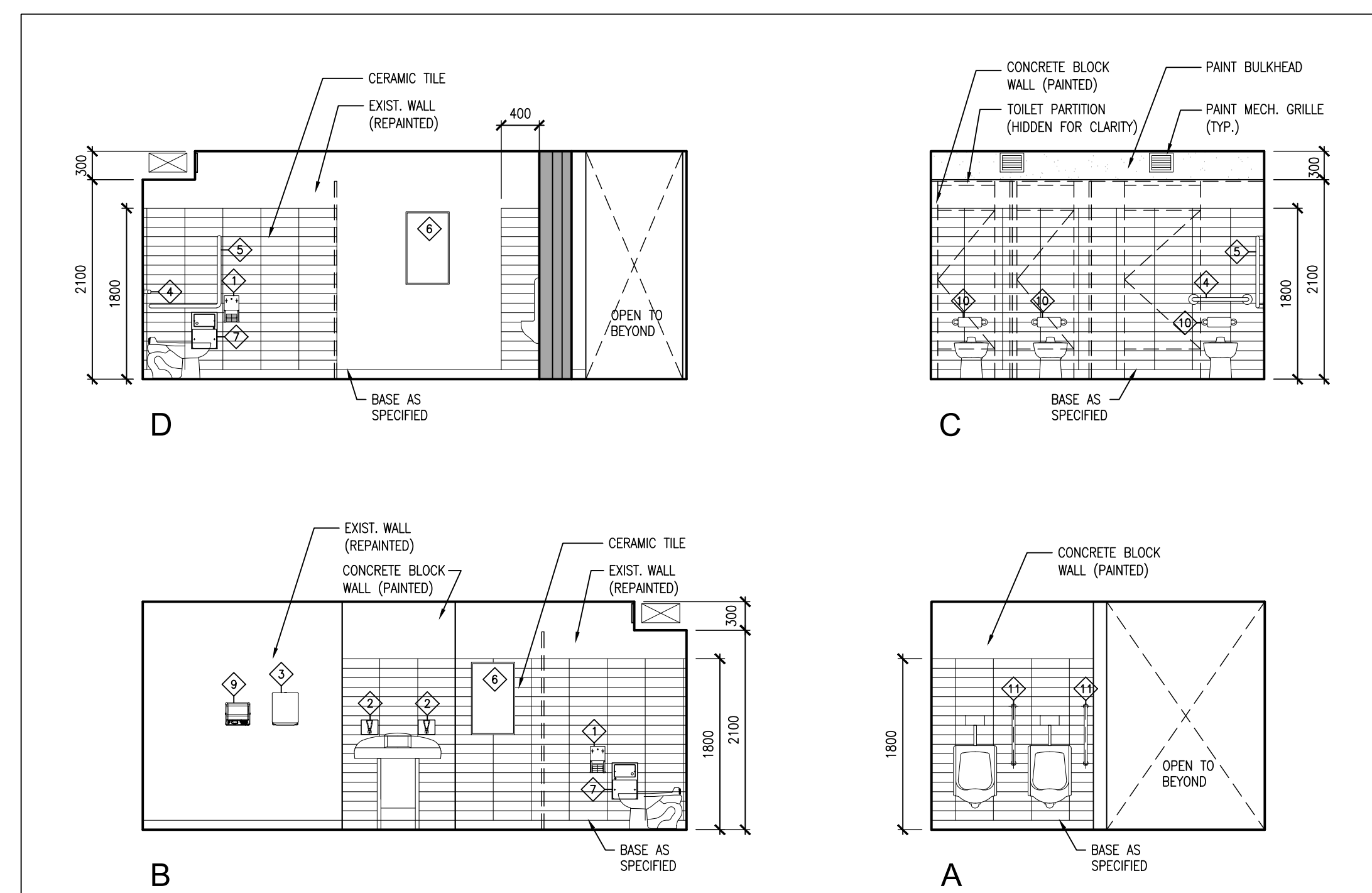
PROJECT NO: **24195**  
DRAWING NO: **A702**

**WASHROOM ACCESSORIES MOUNTING HEIGHTS**

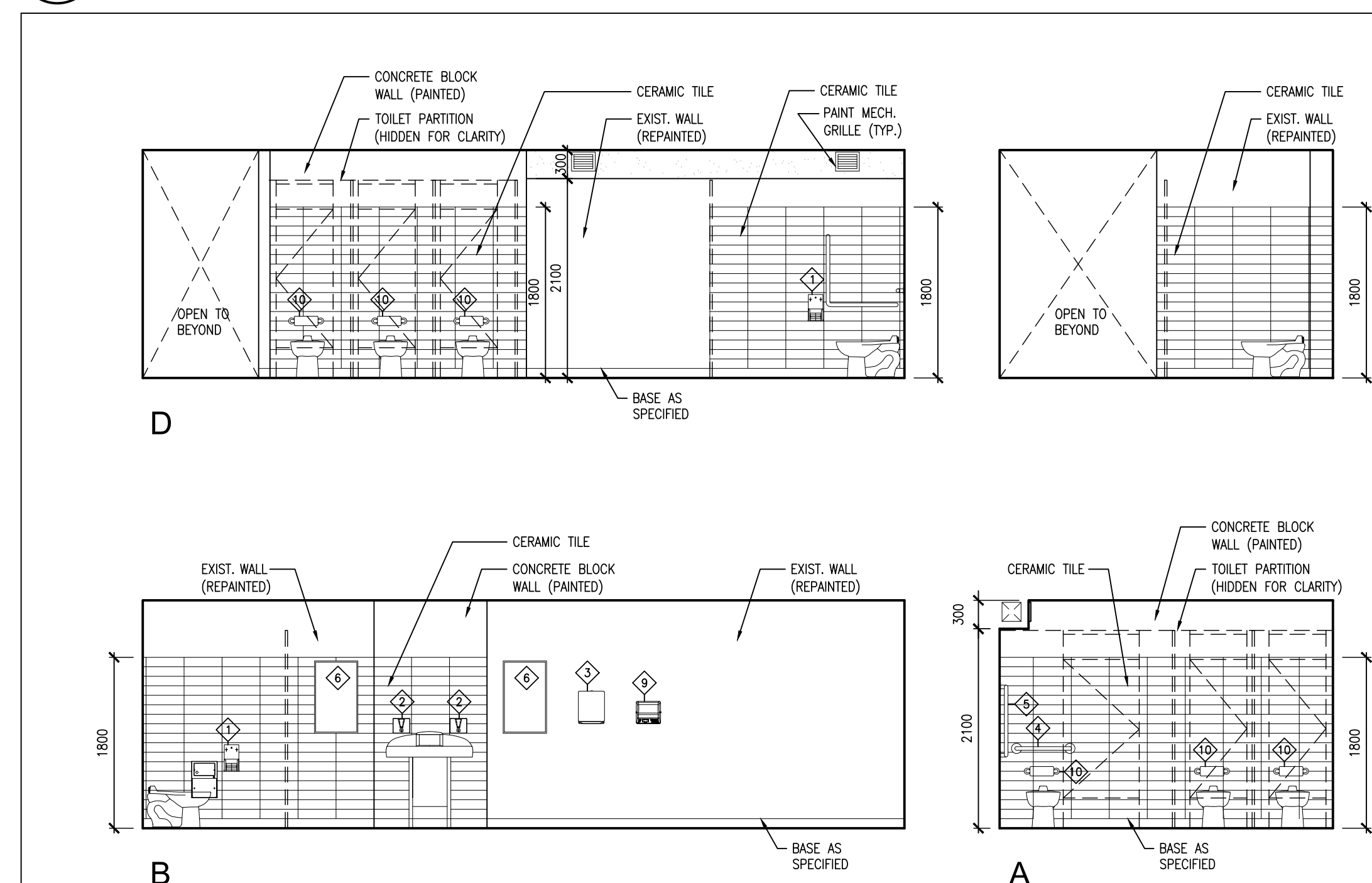


**3**  
**A702** BARRIER FREE MOUNTING HEIGHT REQUIREMENTS  
1:20

- NOTES:
- GRAB BARS SHALL BE MIN. 35mm $\phi$ , 40mm $\phi$  MAX.
  - CLEARANCE FOR GRAB BARS TO BE MIN. 38mm, 50mm MAX.
  - GRAB BARS TO HAVE SLIP RESISTANT SURFACE.
  - INSTALL GRAB BARS TO SUPPORT LOADING REQUIRED BY THE ONTARIO BUILDING CODE.
  - LOCATE COAT HOOK ON SIDEWALL OF TOILET STALL DOOR AT 1200mm MAX. ABOVE FINISHED FLOOR AND PROJECTING NOT MORE THAN 50mm.
  - ALL FIXTURES SHALL CONFORM TO BARRIER-FREE HEIGHTS OUTLINED IN THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
  - ALL ACCESSORIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
  - INSTALL DOOR OPERATOR, PUSH BUTTONS AND PUSH TO LOCK DEVICE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
  - INSTALL EMERGENCY CALL SYSTEM IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
  - PAPER TOWEL DISPENSER MOUNTED 600mm TO EDGE OF LAVATORY.



**2**  
**A702** INTERIOR ELEVATIONS - BOYS' W/R 129  
1:50



**1**  
**A702** INTERIOR ELEVATIONS - GIRLS' W/R 126  
1:50

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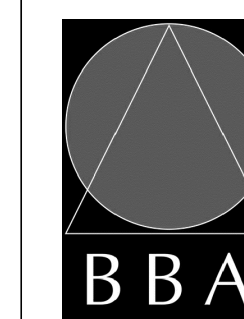


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PROJECT:  
**RENOVATIONS AT  
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JEANNE-LAJOIE**  
150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
Conseil scolaire Viamonde

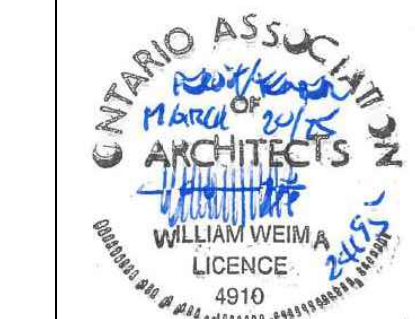
DRAWING:  
**MILLWORK SECTIONS**



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DRAWN BY:  
JJA

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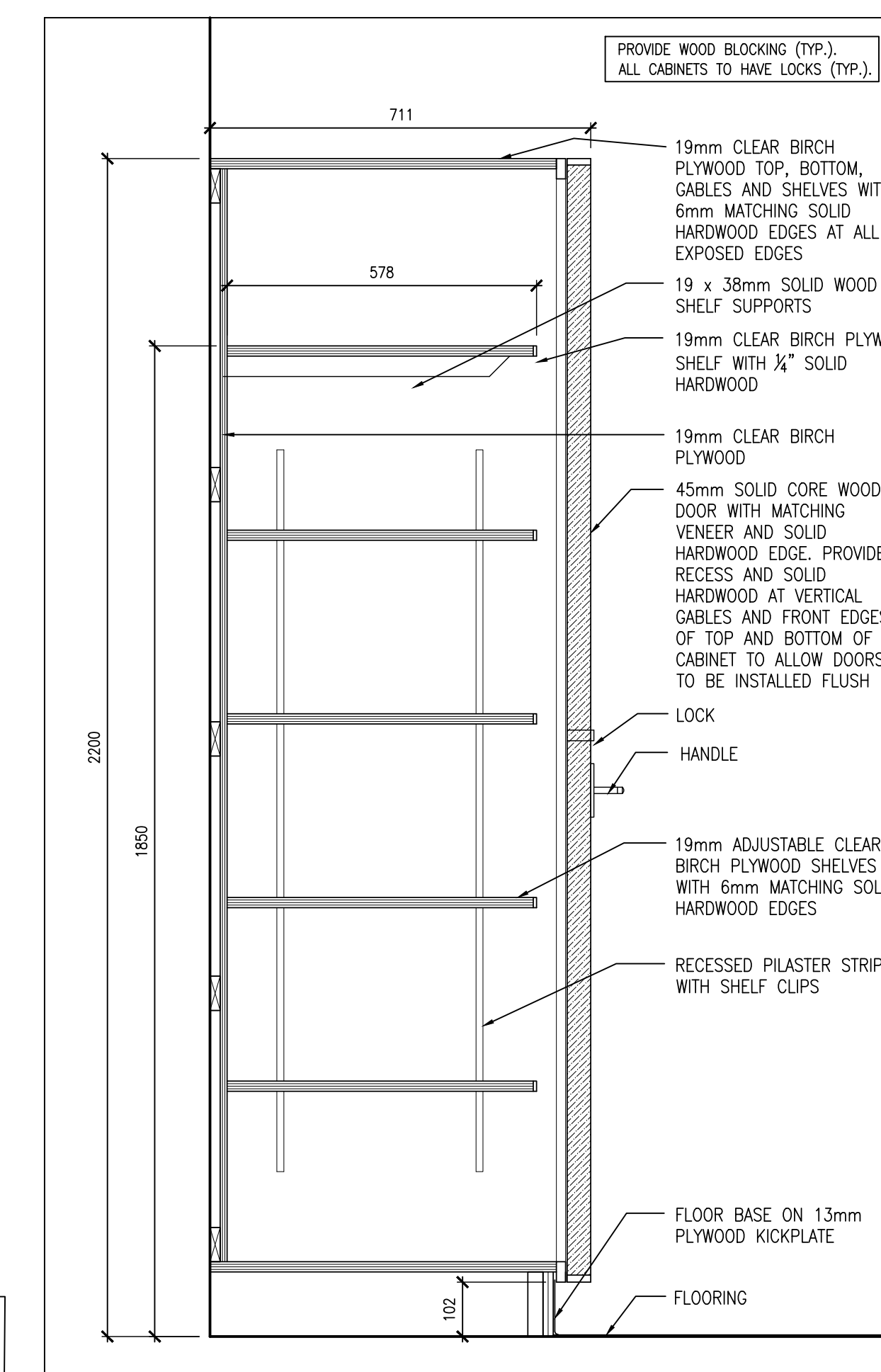
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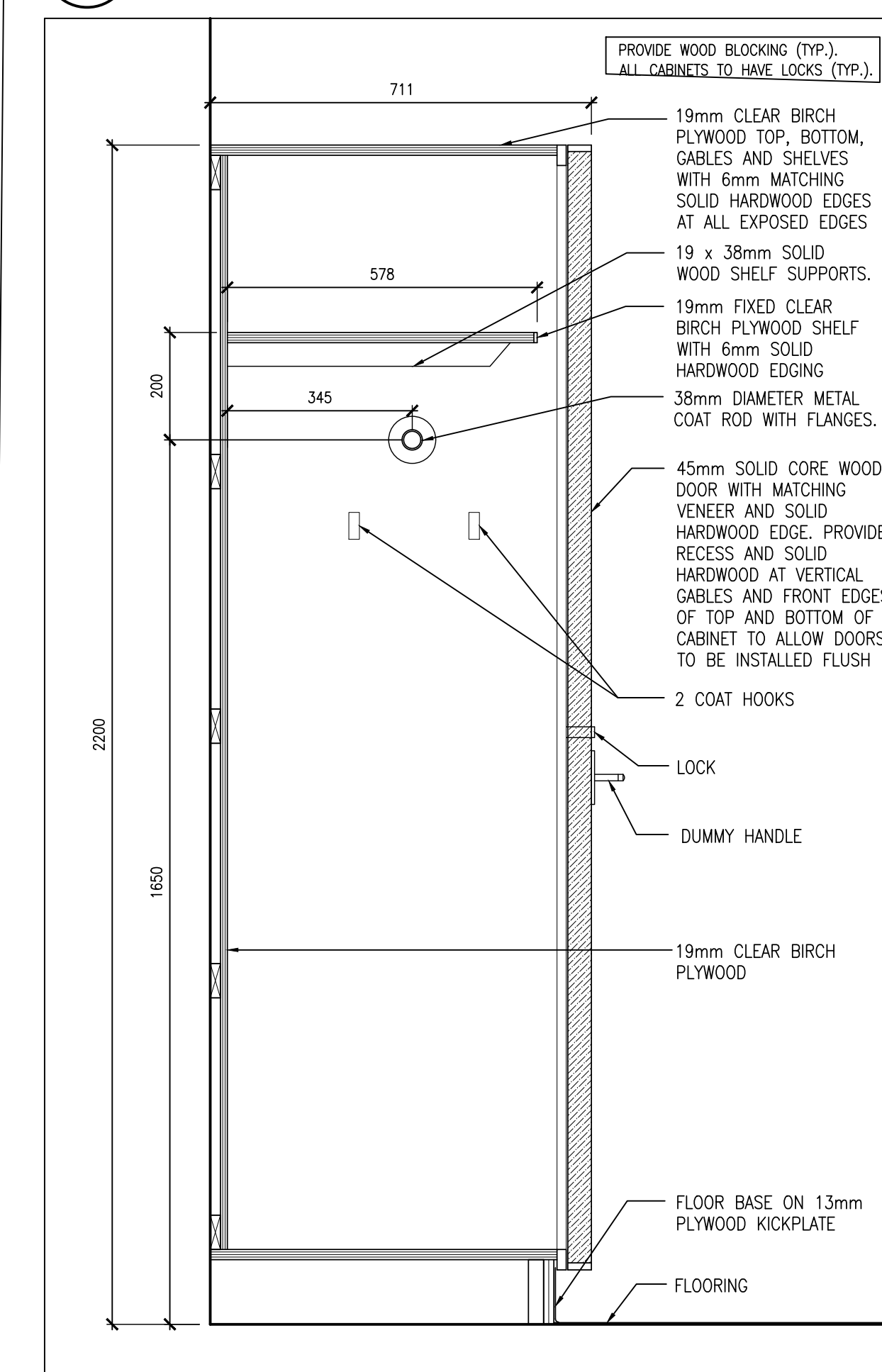
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24195 A701-A702

PROJECT NO:  
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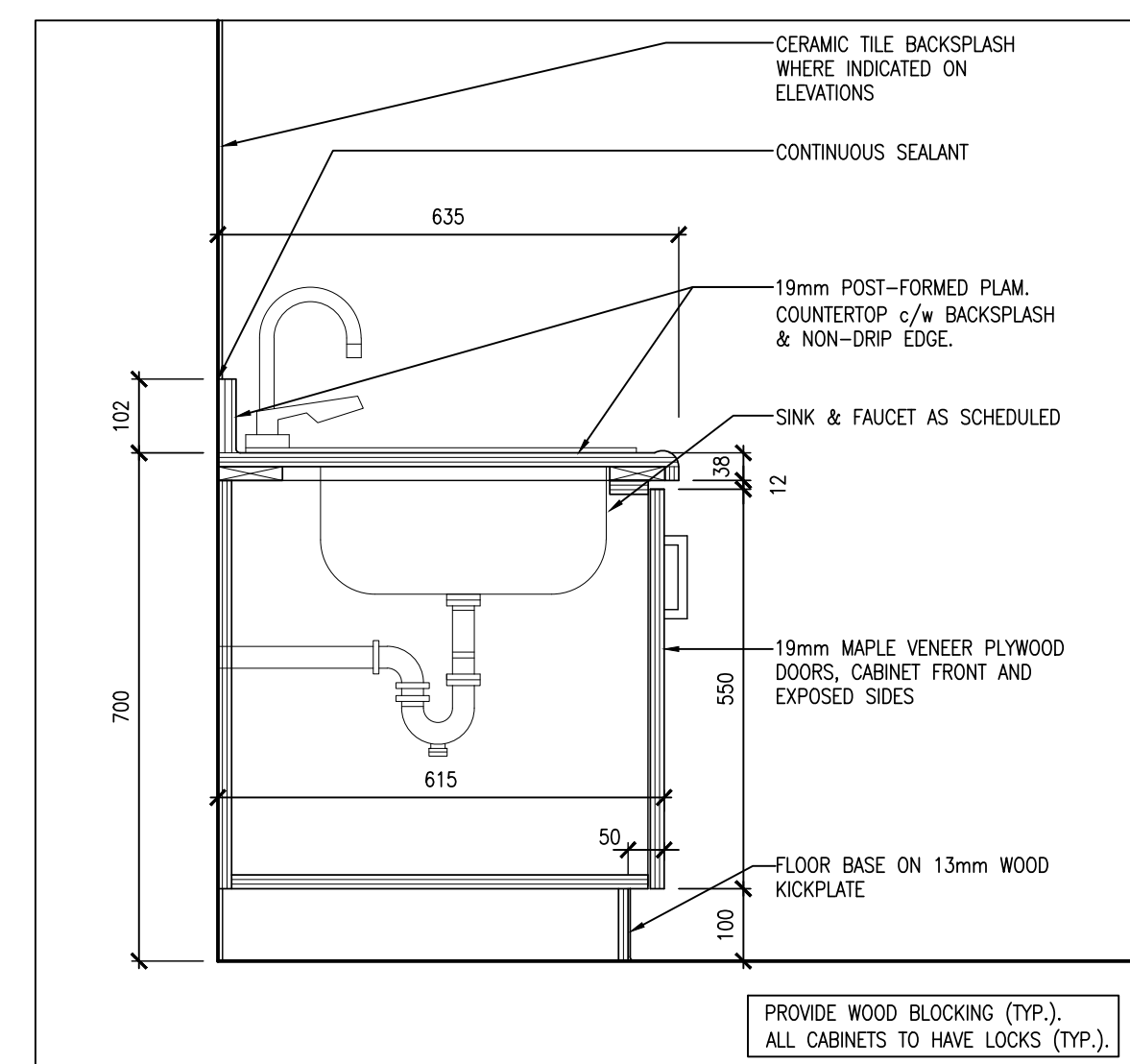
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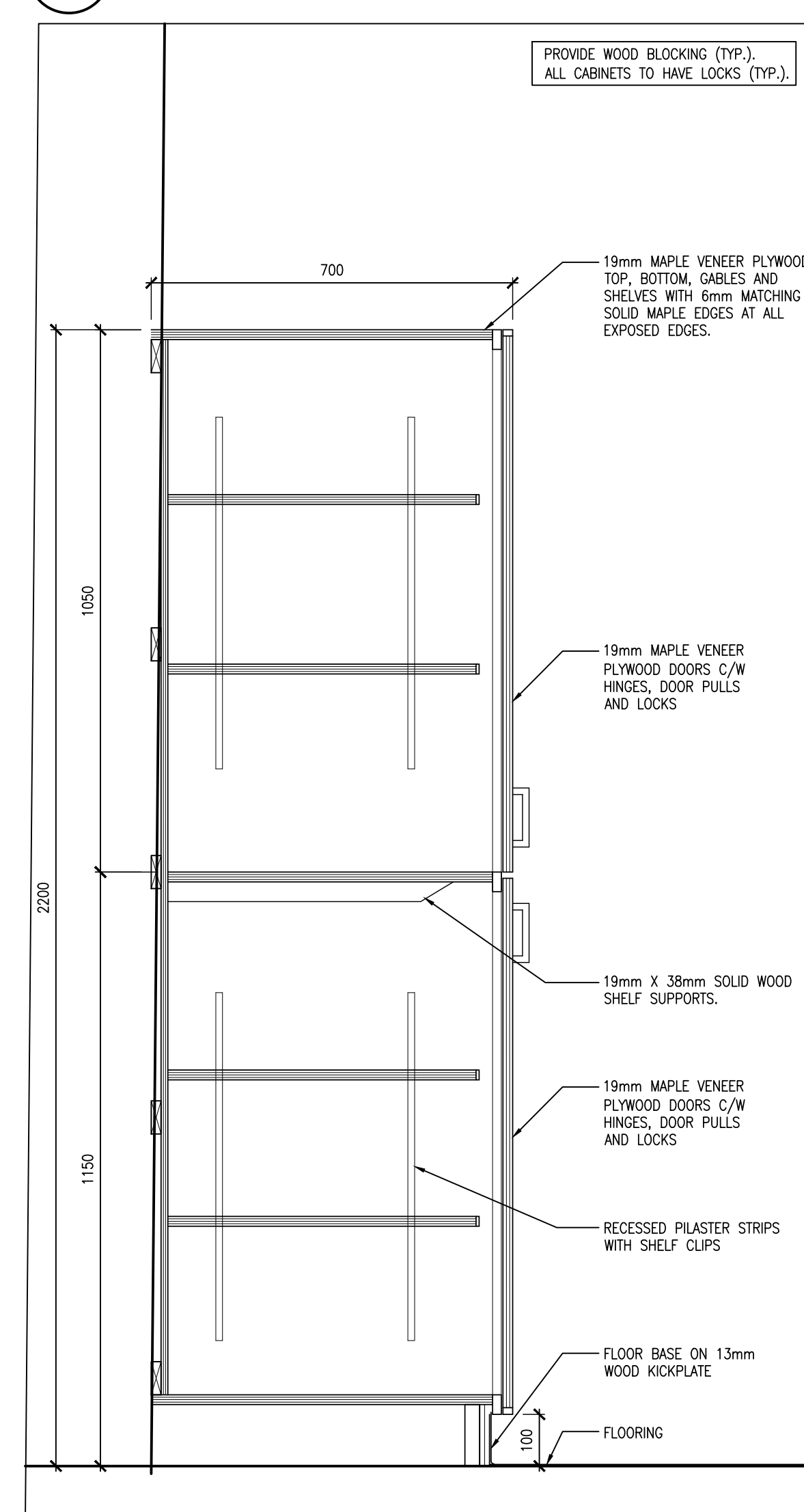
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**A801** 1:10  
**TEACHER'S CLOSET SECTION**



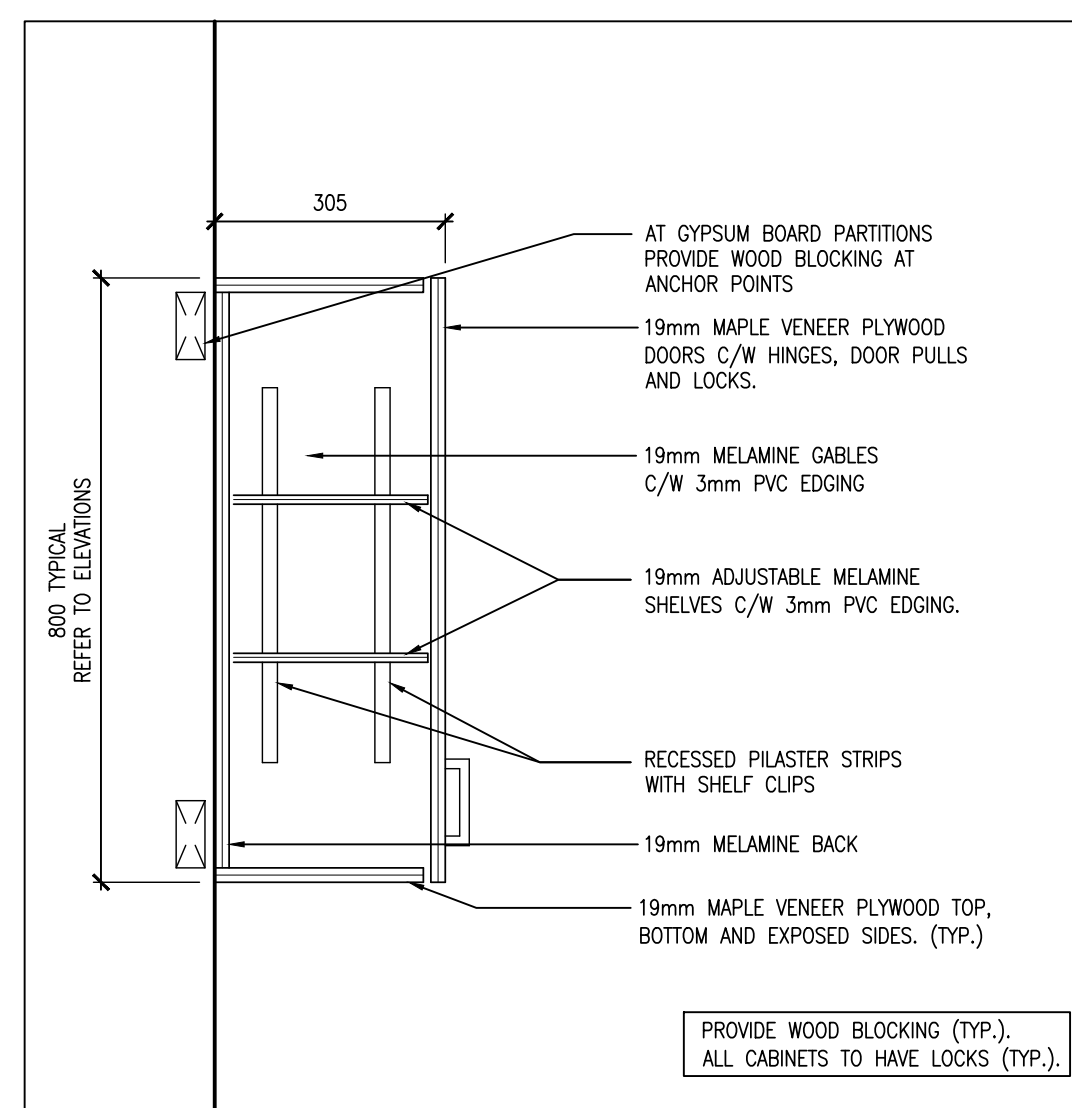
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**A801** 1:10  
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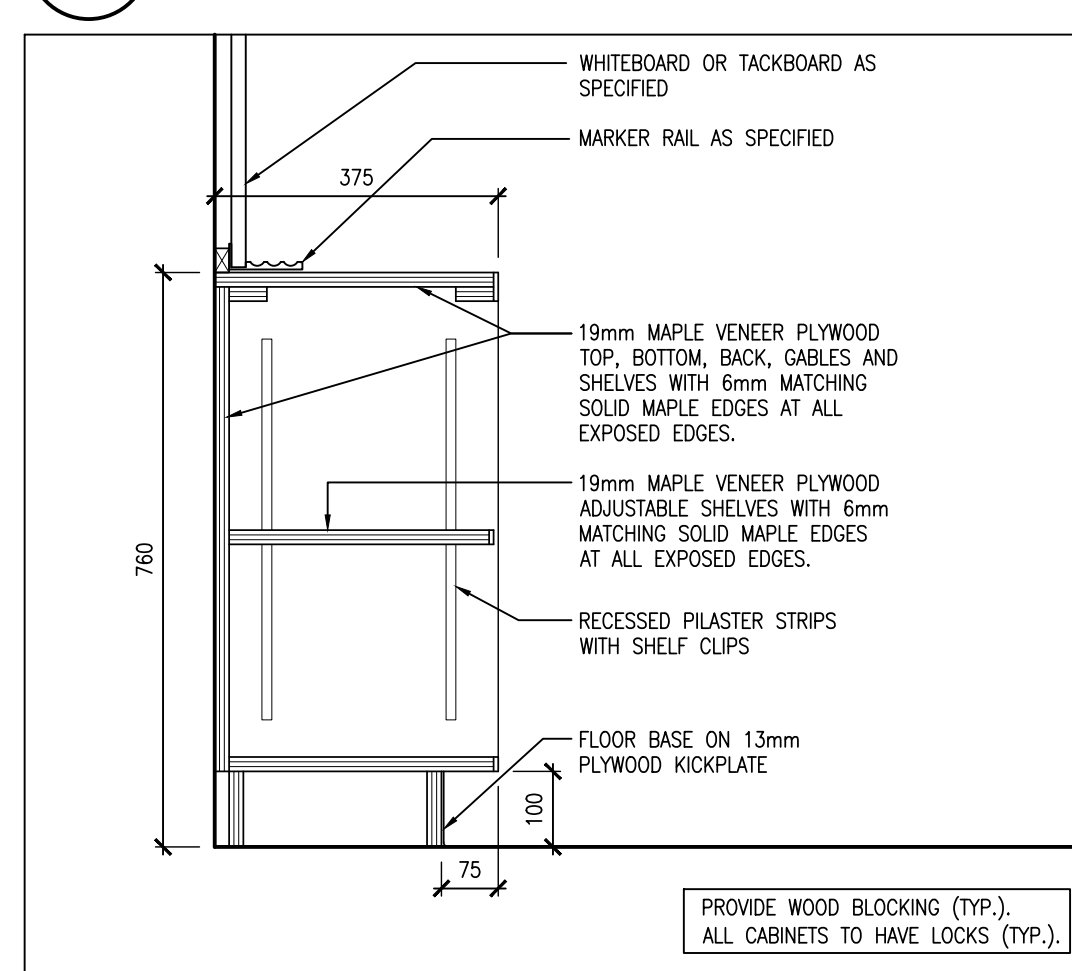
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**A801** 1:10  
**SINK BASE CABINET**



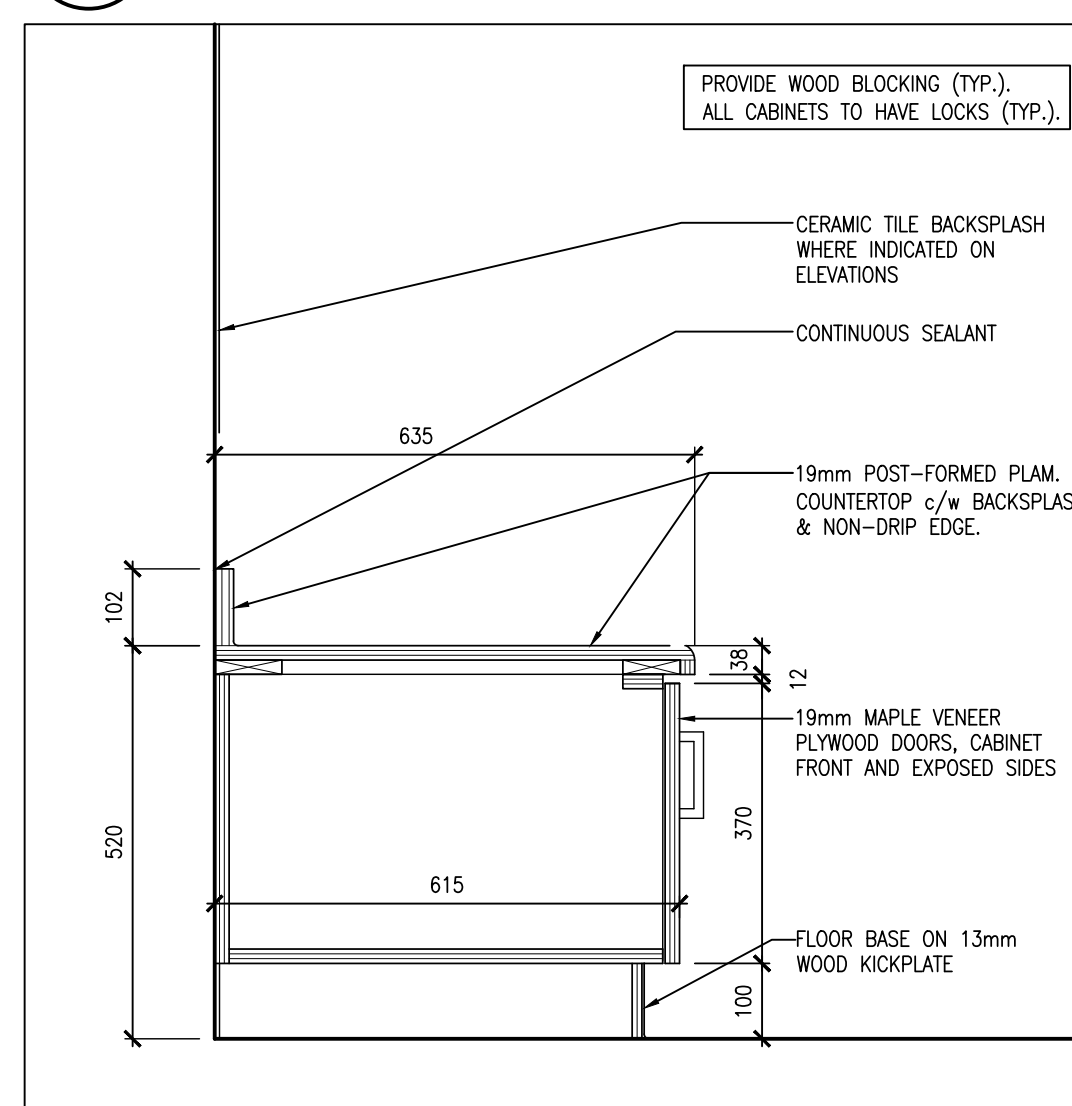
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**A801** 1:10  
**STORAGE SECTION**



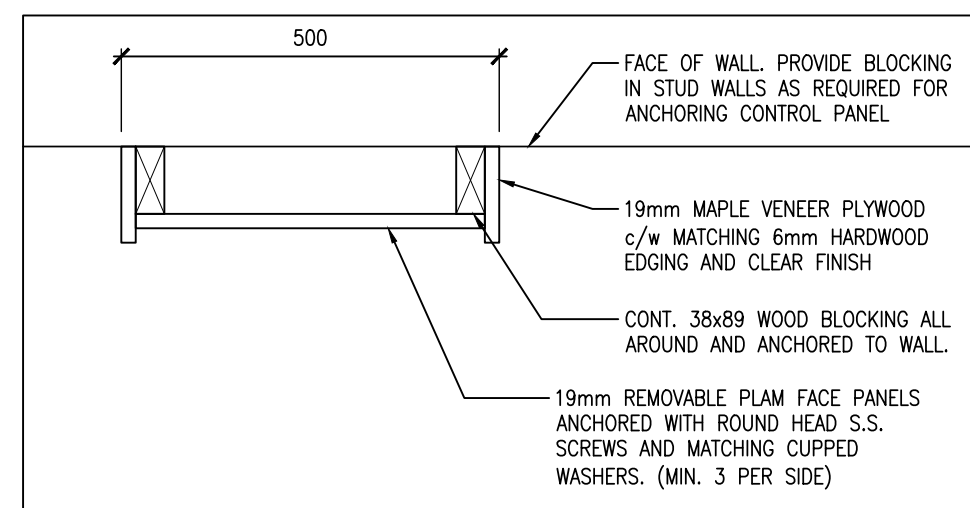
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**A801** 1:10  
**UPPER CABINET**



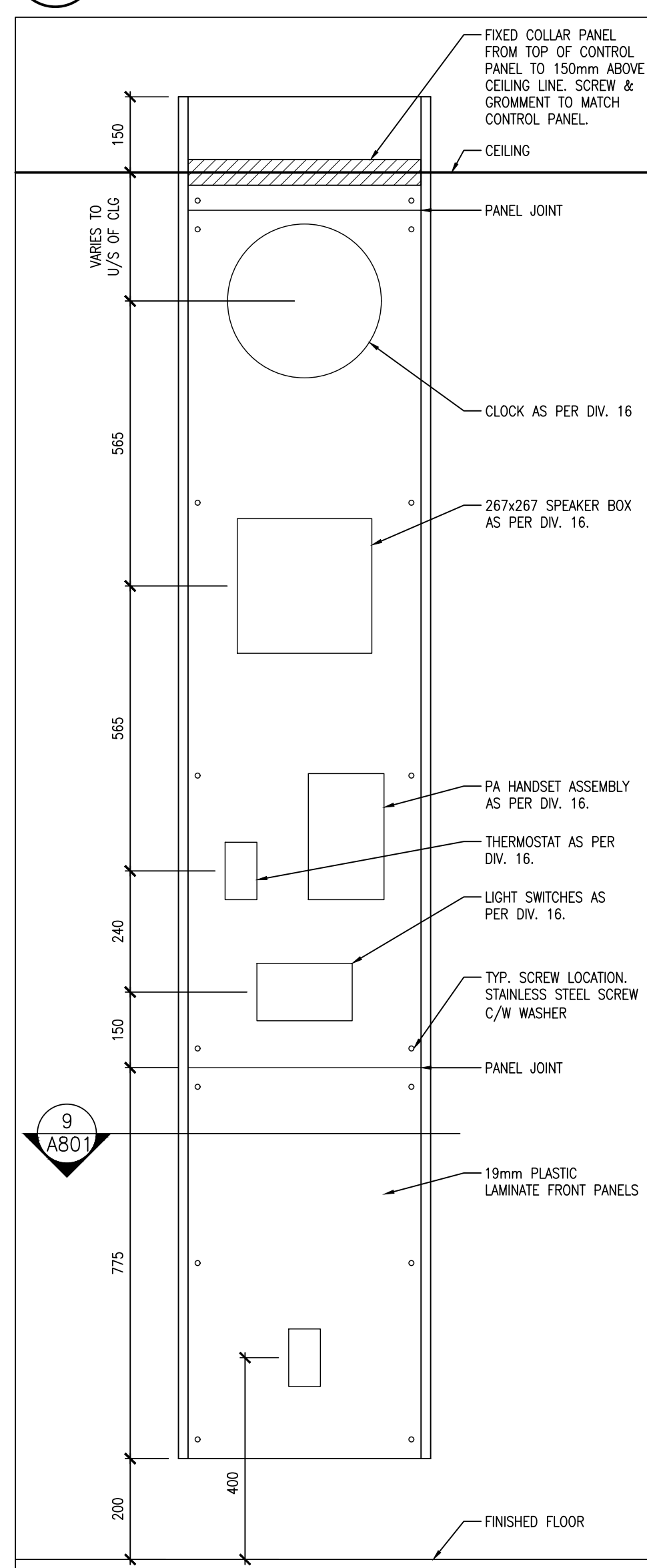
**6**  
**A801** 1:10  
**BOOK SHELF**



**5**  
**A801** 1:10  
**SINK BASE CABINET**



**9**  
**A801** 1:10  
**CONTROL PANEL SECTION**



**8**  
**A801** 1:10  
**CONTROL PANEL ELEVATION**





**REPAIR NOTES**

- 1 REPAIR BROKEN AND DAMAGED BRICK. INSTALL REPLACEMENT BRICK WHERE INDICATED.
- 2 REPAIR BROKEN MASONRY AT CORNERS OF BRICK RELIEF.
- 3 REPAIR BROKEN MASONRY BRICK / MORTAR AT WINDOW SILLS AND REPLACE WITH NEW TO MATCH. PROVIDE DRIP FLASHING.
- NOTE: RE-SEAL ALL WINDOW JAMBS FOLLOWING BRICK WALL REPAIR
- 4 ROUT OUT JOINTS AND REPAINT MATCH EXISTING
- 5 POWER WASH / CLEAN ALL EXTERIOR BRICK / CONCRETE SURFACES POST NEW CONSTRUCTION.
- 6 REMOVE GRAFFITI FROM BRICK.
- 7 SCRAPE OFF EXISTING LOOSE PAINT, MAKE SURFACE READY FOR NEW AND REPAINT.
- 8 REMOVE ABANDONED STEEL CONDUIT C/W ALL LOCALIZED ABANDONED MOUNTING BOLTS. INFILL BRICK VENEER WITH GROUT, COLOUR TO MATCH EXISTING.

**REPAIR LEGEND:**

AREAS INDICATED ON ELEVATIONS ARE VISUAL ESTIMATED LOCATIONS. CONFIRM ON SITE. NOTE AREAS FOR DETERIORATED / SPALLED MASONRY BRICKS (NOT INDICATED ON THESE DRAWINGS) TO OWNER AND CONSULTANTS.

REMOVE AND REPLACE DETERIORATED/SPALLED MASONRY BRICKS, COLOUR TO MATCH EXISTING BRICK REFER TO ELEVATIONS FOR EXTENTS.

NOTE: PHOTO DETAILS TO BE READ IN CONJUNCTION WITH EXRIOR ELEVATION SHEETS.

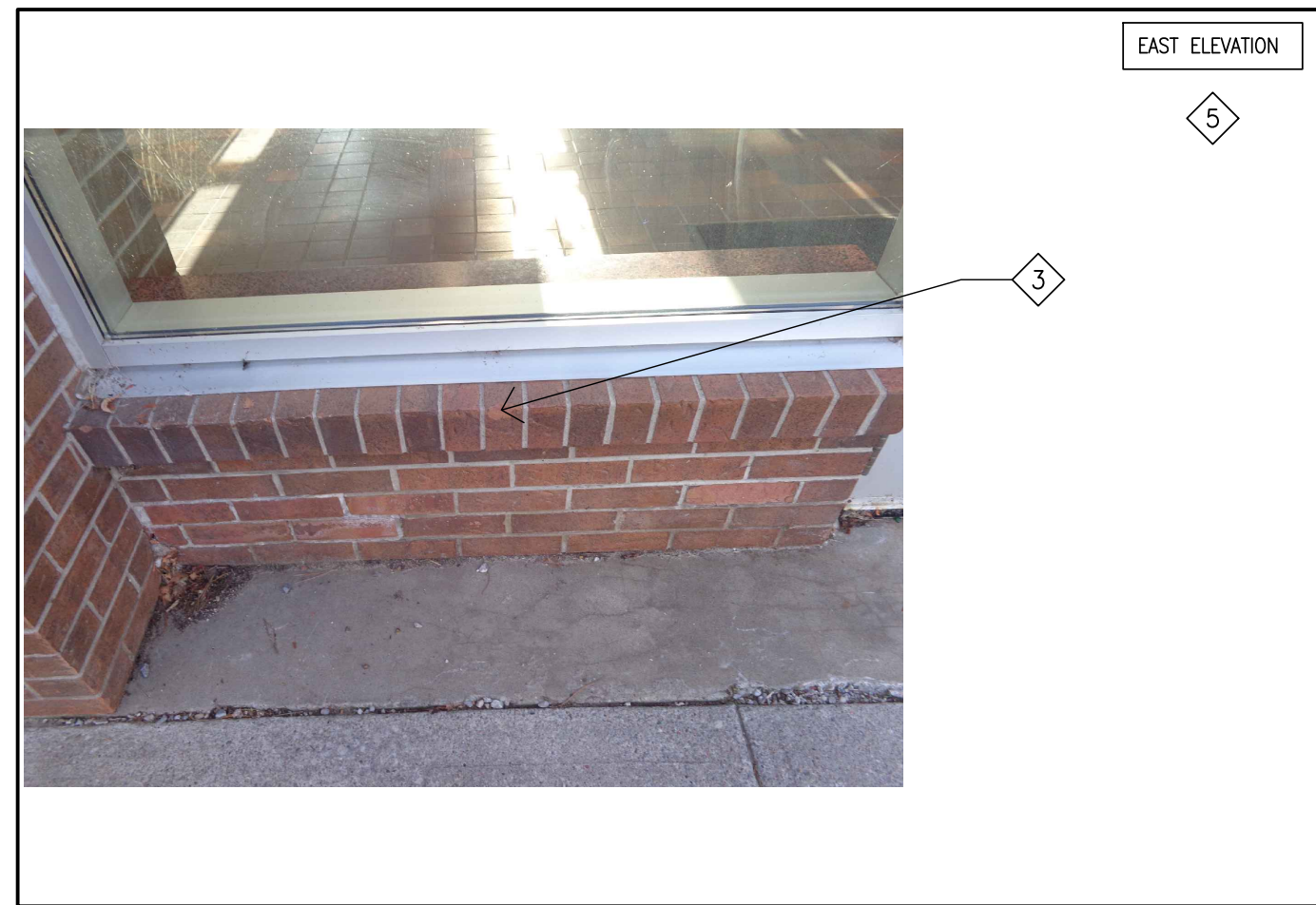


PHOTO-12



PHOTO-08



PHOTO-04

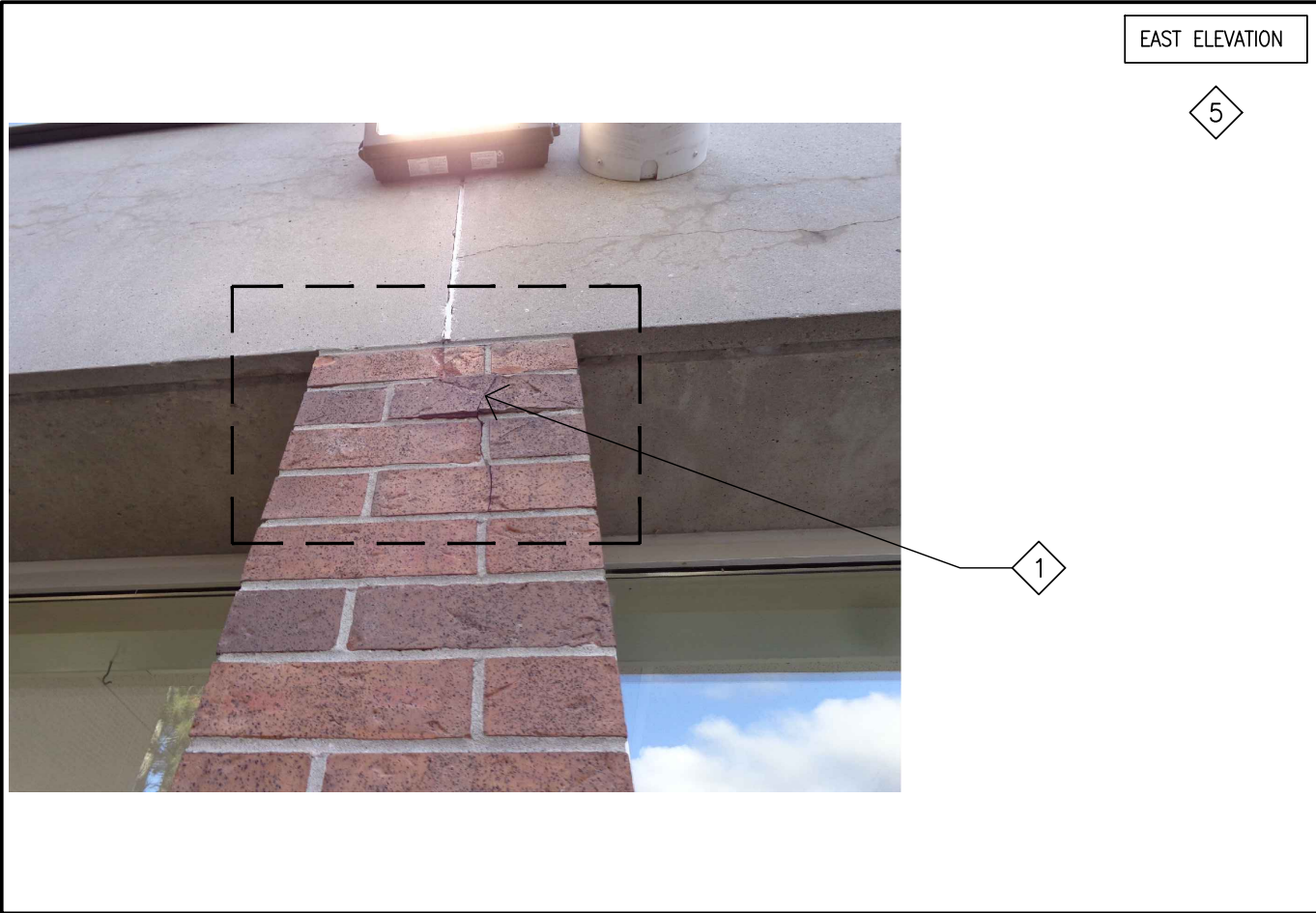


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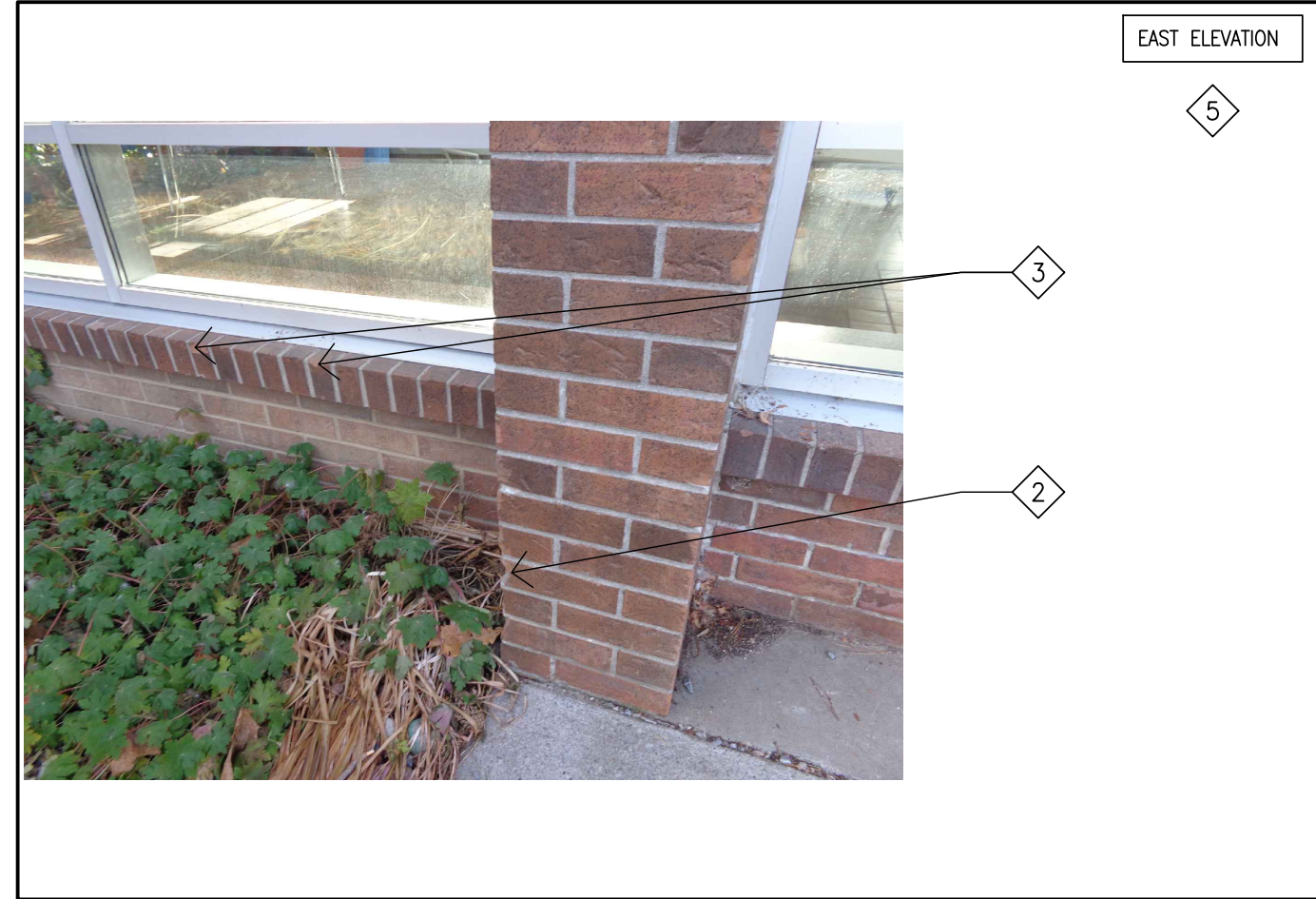


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PHOTO-07

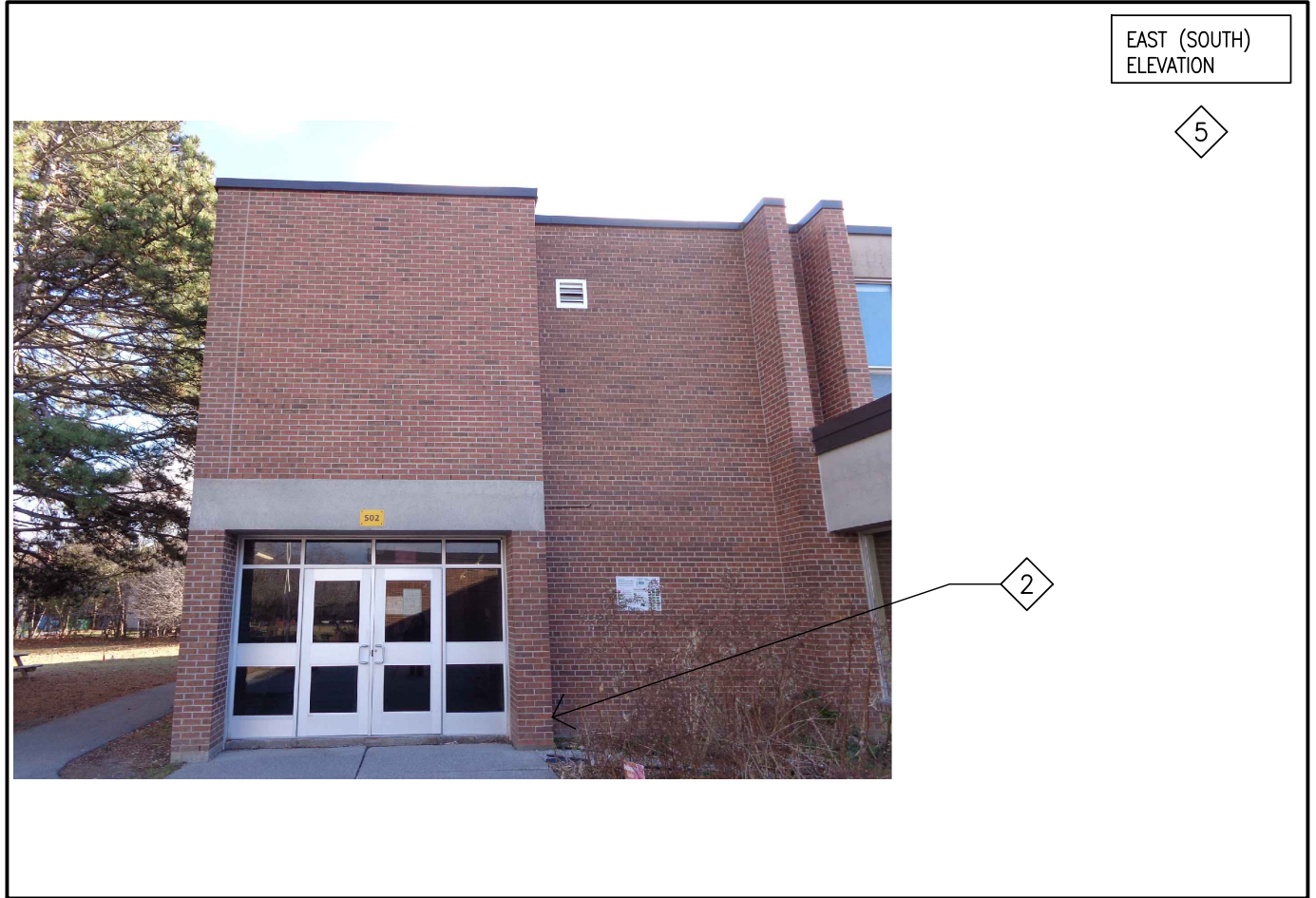


PHOTO-03



PHOTO-14

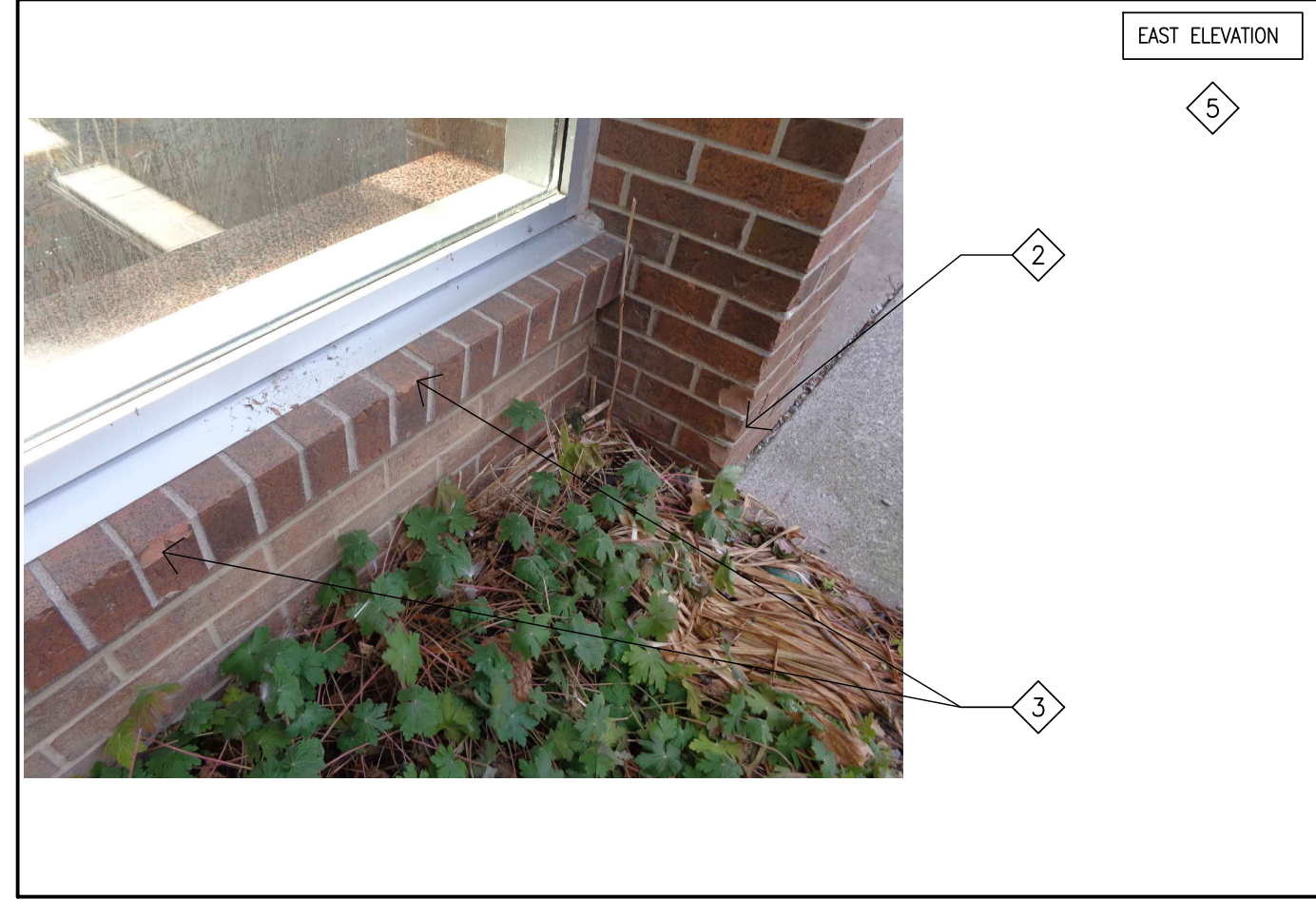


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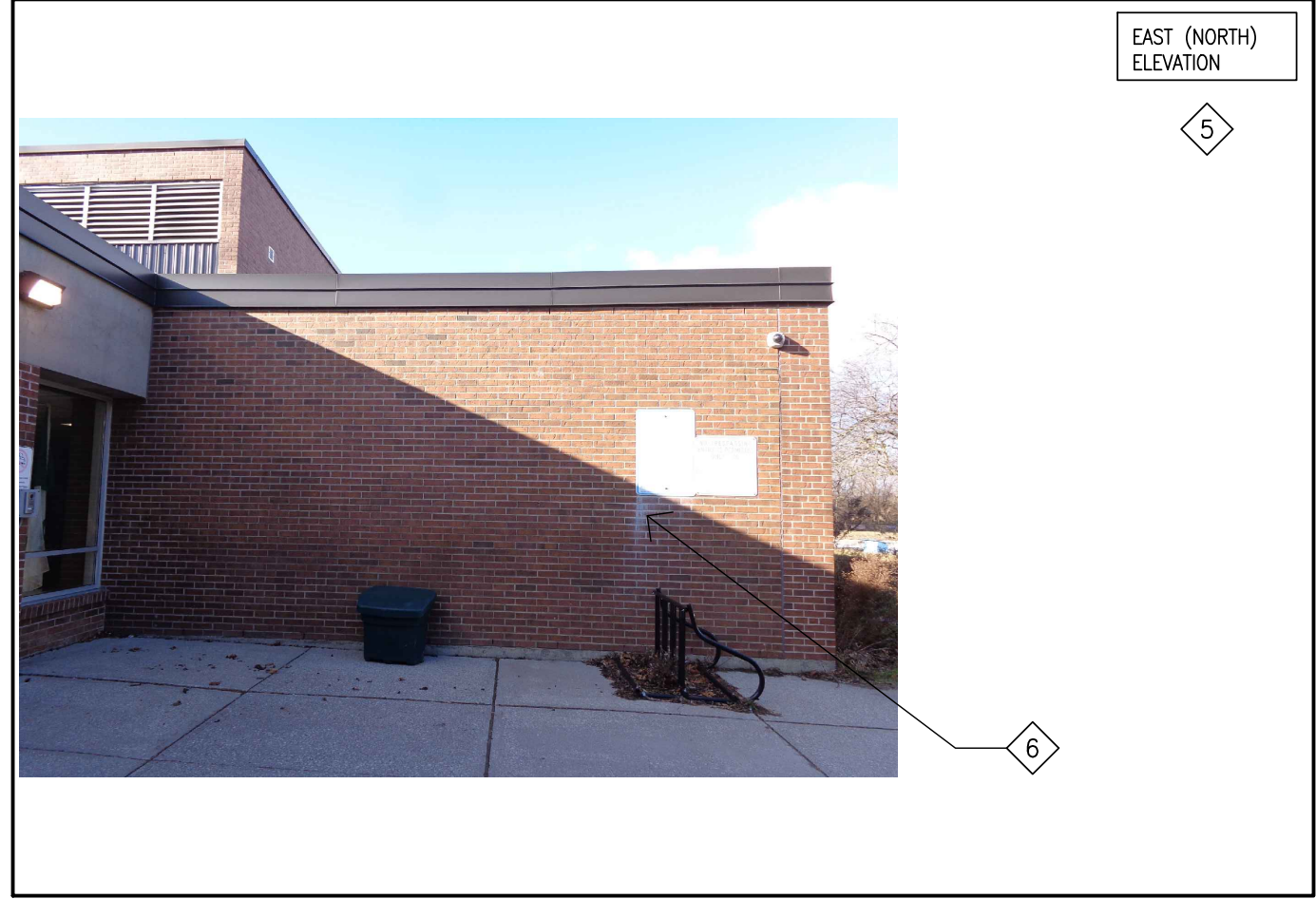


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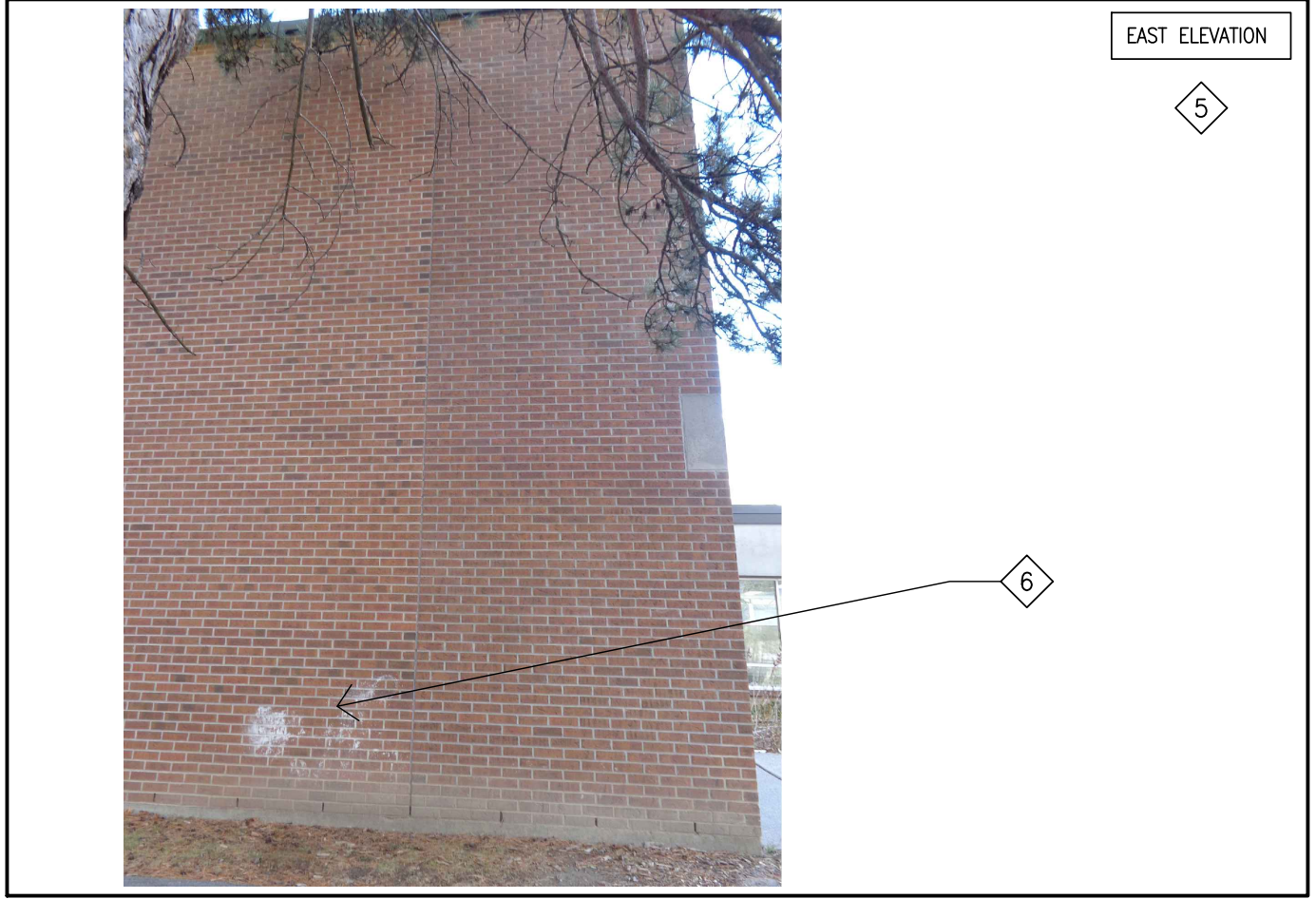


PHOTO-02



PHOTO-13

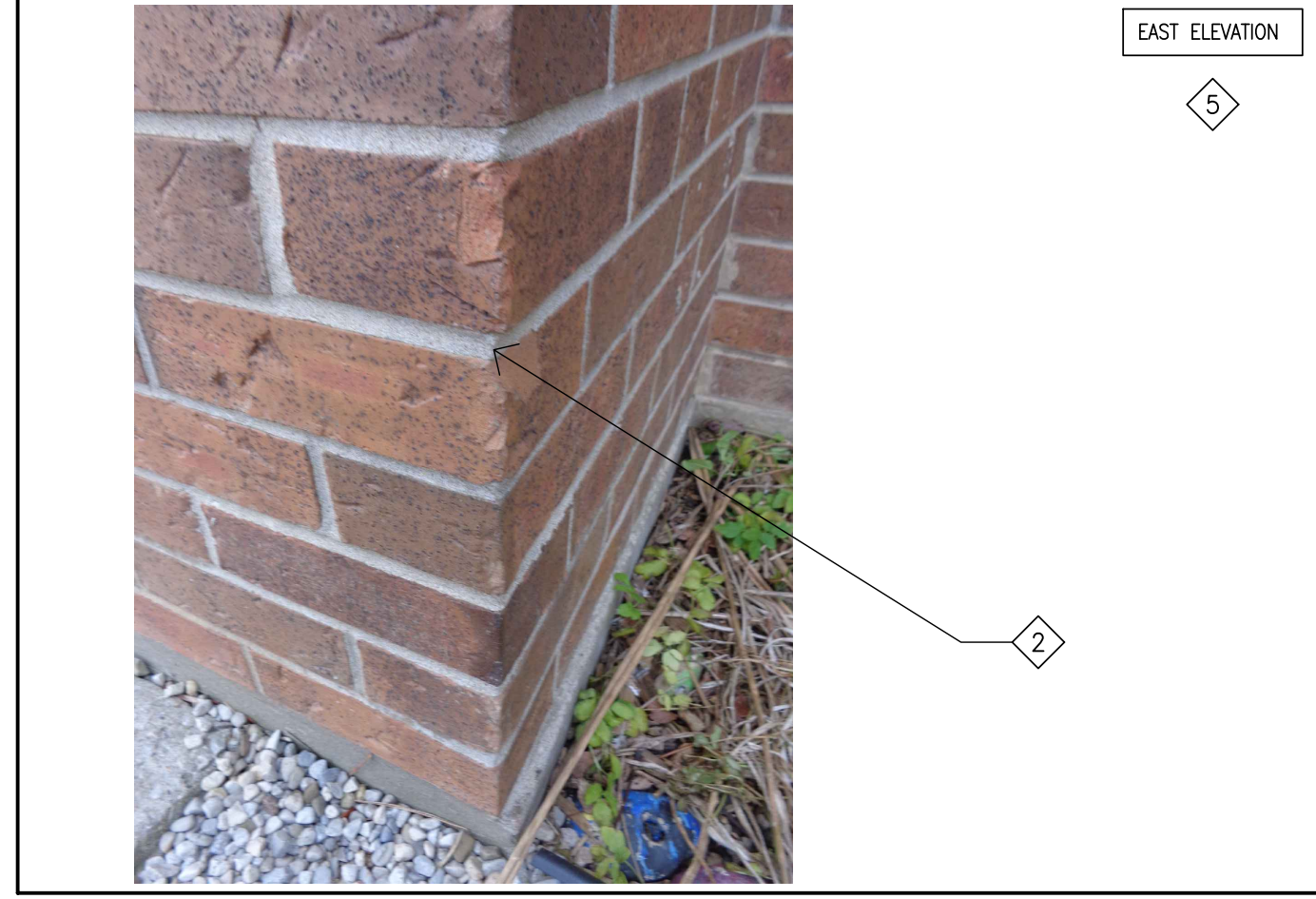


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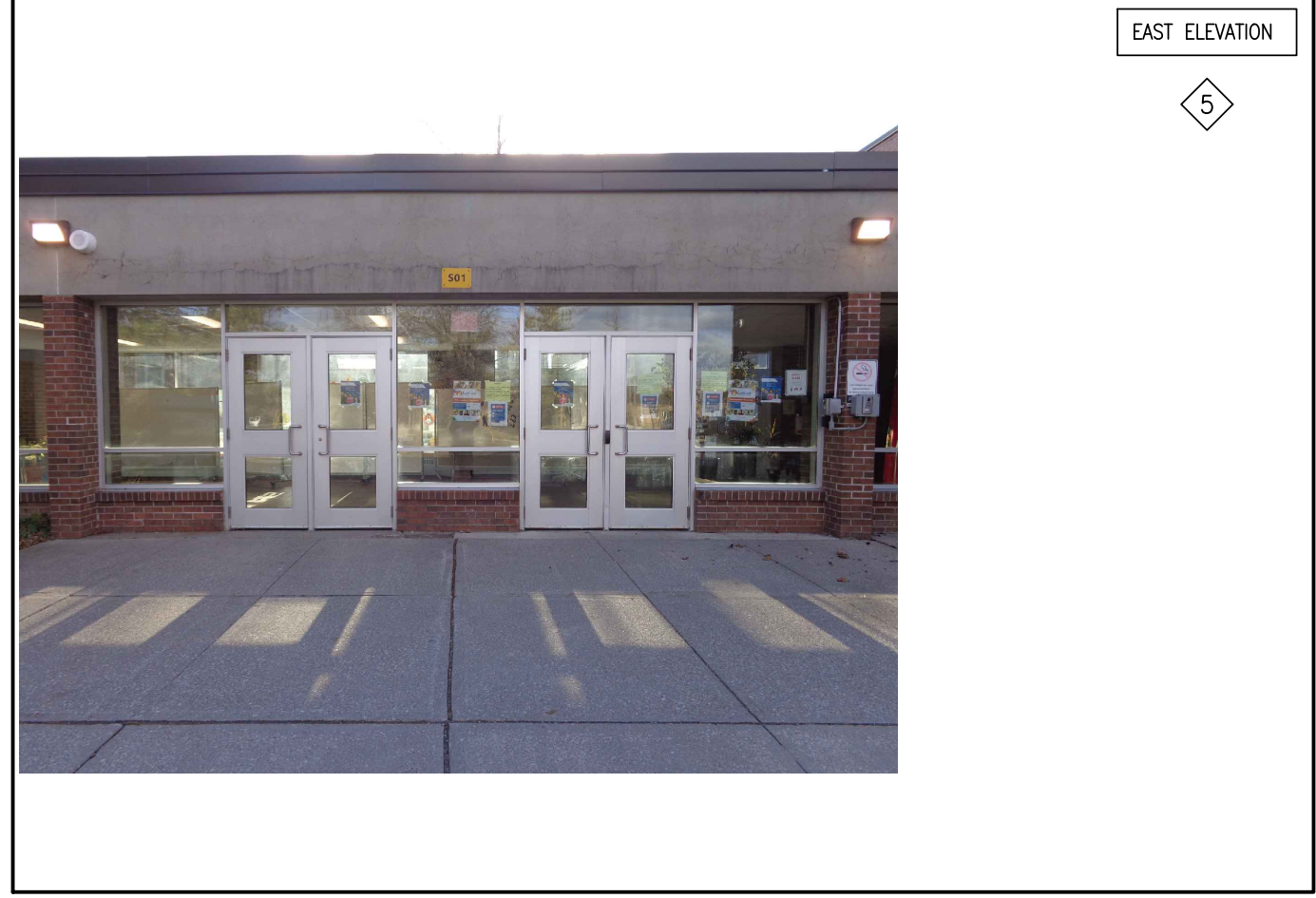


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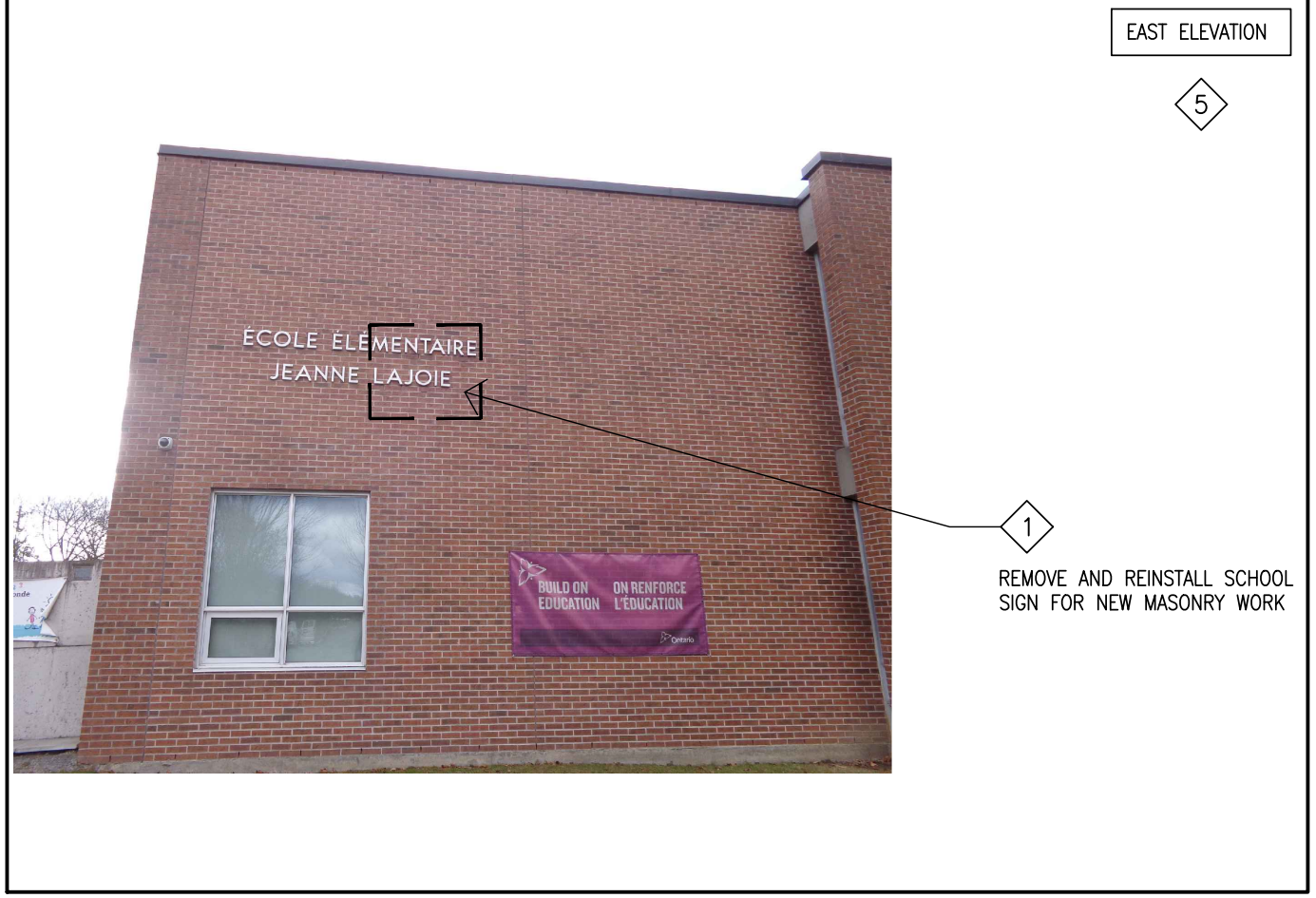


PHOTO-01

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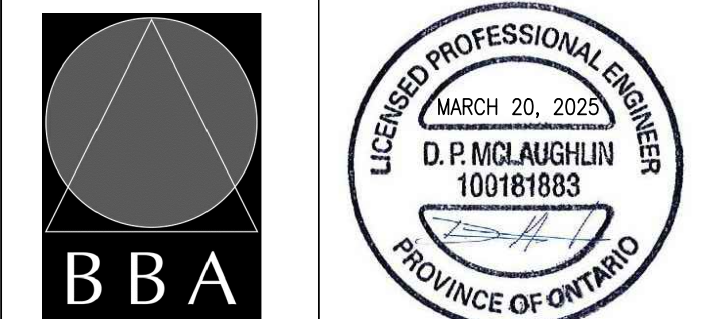


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PROJECT:  
**RENOVATIONS AT  
ECOLE ELEMENTAIRE  
JEANNE-LAJOIE**  
150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
Conseil scolaire Viamonde

DRAWING:  
**ELEVATION PHOTOS**



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e-mail: bba@bba-archeng.com

DESIGN BY: BBA  
DRAWN BY: JJA  
CHECKED BY: DM  
DATE: JAN. 2025  
SCALE: 1:75  
FILE: 24195\_A304-A312

PROJECT NO:  
**24195**

DRAWING NO:  
**A905**

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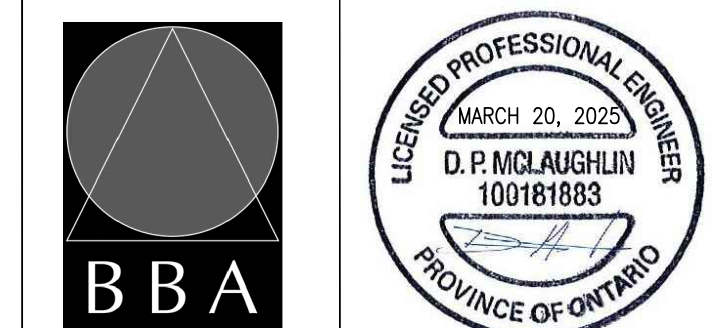
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| 1   | ISSUED FOR REVIEW          | MAR. 18, 2025 | BBA |
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PROJECT:  
**RENOVATIONS AT  
ECOLE ELEMENTAIRE  
JEANNE-LAJOIE**

150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
Conseil scolaire Viamonde

DRAWING:  
**ELEVATION PHOTOS**



**BBA**  
BARRY BRYAN  
ASSOCIATES  
Architects  
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Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
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|                          |                        |
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| DESIGN BY:<br>BBA        | DOC. CONTROL:<br>DATE: |
| DRAWN BY:<br>JJA         | % COMPLETE:            |
| CHECKED BY:<br>DM        | INITIAL:               |
| DATE:<br>JAN. 2025       | SCALE:<br>1:75         |
| FILE:<br>24195_A304-A312 |                        |

PROJECT NO:  
**24195**  
DRAWING NO:  
**A906**

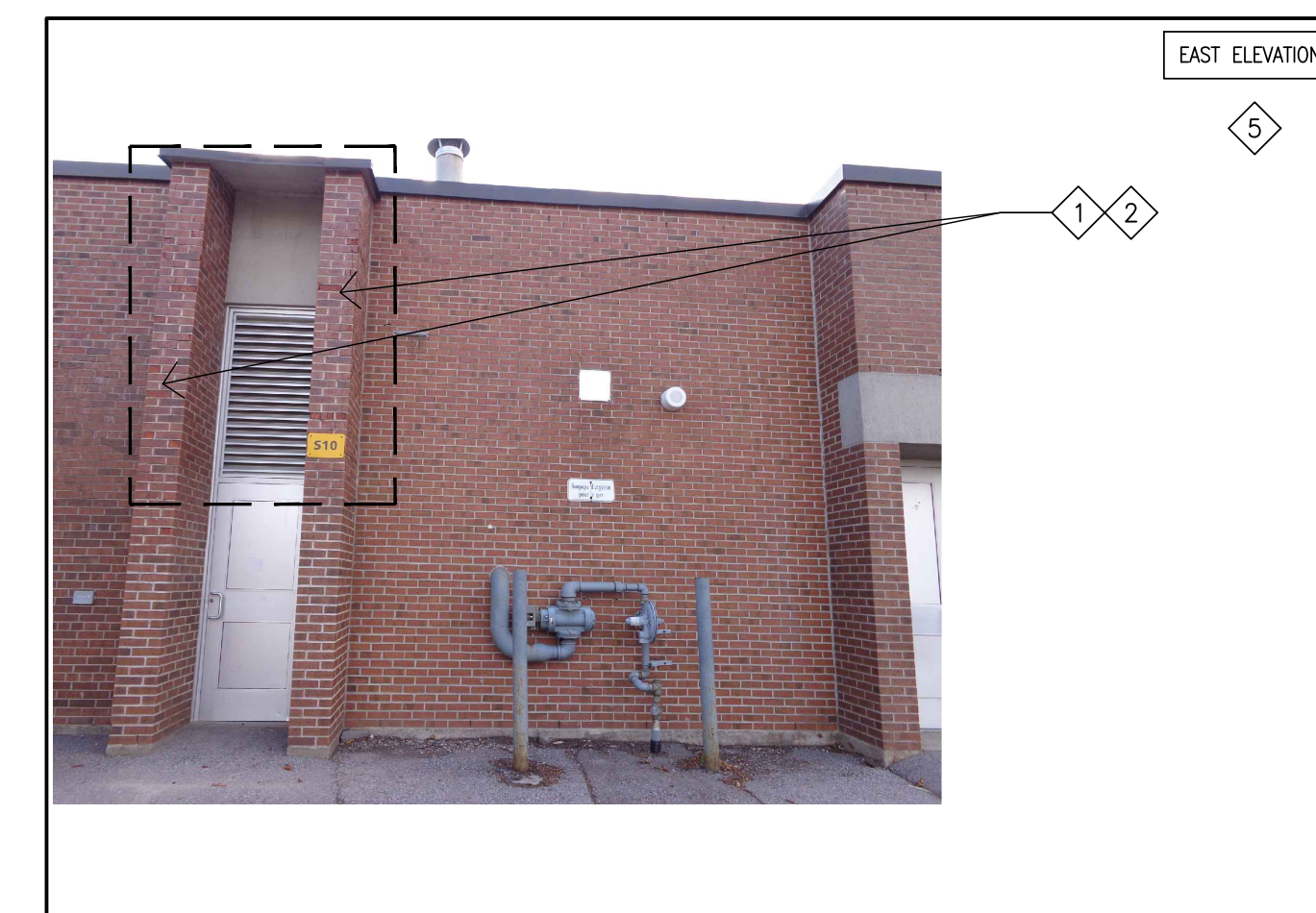


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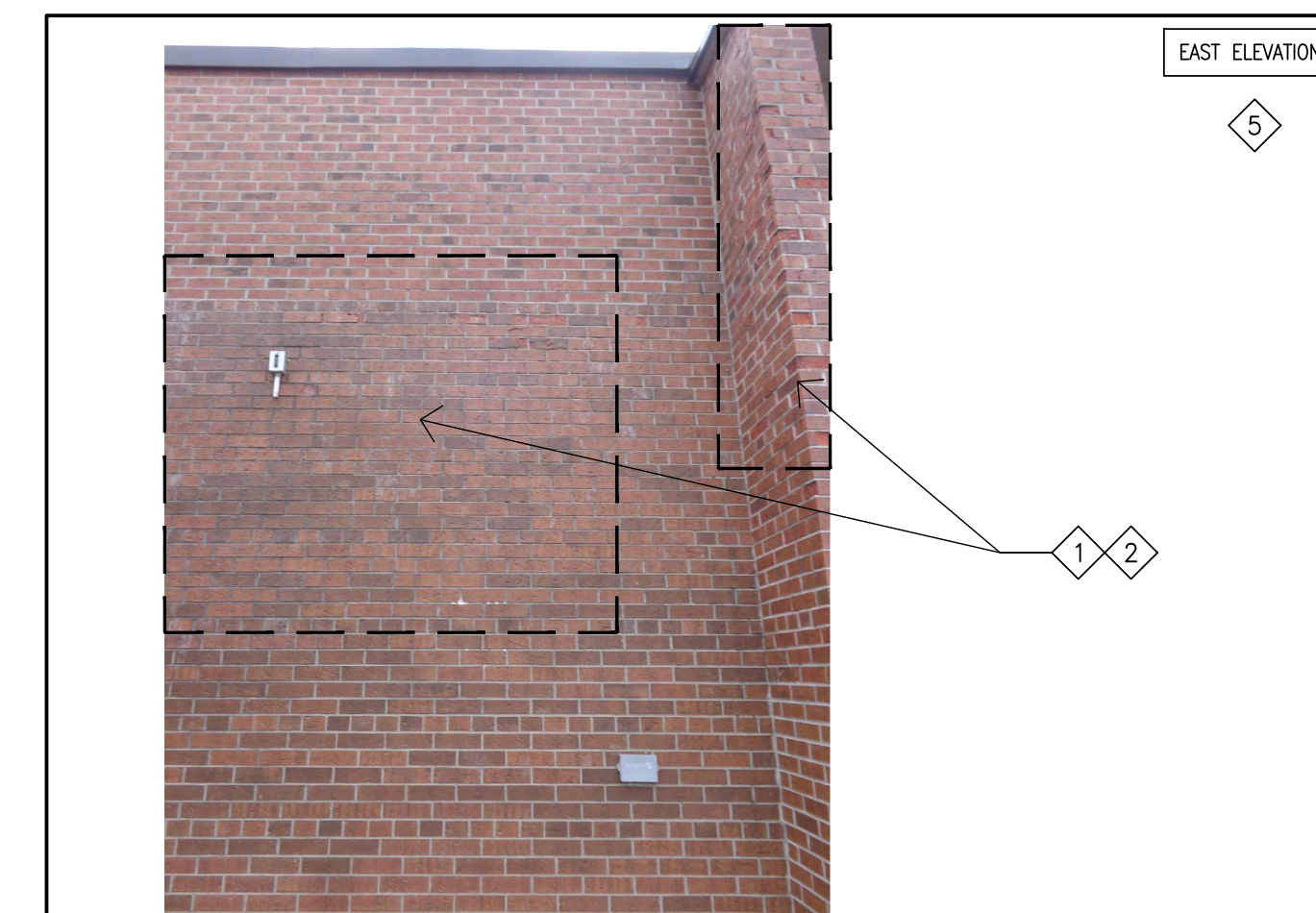


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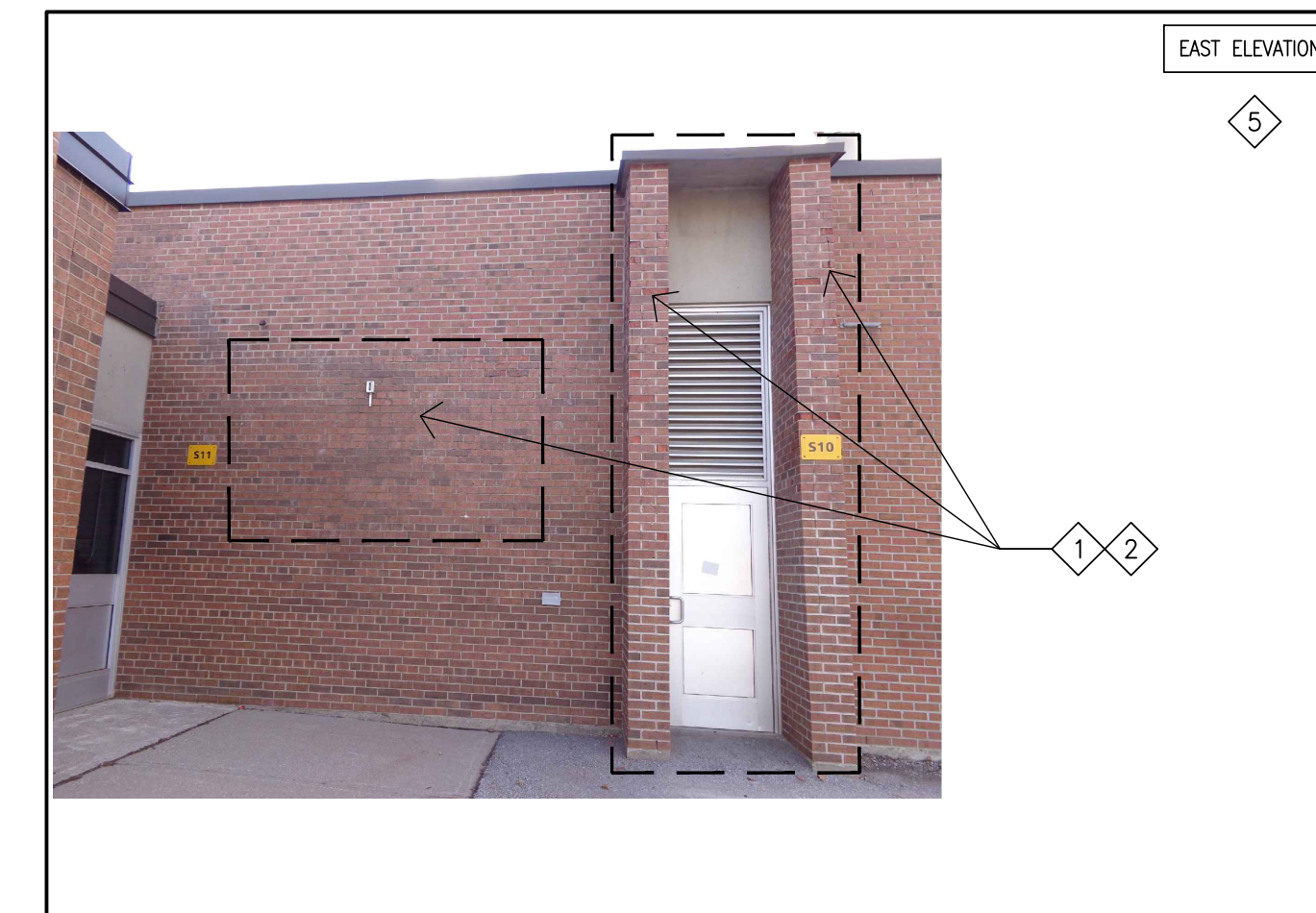


PHOTO-17



PHOTO-16



PHOTO-23

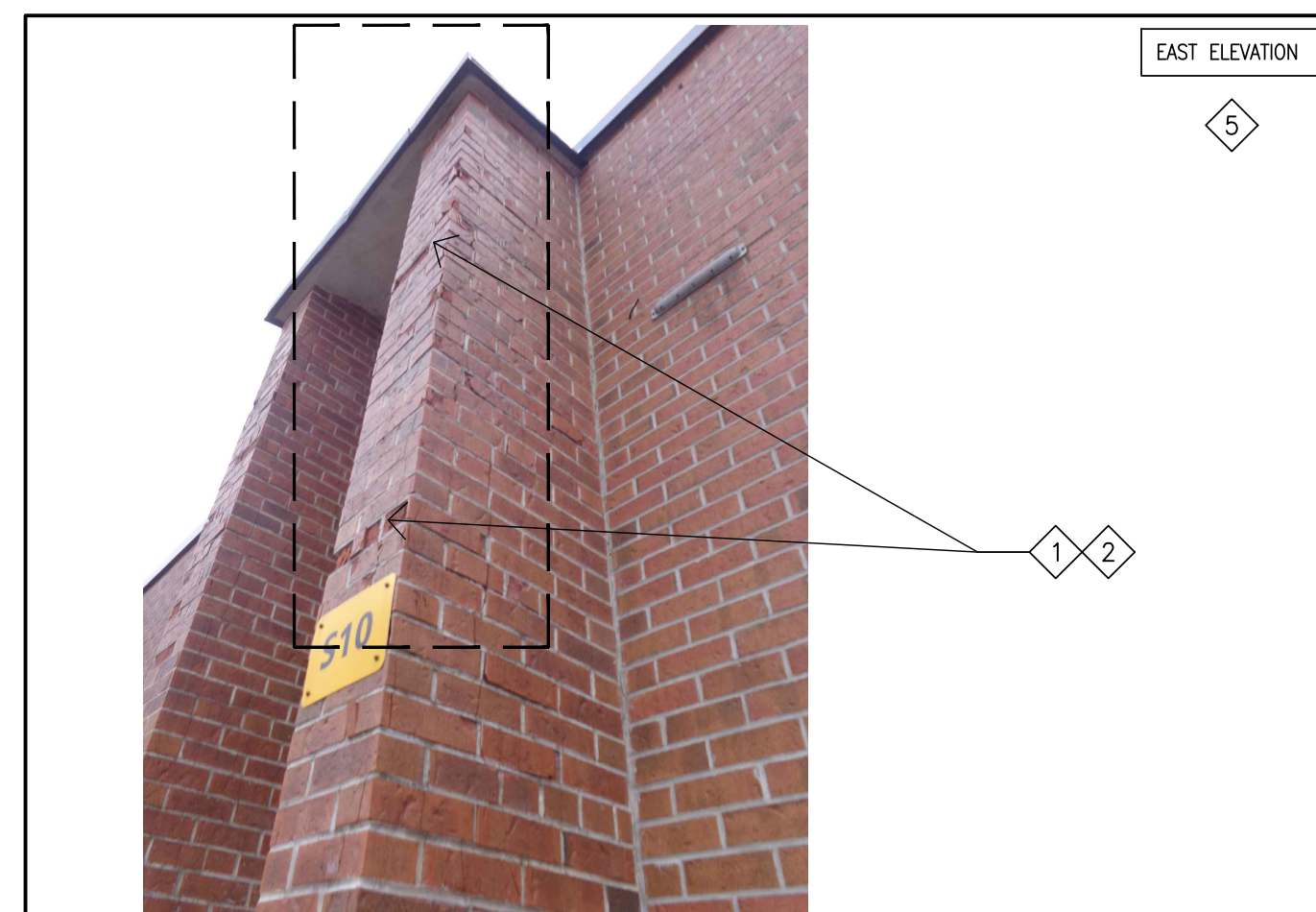


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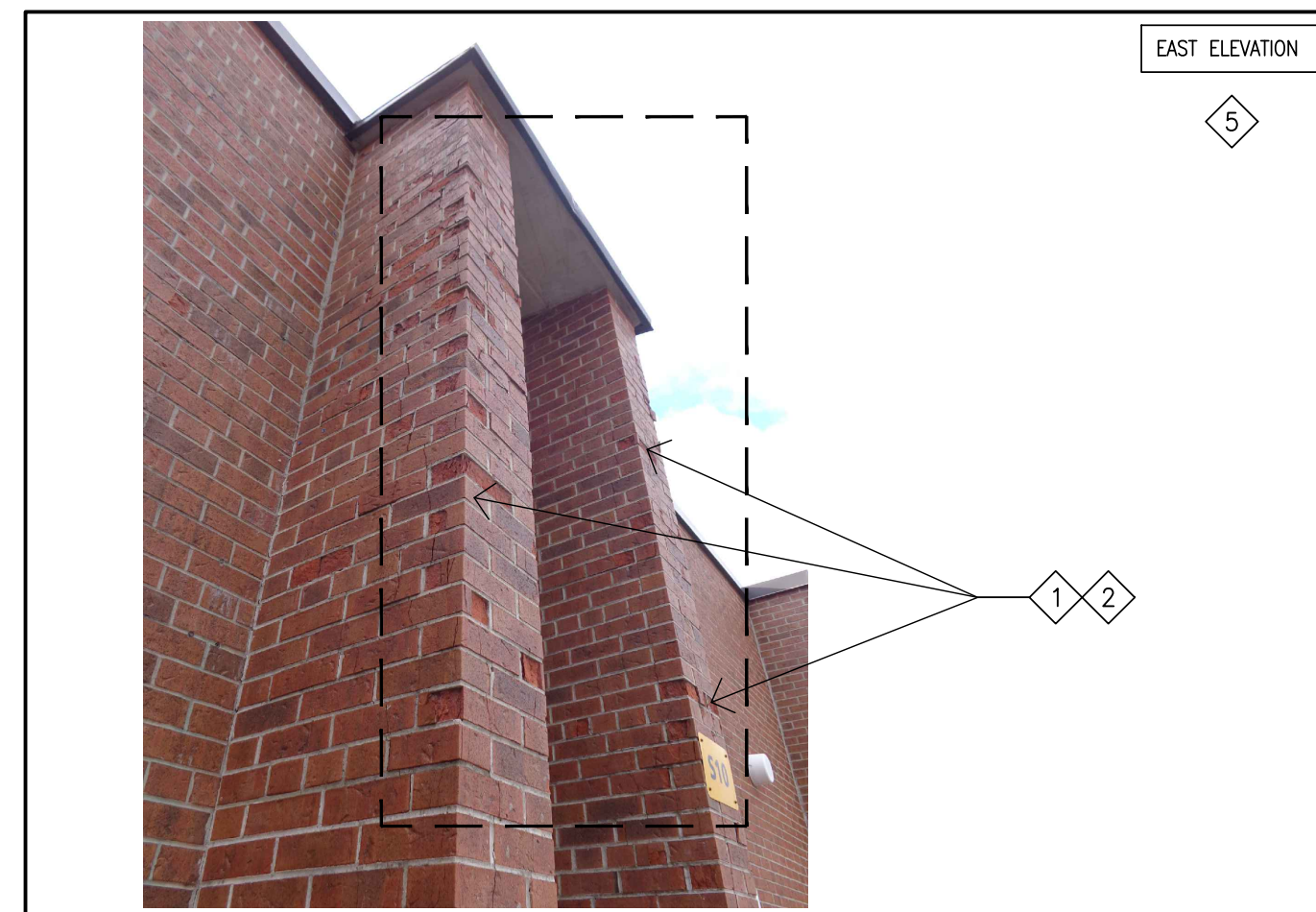


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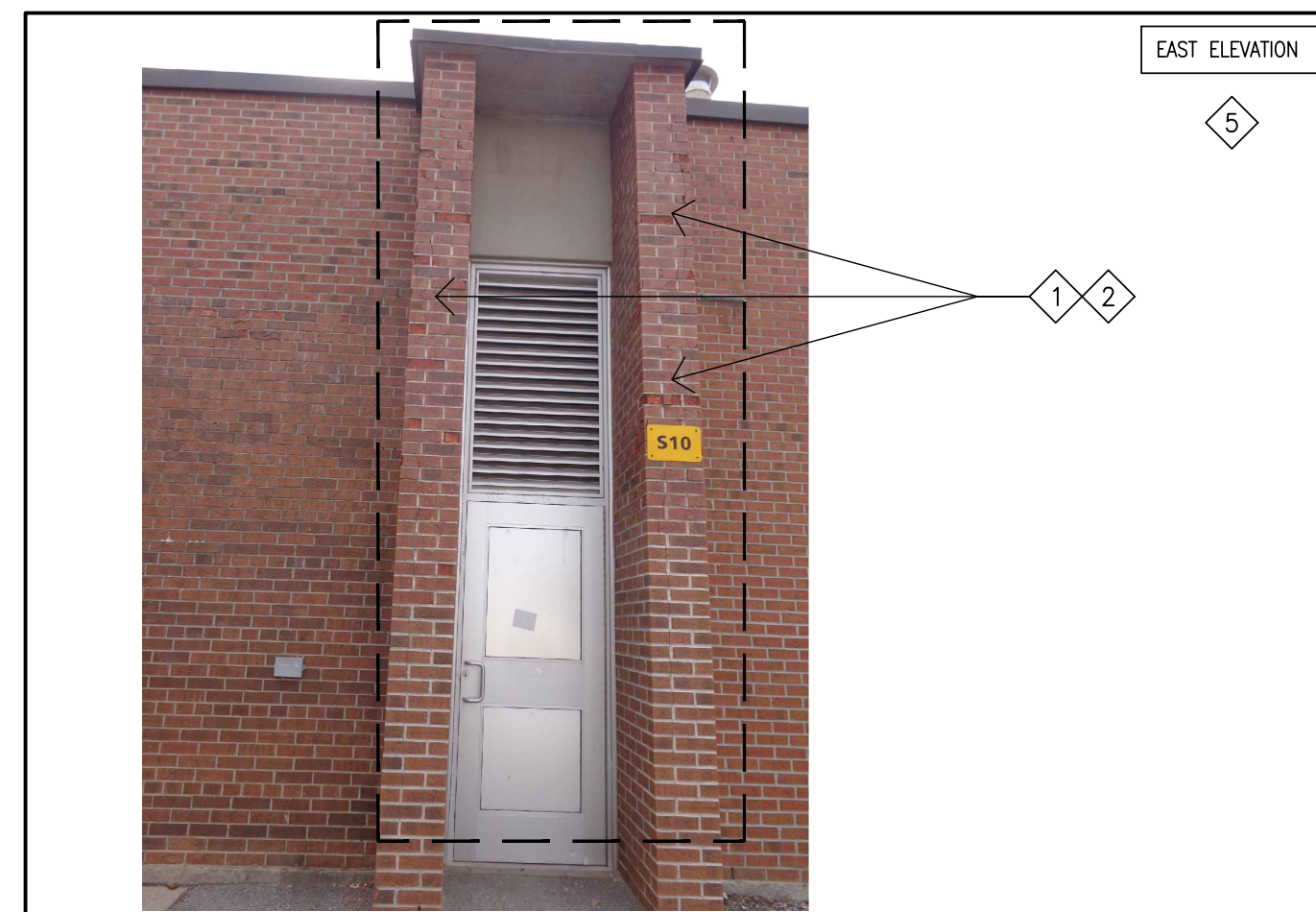


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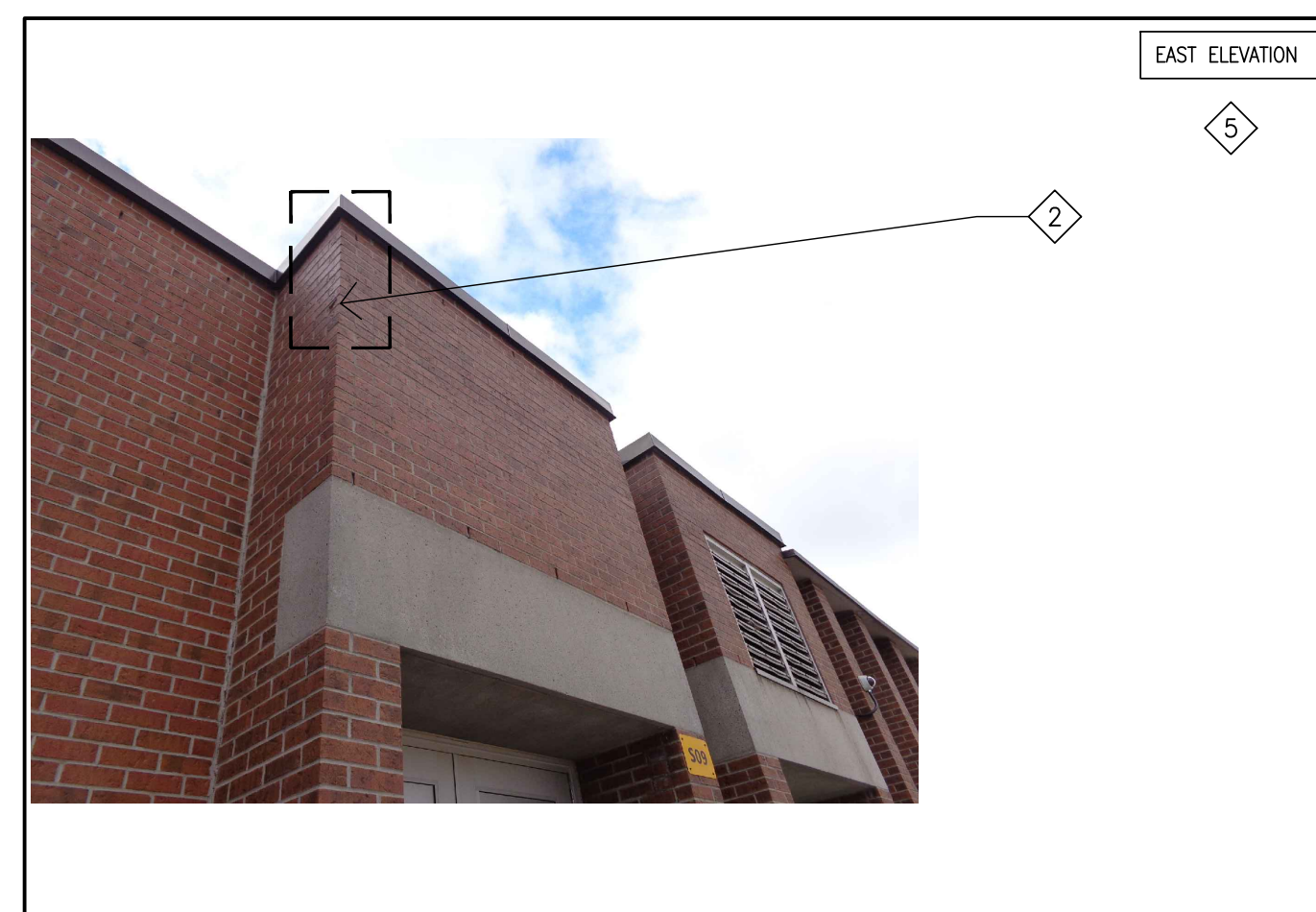


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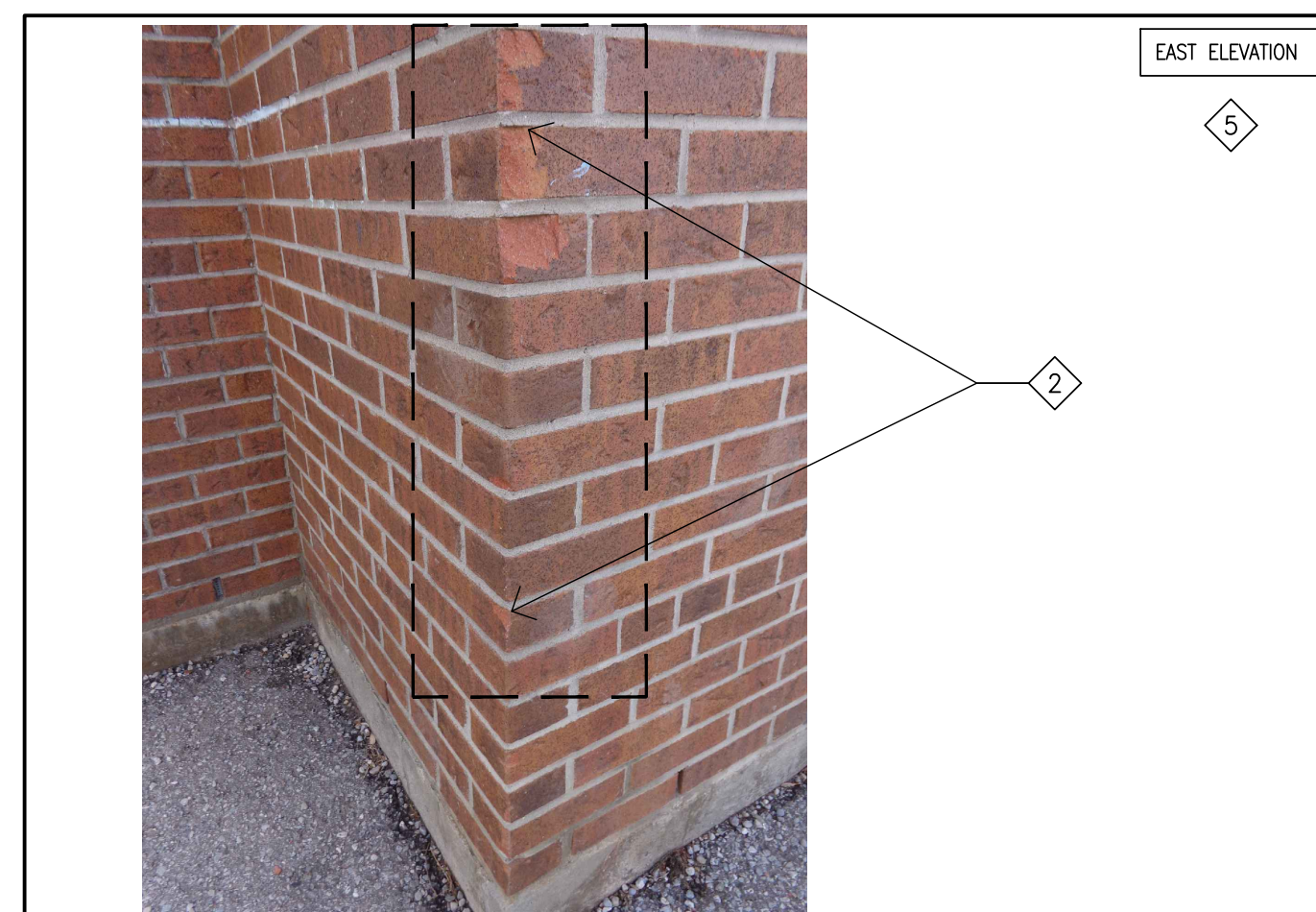


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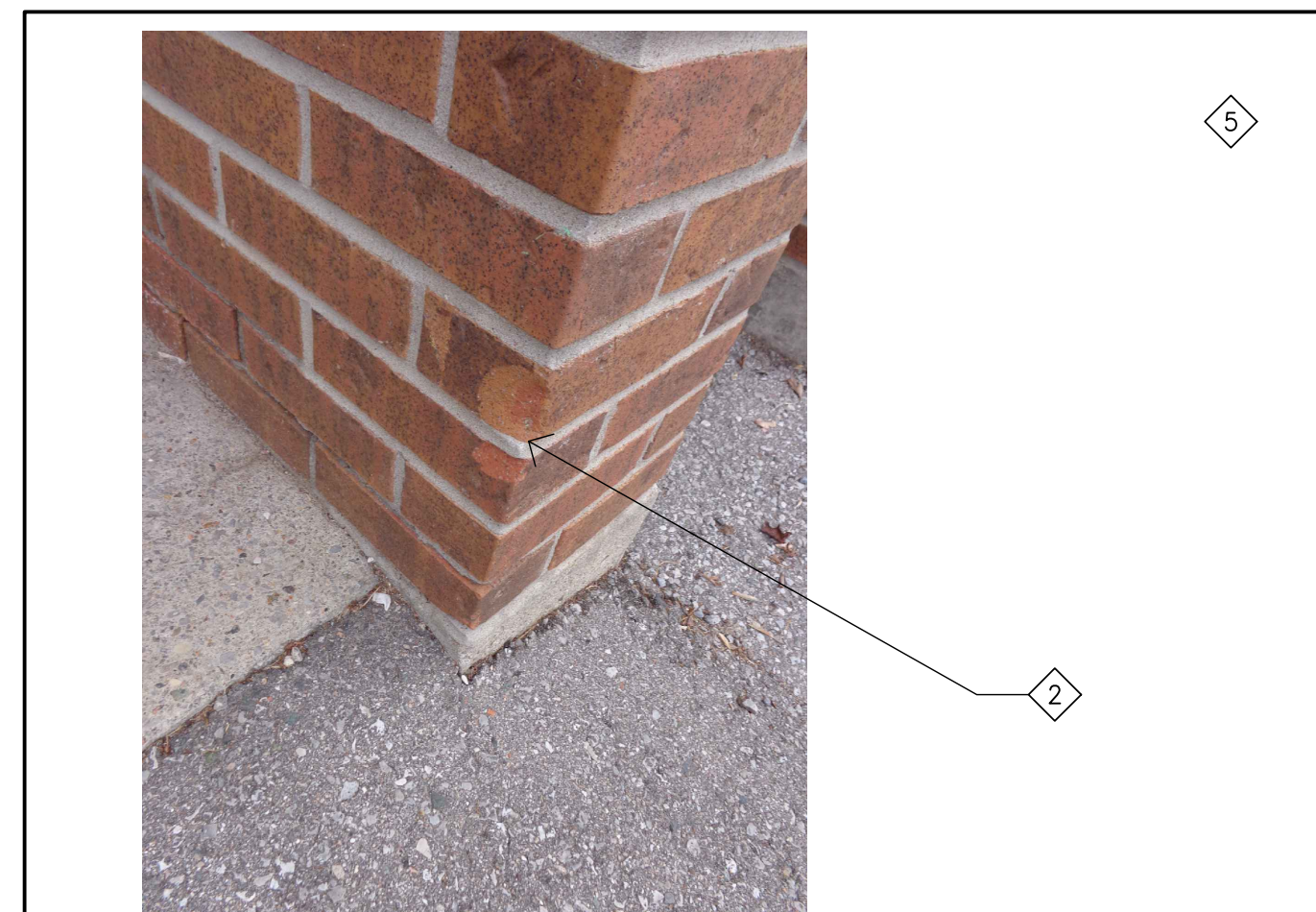


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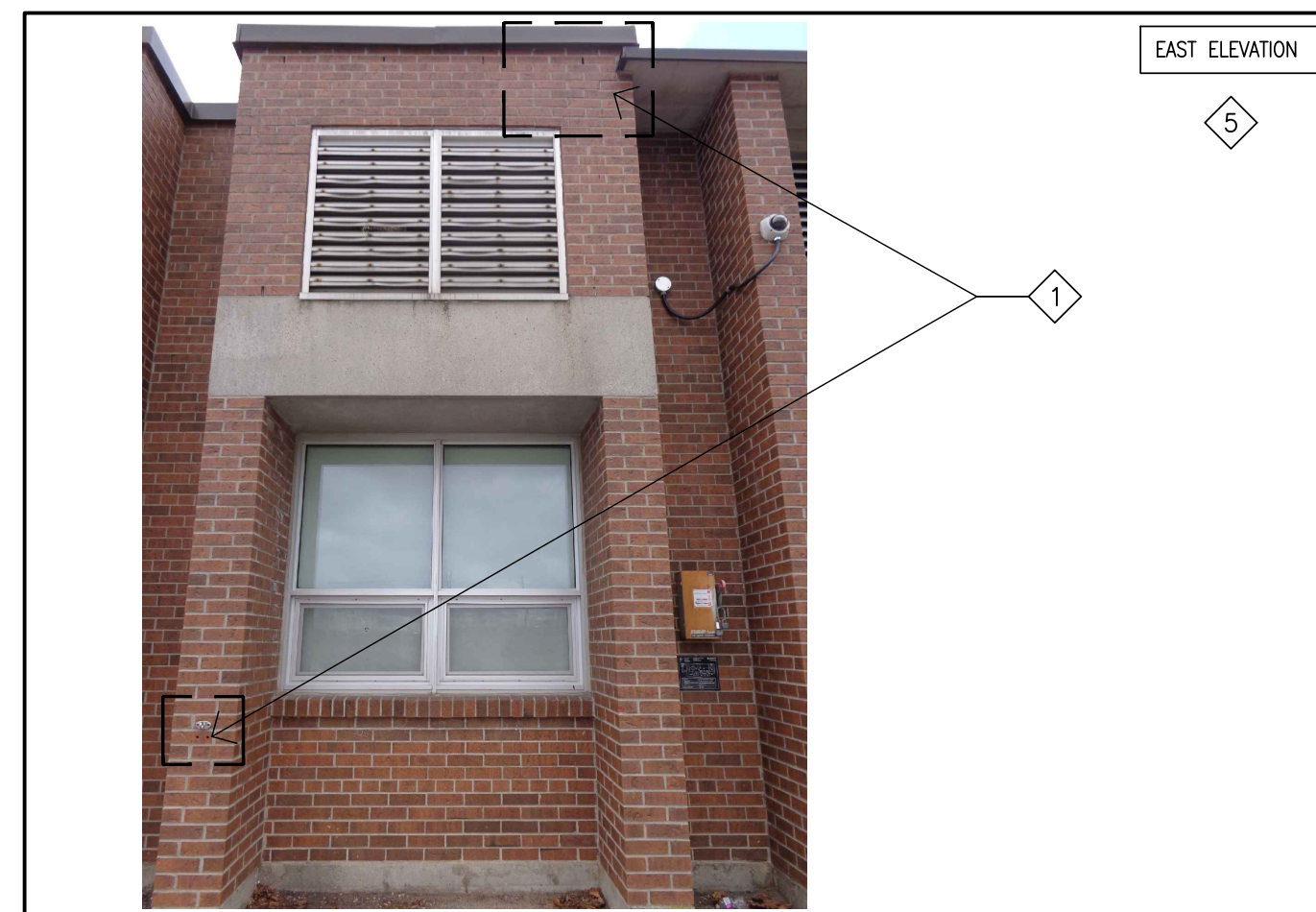


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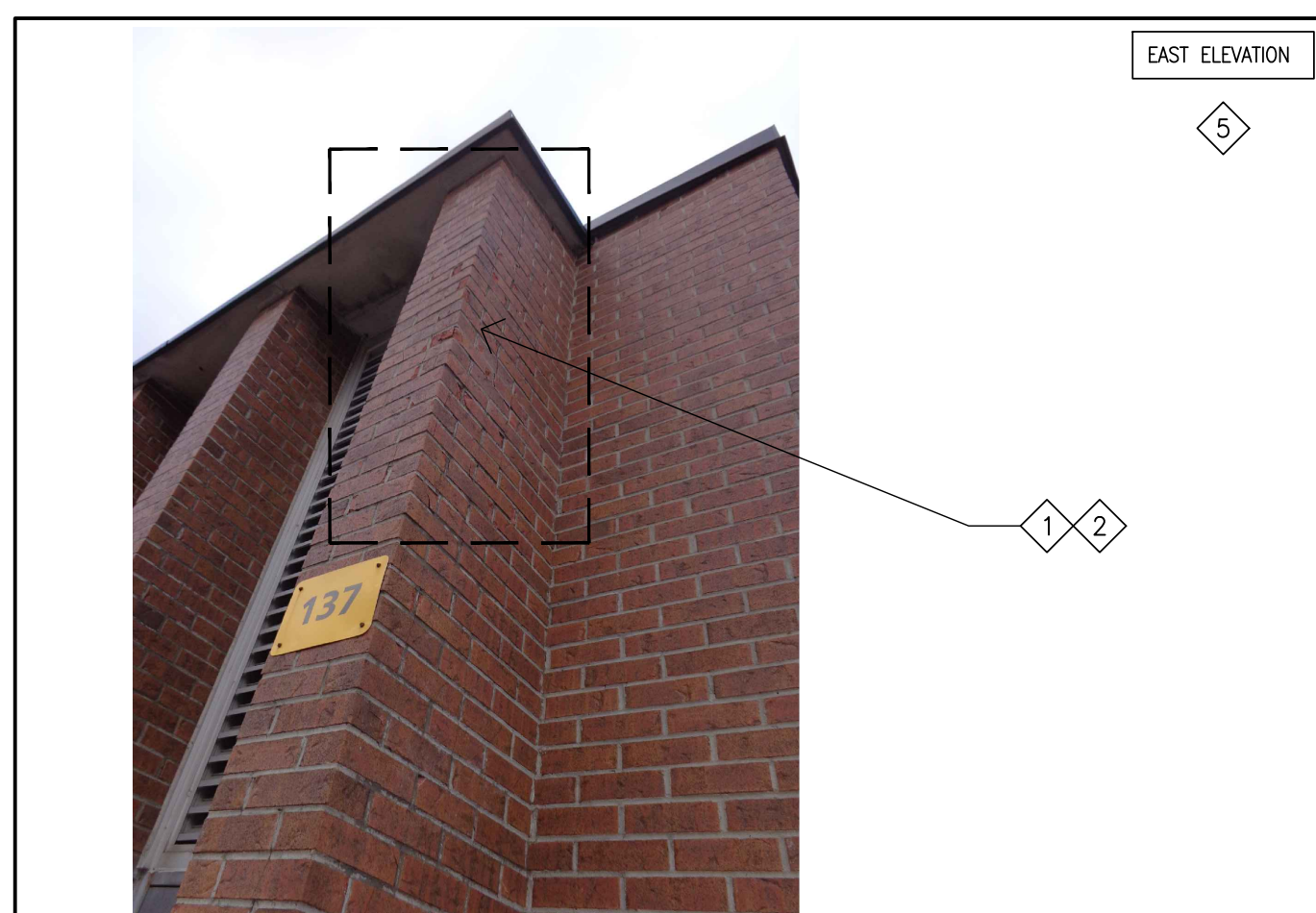


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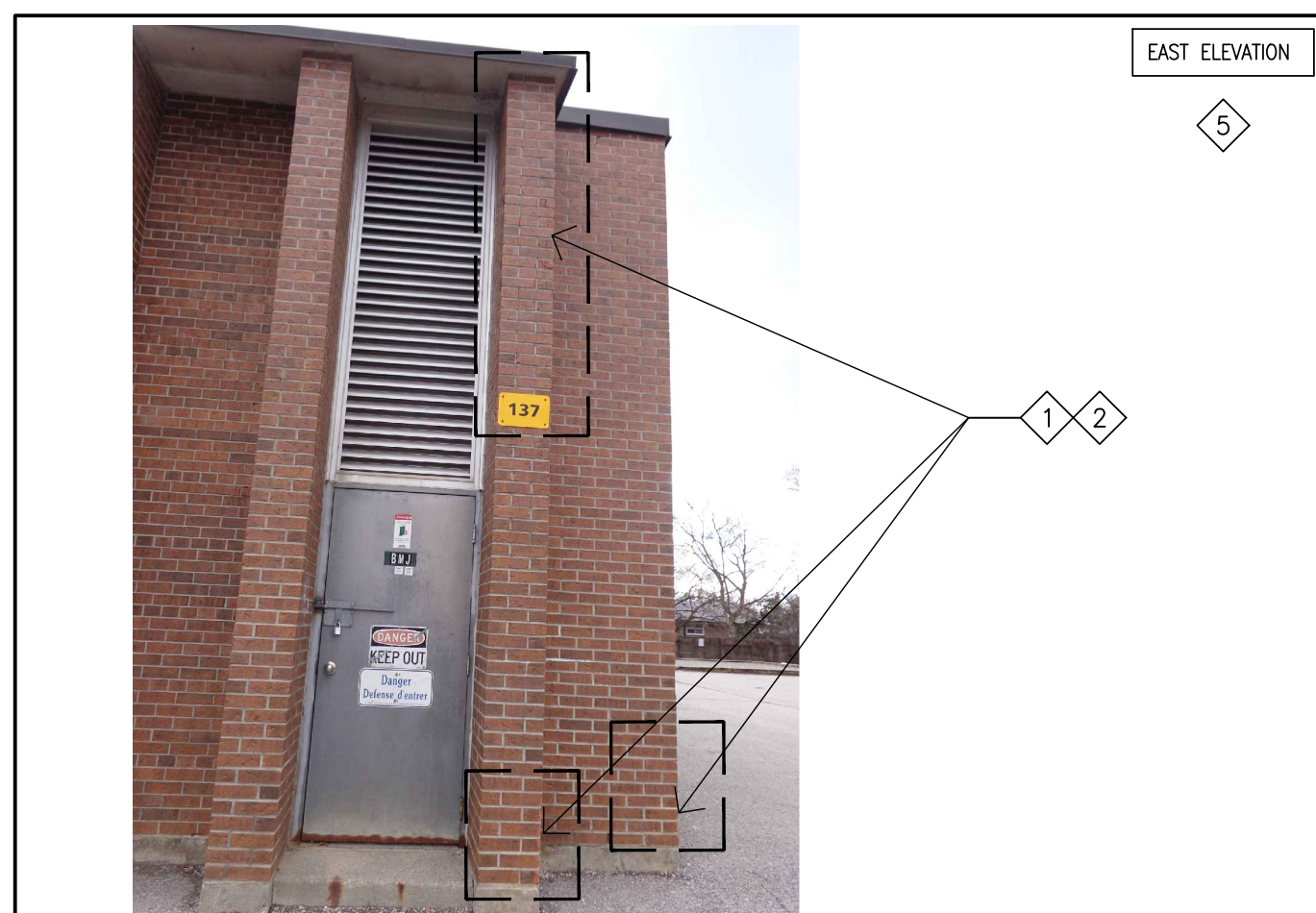


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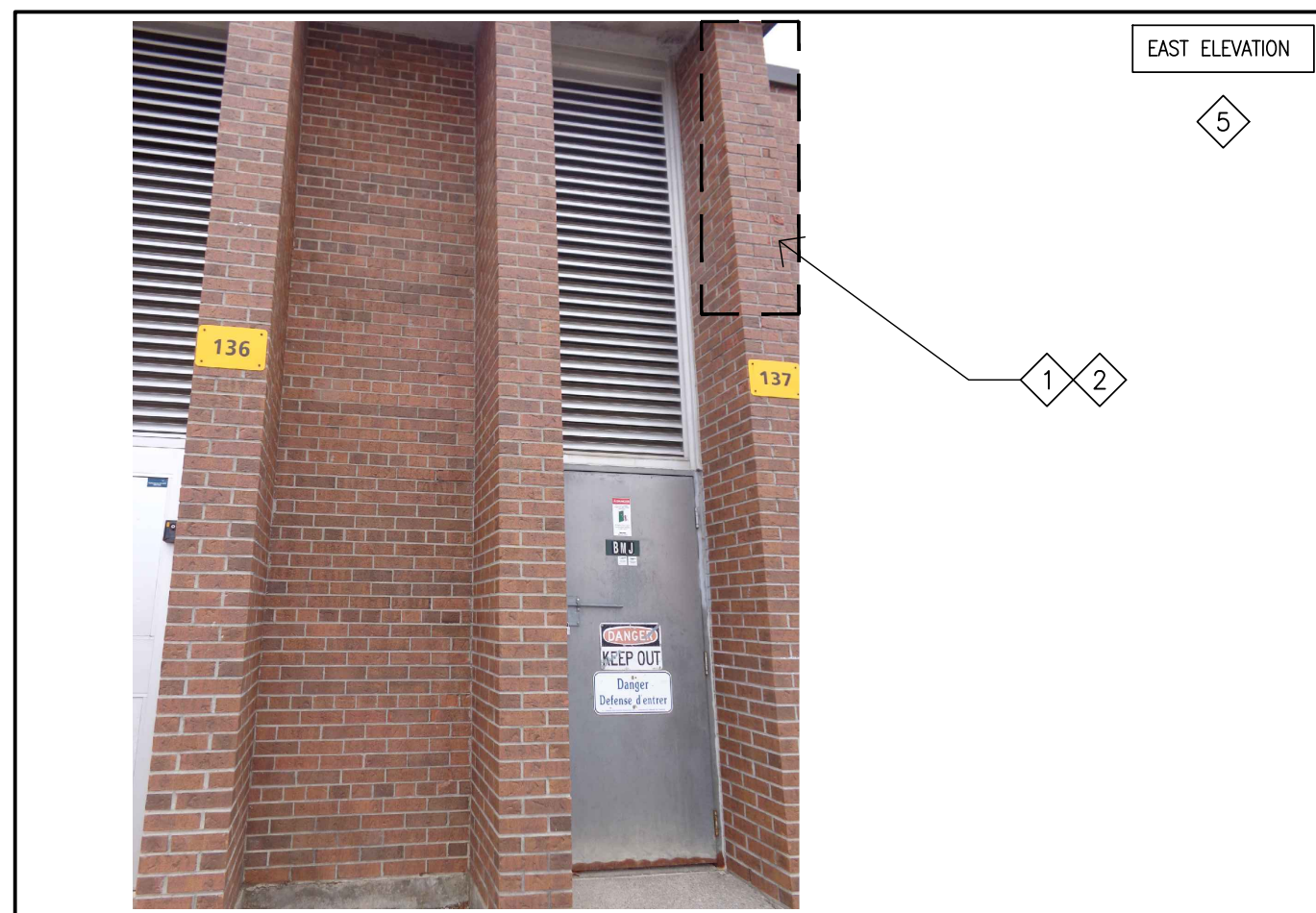


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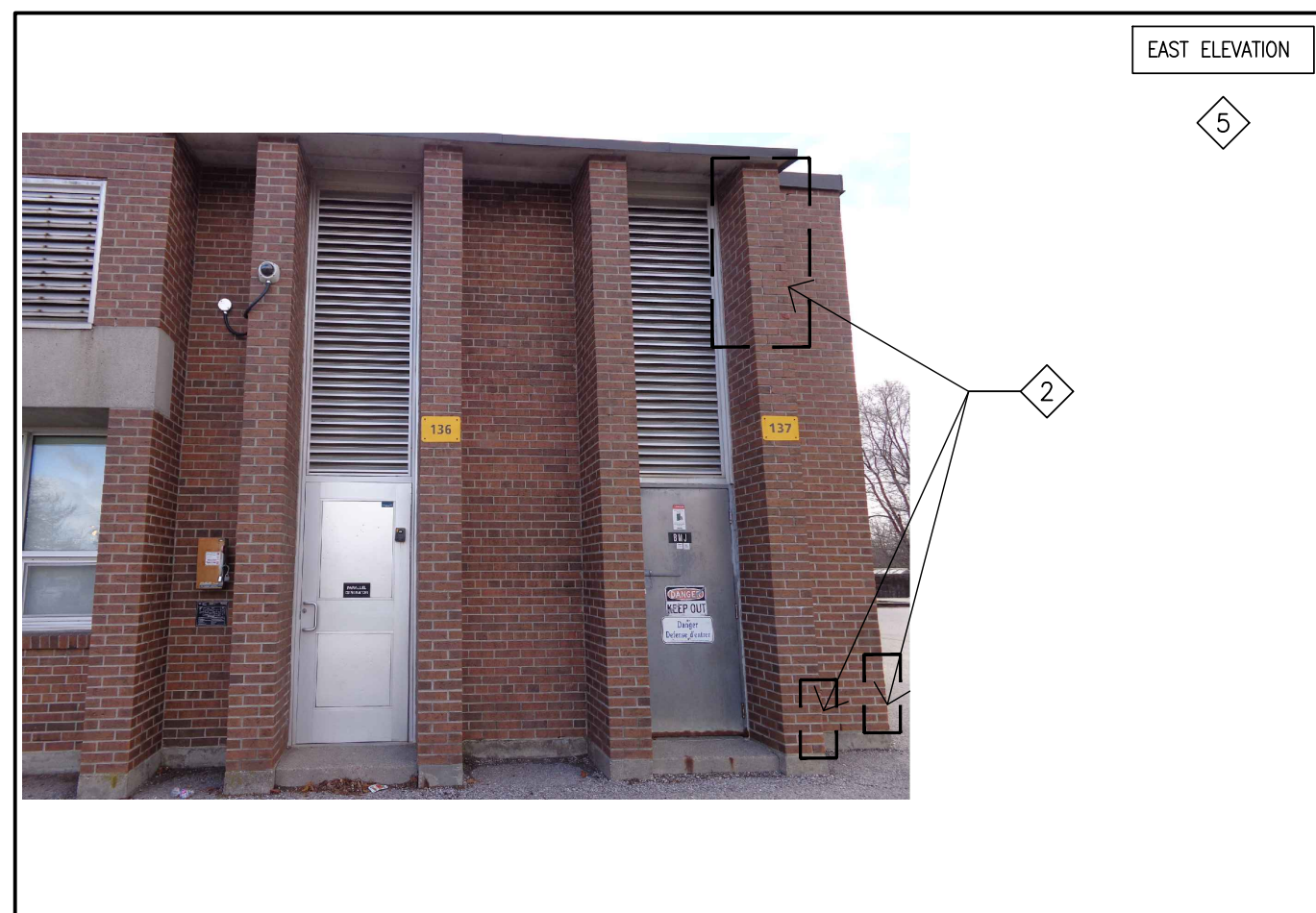


PHOTO-28

**REPAIR NOTES**

- 1 REPAIR BROKEN AND DAMAGED BRICK. INSTALL REPLACEMENT BRICK WHERE INDICATED.
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- 6 REMOVE GRAFFITI FROM BRICK.
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- 8 REMOVE ABANDONED STEEL CONDUIT C/W ALL LOCALIZED ABANDONED MOUNTING BOLTS. INFILL BRICK VENEER WITH GROUT, COLOUR TO MATCH EXISTING.

**REPAIR LEGEND:**

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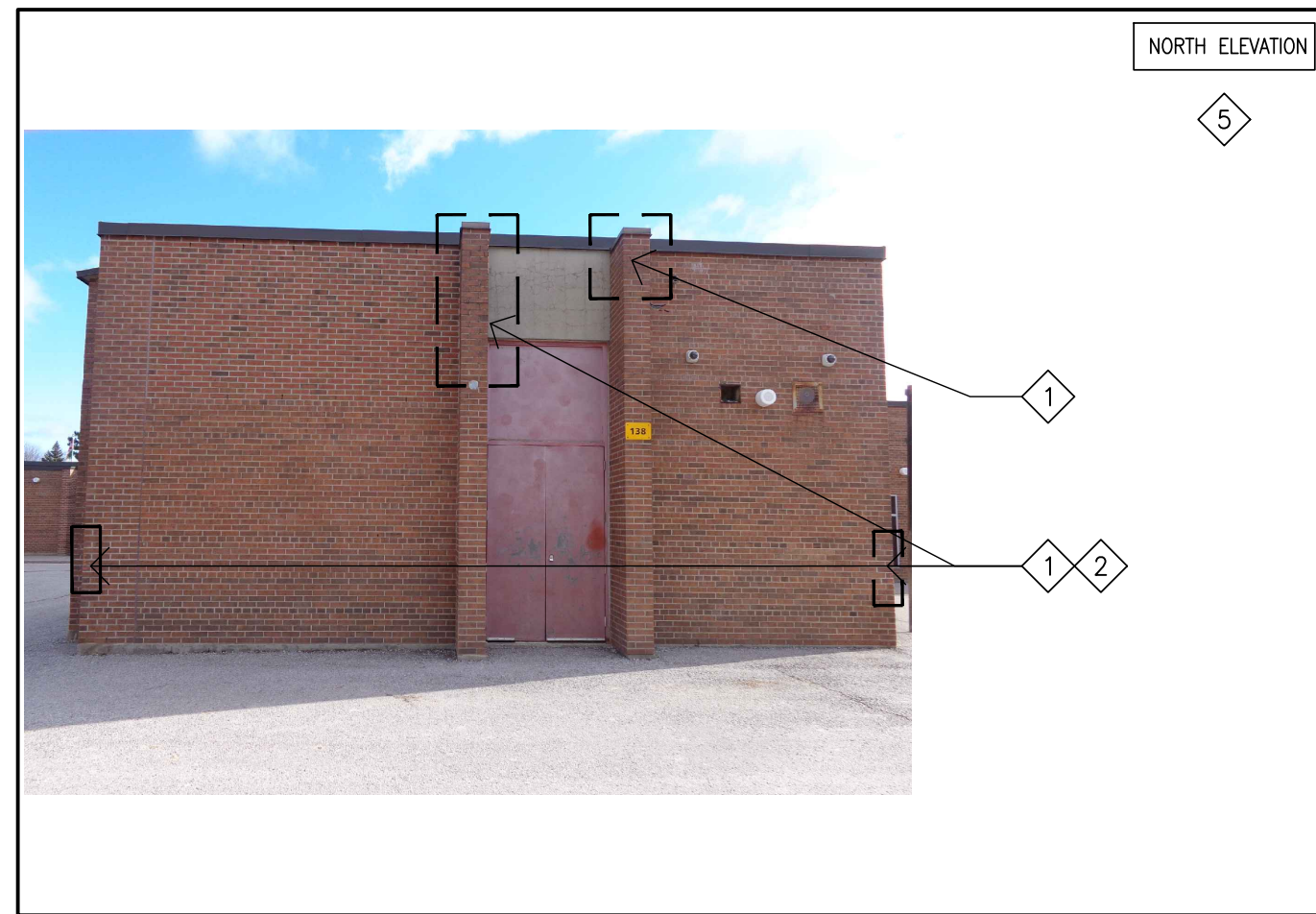


PHOTO-43



PHOTO-39



PHOTO-35

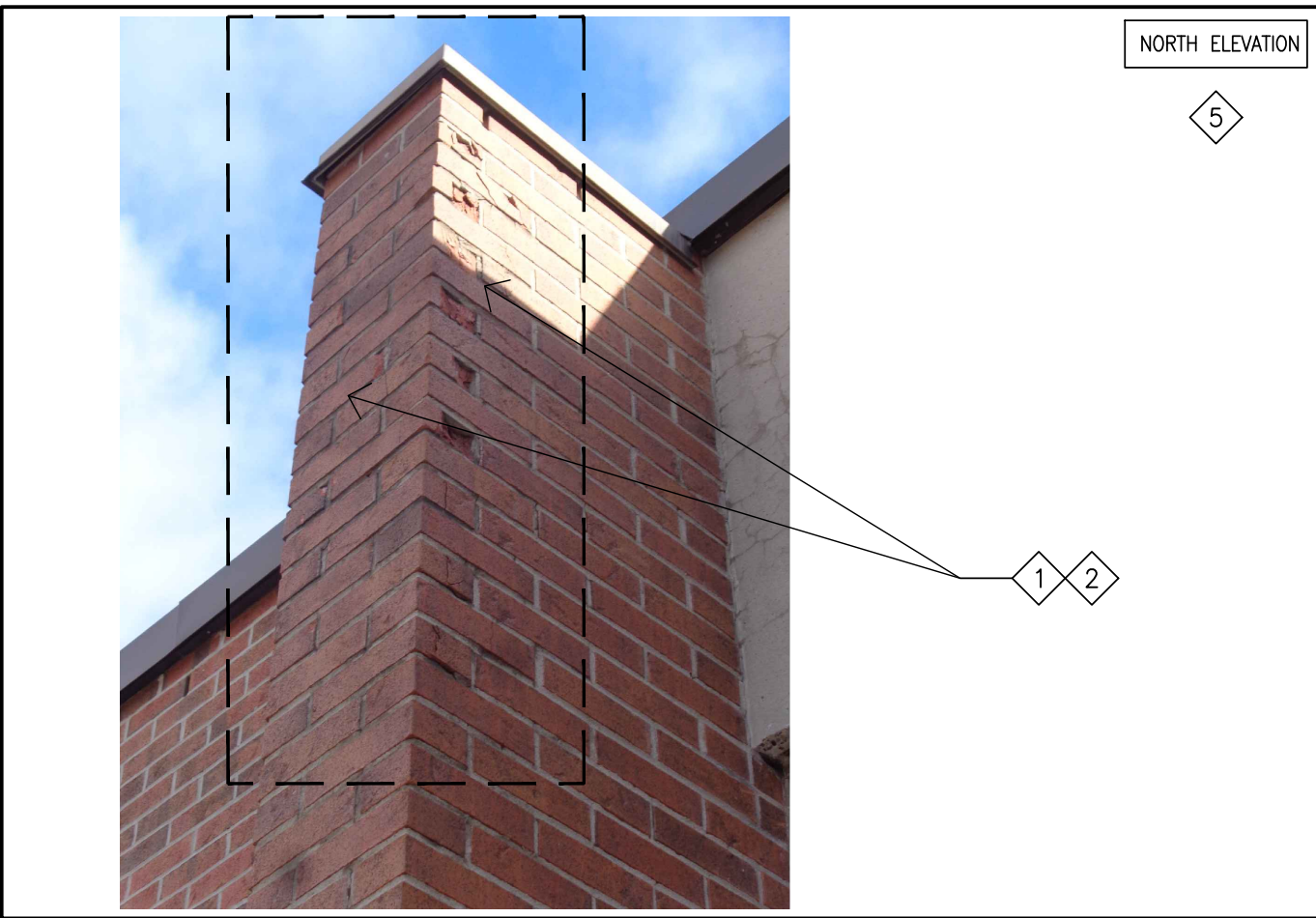


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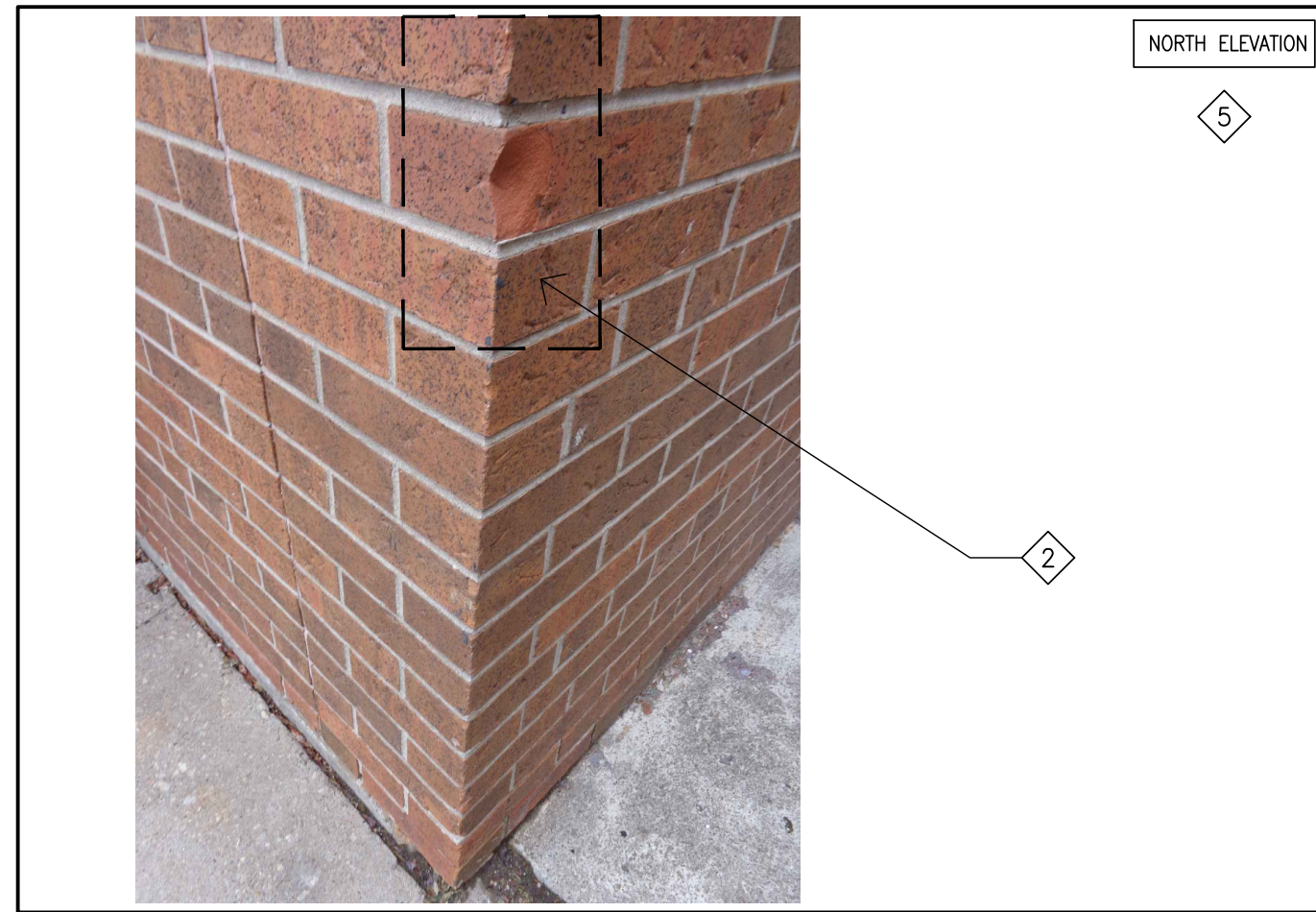


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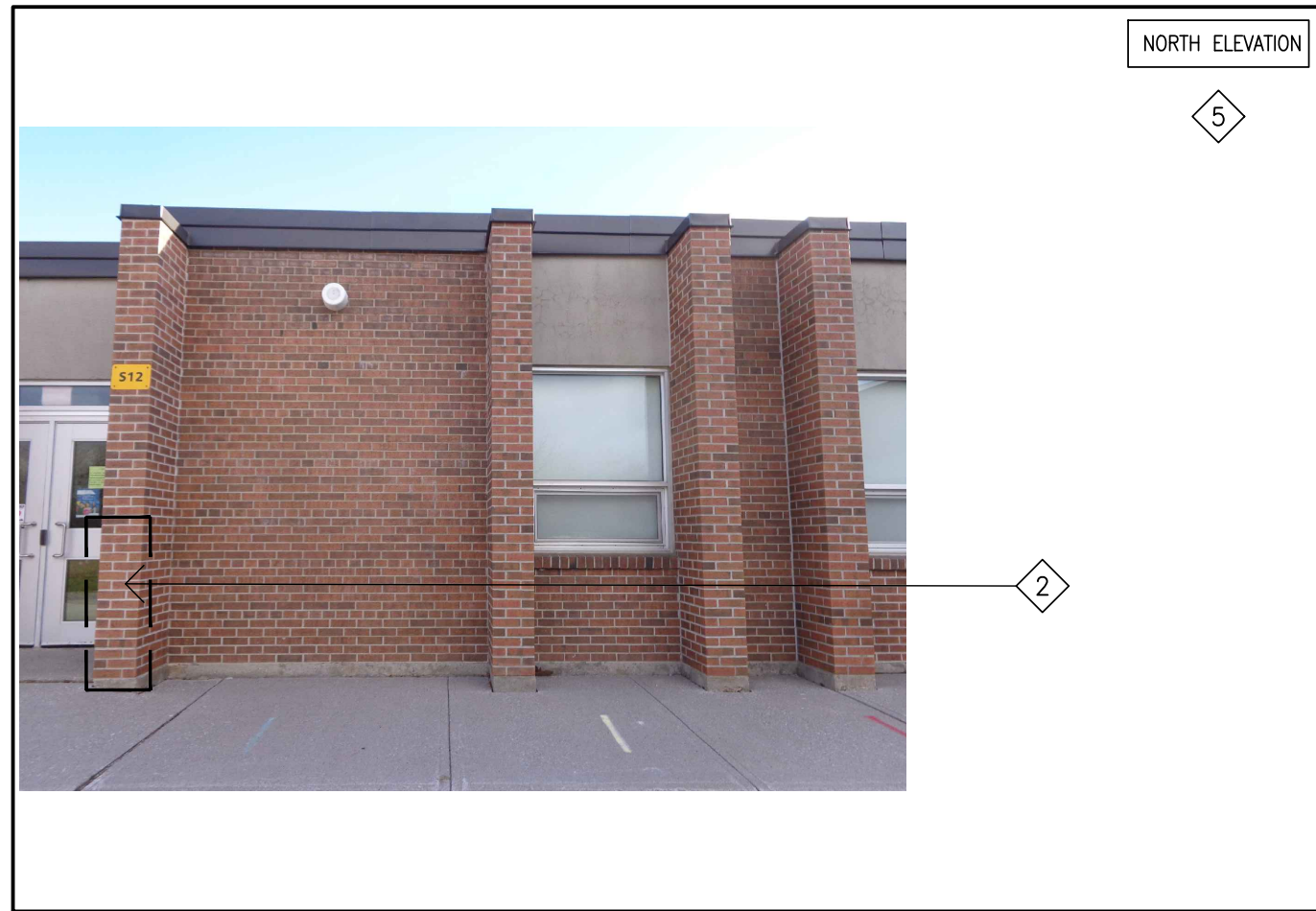


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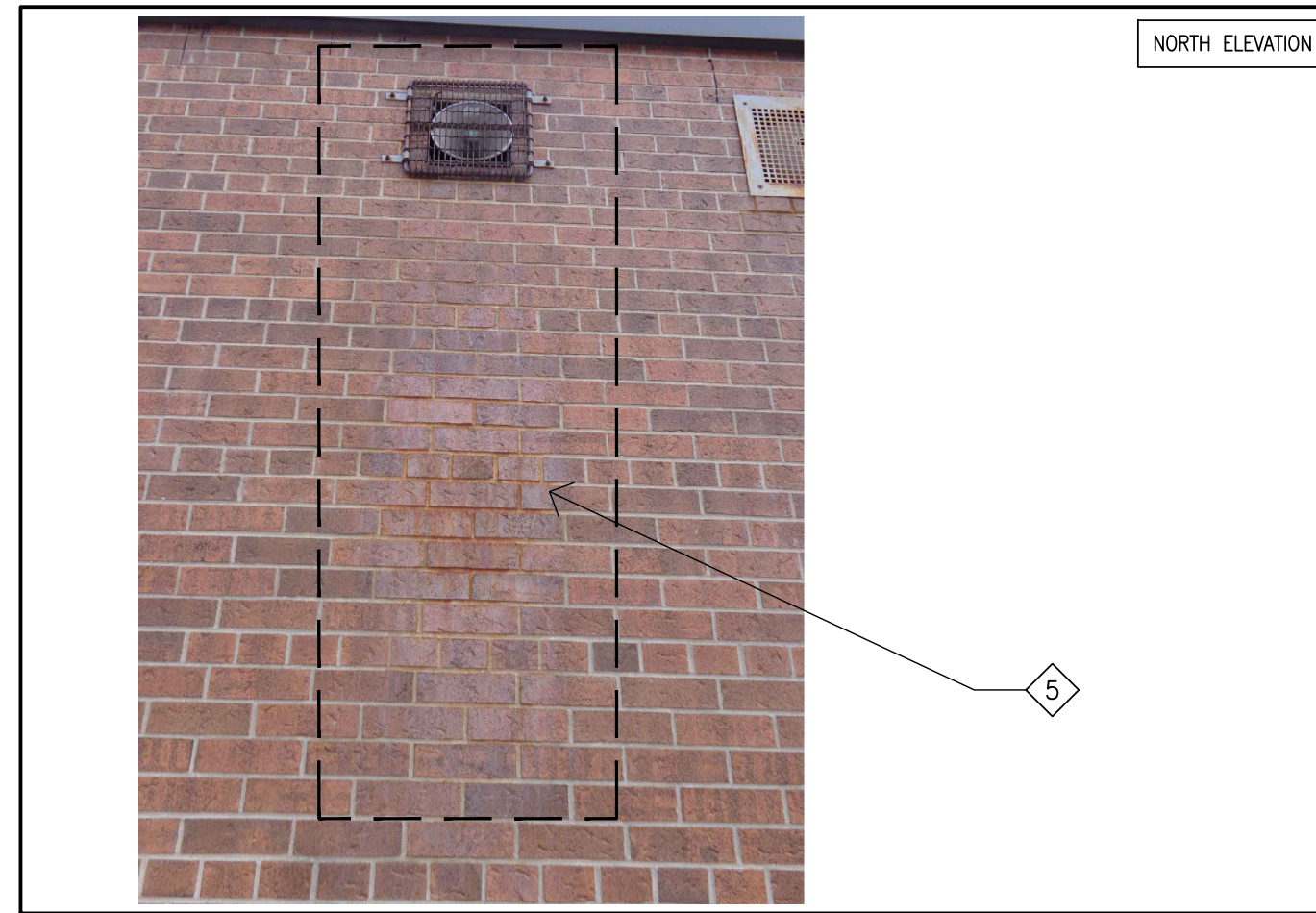


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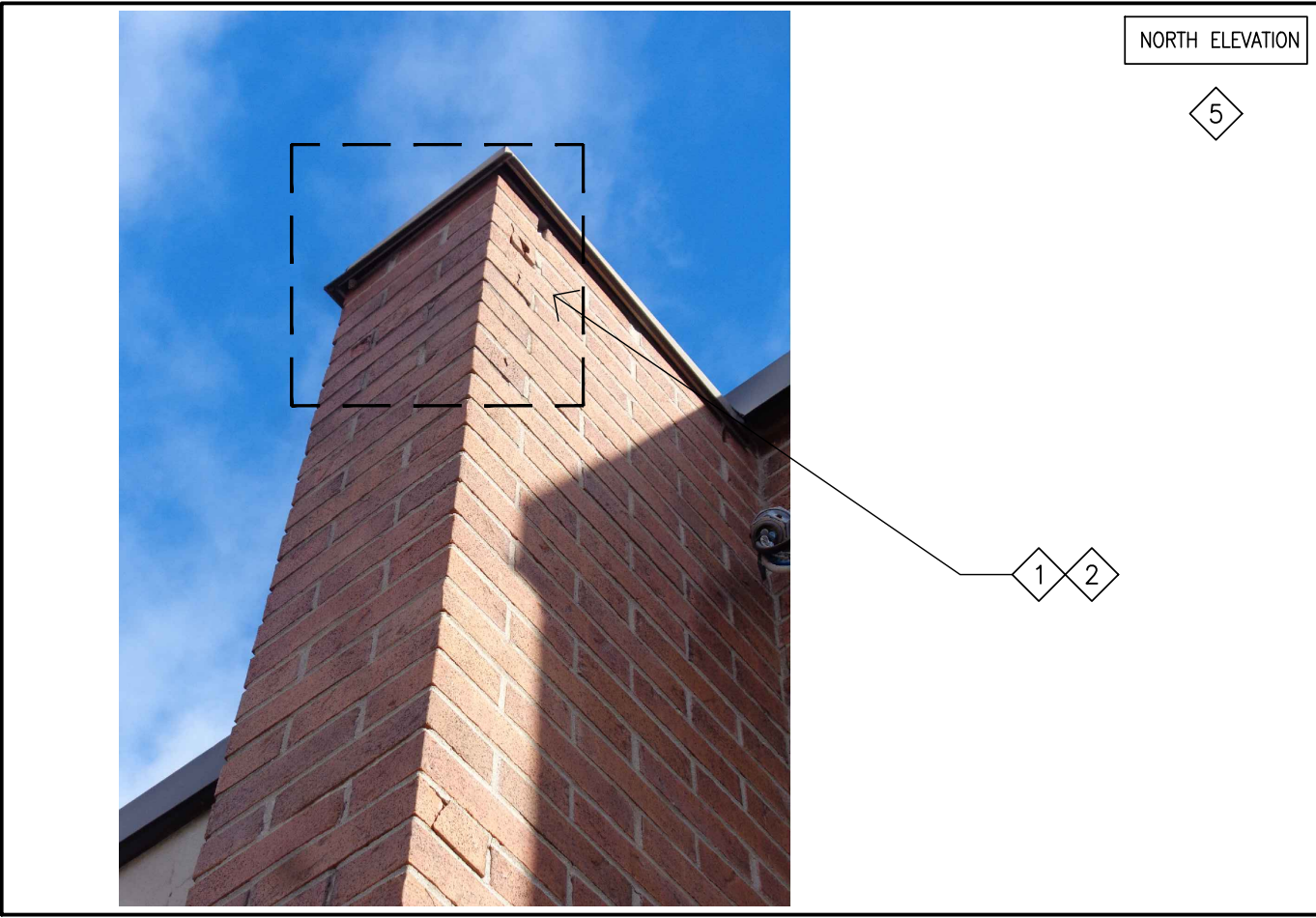


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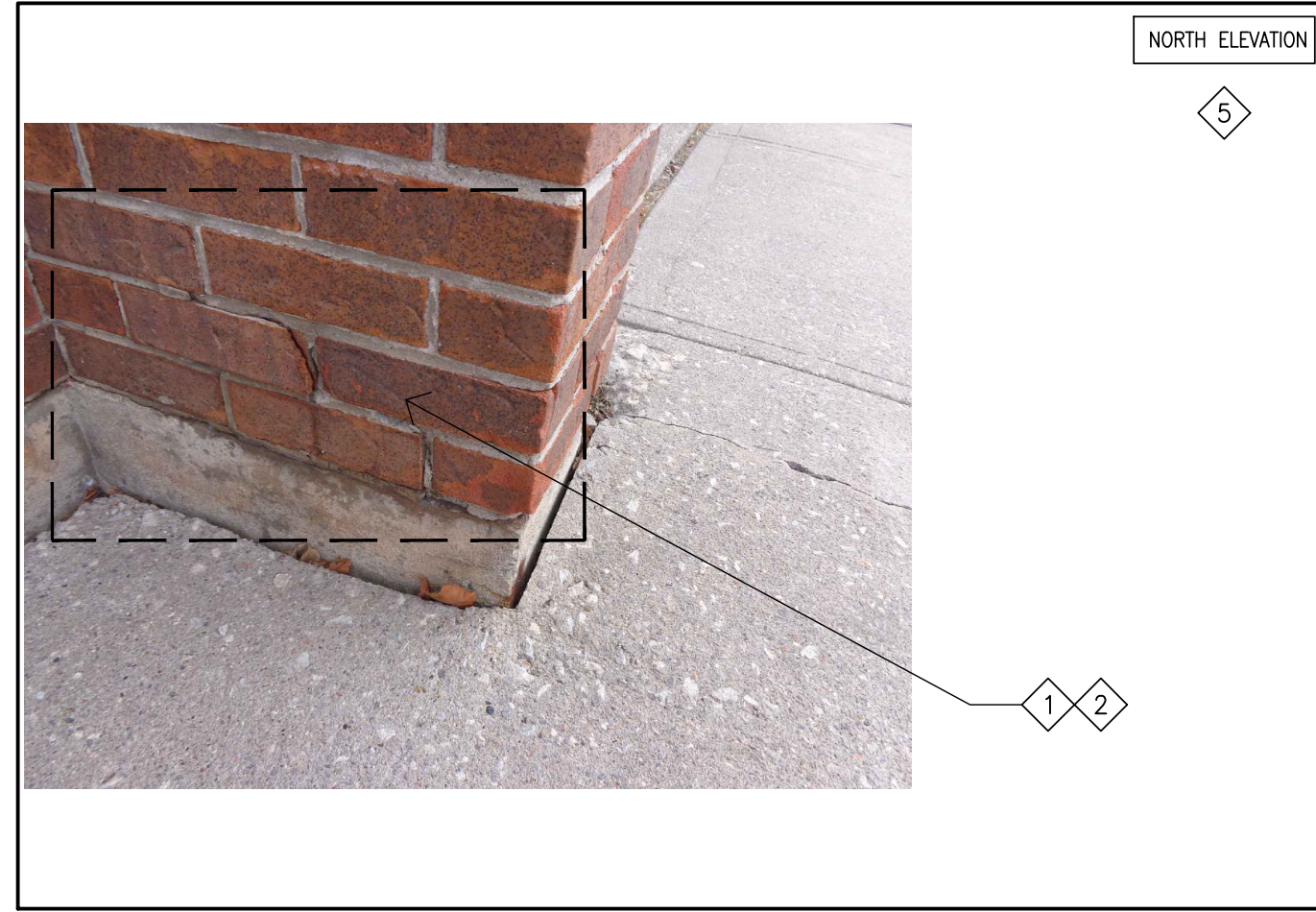


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PHOTO-37

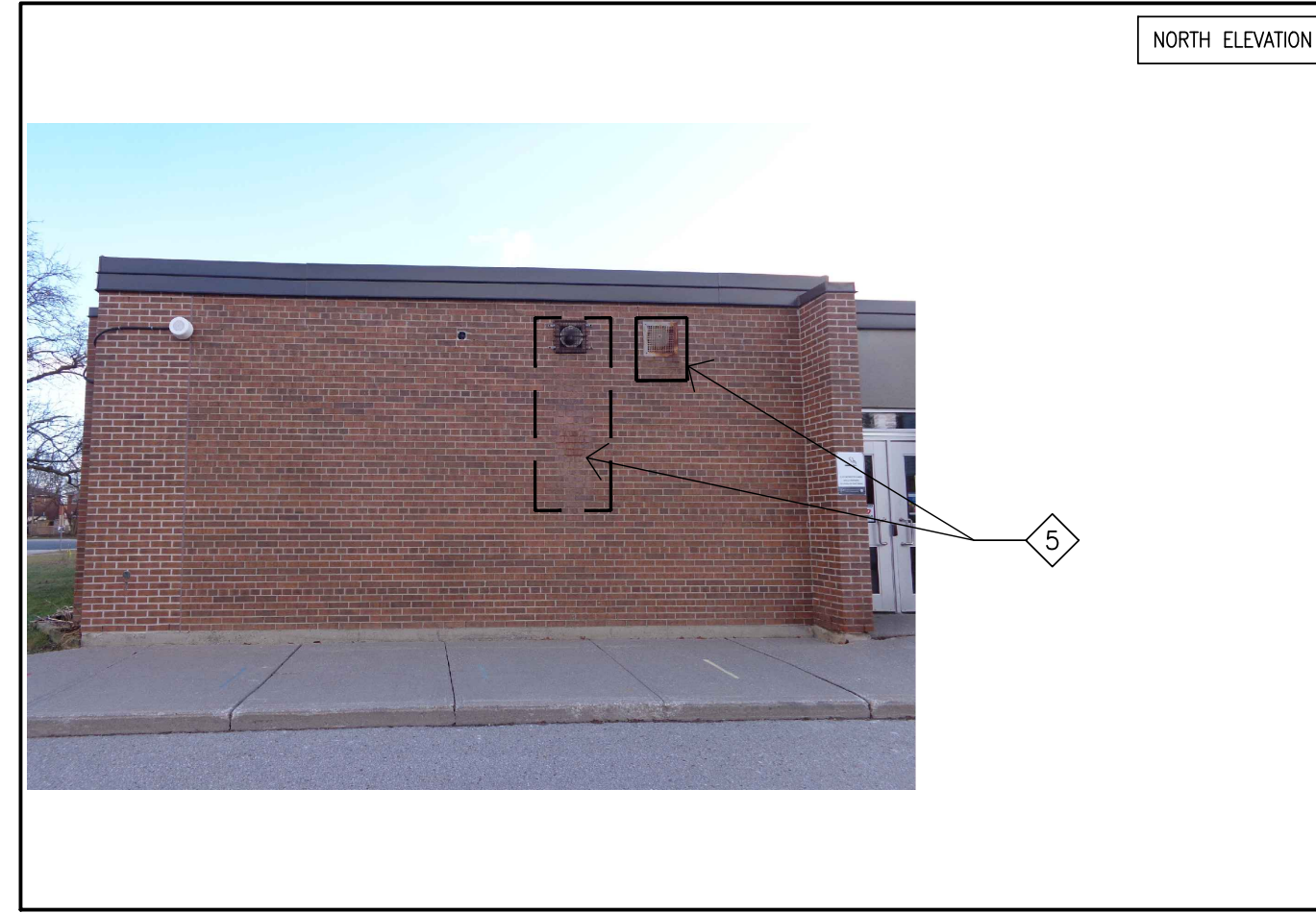


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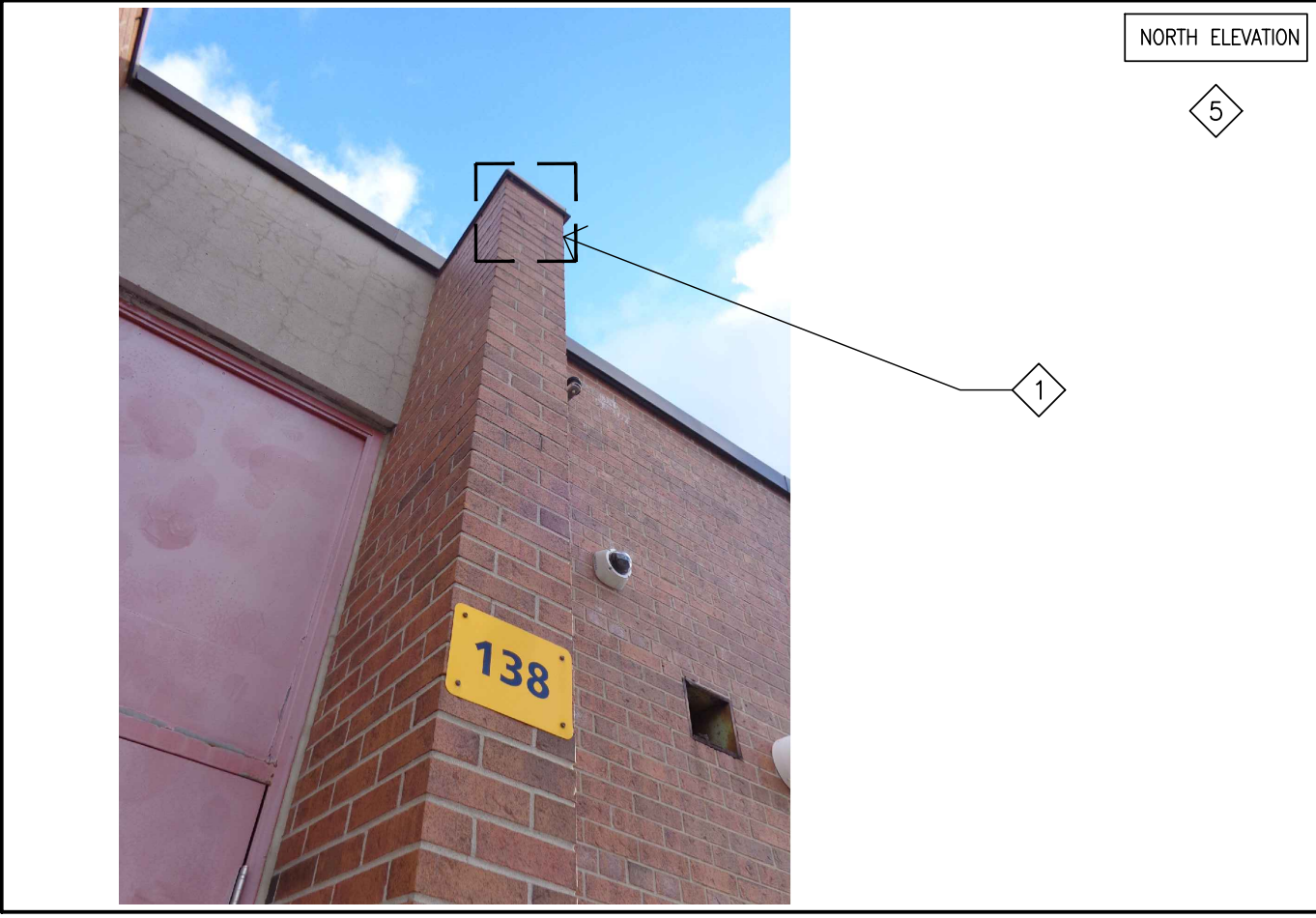


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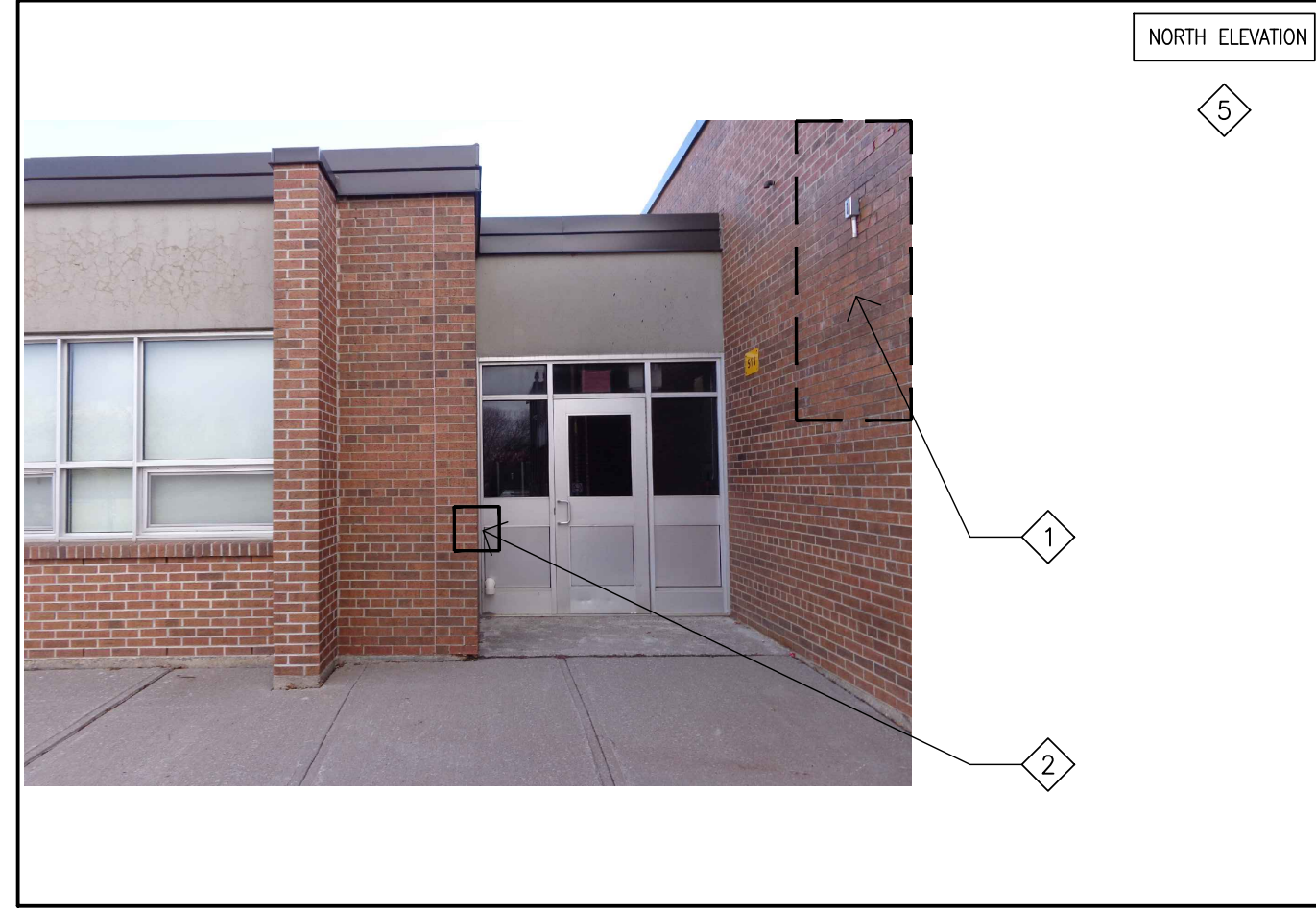


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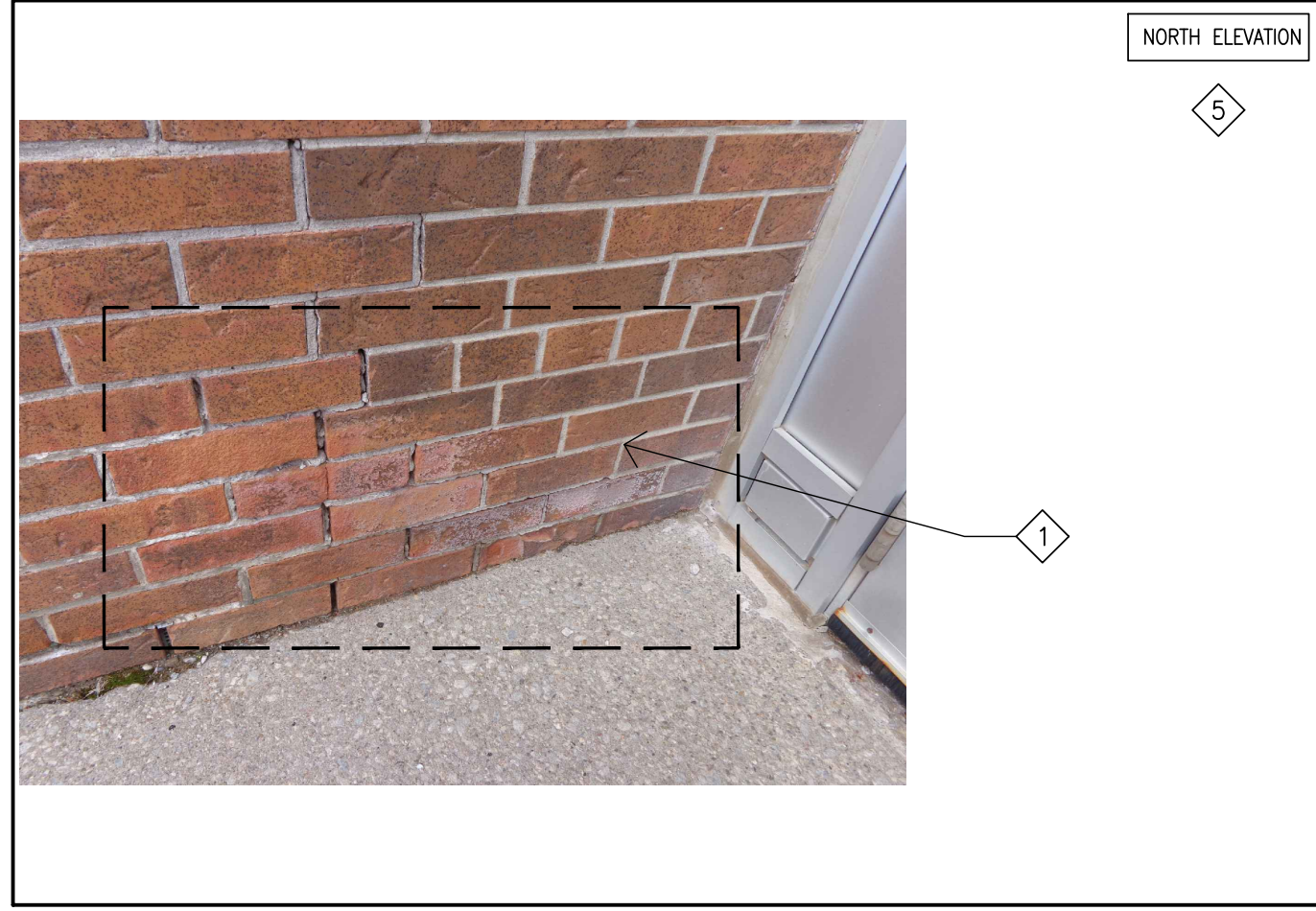


PHOTO-36



PHOTO-32

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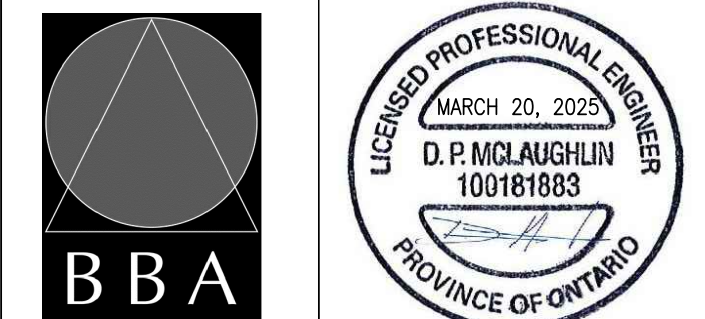


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PROJECT:  
**RENOVATIONS AT  
ECOLE ELEMENTAIRE  
JEANNE-LAJOIE**  
150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
Conseil scolaire Viamonde

DRAWING:  
**ELEVATION PHOTOS**



**B B A**  
BARRY BRYAN ASSOCIATES  
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Engineers  
Project Managers  
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DESIGN BY: BBA  
DRAWN BY: JJA  
CHECKED BY: DM  
DATE: JAN. 2025  
SCALE: 1:75  
FILE: 24195 A304-A312

DOC CONTROL: DATE: \_\_\_\_\_  
% COMPLETE: \_\_\_\_\_  
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PROJECT NO: **24195**  
DRAWING NO: **A907**

**REPAIR NOTES**

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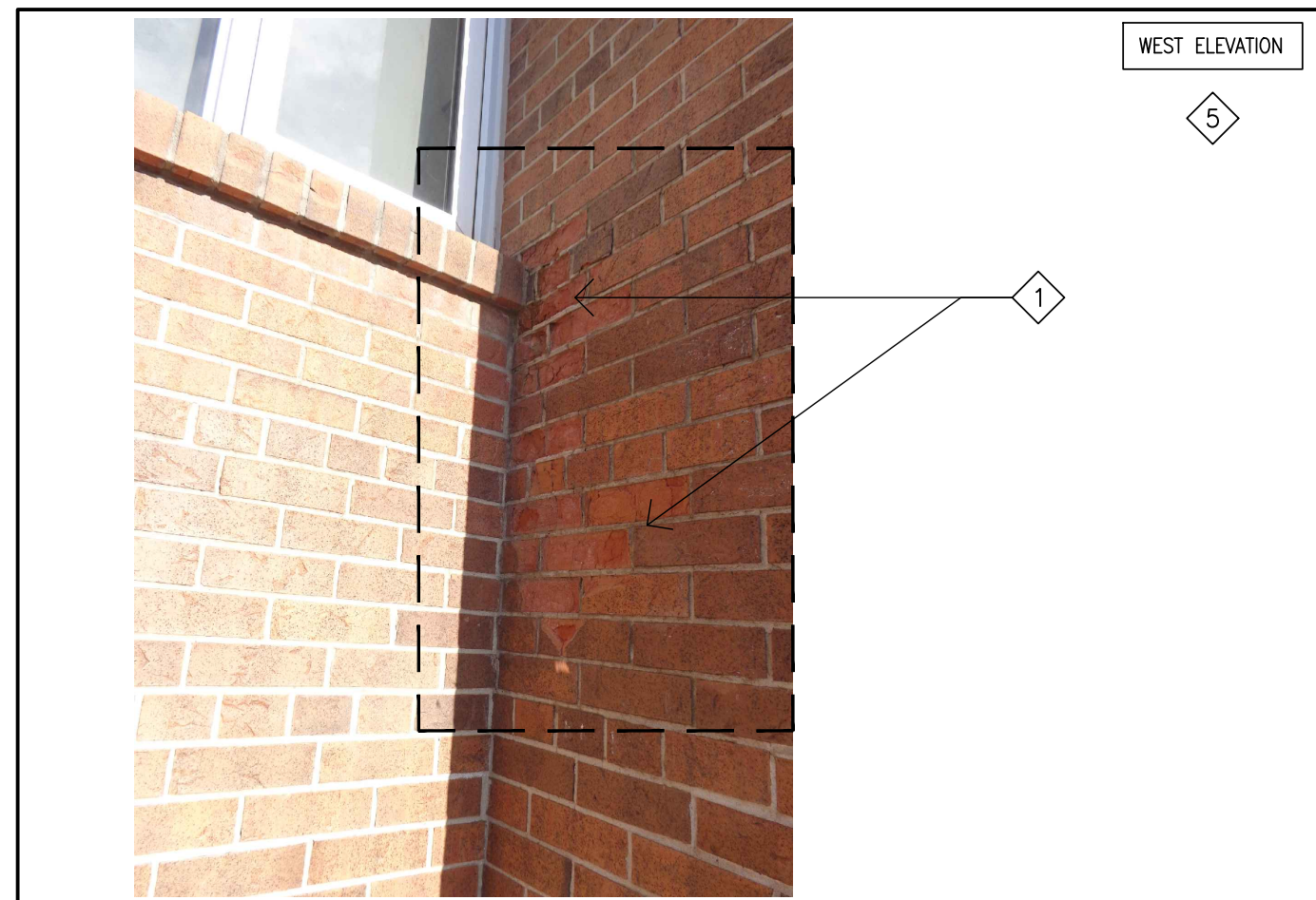


PHOTO-57

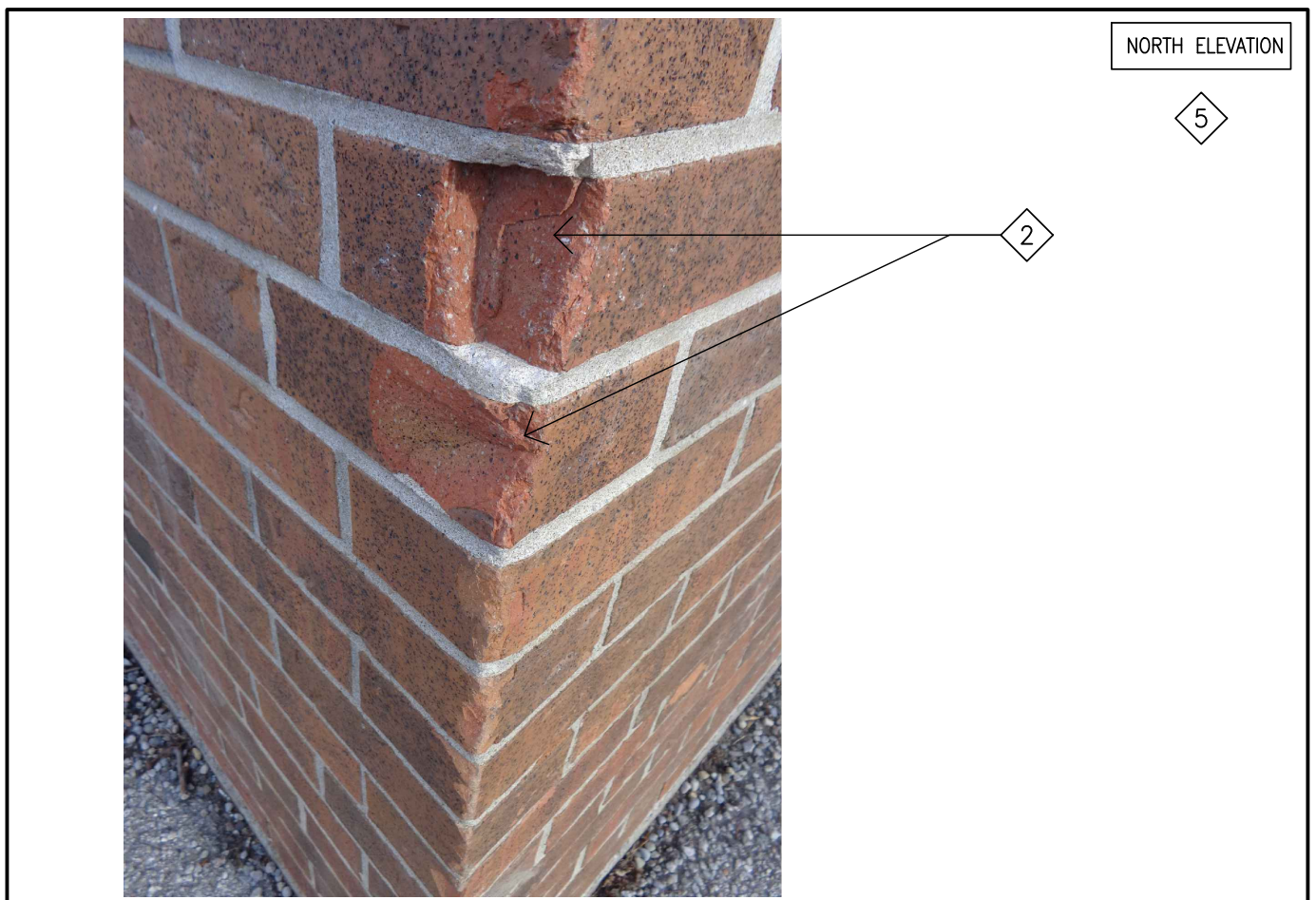


PHOTO-50

PHOTO-61 (NOT USED)

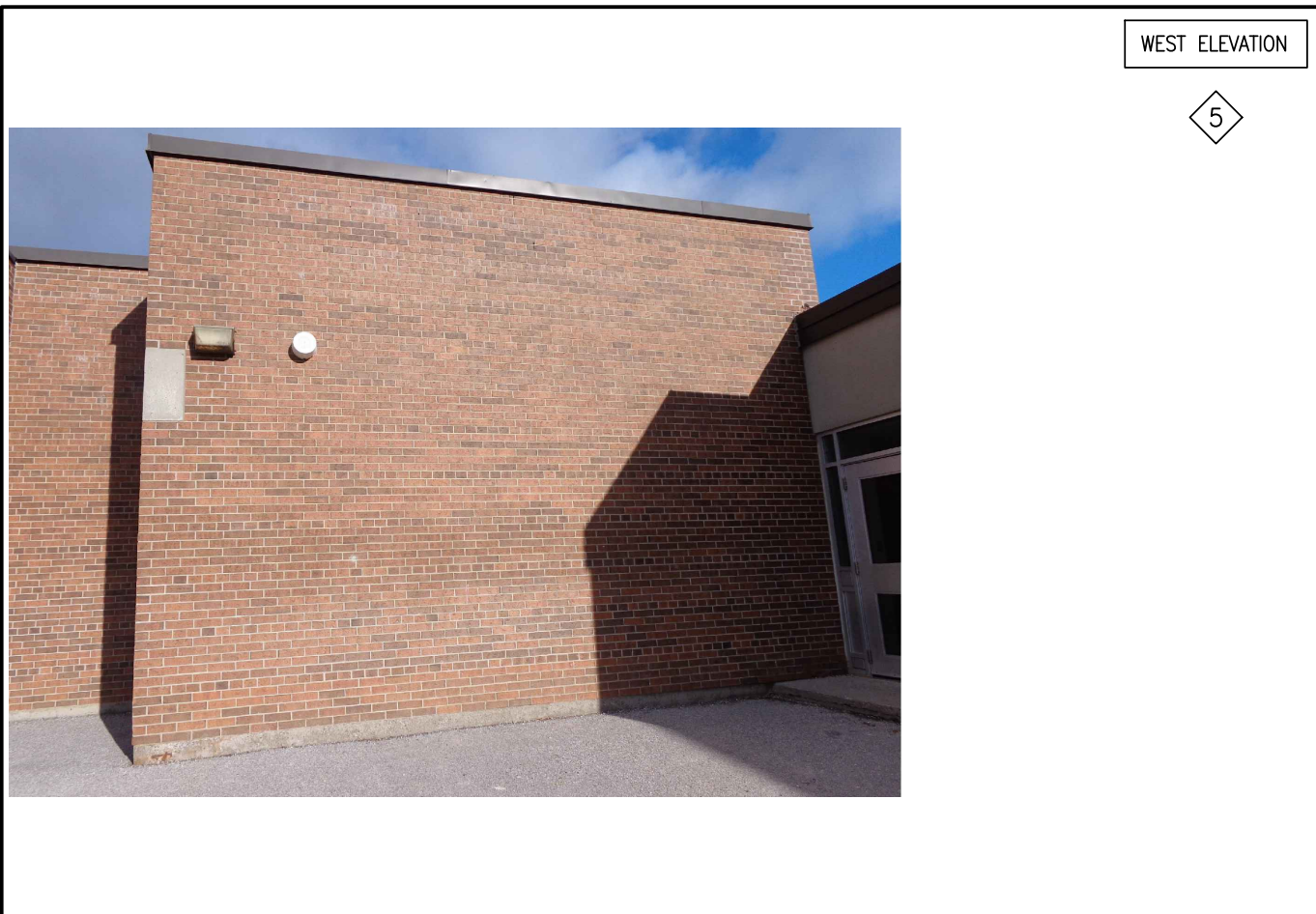


PHOTO-60

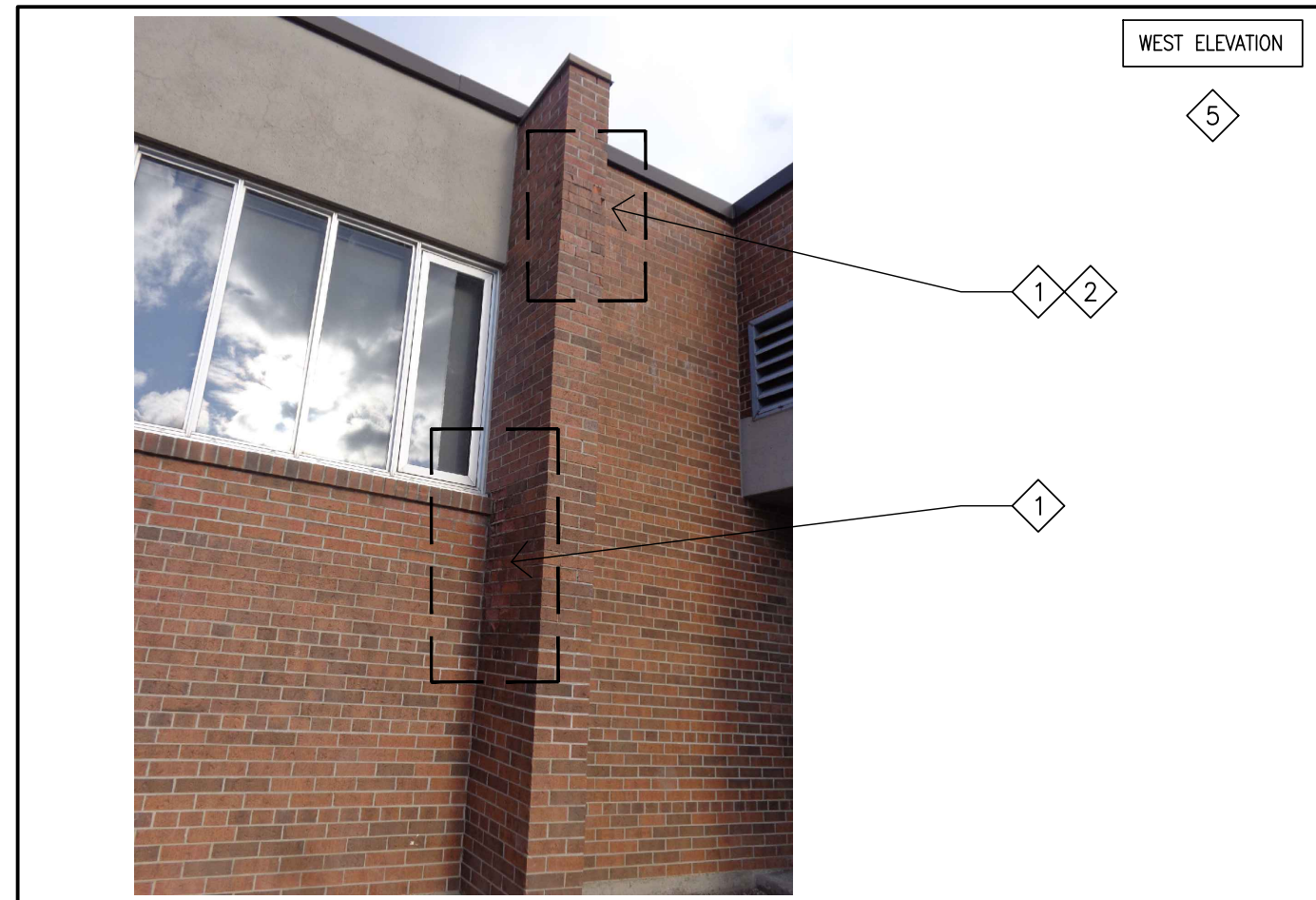


PHOTO-56

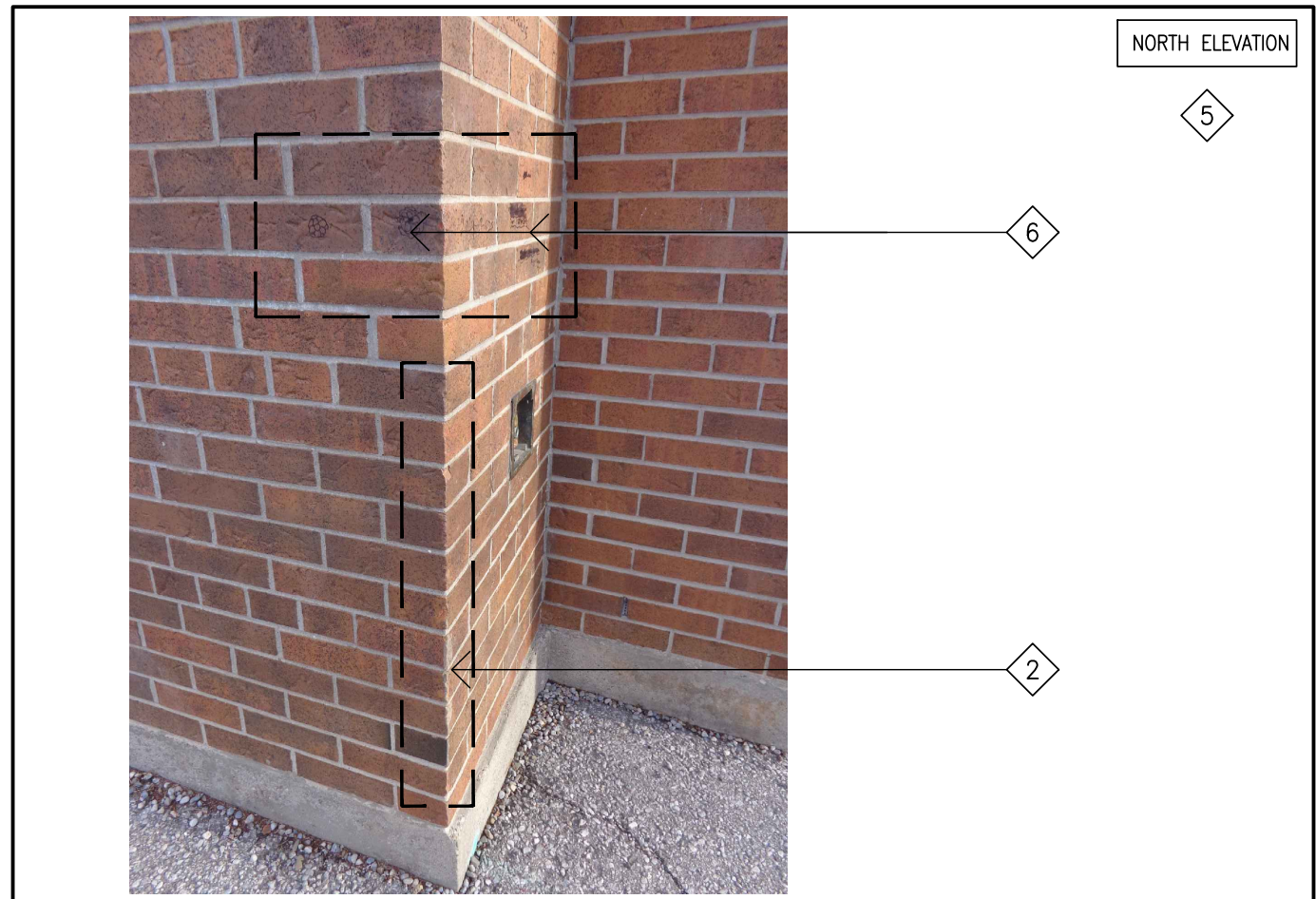


PHOTO-53

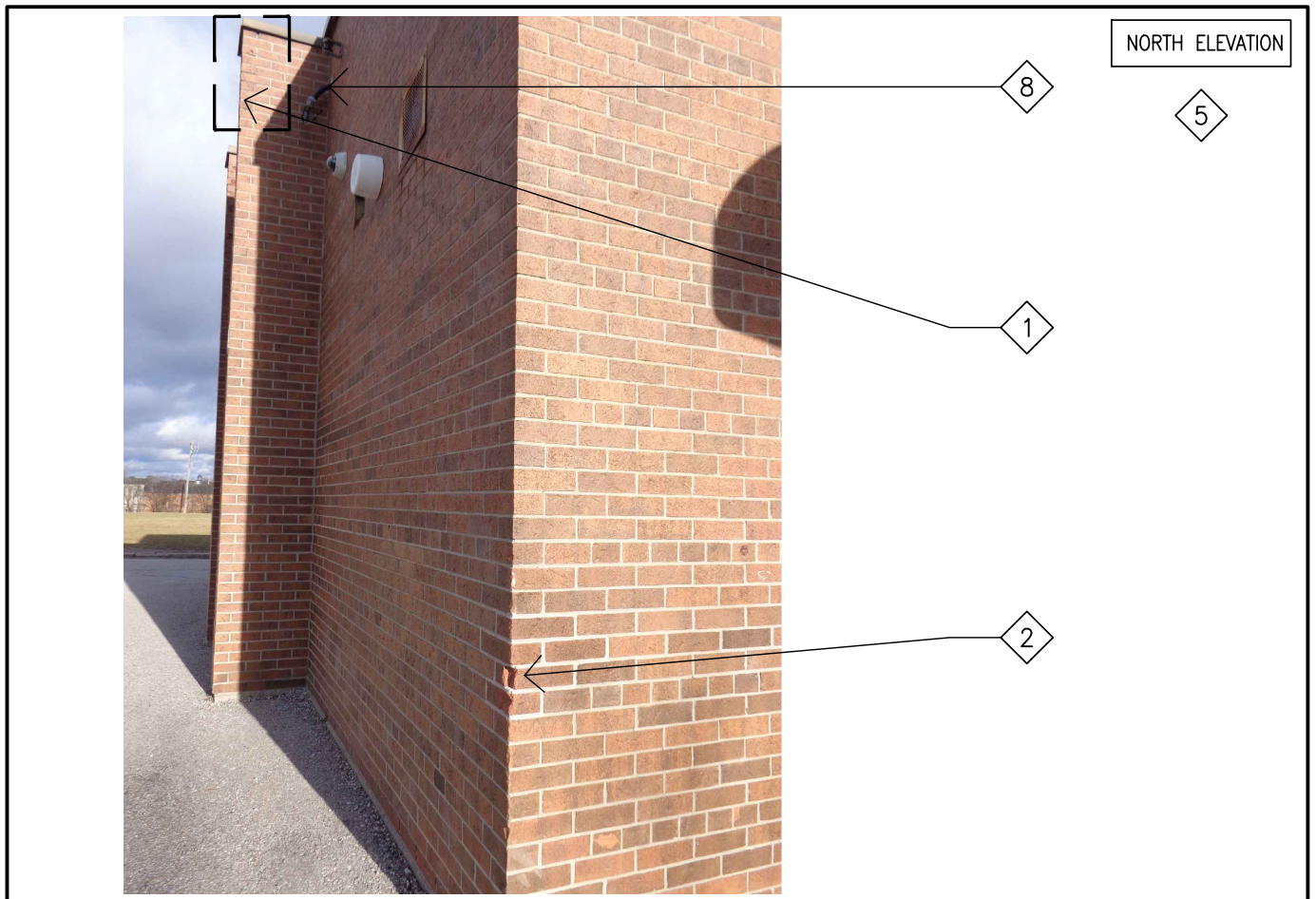


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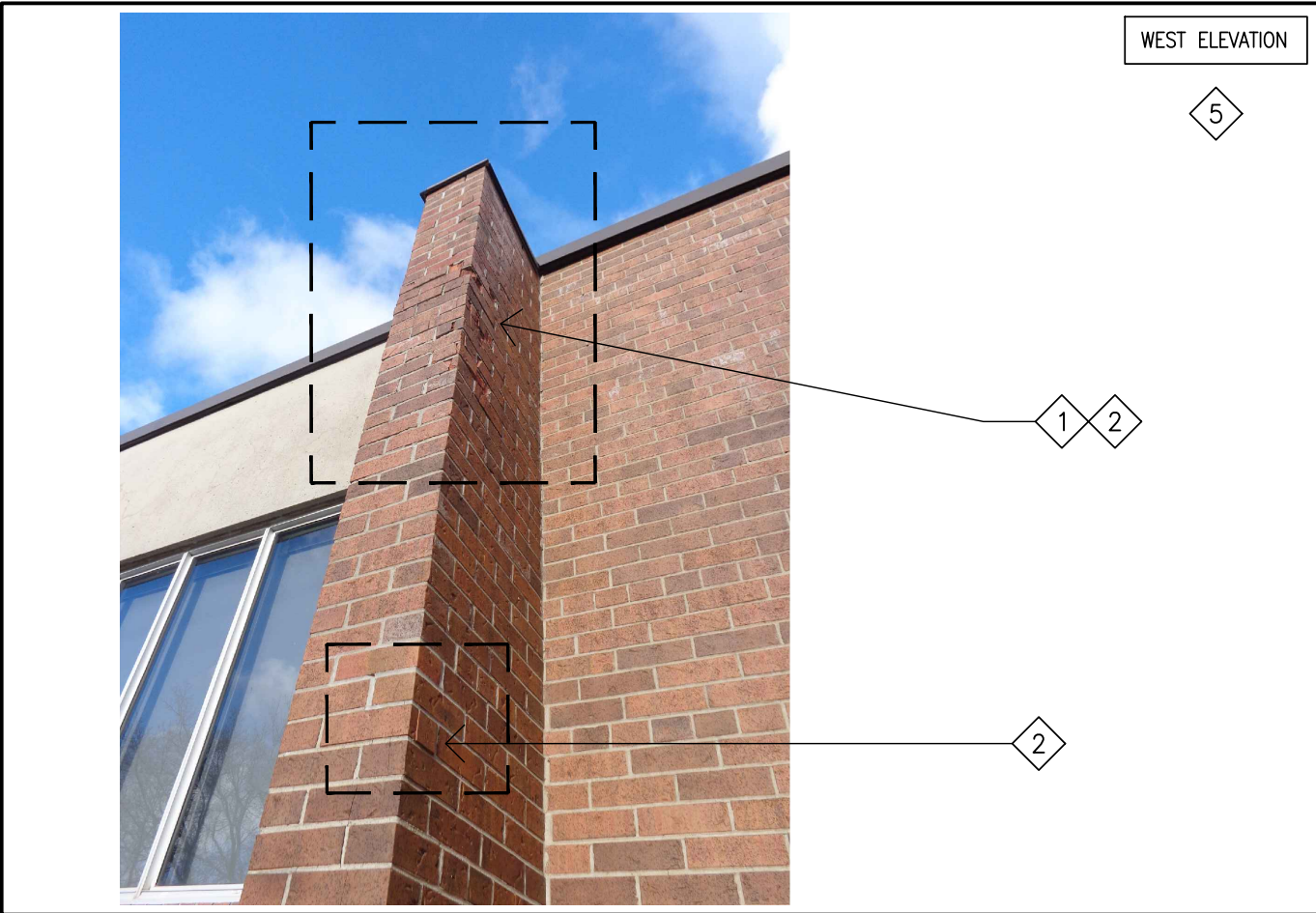


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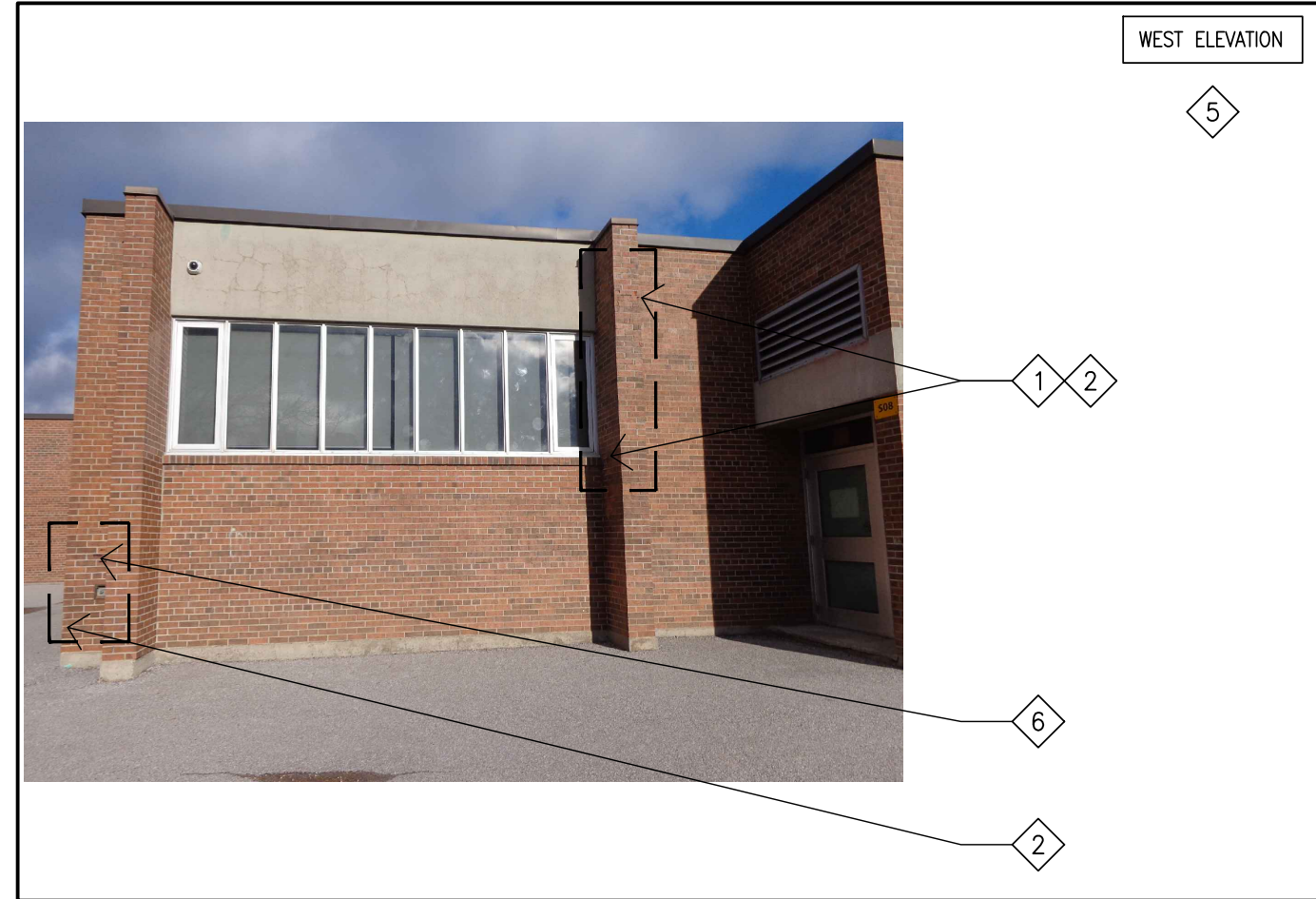


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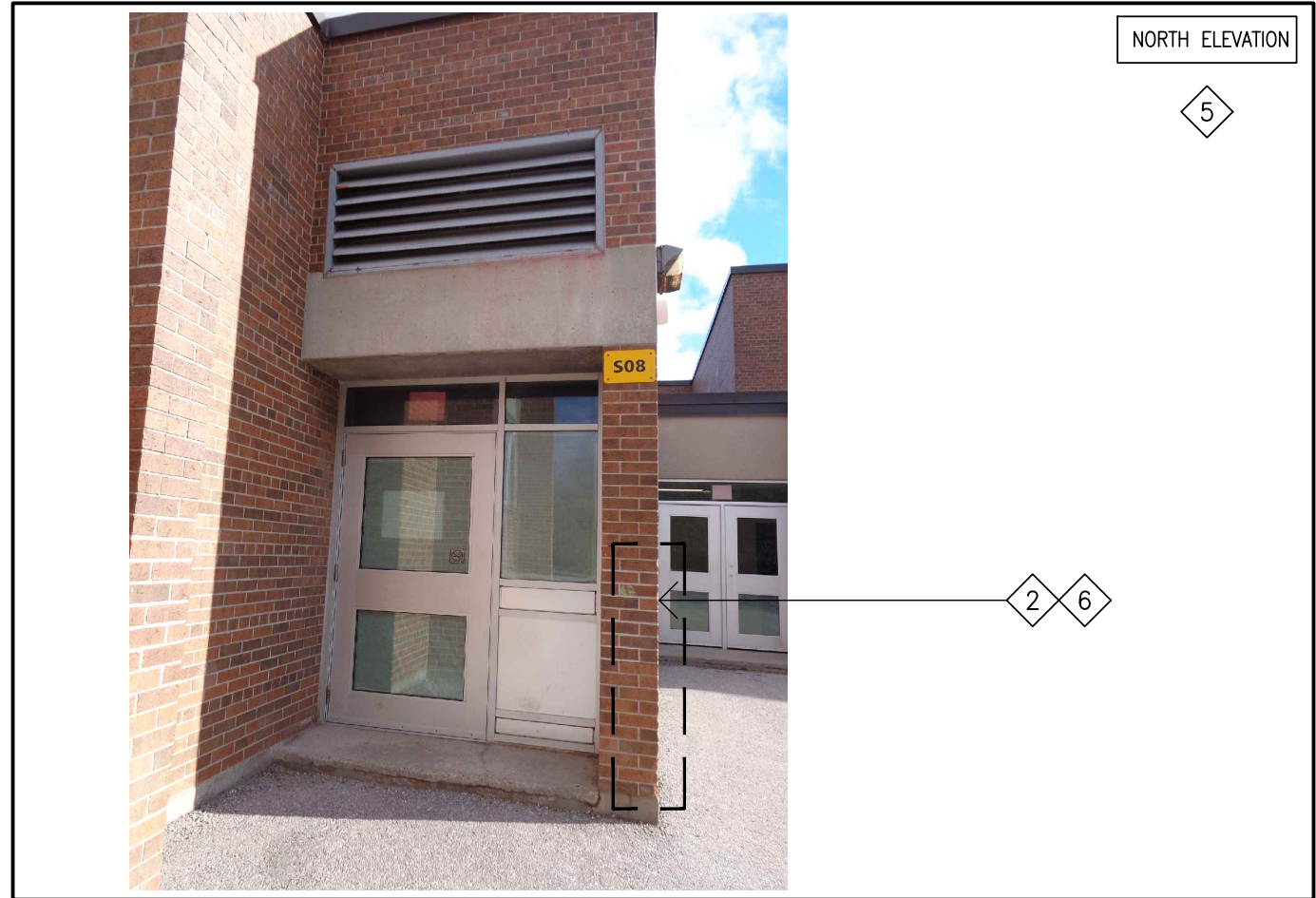


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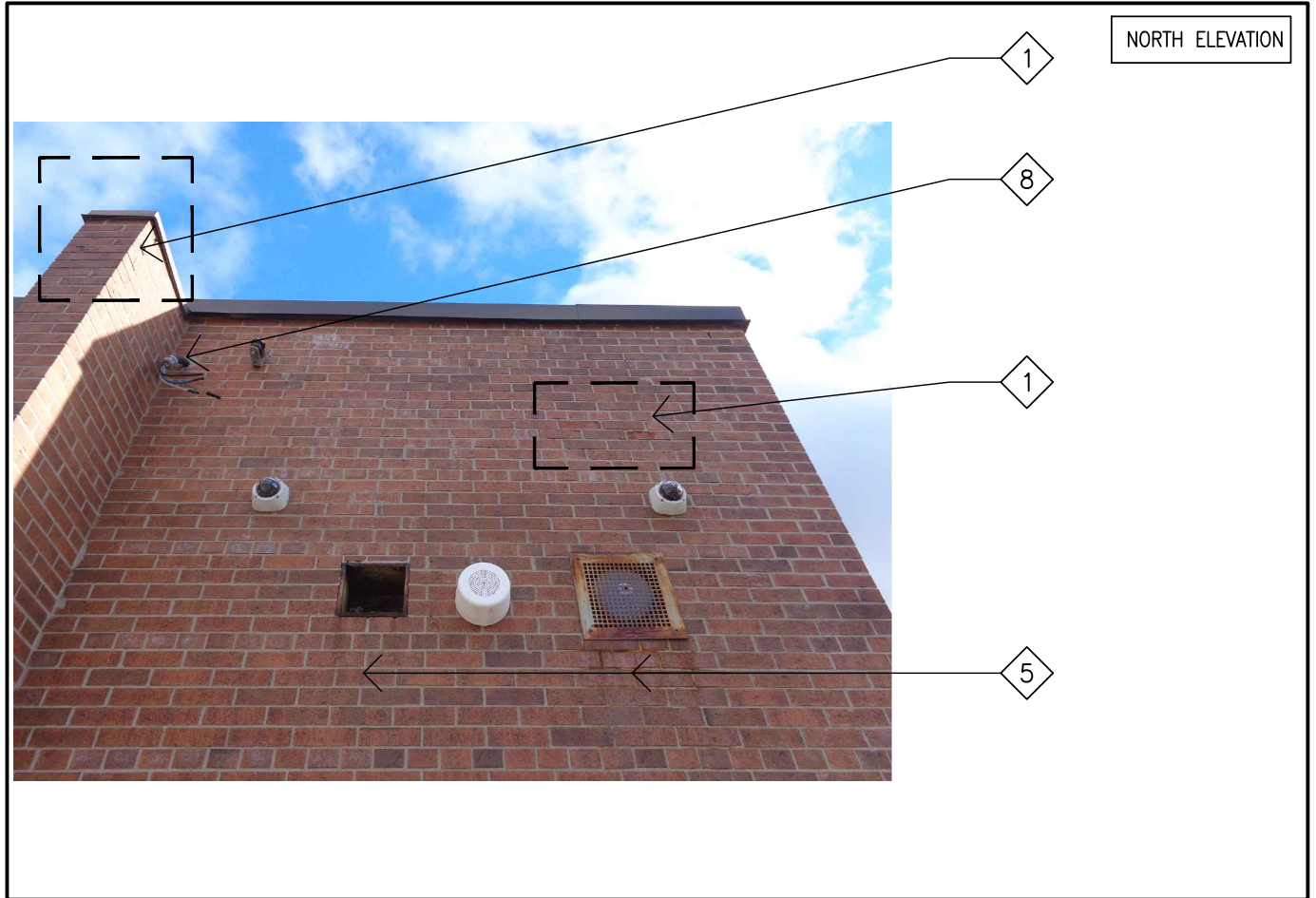


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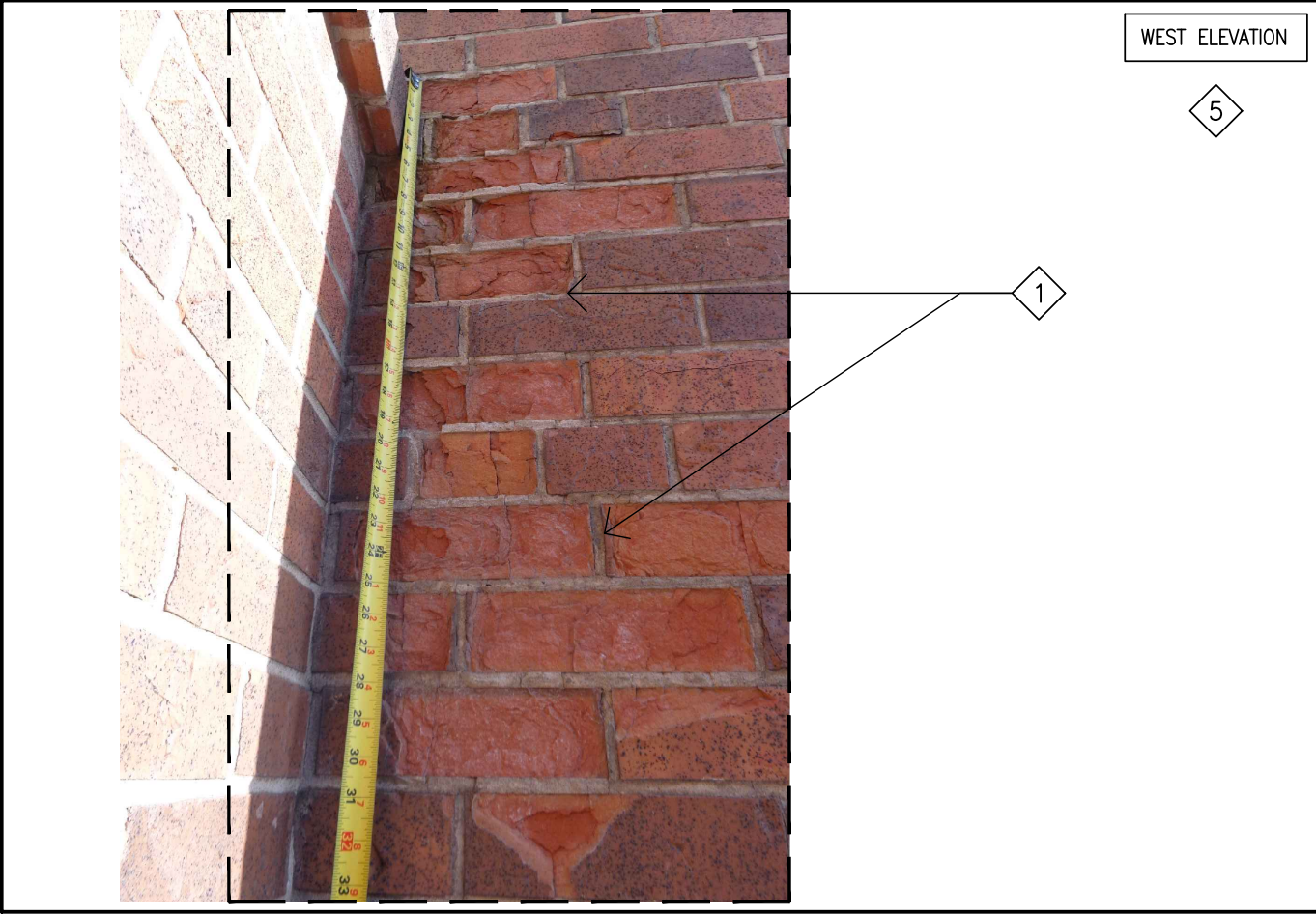


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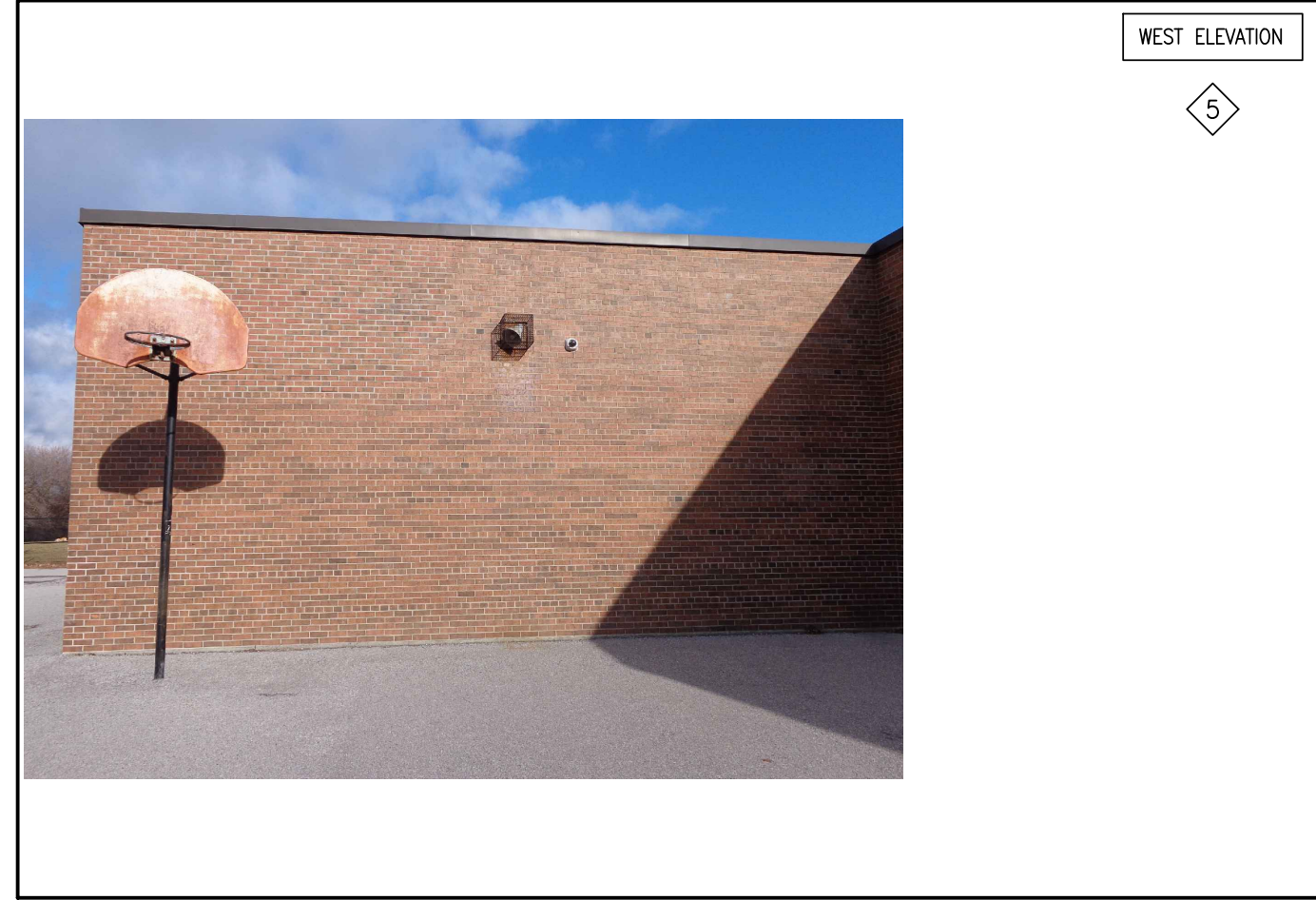


PHOTO-54



PHOTO-51

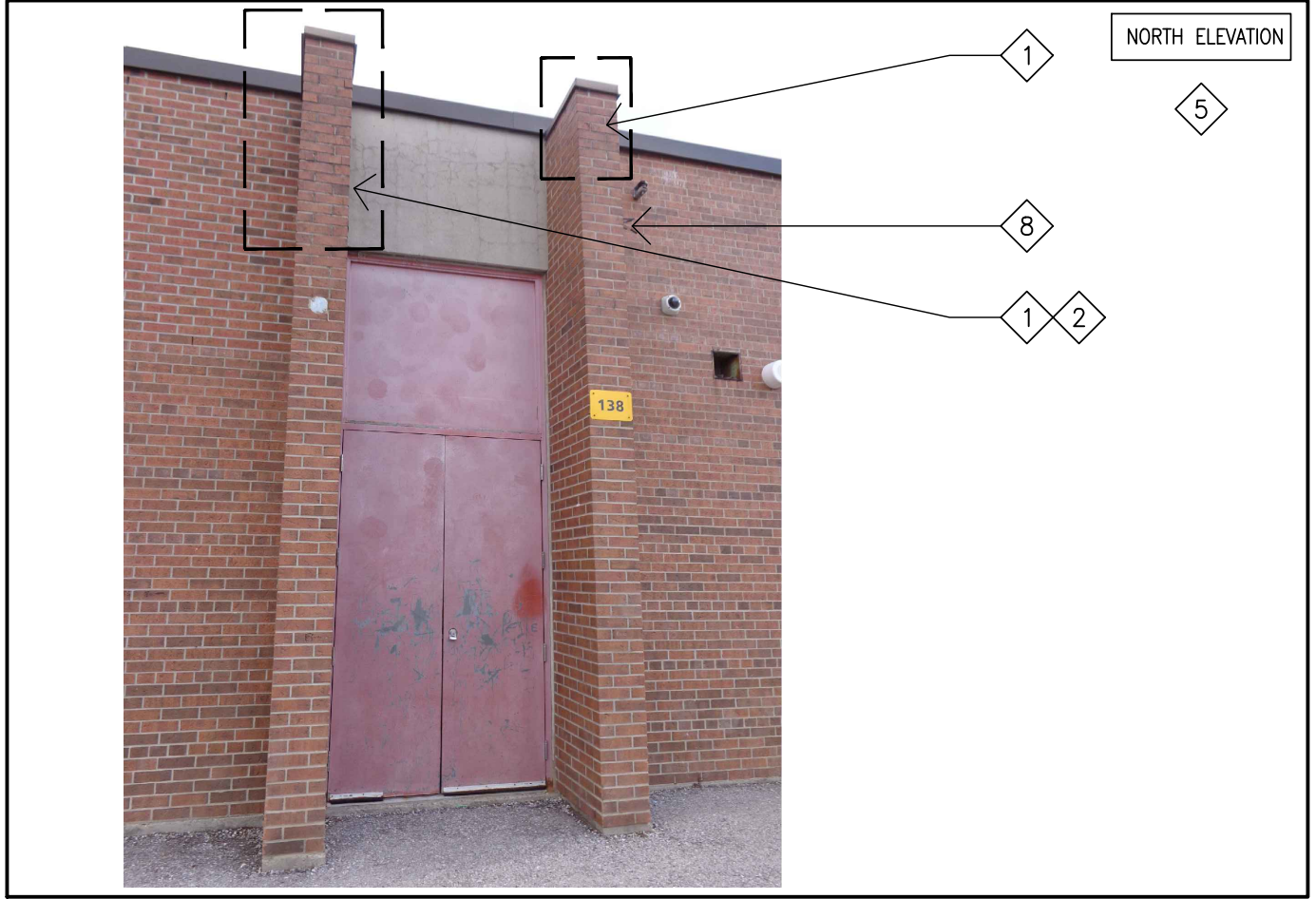


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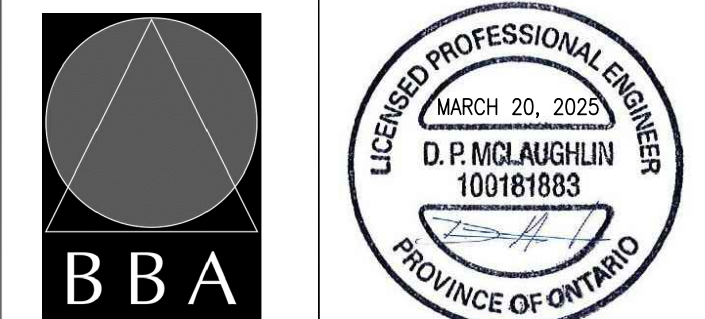


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PROJECT:  
**RENOVATIONS AT ECOLE ELEMENTAIRE JEANNE-LAJOIE**  
 150 CARNFORTH ROAD  
 NORTH YORK, ONTARIO  
 Conseil scolaire Viamonde

DRAWING:  
**ELEVATION PHOTOS**



**B B A**  
**BARRY BRYAN ASSOCIATES**  
 Architects  
 Engineers  
 Project Managers  
 250 Water Street  
 Suite 201  
 Whitby, Ontario  
 L1N 0G5  
 Tel: (905) 666-5252  
 Fax: (905) 666-5256  
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DESIGN BY: BBA  
 DRAWN BY: JJA  
 CHECKED BY: DM  
 DATE: JAN. 2025  
 SCALE: 1:75  
 FILE: 24195\_A304-A312

PROJECT NO:  
**24195**  
 DRAWING NO:  
**A908**

**REPAIR NOTES**

- 1 REPAIR BROKEN AND DAMAGED BRICK. INSTALL REPLACEMENT BRICK WHERE INDICATED.
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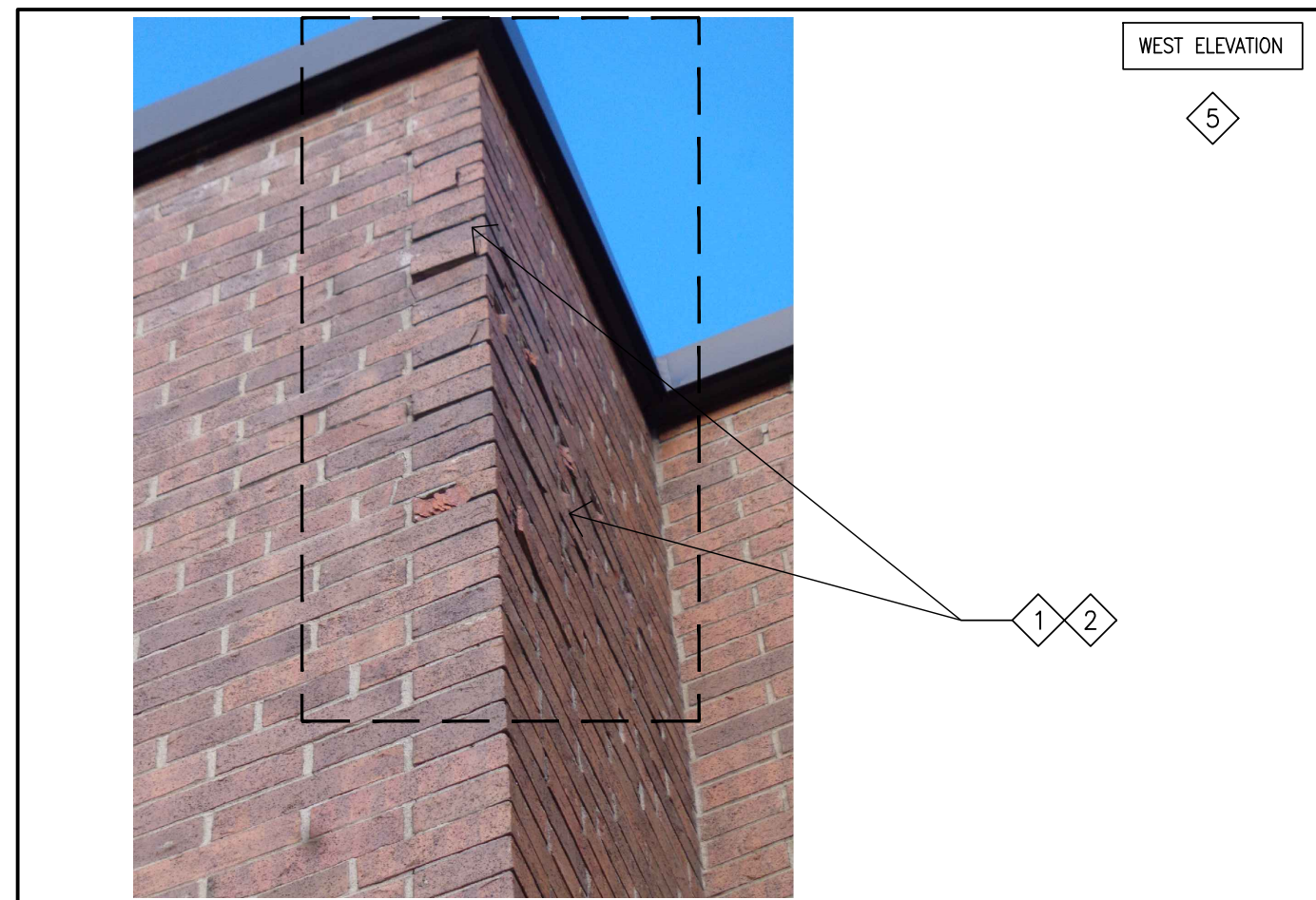


PHOTO-72

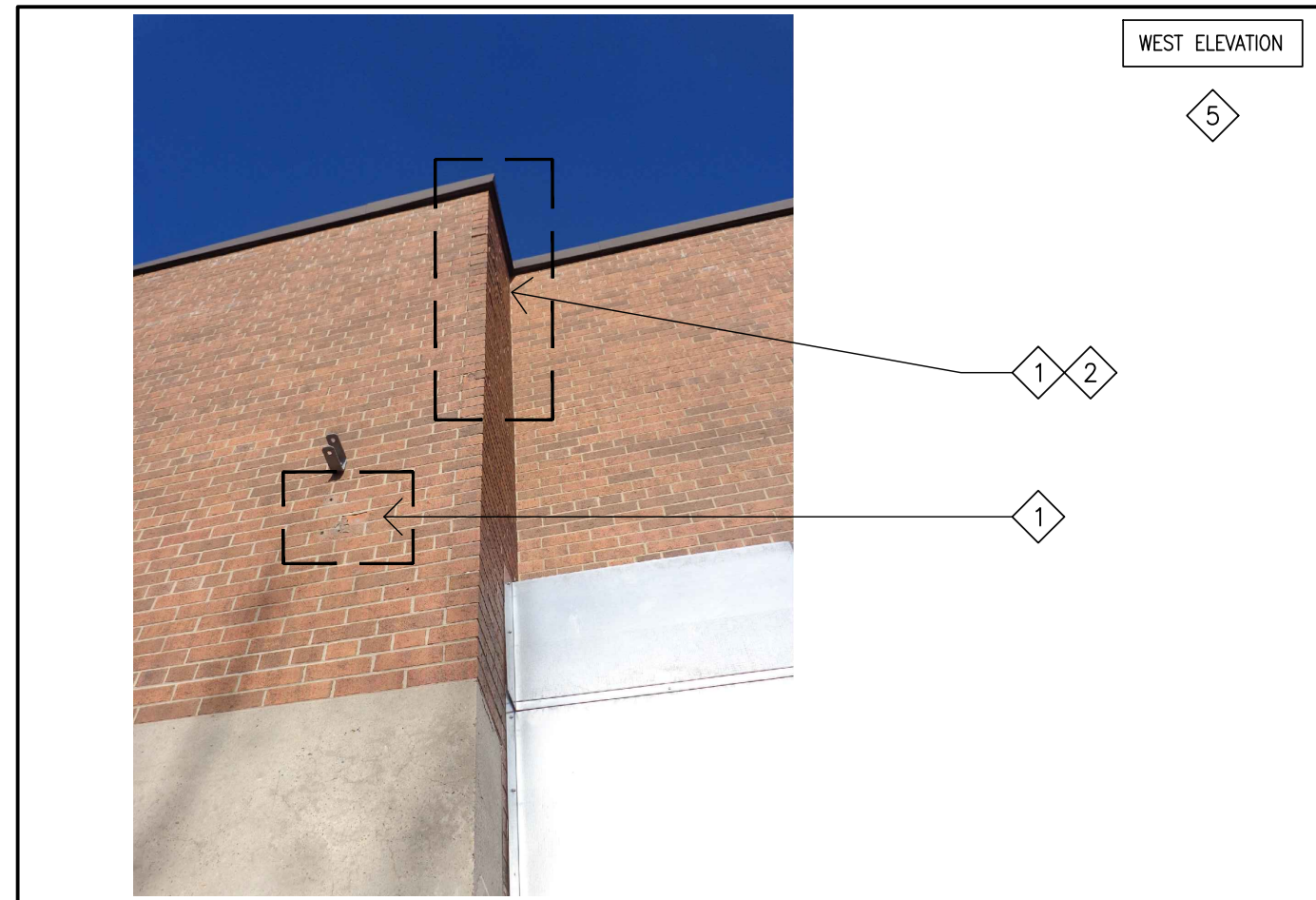


PHOTO-71

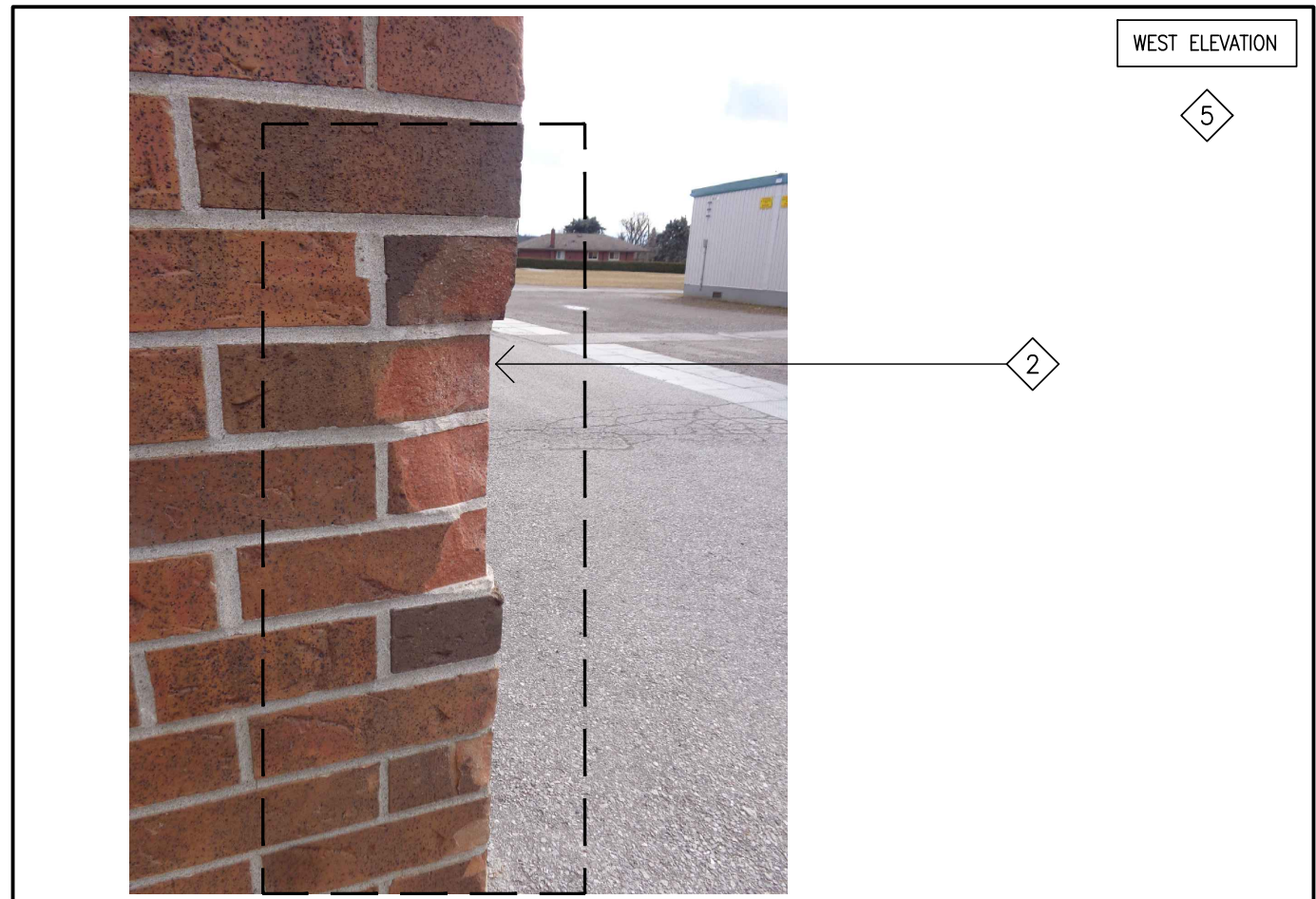


PHOTO-68

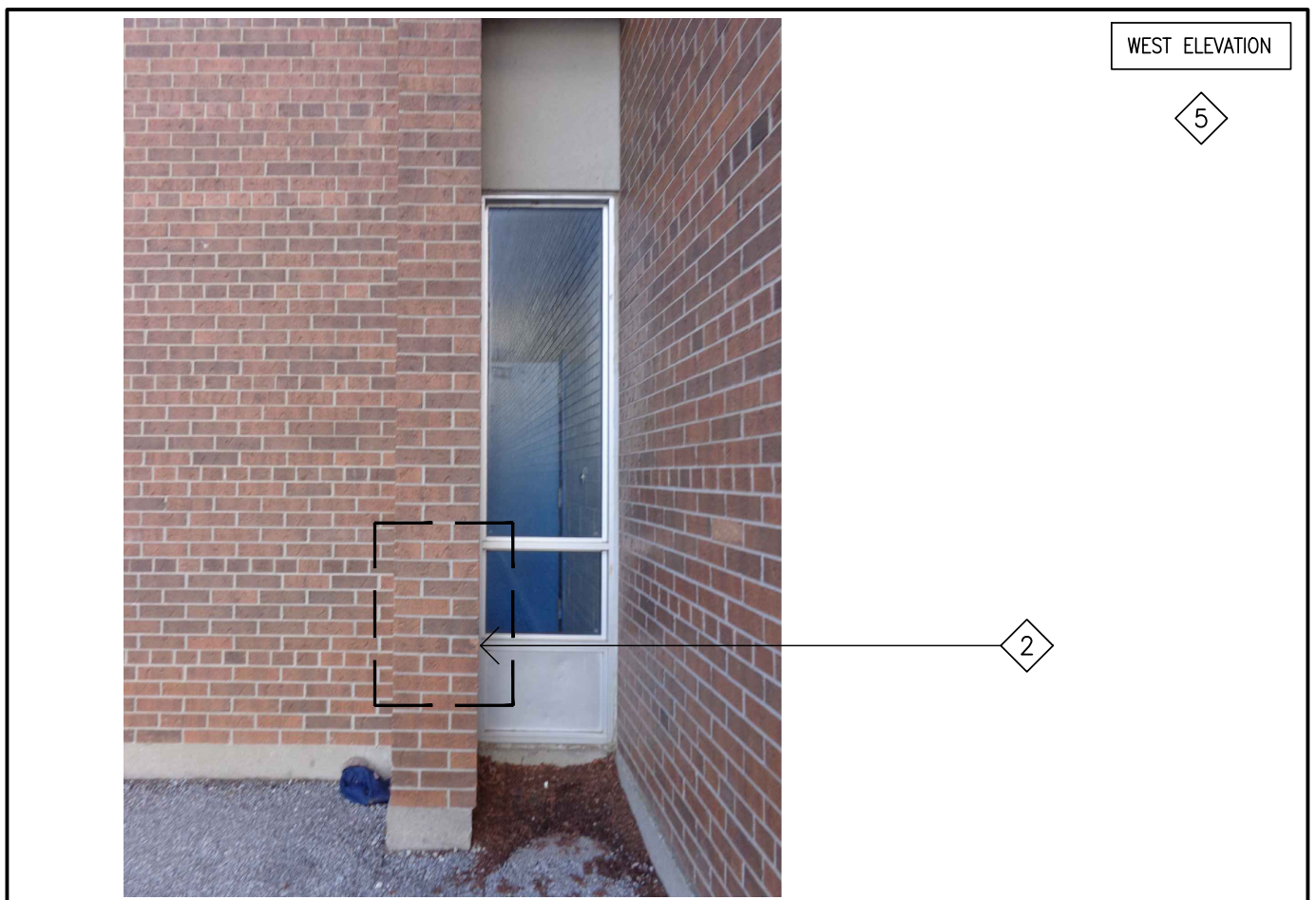


PHOTO-65

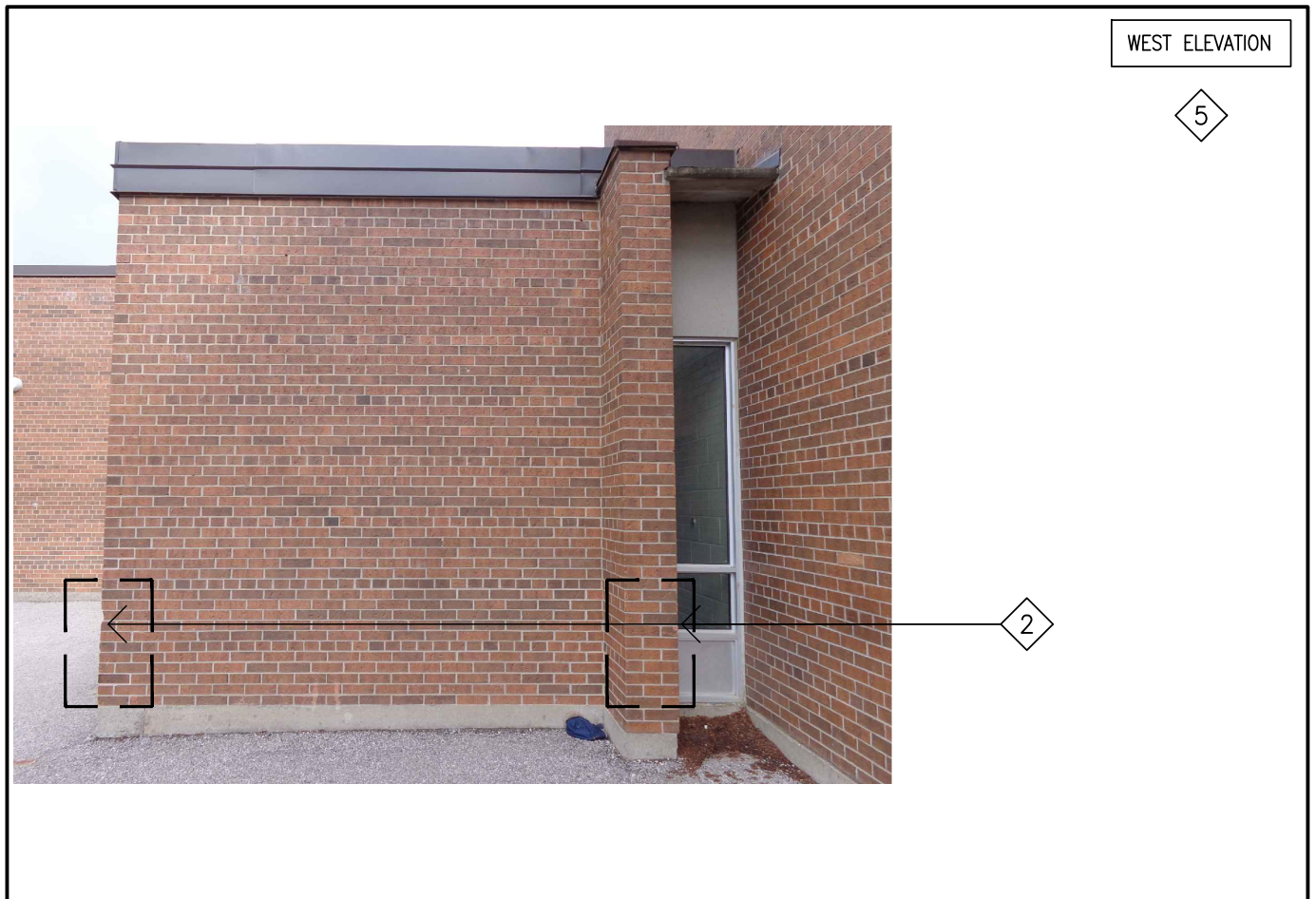


PHOTO-64



PHOTO-75 (NOT USED)

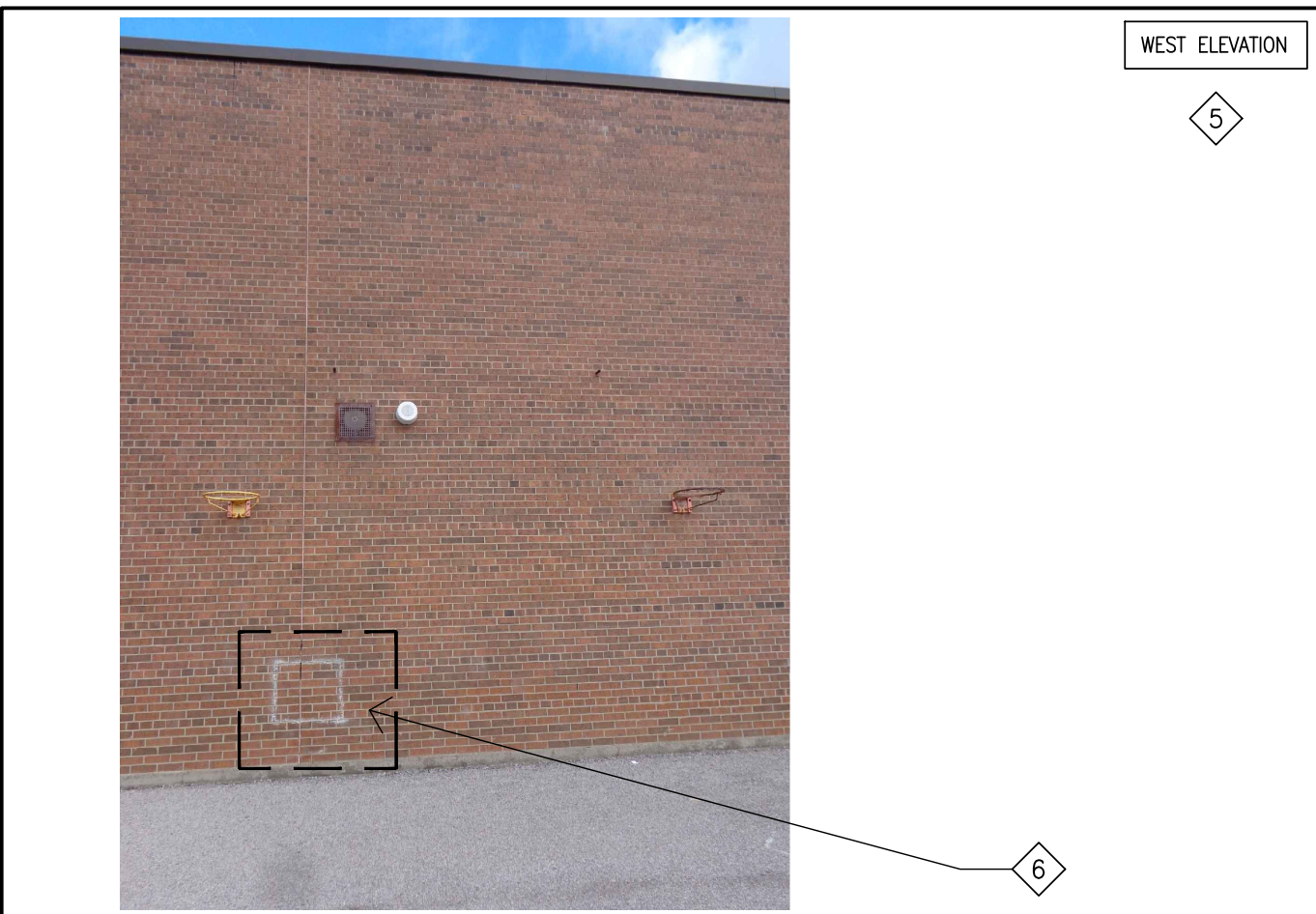


PHOTO-74

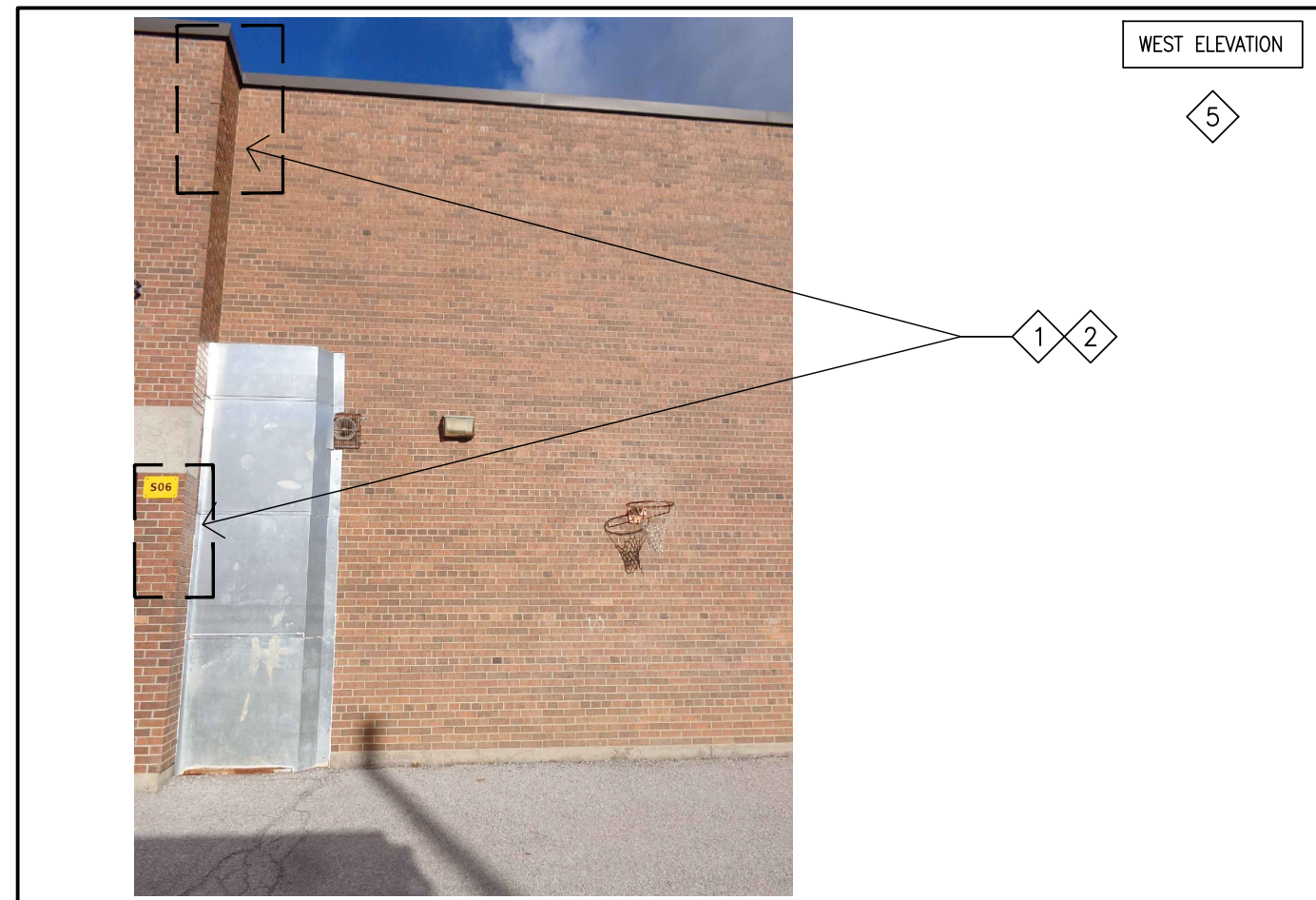


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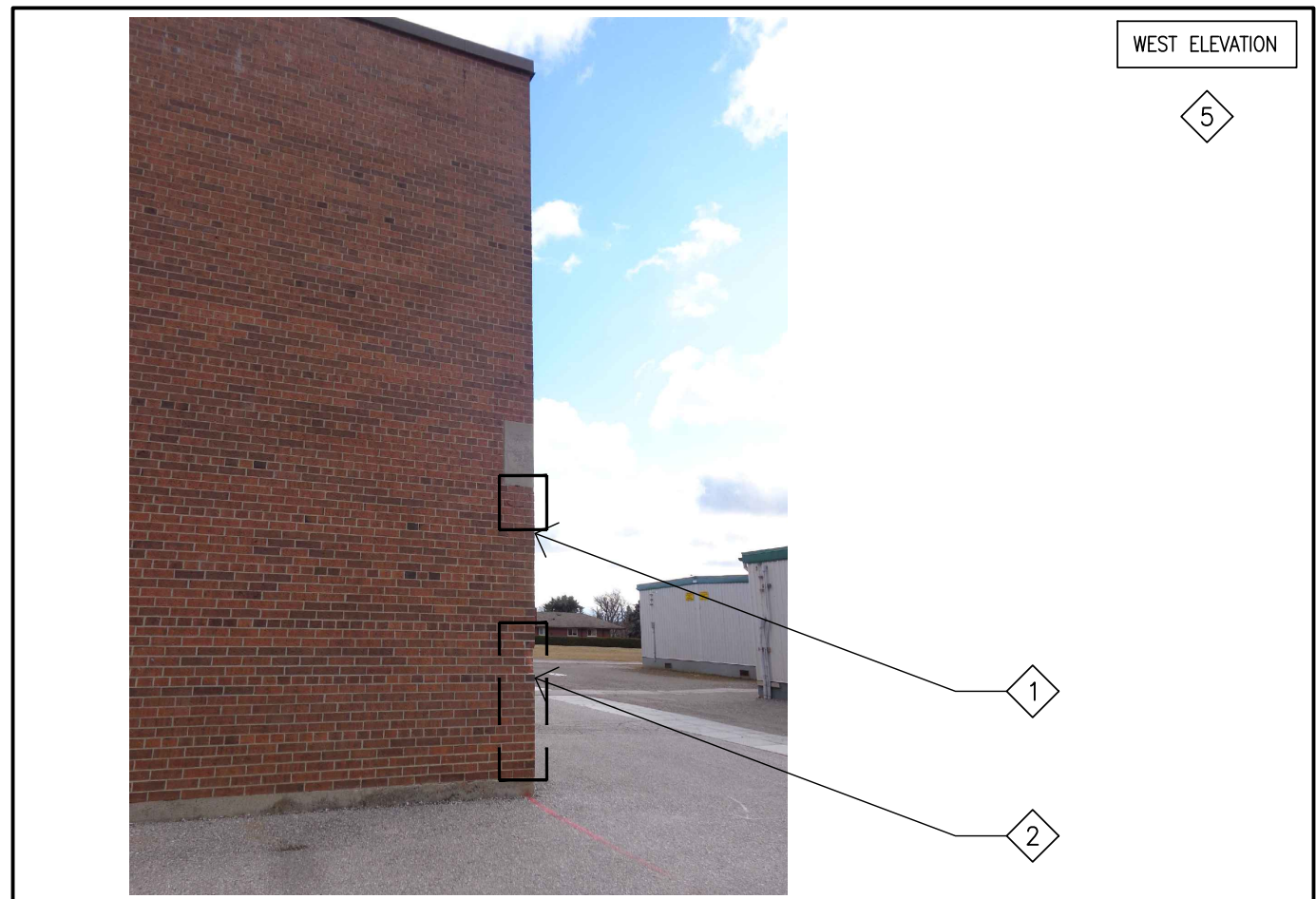


PHOTO-67



PHOTO-63 (NOT USED)

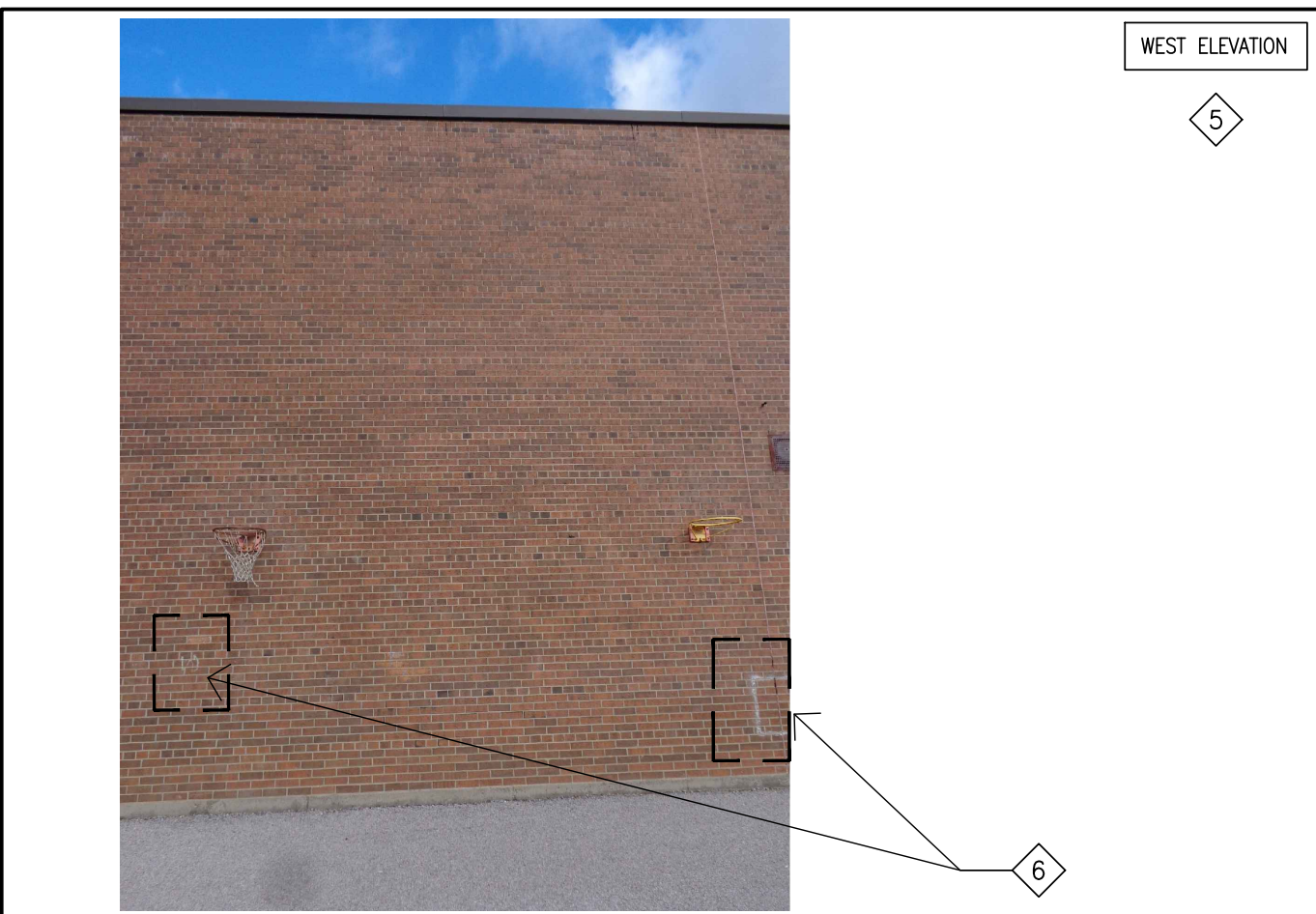


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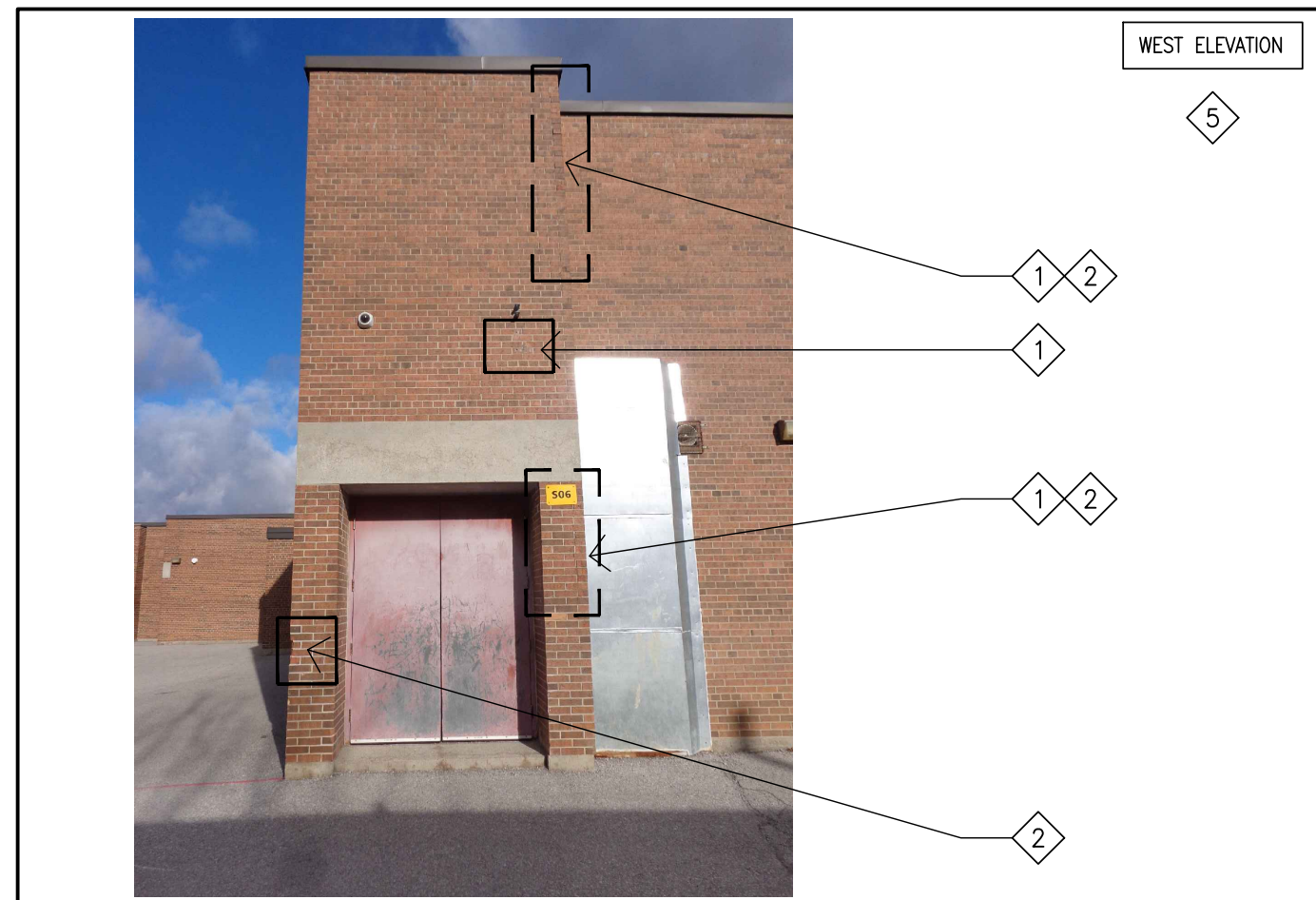


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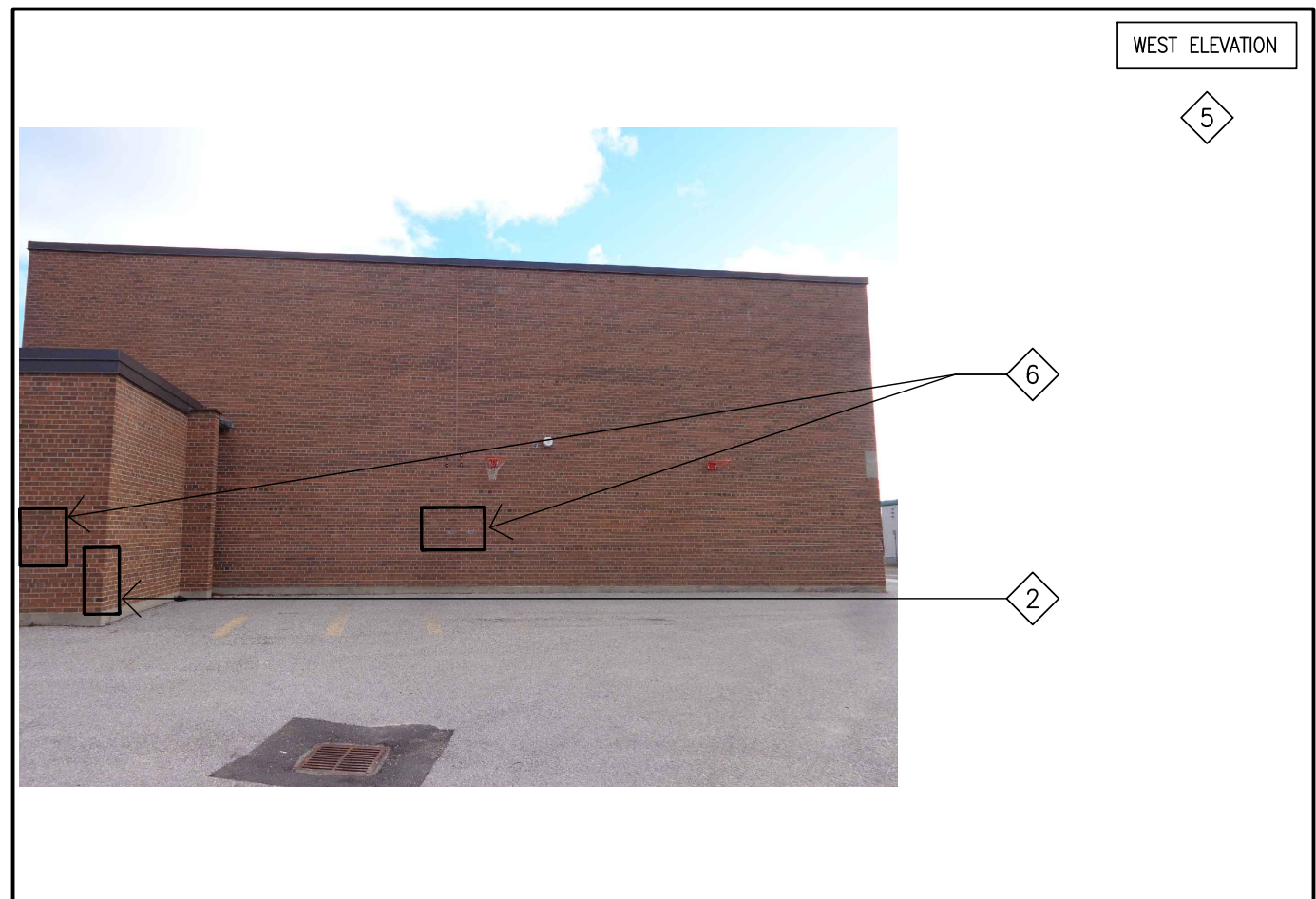


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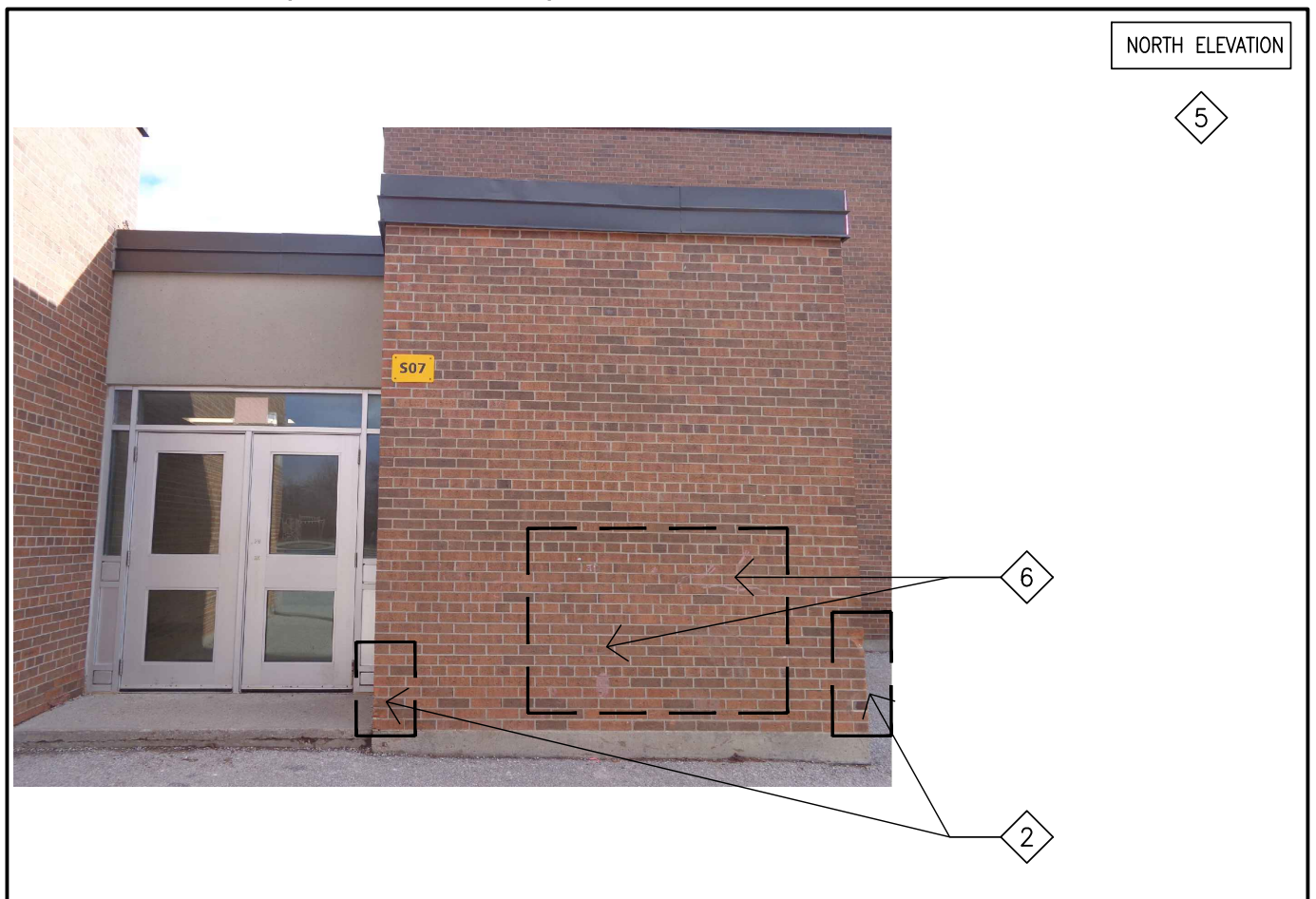


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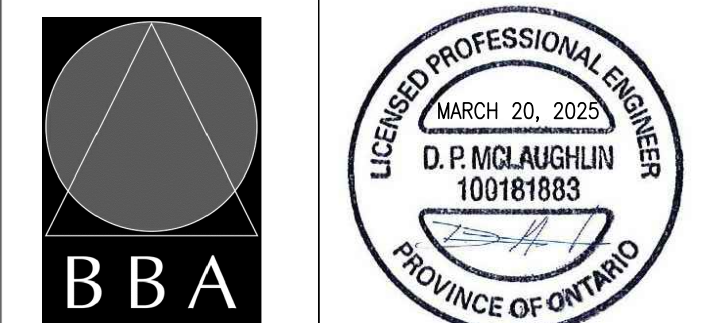


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| 2   | ISSUED FOR PERMIT & TENDER | MAR. 20, 2025 | BBA |

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PROJECT:  
**RENOVATIONS AT  
ECOLE ELEMENTAIRE  
JEANNE-LAJOIE**  
150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
Conseil scolaire Viamonde

DRAWING:  
**ELEVATION PHOTOS**



**B B A**  
BARRY BRYAN ASSOCIATES  
Architects  
Engineers  
Project Managers  
250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 0G5  
Tel: (905) 666-5252  
Fax: (905) 666-5256  
e-mail: bba@bba-archeng.com

|                          |                       |
|--------------------------|-----------------------|
| DESIGN BY:<br>BBA        | DOC CONTROL:<br>DATE: |
| DRAWN BY:<br>JJA         | % COMPLETE:           |
| CHECKED BY:<br>DM        | INITIAL:              |
| DATE:<br>JAN. 2025       |                       |
| SCALE:<br>1:75           |                       |
| FILE:<br>24195_A304-A312 |                       |

PROJECT NO:  
**24195**  
DRAWING NO:  
**A909**

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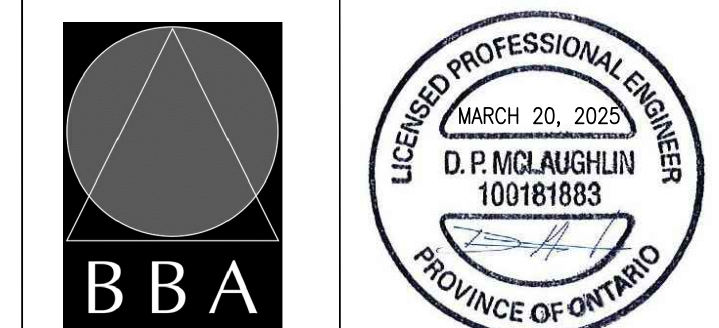
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e-mail: bba@bba-archeng.com

DESIGN BY: BBA  
DRAWN BY: JJA  
CHECKED BY: DM  
DATE: JAN. 2025  
SCALE: 1:75  
FILE: 24195\_A304-A312

PROJECT NO:  
**24195**  
DRAWING NO:  
**A910**

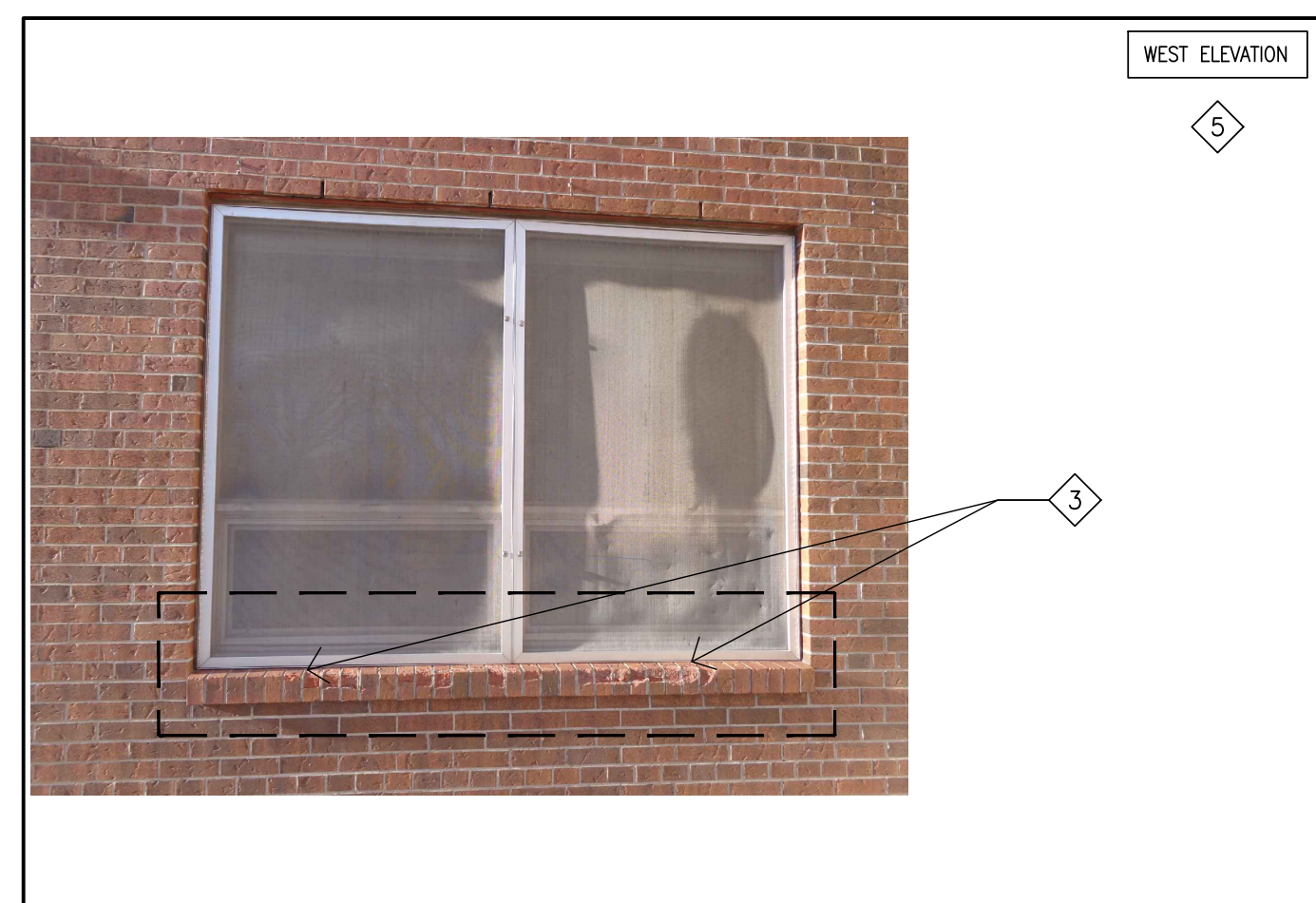


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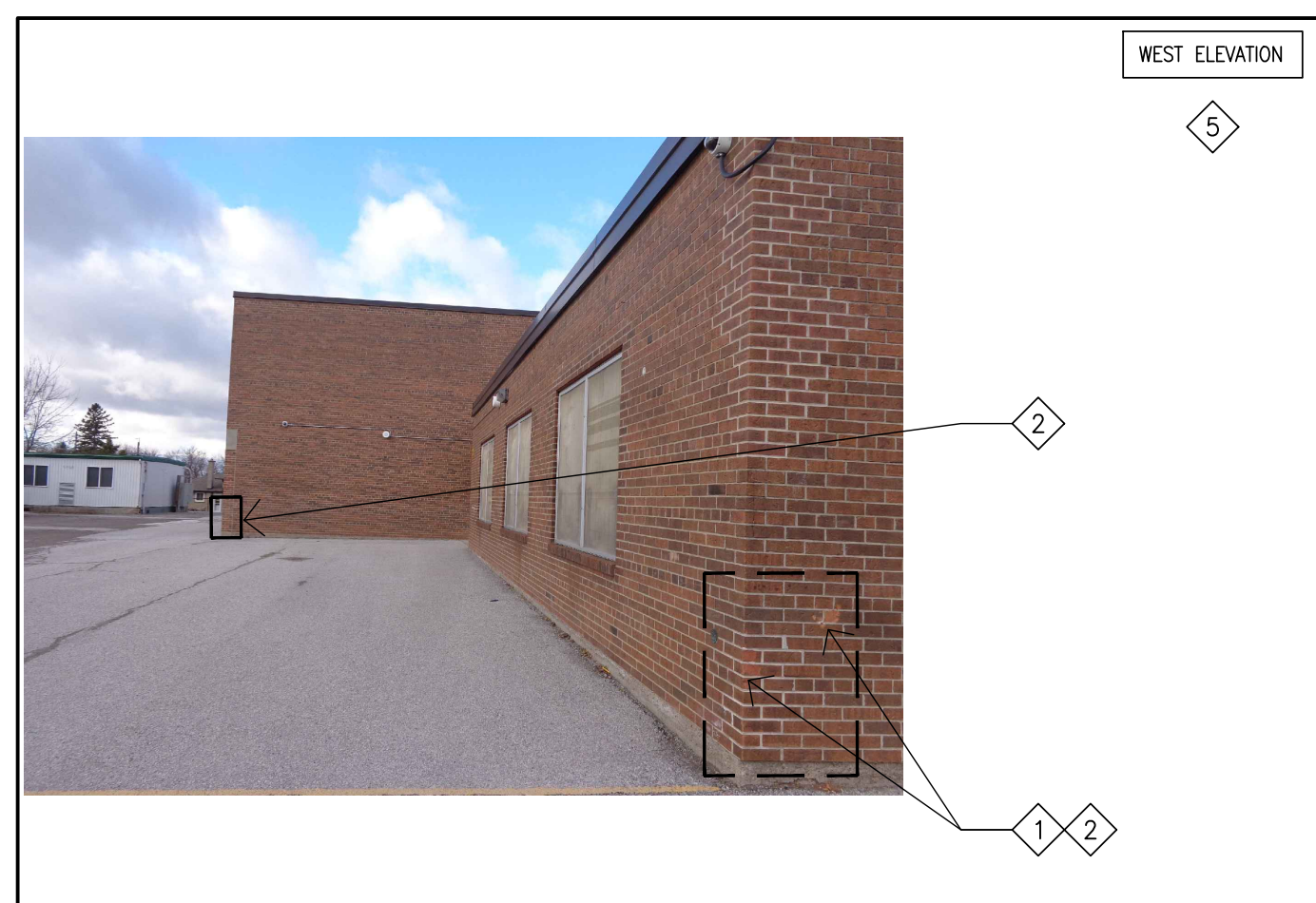


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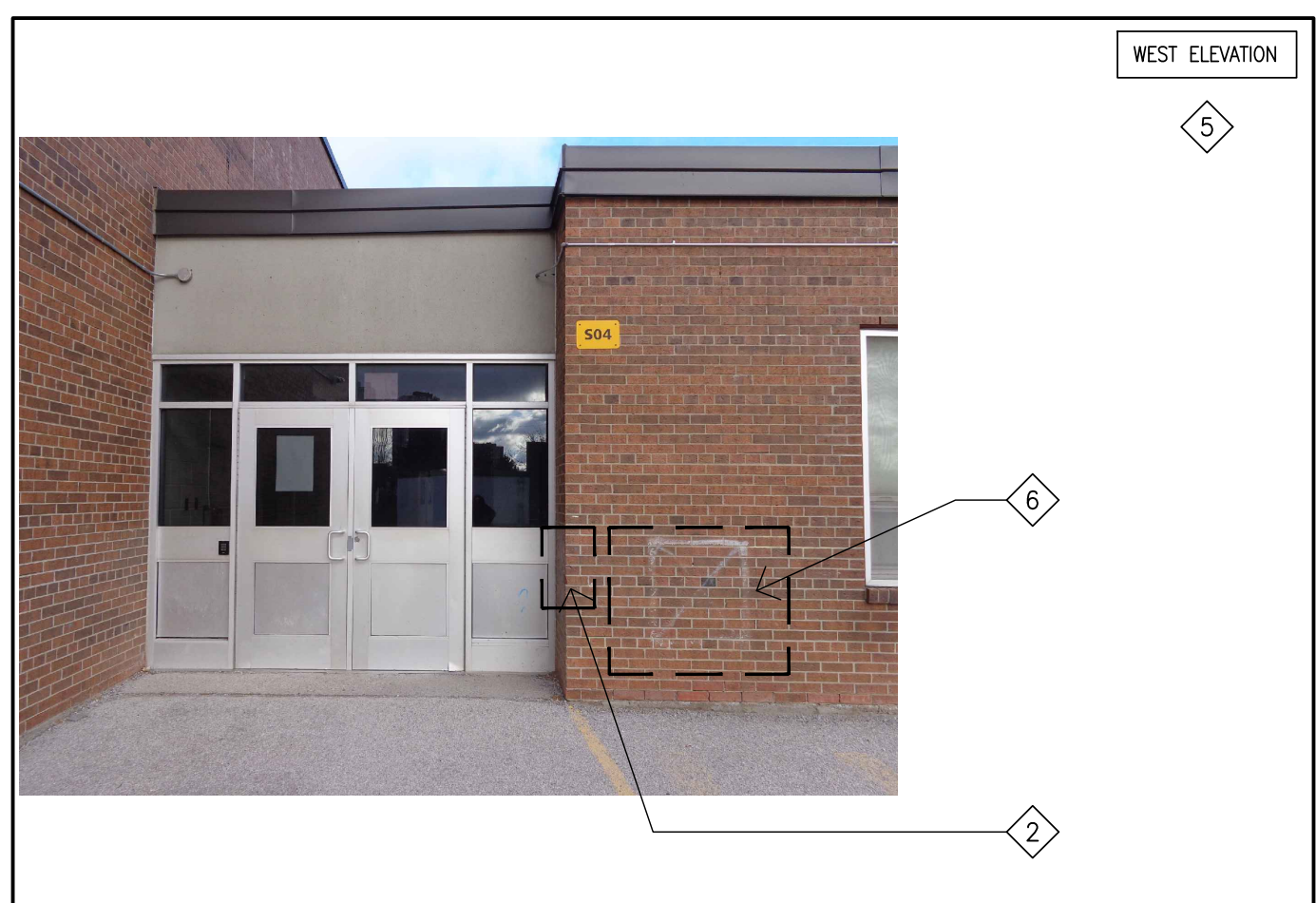


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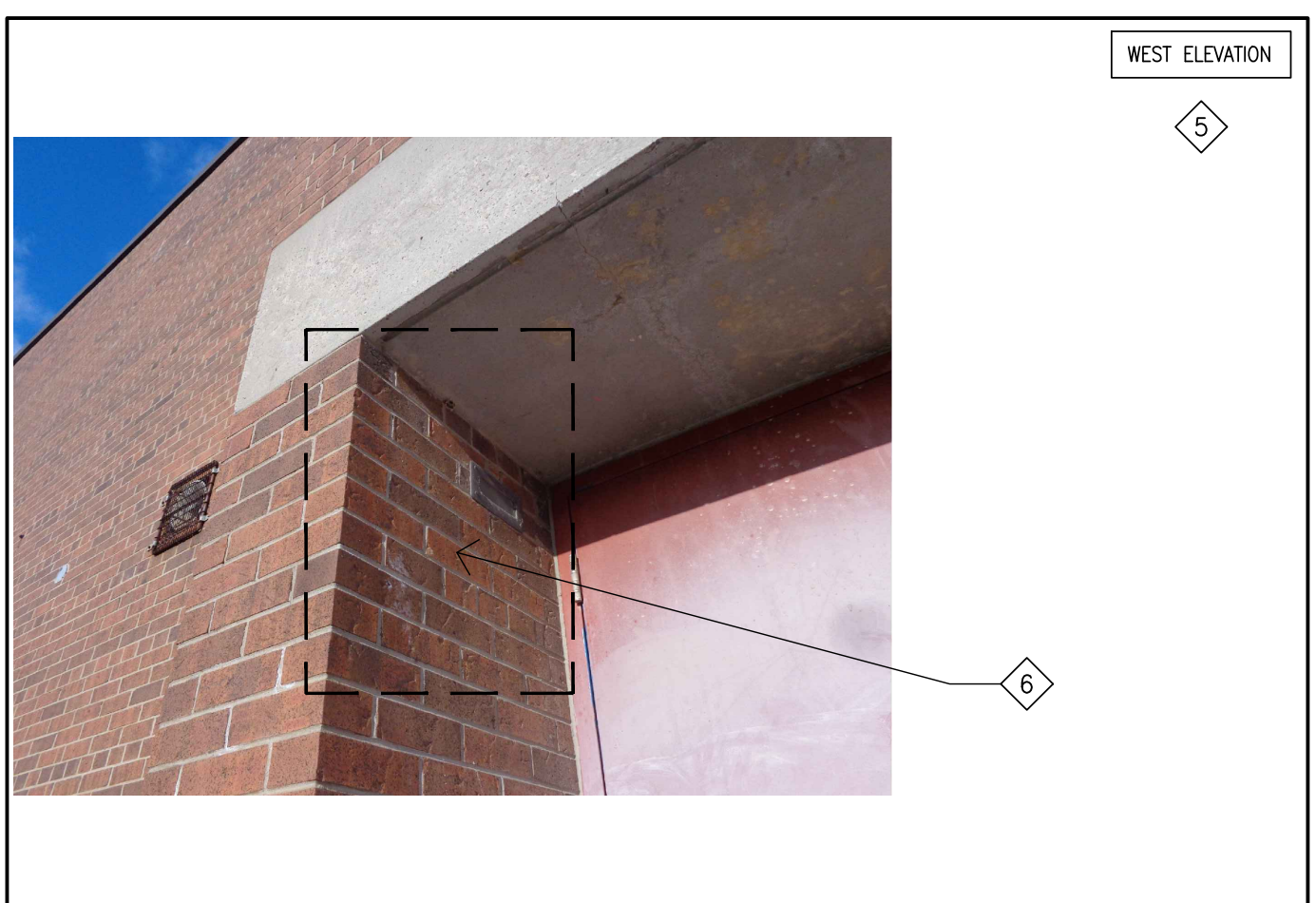


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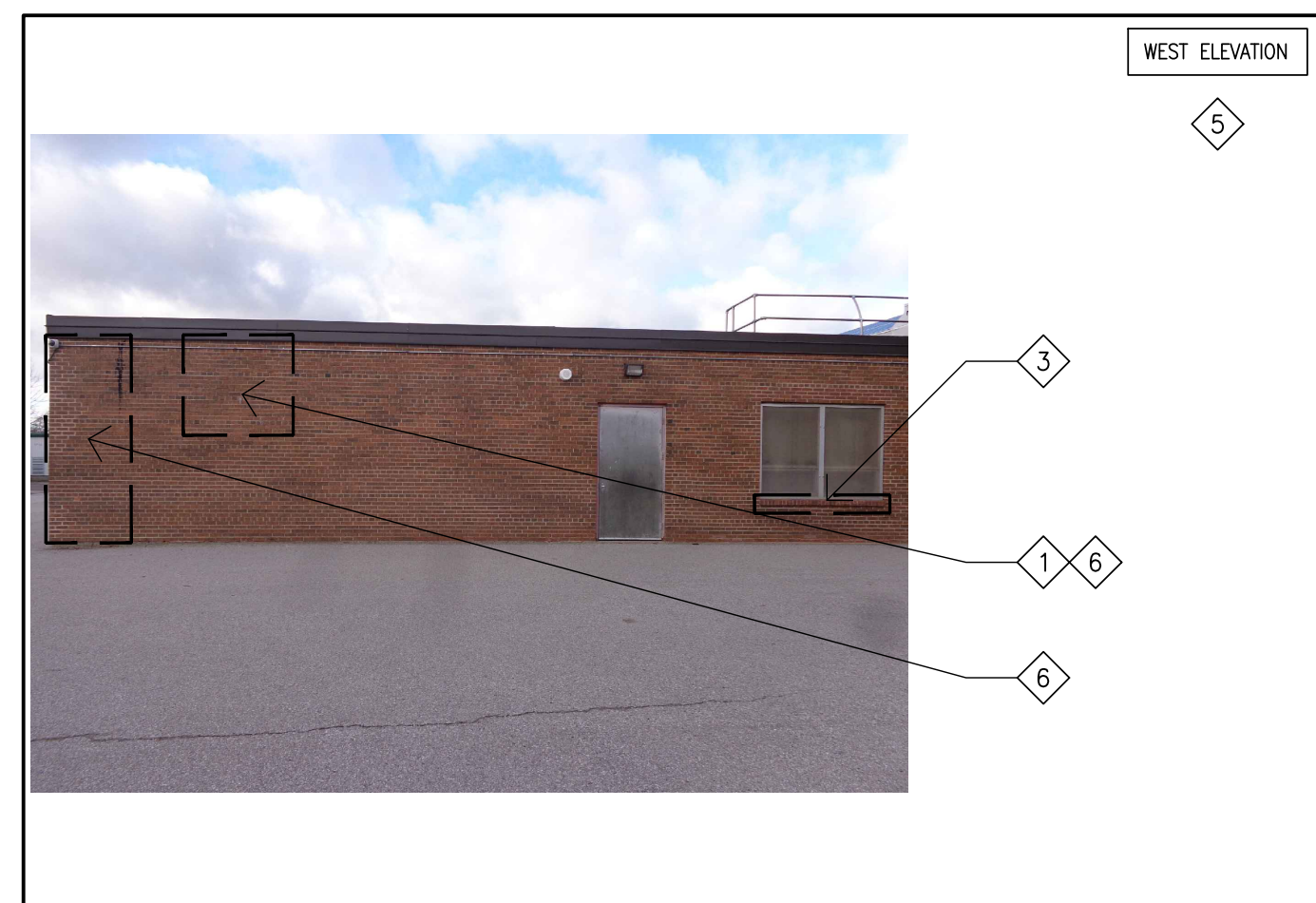


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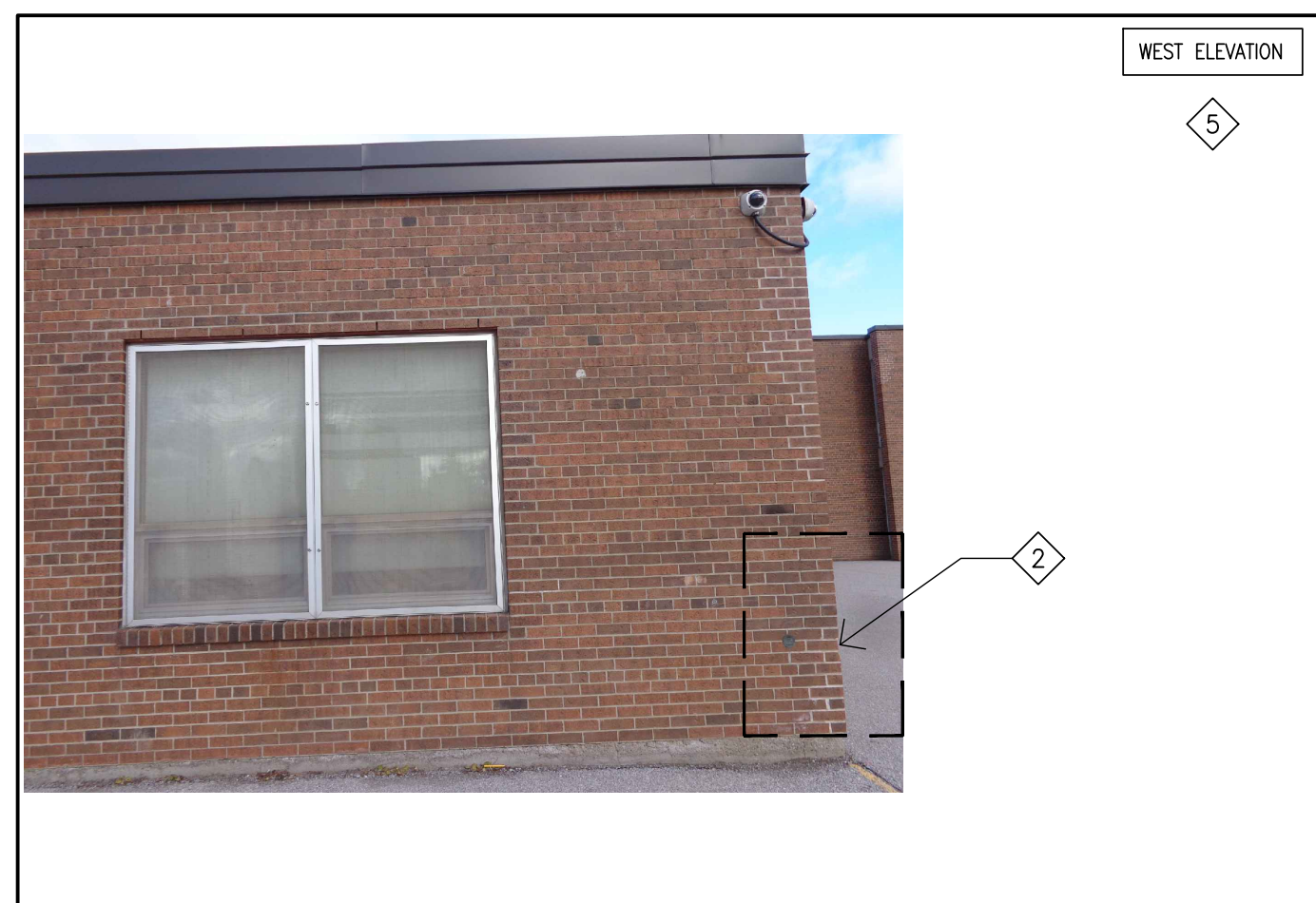


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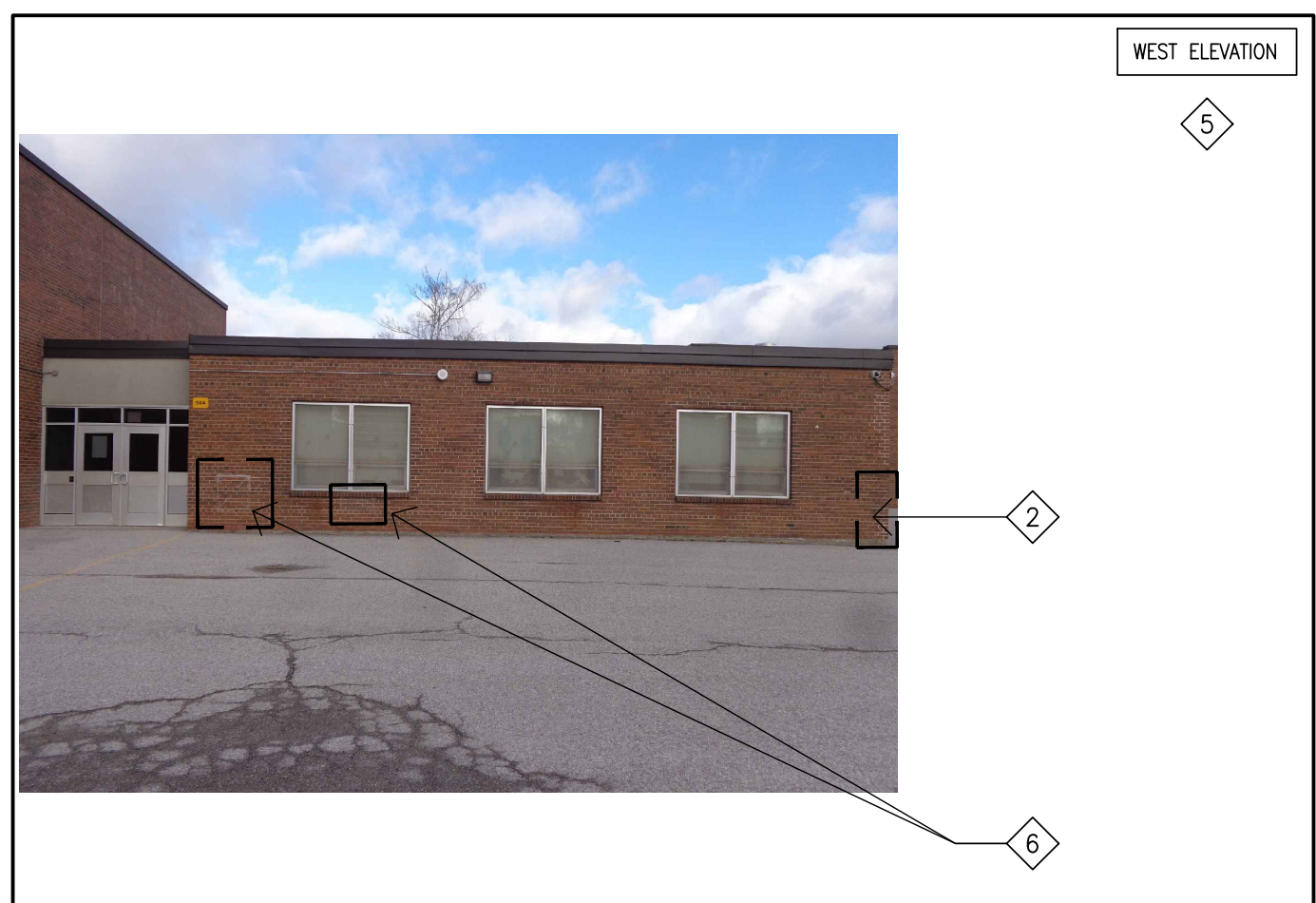


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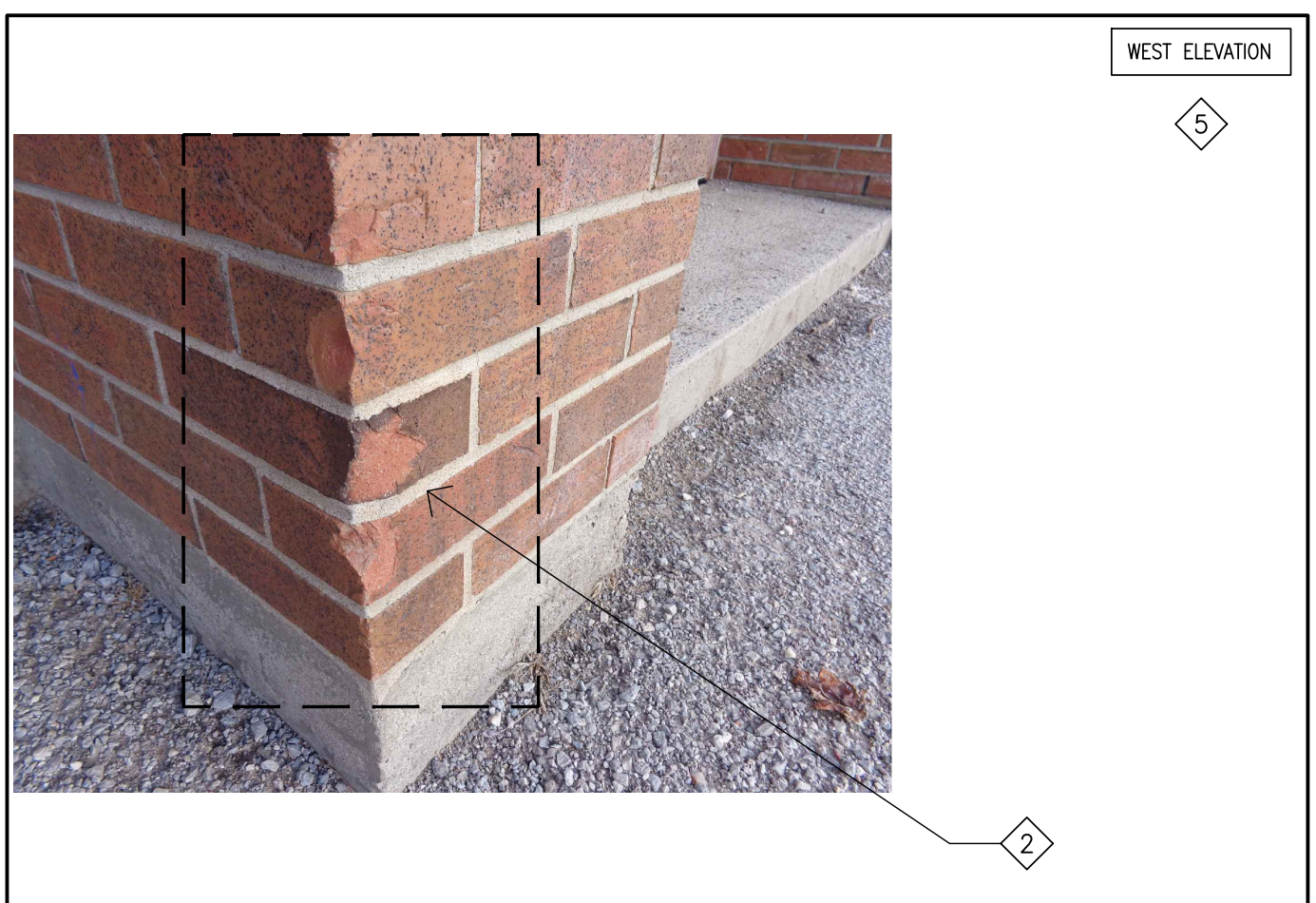


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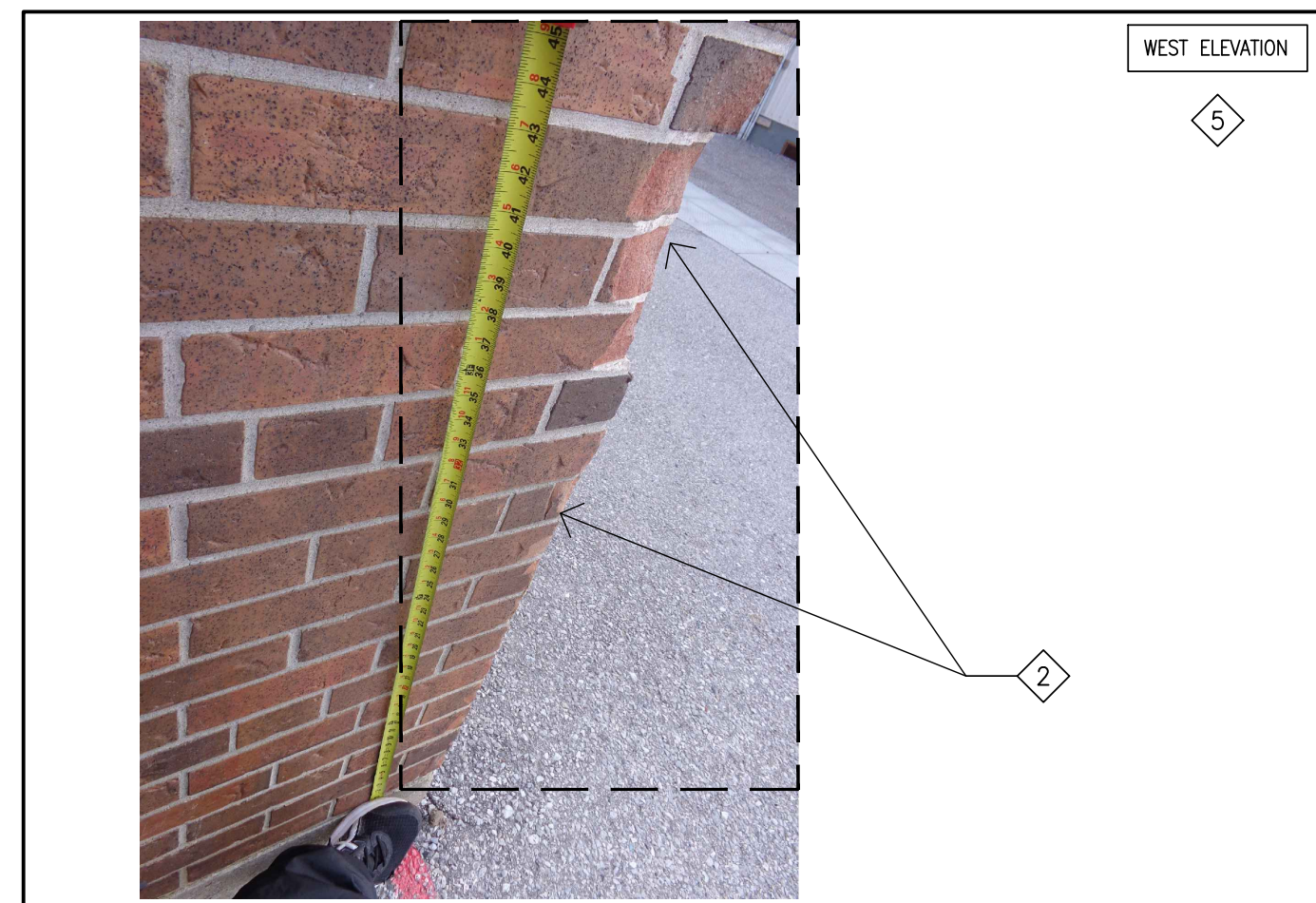


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PHOTO-85

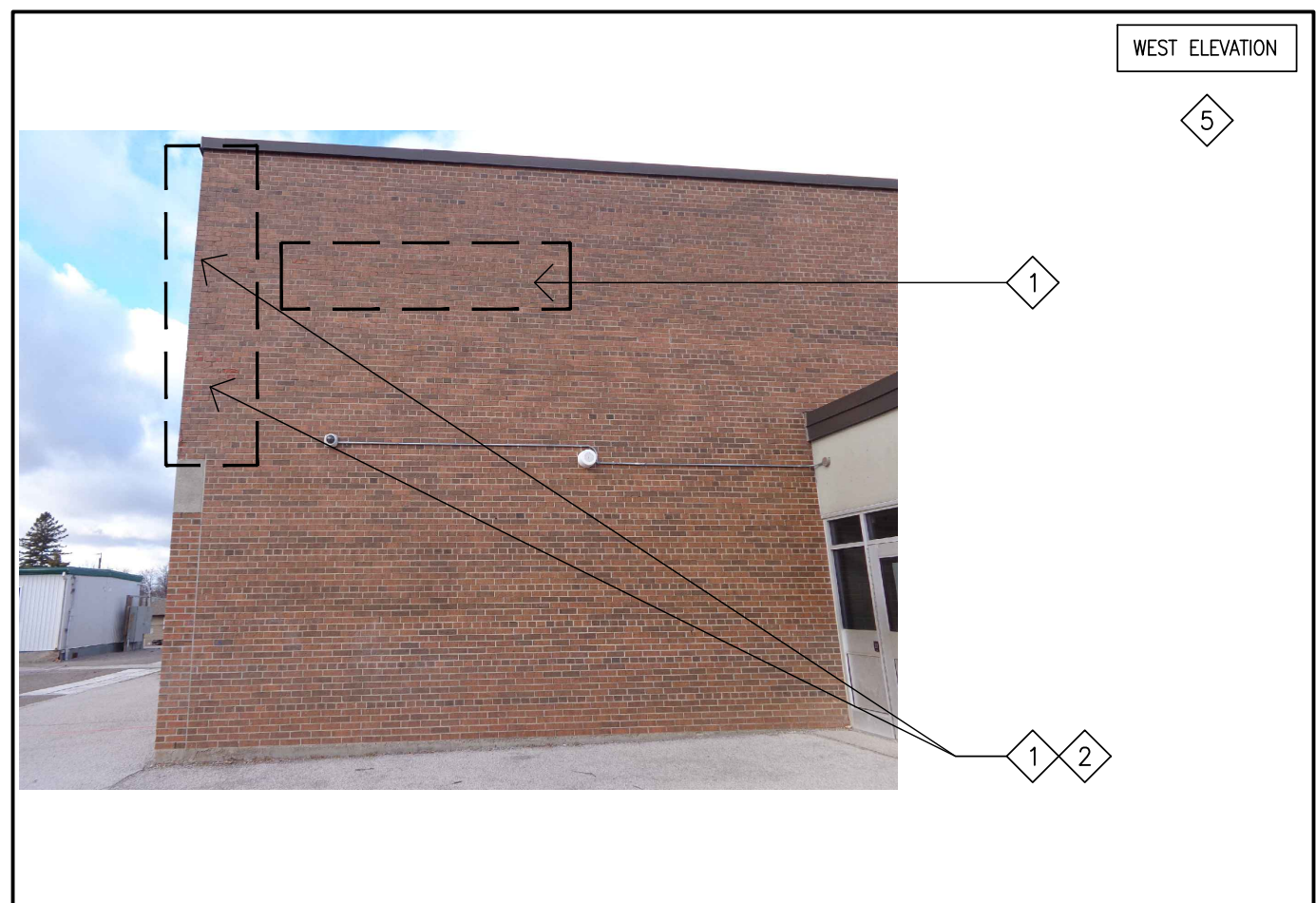


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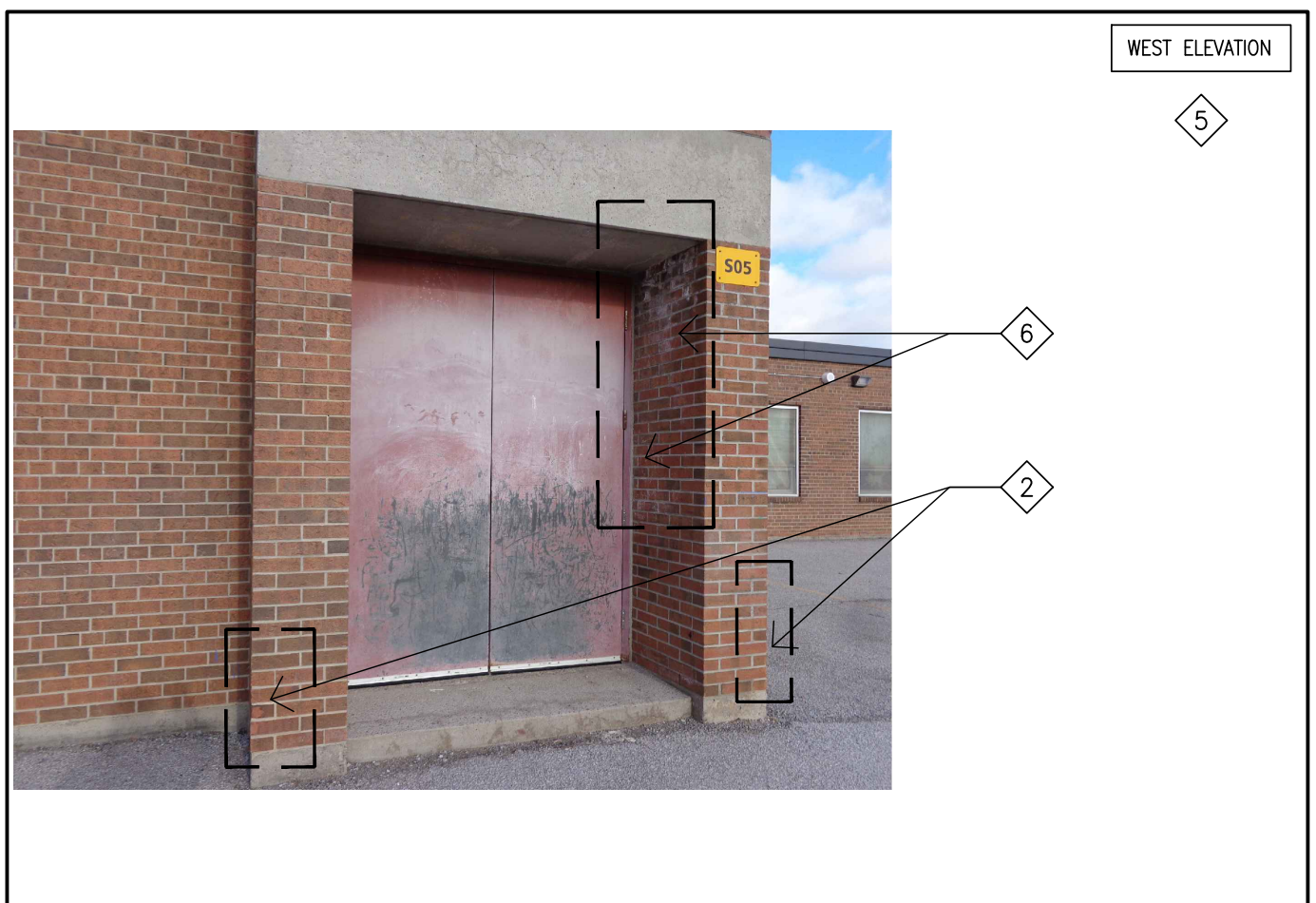


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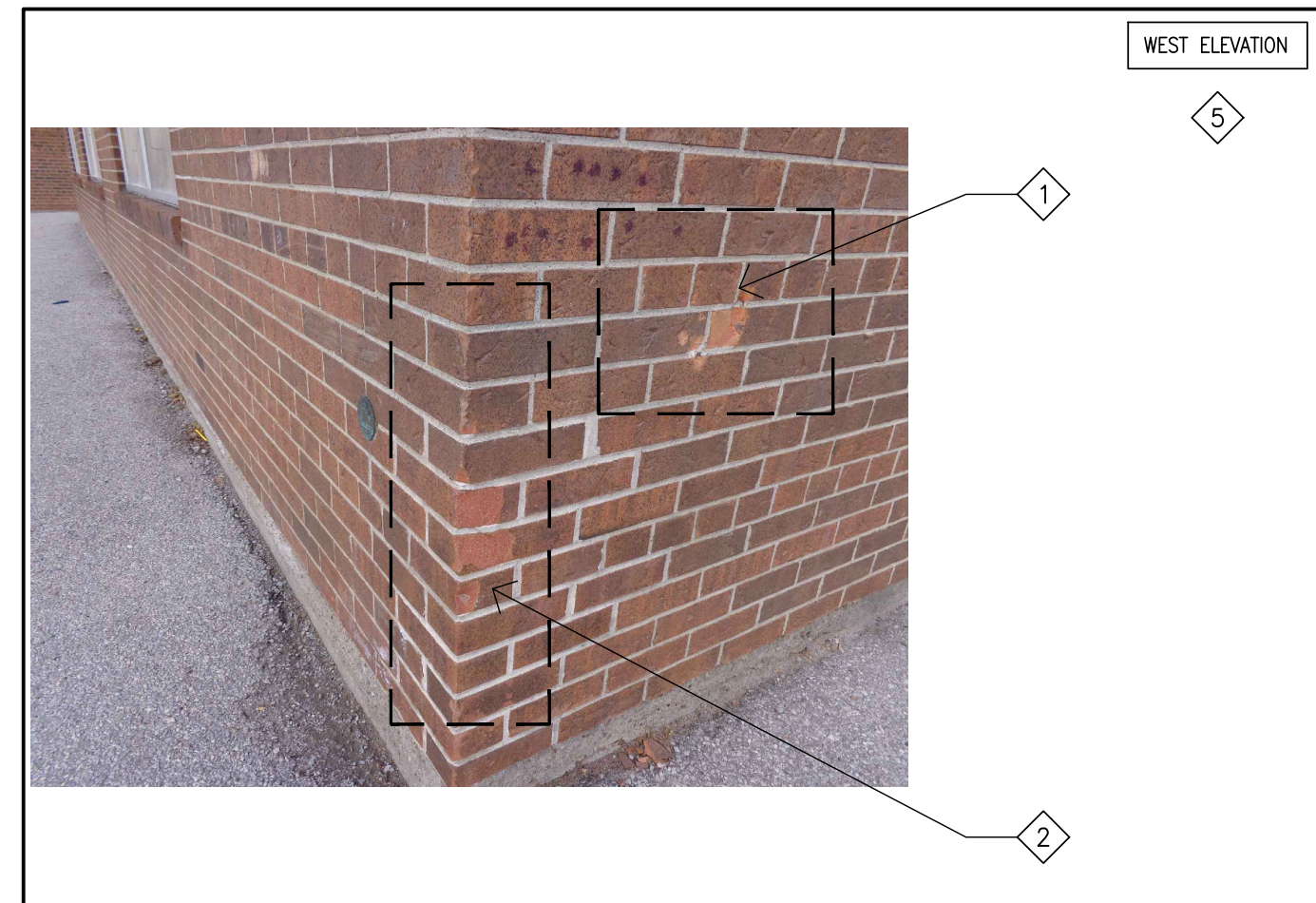


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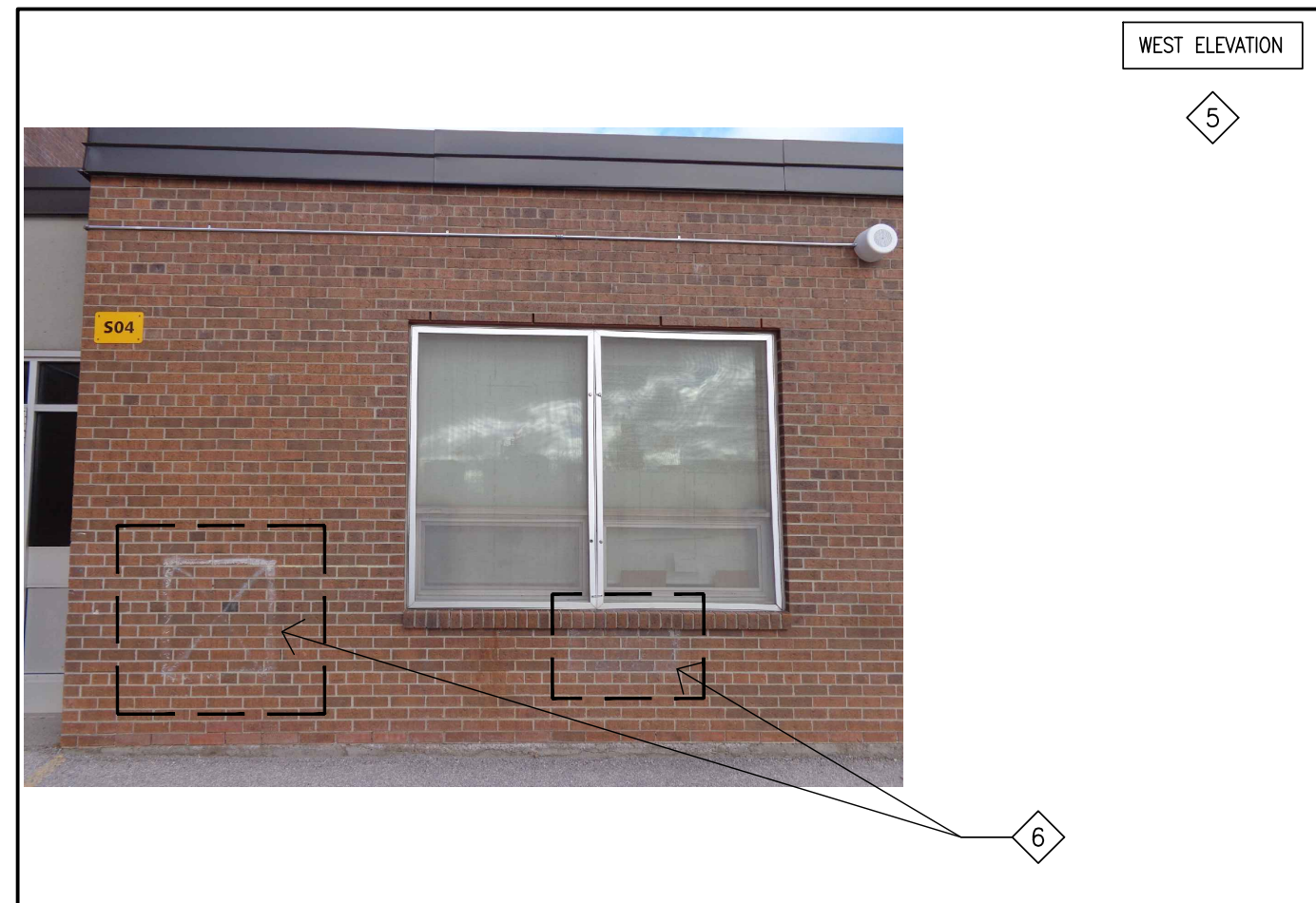


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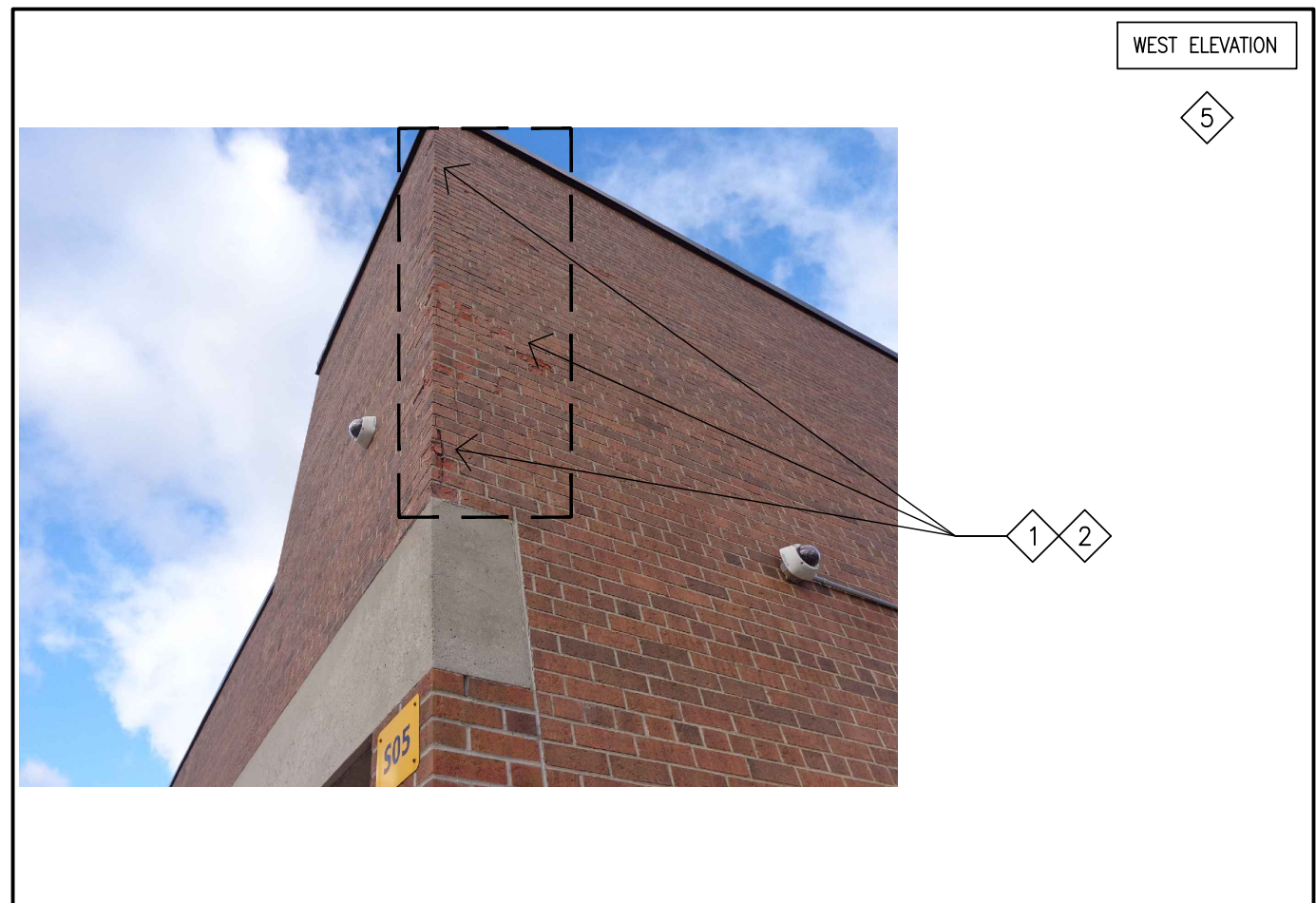


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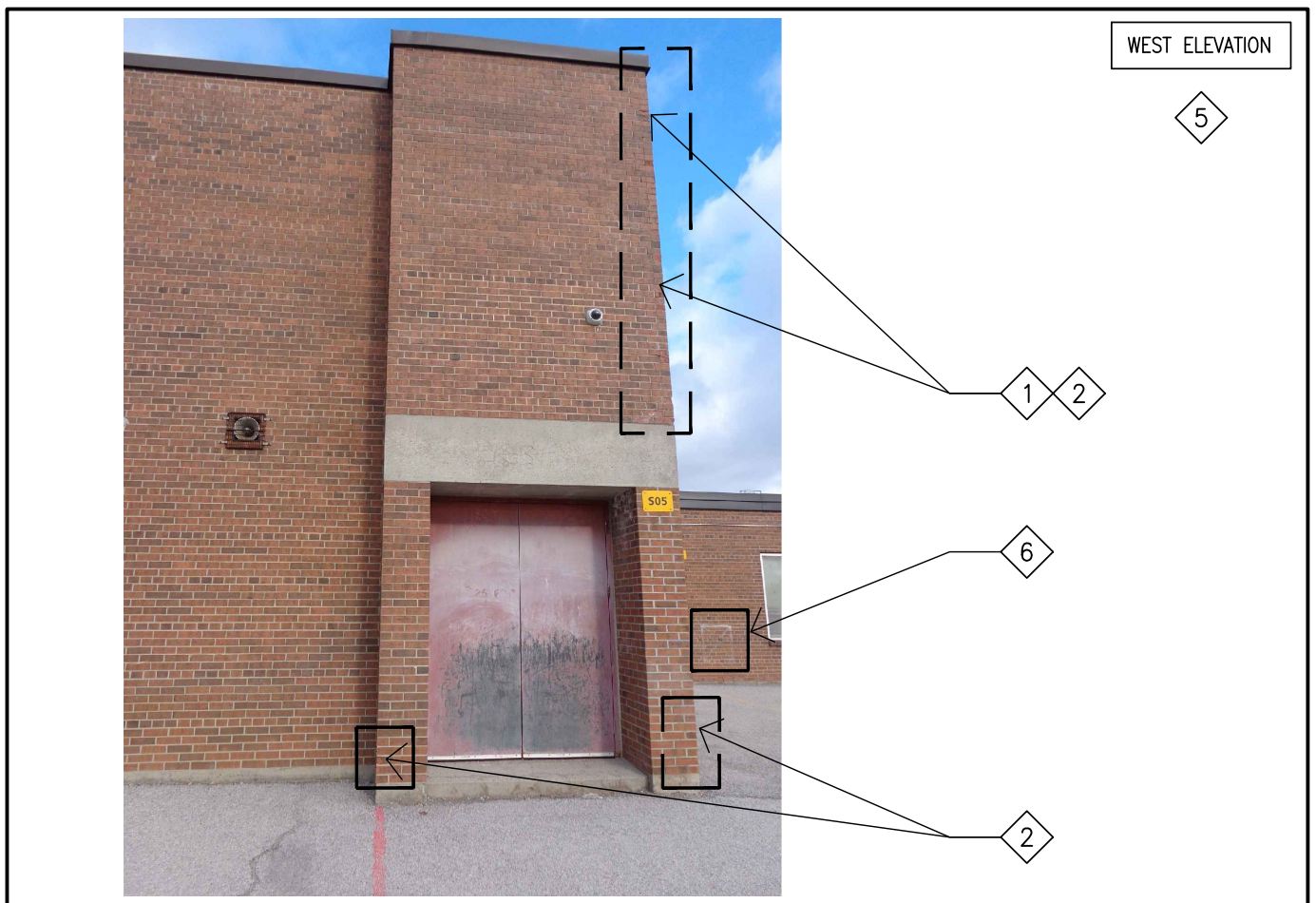


PHOTO-76

**REPAIR NOTES**

- 1 REPAIR BROKEN AND DAMAGED BRICK. INSTALL REPLACEMENT BRICK WHERE INDICATED.
- 2 REPAIR BROKEN MASONRY AT CORNERS OF BRICK RELIEF.
- 3 REPAIR BROKEN MASONRY BRICK / MORTAR AT WINDOW SILLS AND REPLACE WITH NEW TO MATCH. PROVIDE DRIP FLASHING.  
NOTE: RE-SEAL ALL WINDOW JAMBS FOLLOWING BRICK WALL REPAIR
- 4 ROUT OUT JOINTS AND REPAINT MATCH EXISTING
- 5 POWER WASH / CLEAN ALL EXTERIOR BRICK / CONCRETE SURFACES POST NEW CONSTRUCTION.
- 6 REMOVE GRAFFITI FROM BRICK.
- 7 SCRAPE OFF EXISTING LOOSE PAINT, MAKE SURFACE READY FOR NEW AND REPAINT.
- 8 REMOVE ABANDONED STEEL CONDUIT C/W ALL LOCALIZED ABANDONED MOUNTING BOLTS. INFILL BRICK VENEER WITH GROUT, COLOUR TO MATCH EXISTING.

**REPAIR LEGEND:**

AREAS INDICATED ON ELEVATIONS ARE VISUAL ESTIMATED LOCATIONS. CONFIRM ON SITE. NOTE AREAS FOR DETERIORATED / SPALLED MASONRY BRICKS (NOT INDICATED ON THESE DRAWINGS) TO OWNER AND CONSULTANTS.

REMOVE AND REPLACE DETERIORATED/SPALLED BRICKS. COLOUR TO MATCH EXISTING BRICK REFER TO ELEVATIONS FOR EXTENTS.

NOTE: PHOTO DETAILS TO BE READ IN CONJUNCTION WITH EXRIOR ELEVATION SHEETS.

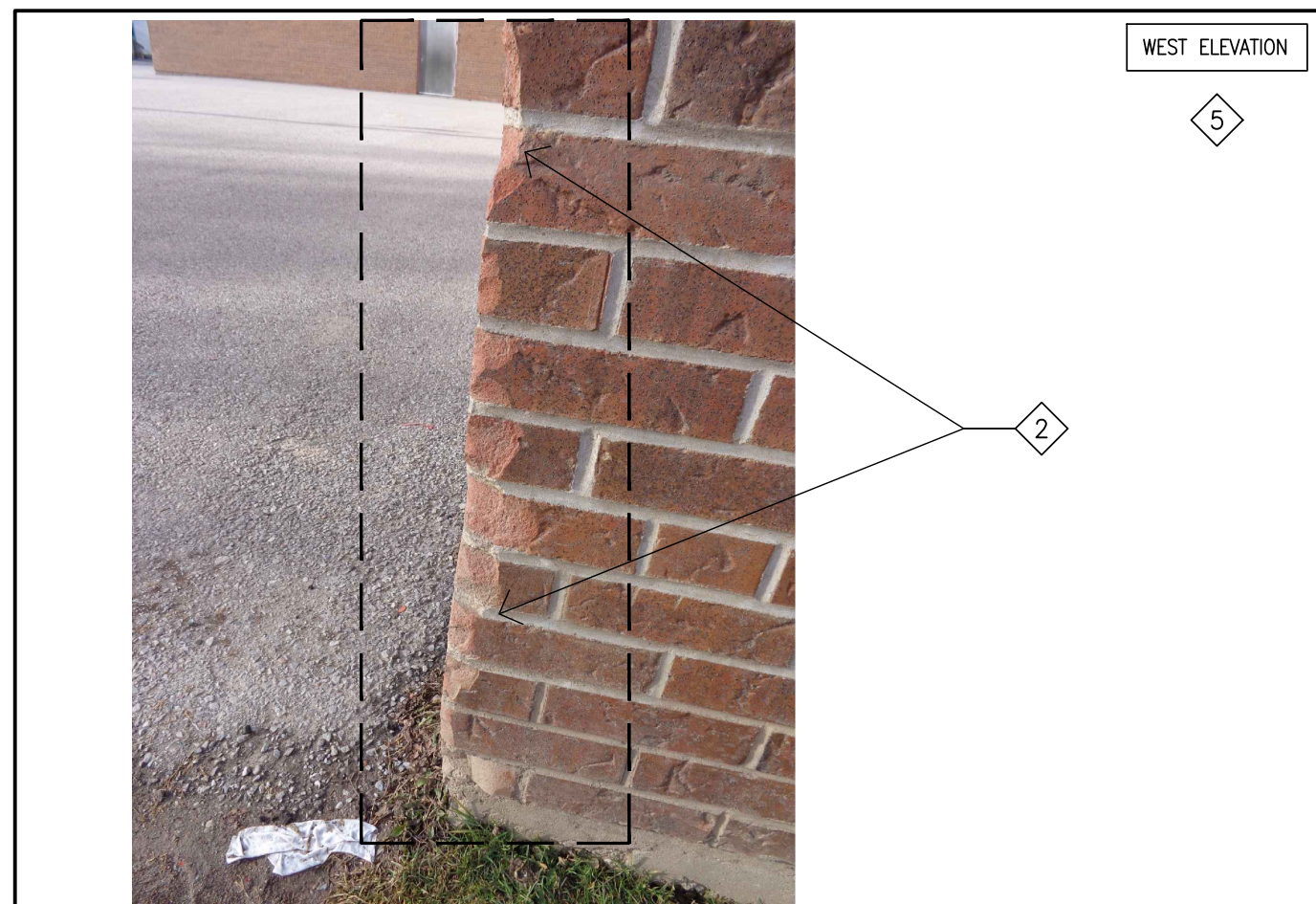


PHOTO-106

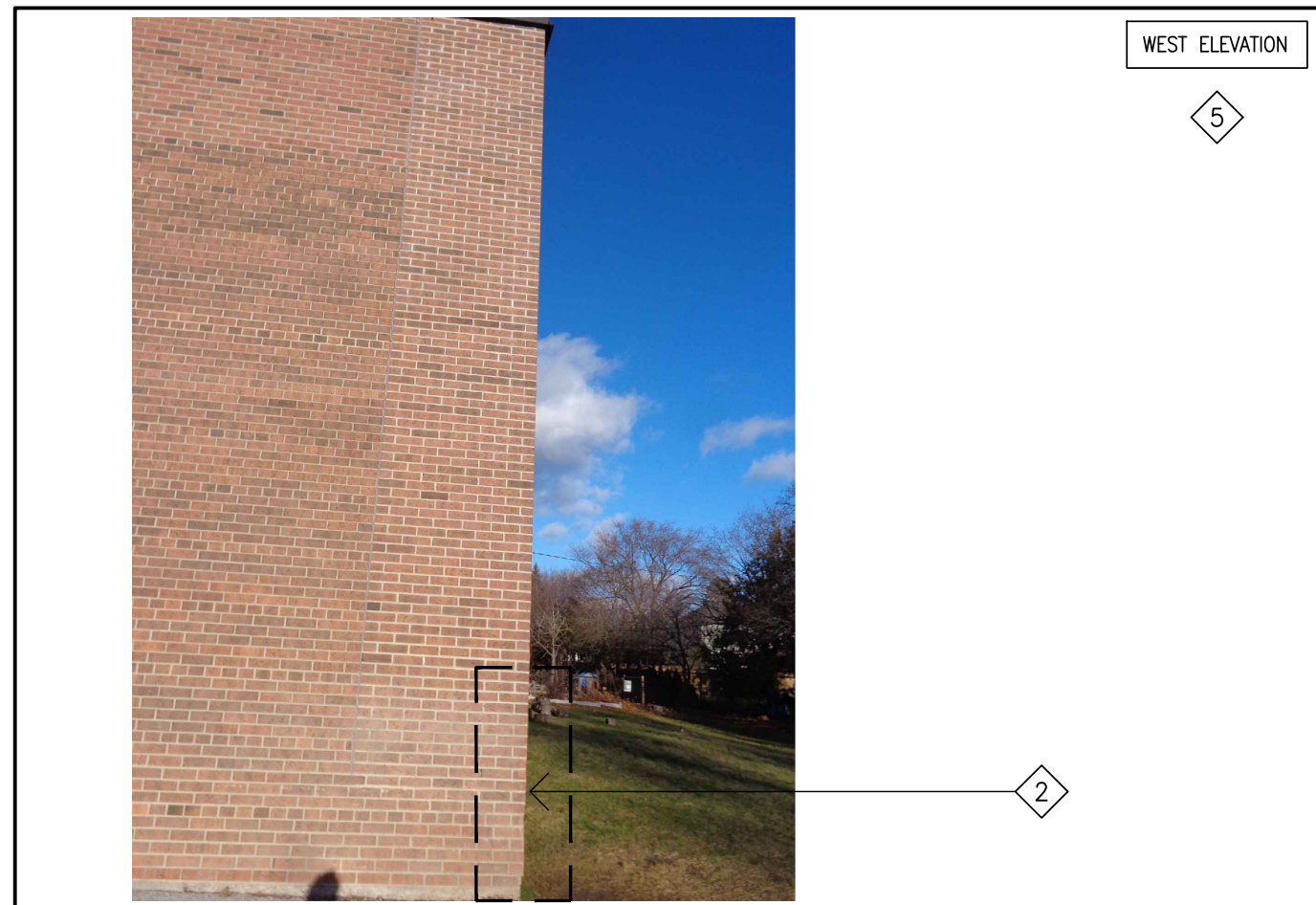


PHOTO-105

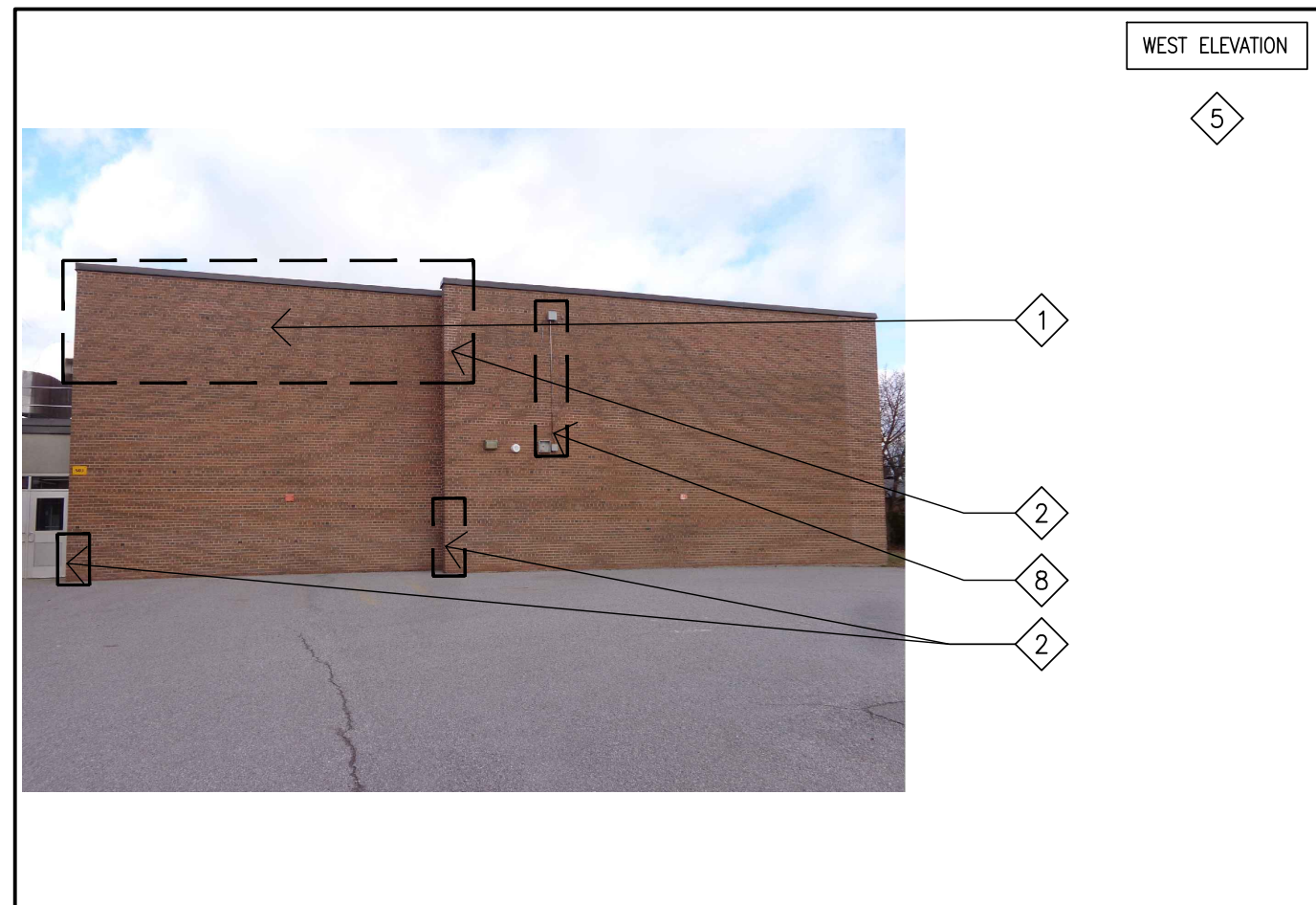


PHOTO-104

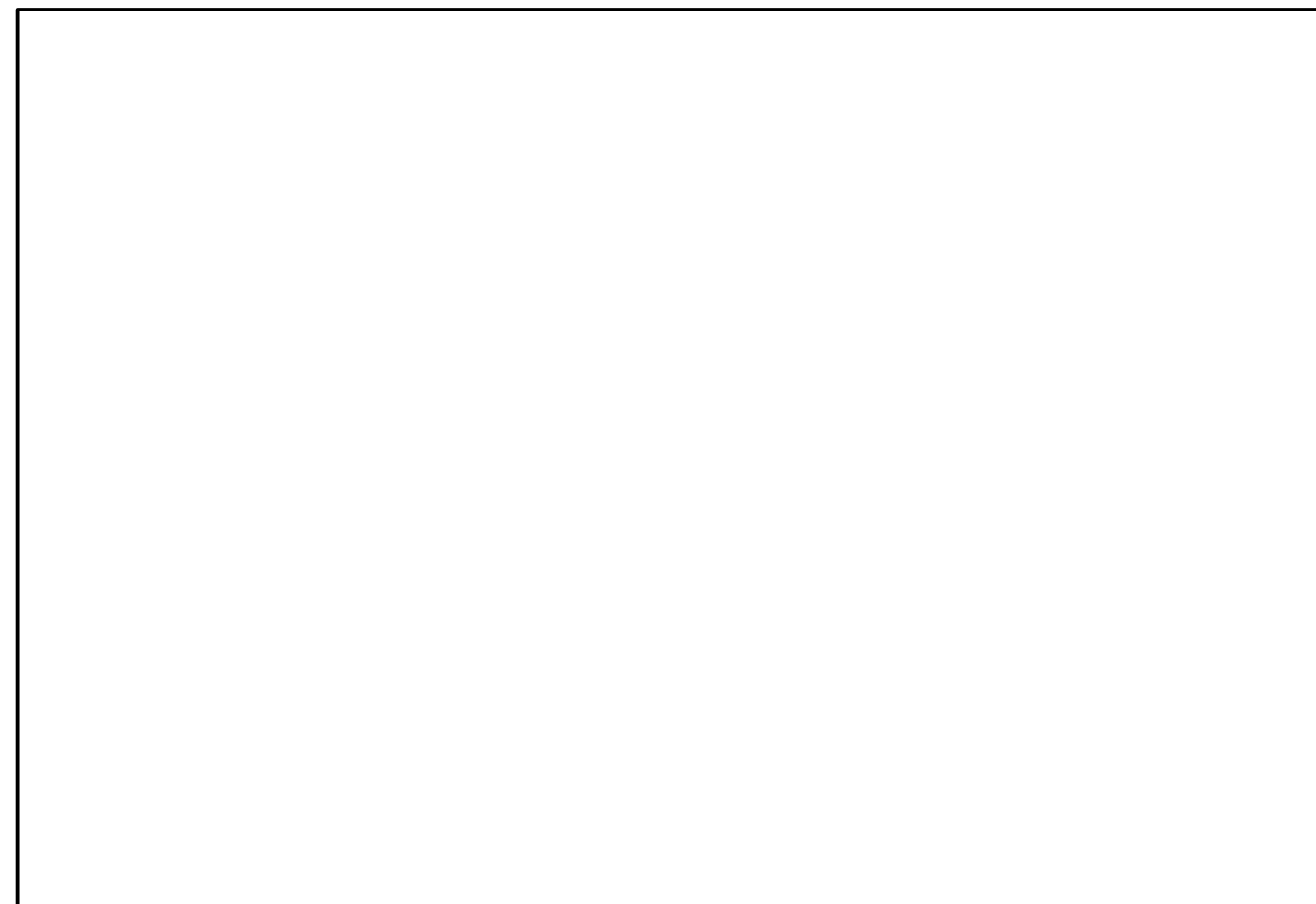


PHOTO-103 & 107 (NOT USED)

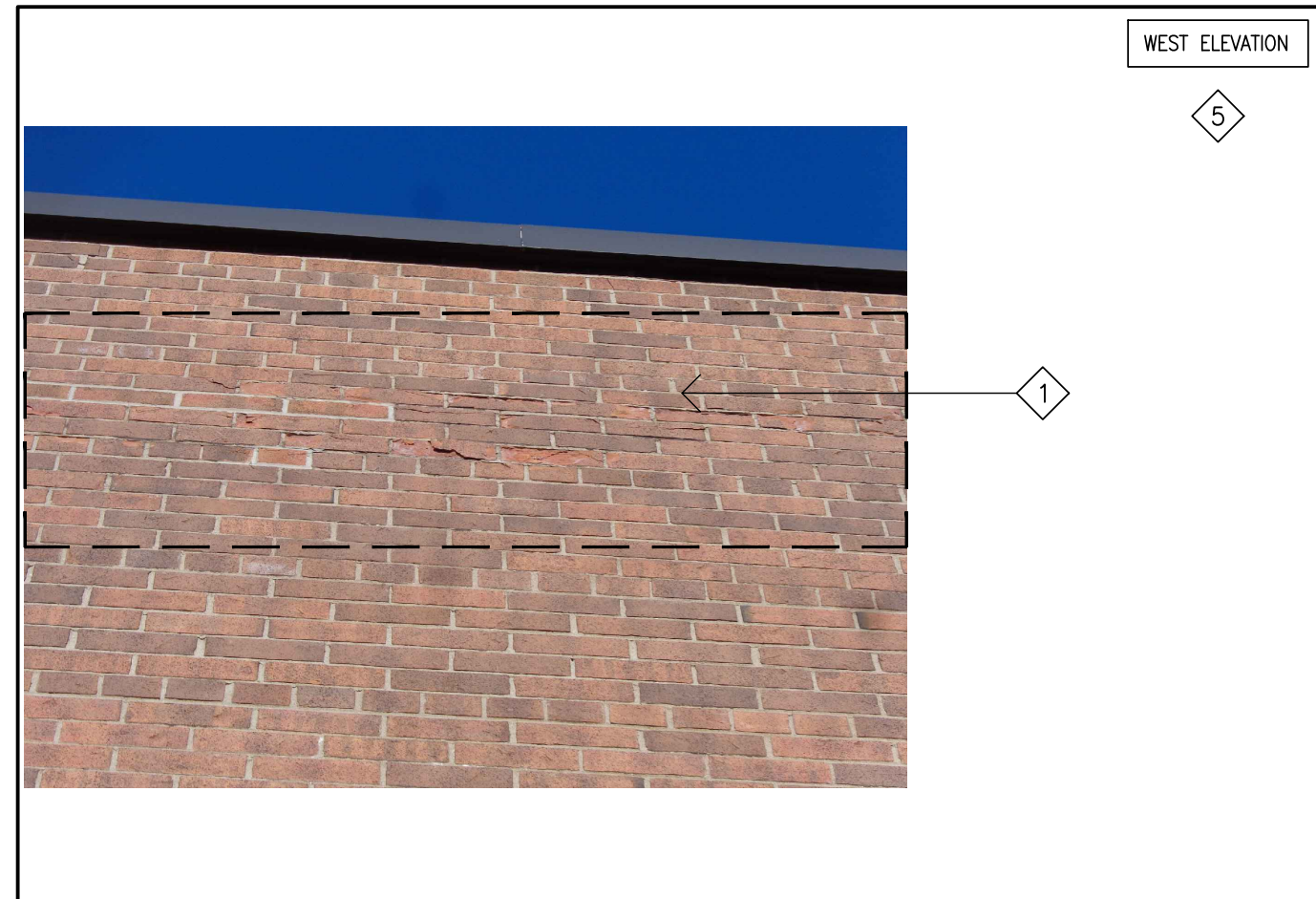


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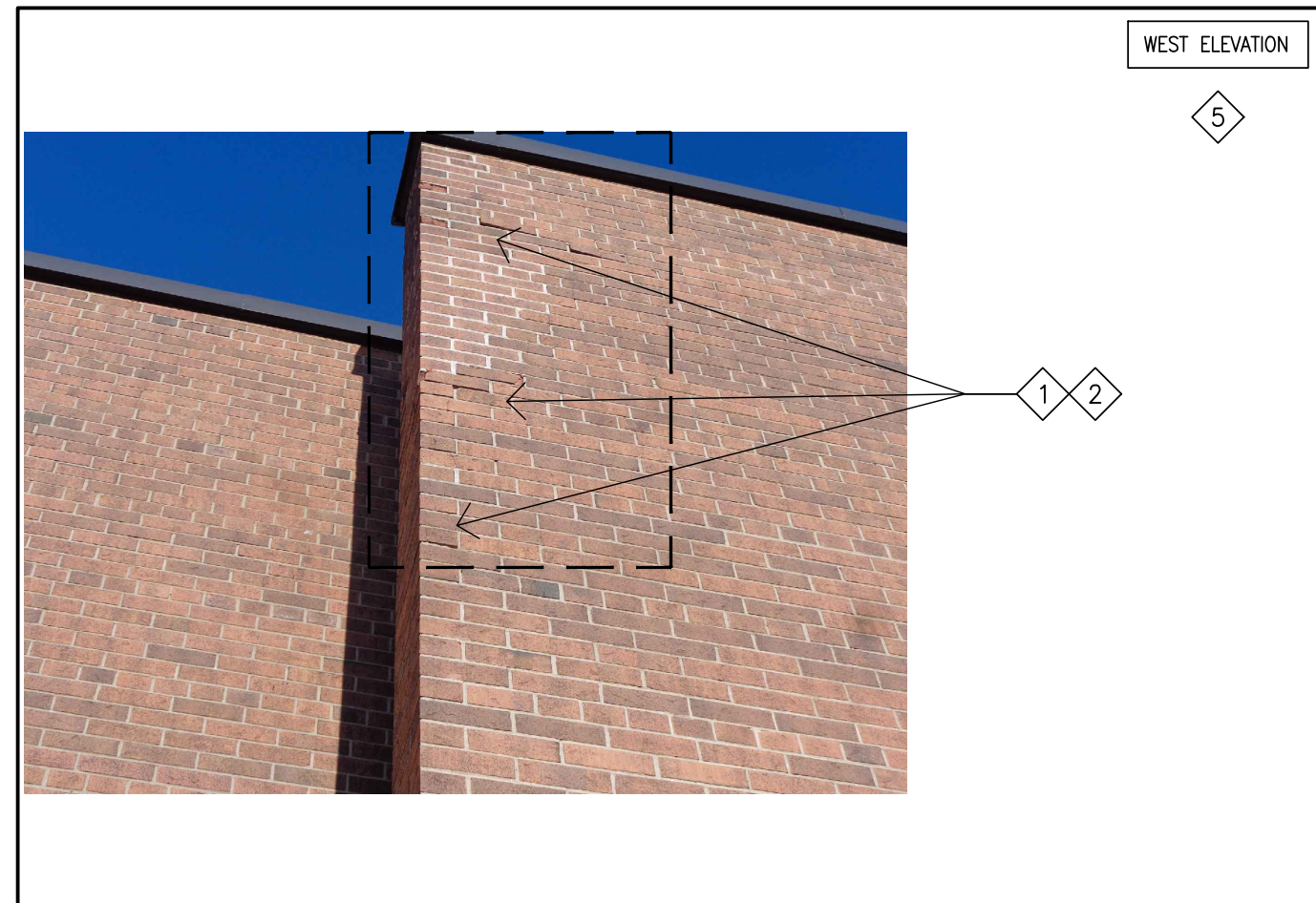


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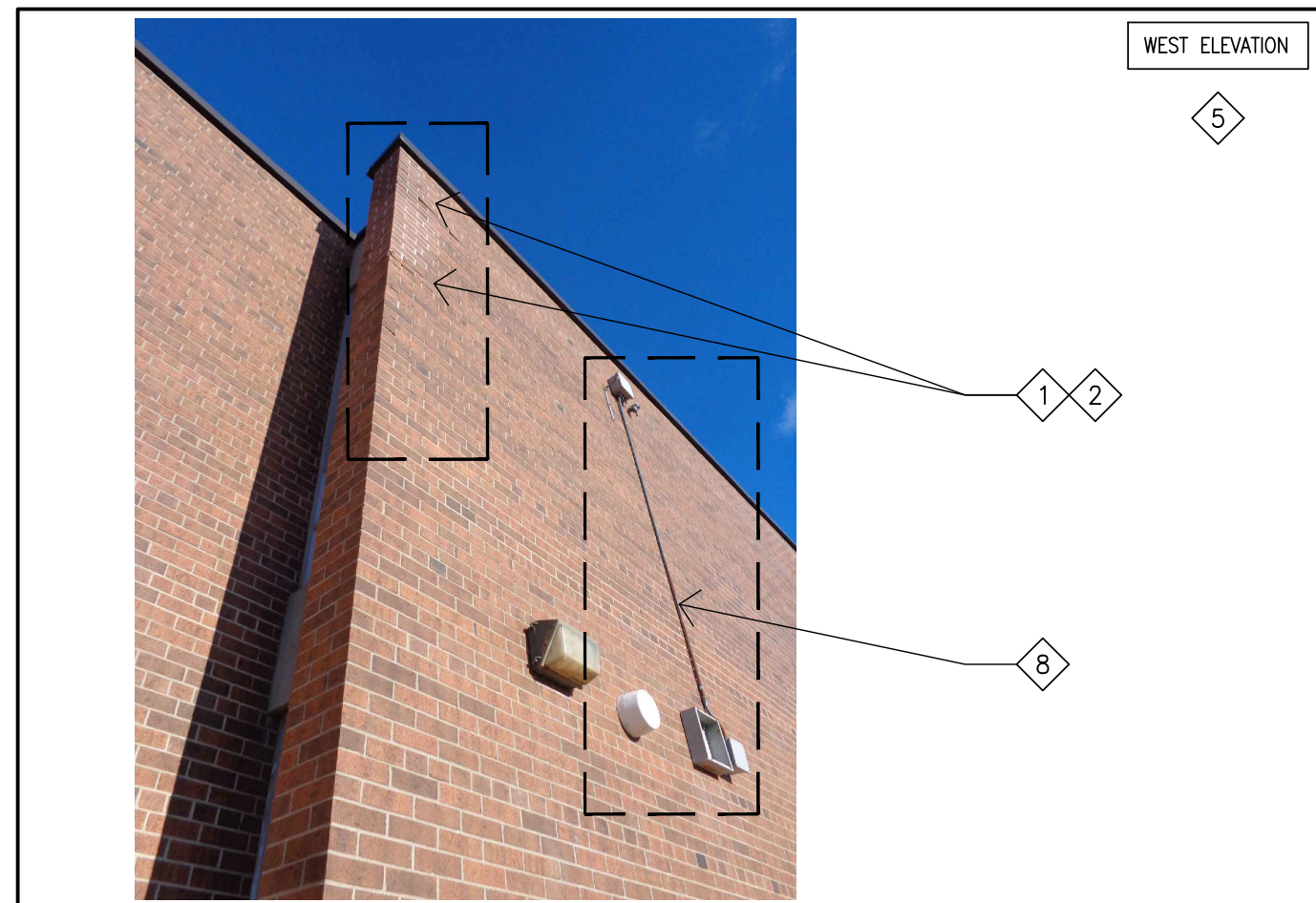


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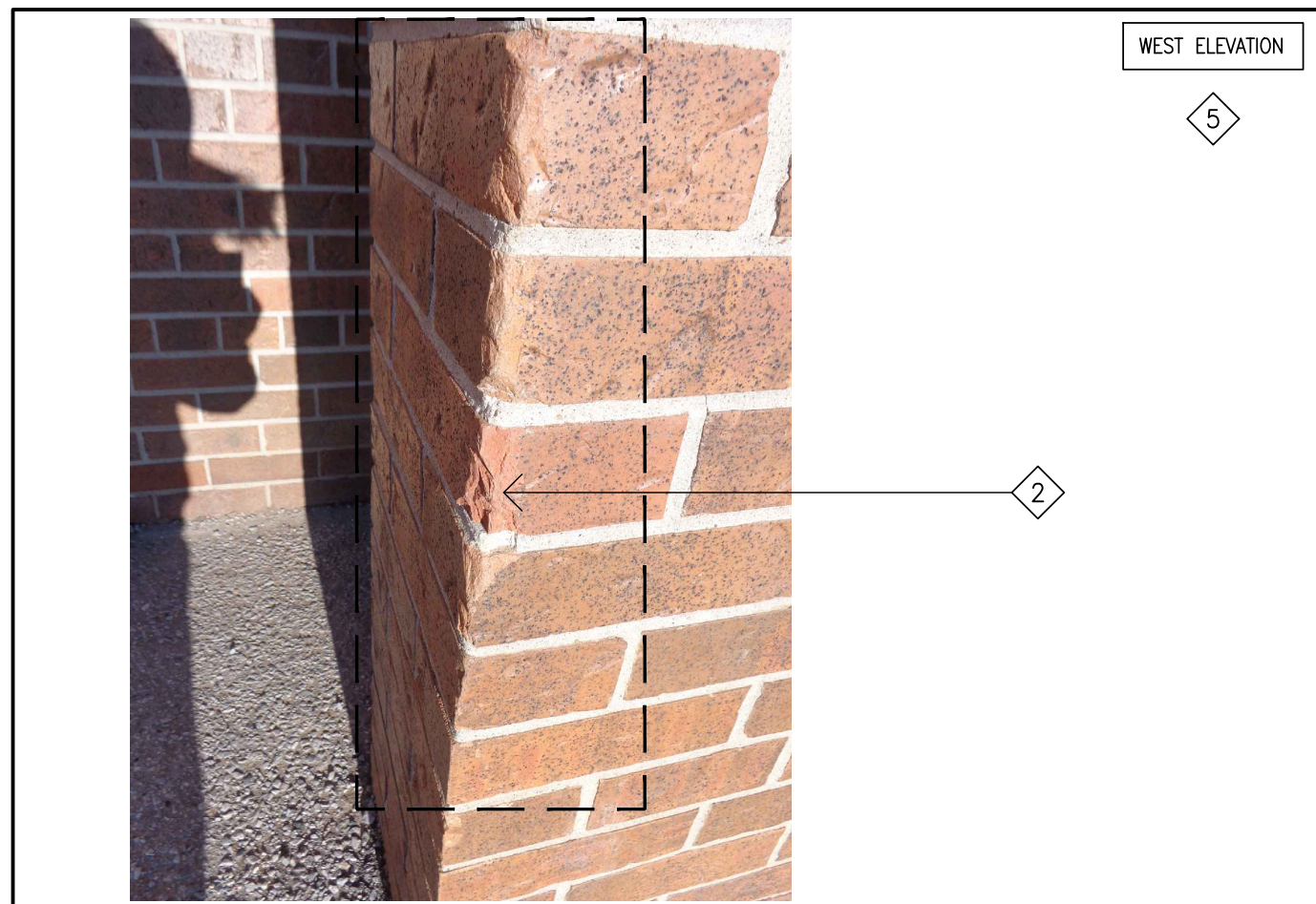


PHOTO-99

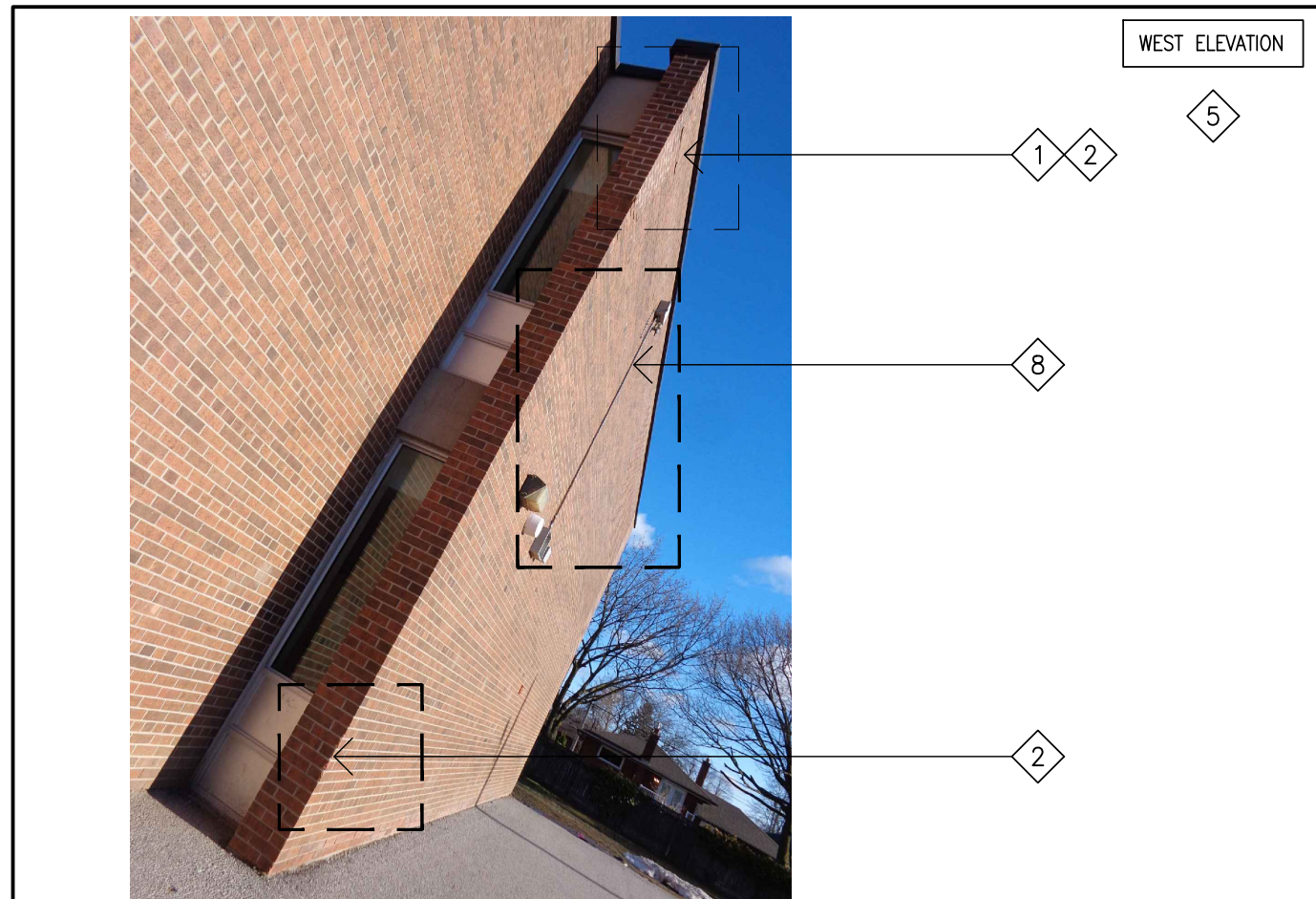


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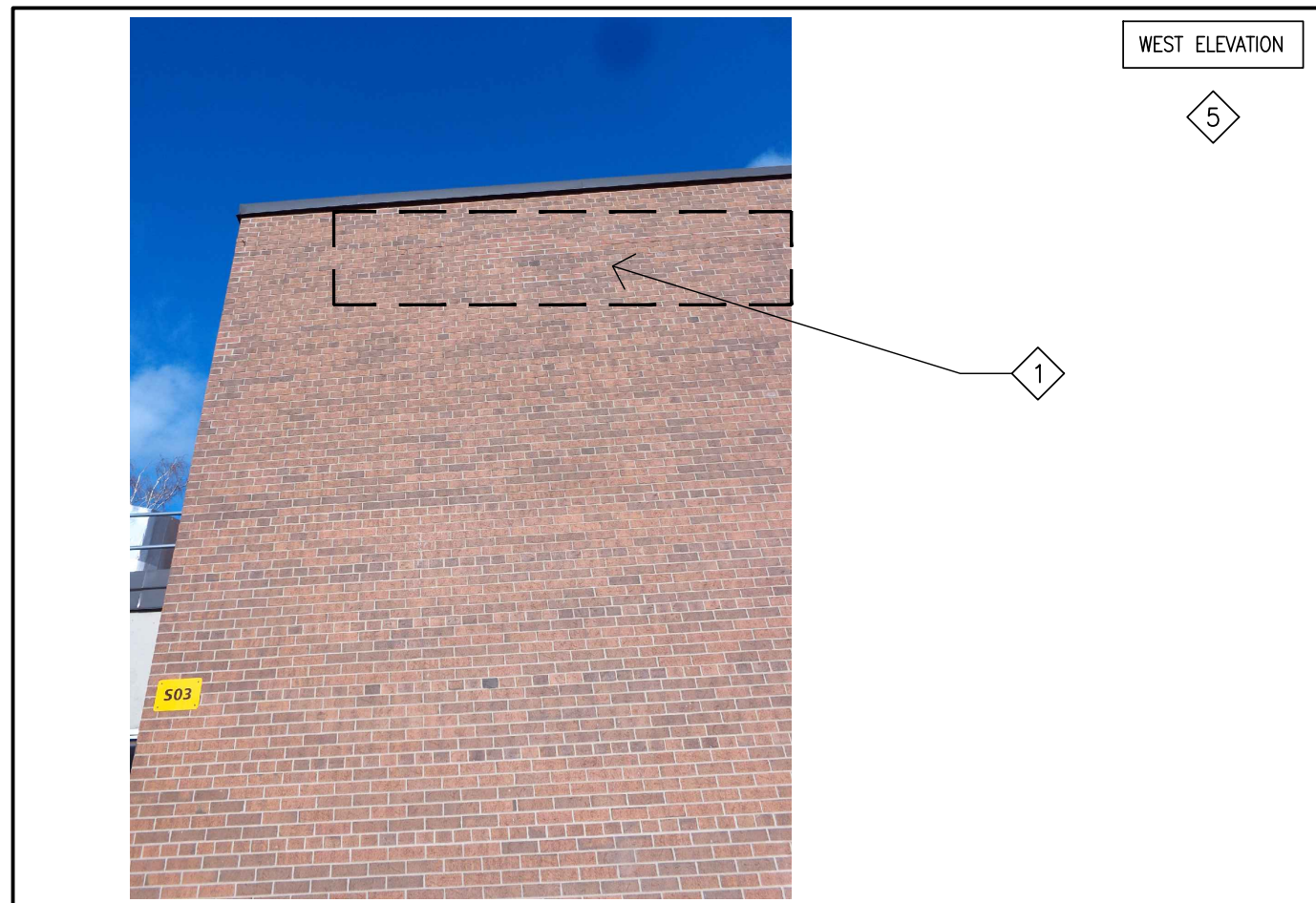


PHOTO-97

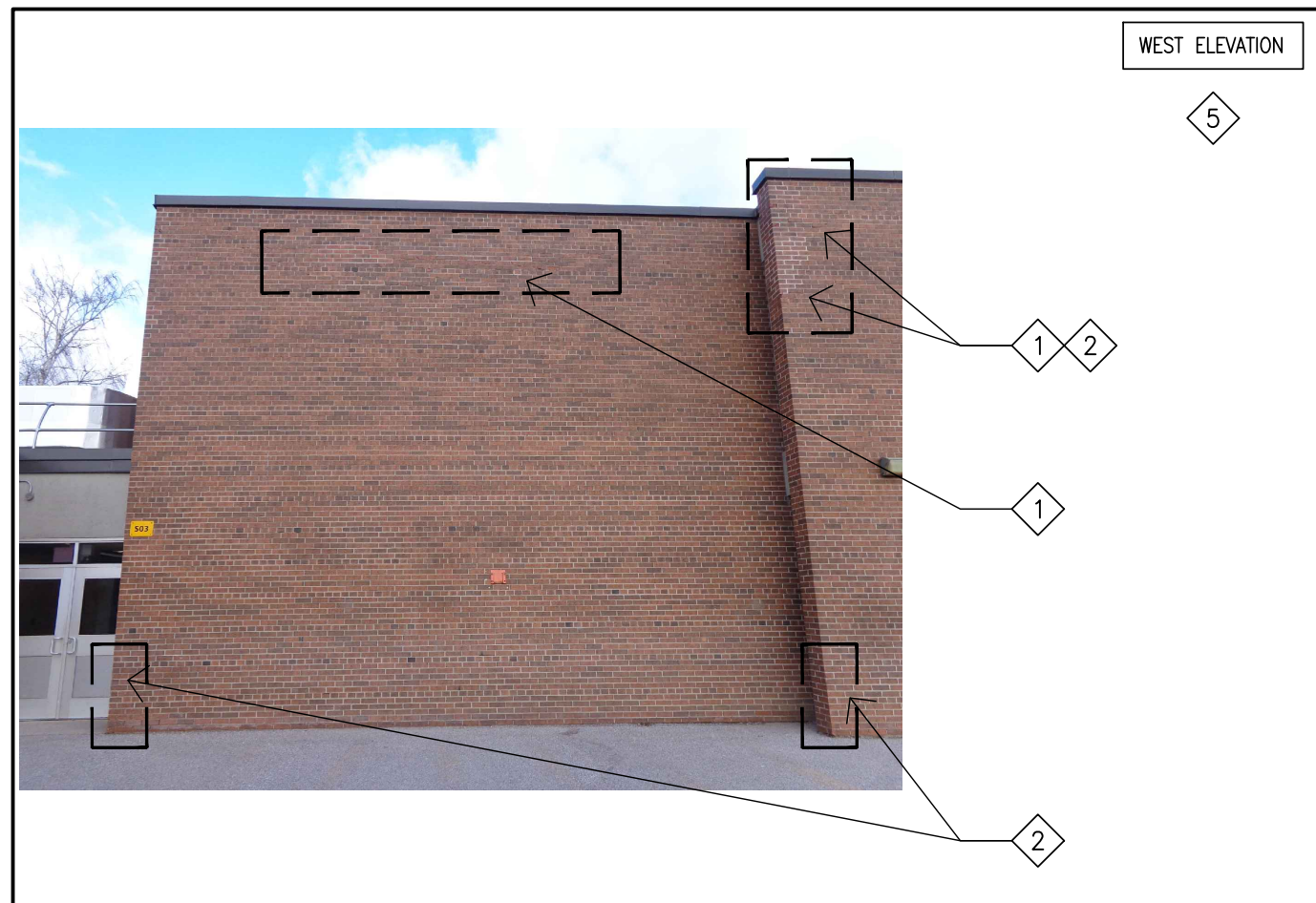


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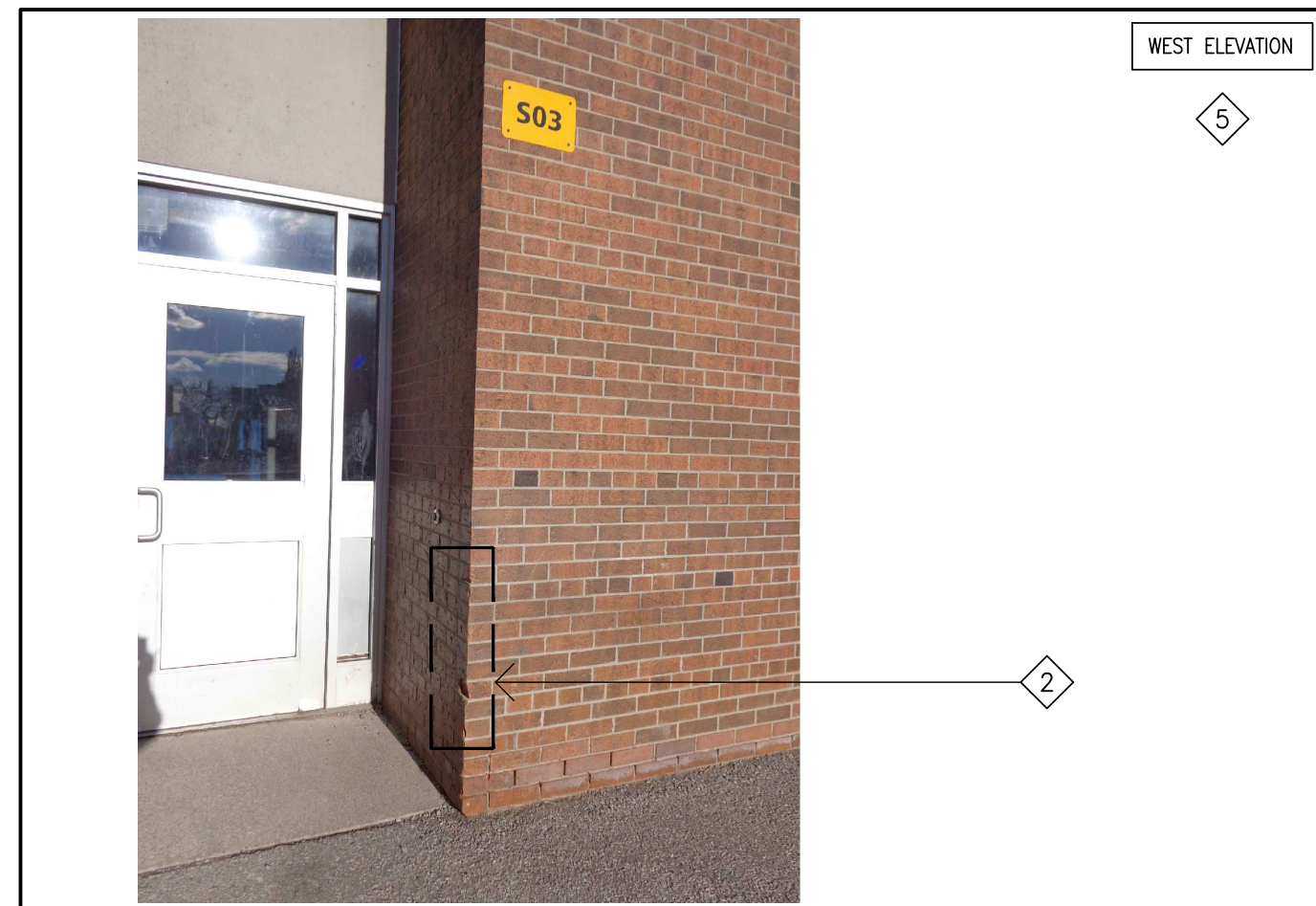


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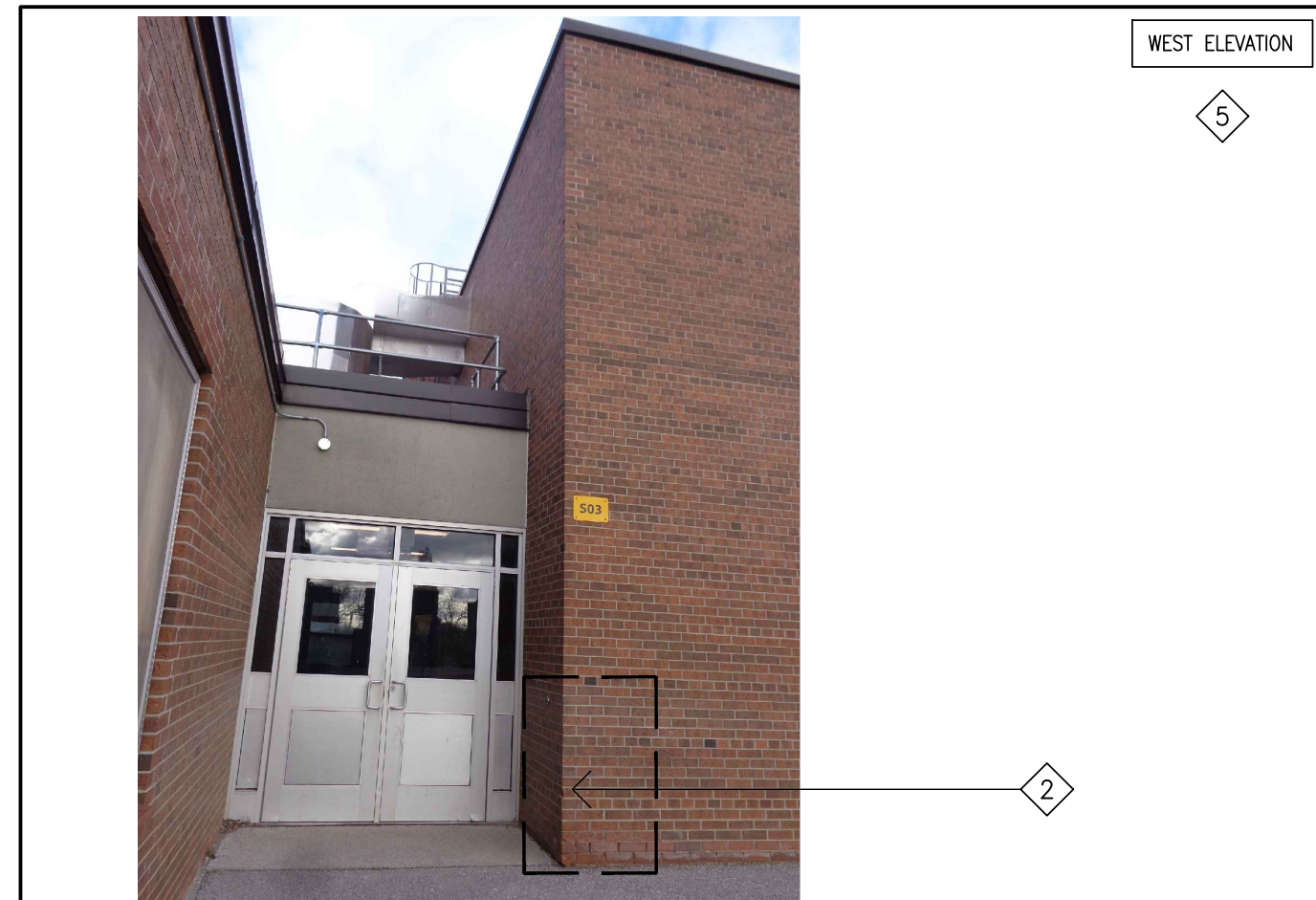


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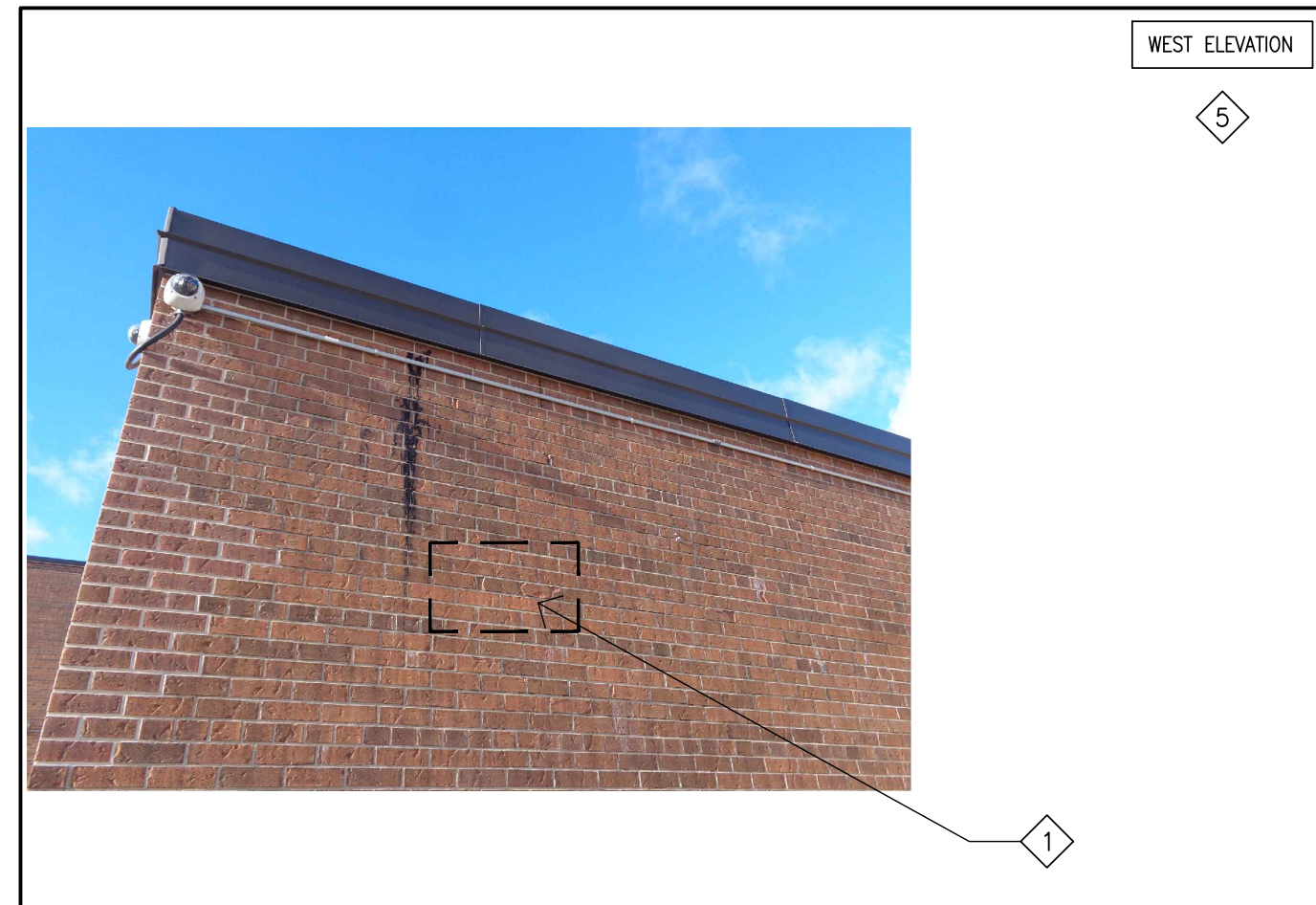


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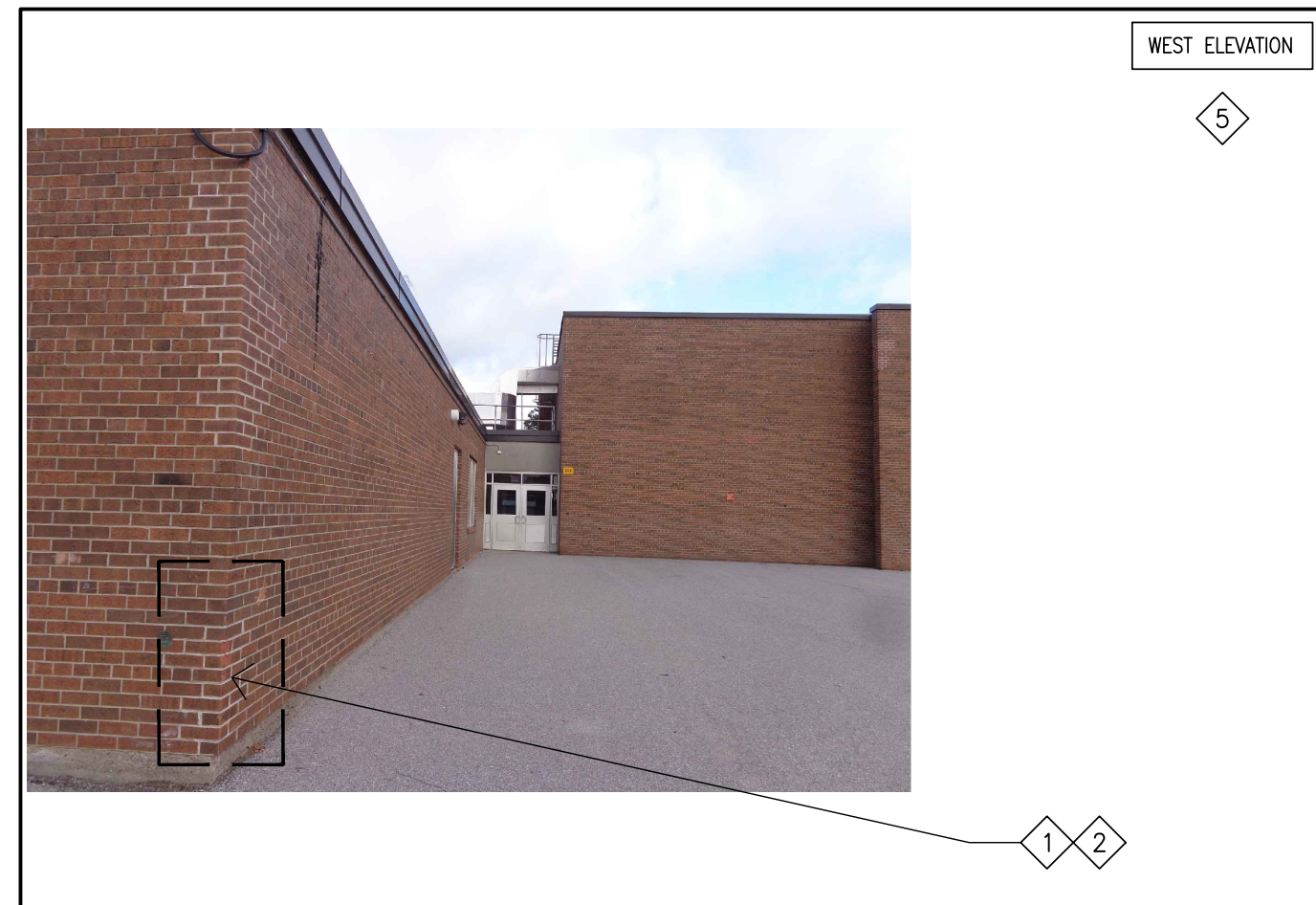


PHOTO-92

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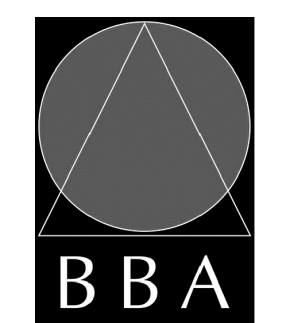
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PROJECT:  
**RENOVATIONS AT  
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JEANNE-LAJOIE**

150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
Conseil scolaire Viamonde

DRAWING:  
**ELEVATION PHOTOS**



**BARRY BRYAN  
ASSOCIATES**  
Architects  
Engineers  
Project Managers  
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Suite 201  
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L1N 0G5  
Tel: (905) 666-5252  
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e-mail: bba@bba-archeng.com



DESIGN BY: BBA  
DRAWN BY: JJA  
CHECKED BY: DM  
DATE: JAN. 2025  
SCALE: 1:75  
FILE: 24195 A304-A312

PROJECT NO: **24195**  
DRAWING NO: **A911**



| REPAIR NOTES  | REPAIR LEGEND:   |
|---|--|
| <p>1 REPAIR BROKEN AND DAMAGED BRICK. INSTALL REPLACEMENT BRICK WHERE INDICATED.</p> <p>2 REPAIR BROKEN MASONRY AT CORNERS OF BRICK RELIEF.</p> <p>3 REPAIR BROKEN MASONRY BRICK / MORTAR AT WINDOW SILLS AND REPLACE WITH NEW TO MATCH. PROVIDE DRIP FLASHING.<br/>NOTE: RE-SEAL ALL WINDOW JAMBS FOLLOWING BRICK WALL REPAIR</p> <p>4 ROUT OUT JOINTS AND REPAINT MATCH EXISTING</p> <p>5 POWER WASH / CLEAN ALL EXTERIOR BRICK / CONCRETE SURFACES POST NEW CONSTRUCTION.</p> <p>6 REMOVE GRAFFITI FROM BRICK.</p> <p>7 SCRAPE OFF EXISTING LOOSE PAINT, MAKE SURFACE READY FOR NEW AND REPAINT.</p> <p>8 REMOVE ABANDONED STEEL CONDUIT C/W ALL LOCALIZED ABANDONED MOUNTING BOLTS. INFILL BRICK VENEER WITH GROUT, COLOUR TO MATCH EXISTING.</p> | <p>AREAS INDICATED ON ELEVATIONS ARE VISUAL ESTIMATED LOCATIONS. CONFIRM ON SITE. NOTE AREAS FOR DETERIORATED / SPALLED MASONRY BRICKS (NOT INDICATED ON THESE DRAWINGS) TO OWNER AND CONSULTANTS.</p> <p>REMOVE AND REPLACE DETERIORATED/SPALLED BRICKS, COLOUR TO MATCH EXISTING BRICK REFER TO ELEVATIONS FOR EXTENTS.</p> <p>NOTE: PHOTO DETAILS TO BE READ IN CONJUNCTION WITH EXRIOR ELEVATION SHEETS.</p> |



PHOTO-114



PHOTO-110

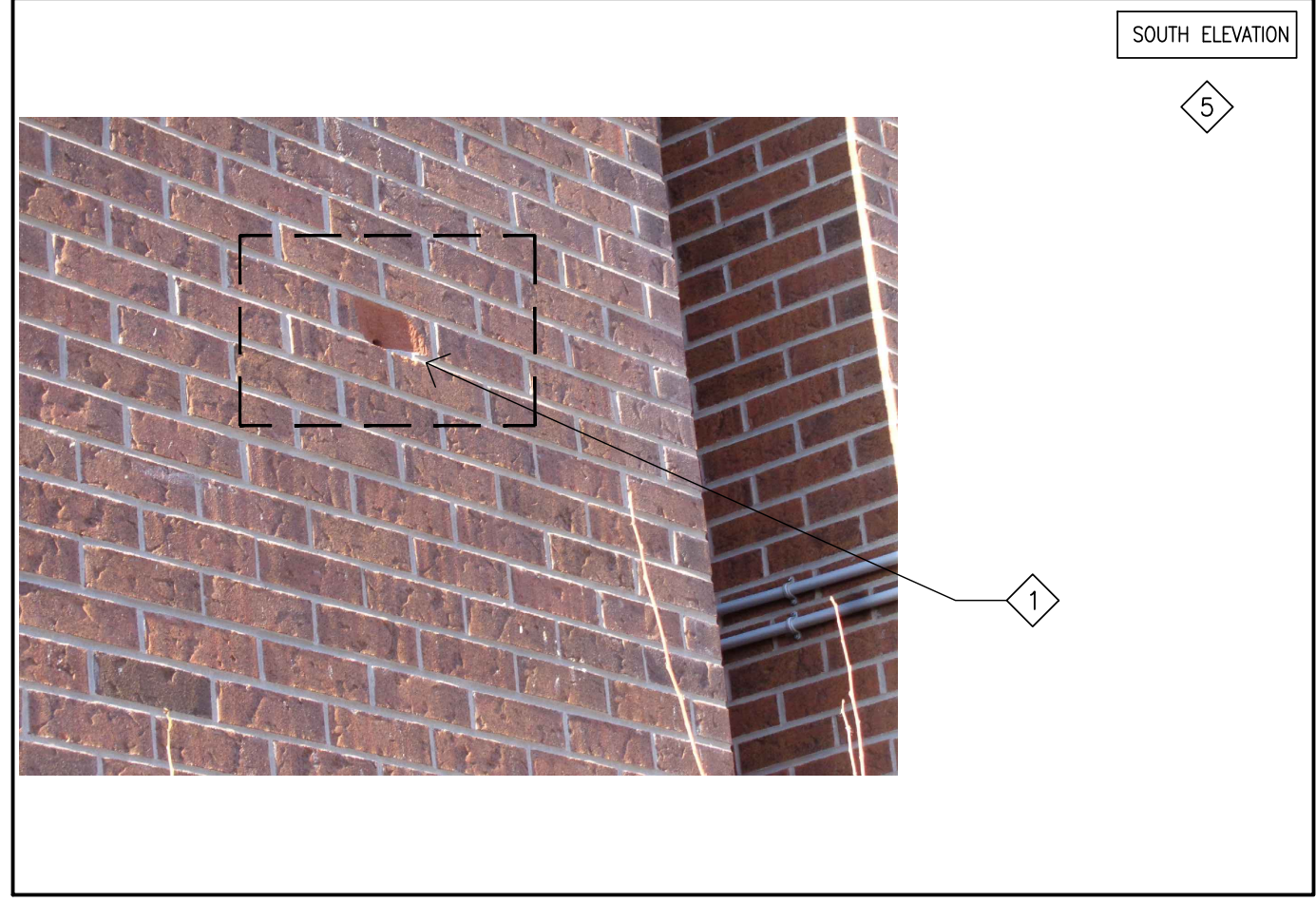


PHOTO-113



PHOTO-109



PHOTO-116

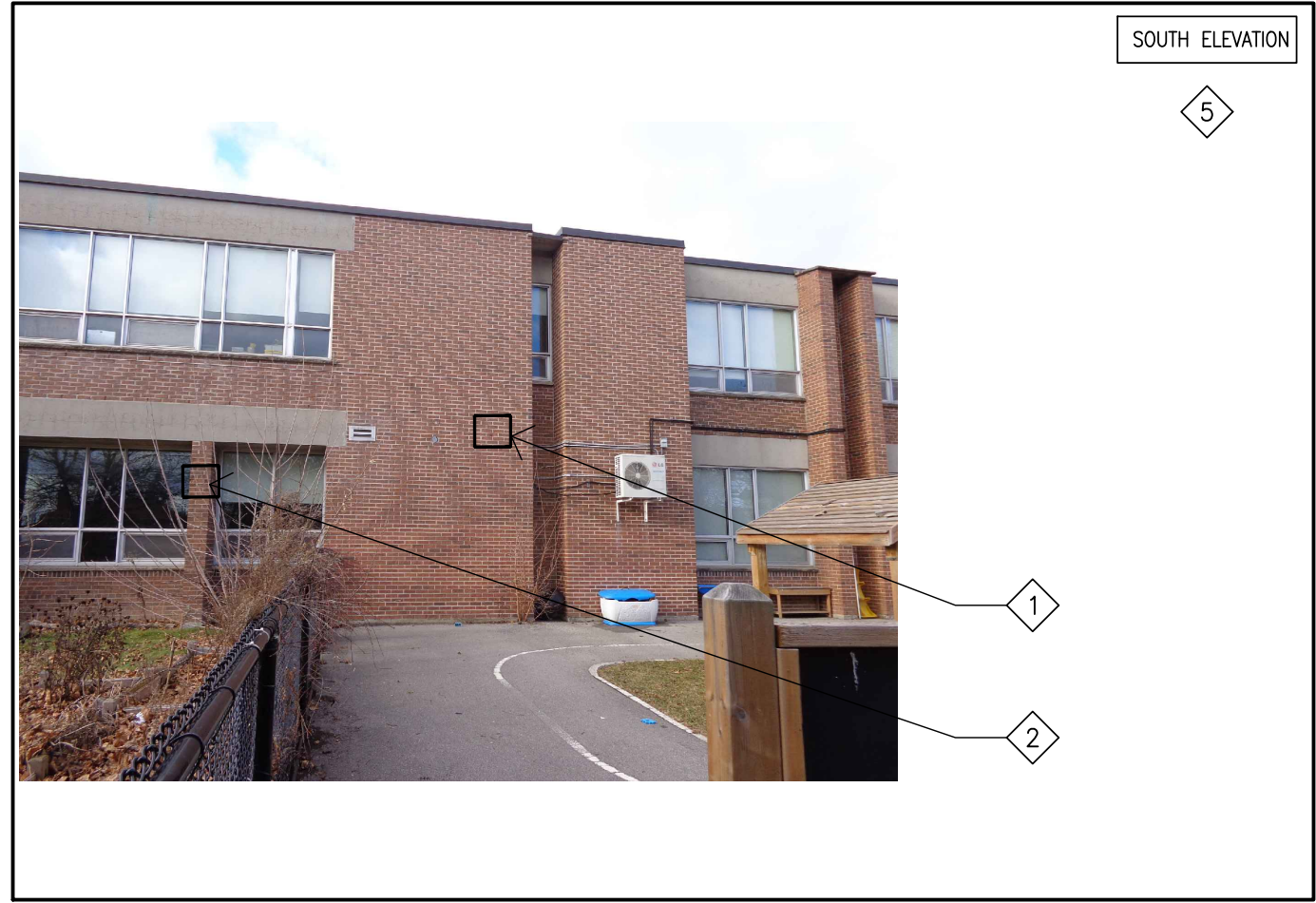


PHOTO-112



PHOTO-108



PHOTO-115

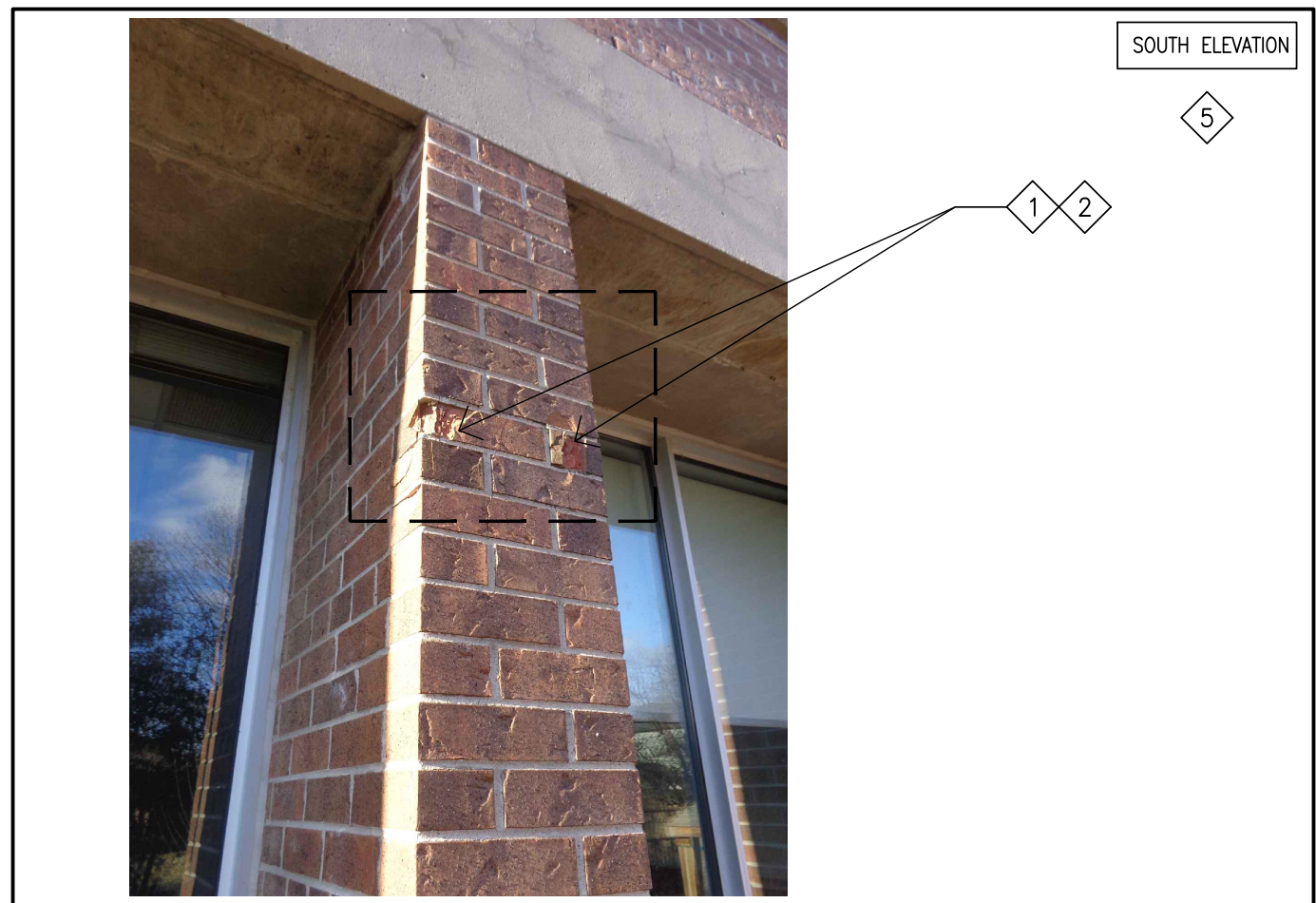


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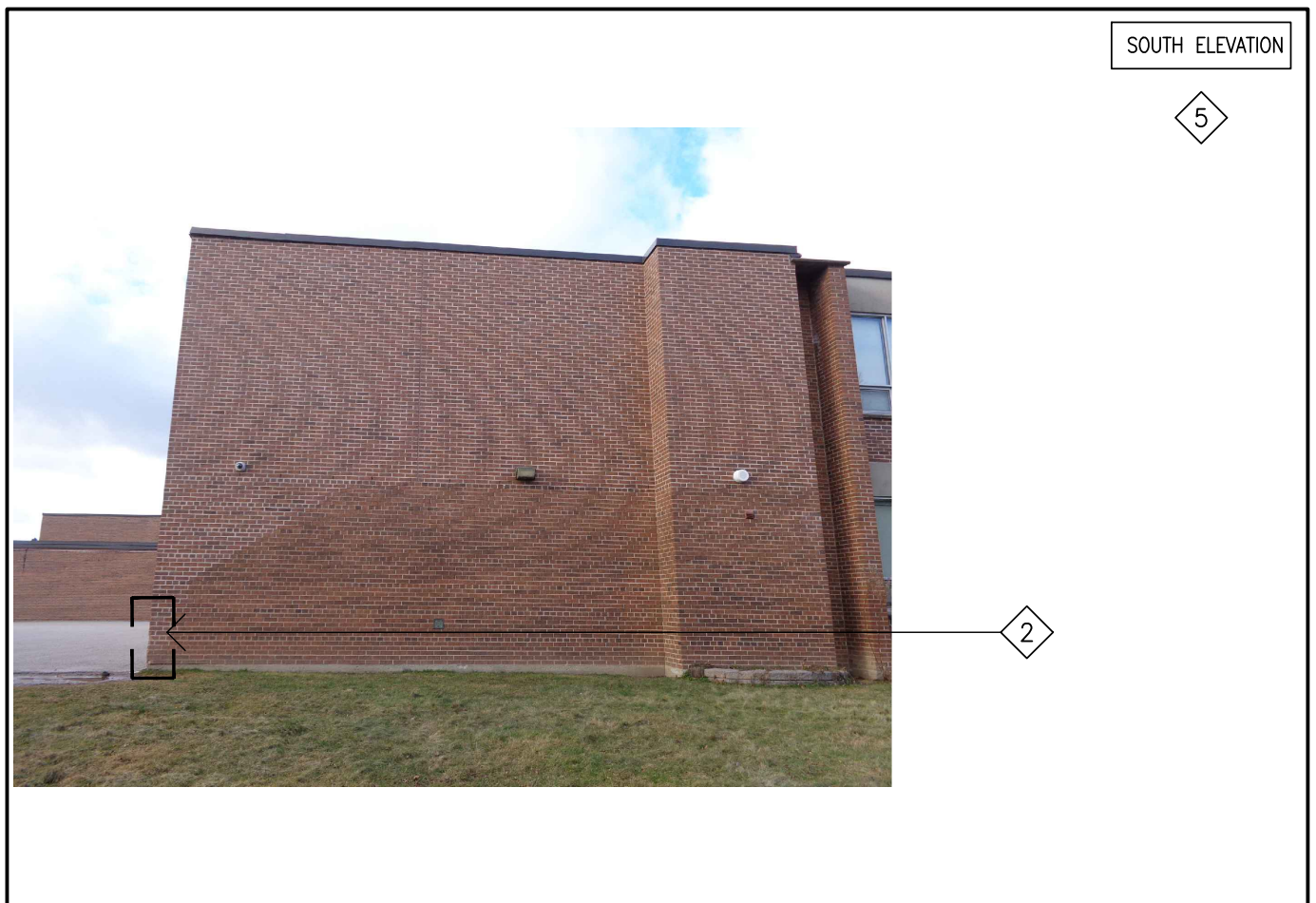


PHOTO-107

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DRAWING:  
**ELEVATION PHOTOS**



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| DESIGN BY:<br>BBA   | DOC CONTROL:<br>DATE:    |
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| DATE:<br>JAN. 2025  | SCALE:<br>1:75           |
| Tel: (905) 666-5252<br>Fax: (905) 666-5256<br>e-mail: bba@bba-archeng.com | FILE:<br>24195_A304-A312 |

PROJECT NO:  
**24195**

DRAWING NO:  
**A912**

**REPAIR NOTES**

- 1 REPAIR BROKEN AND DAMAGED BRICK. INSTALL REPLACEMENT BRICK WHERE INDICATED.
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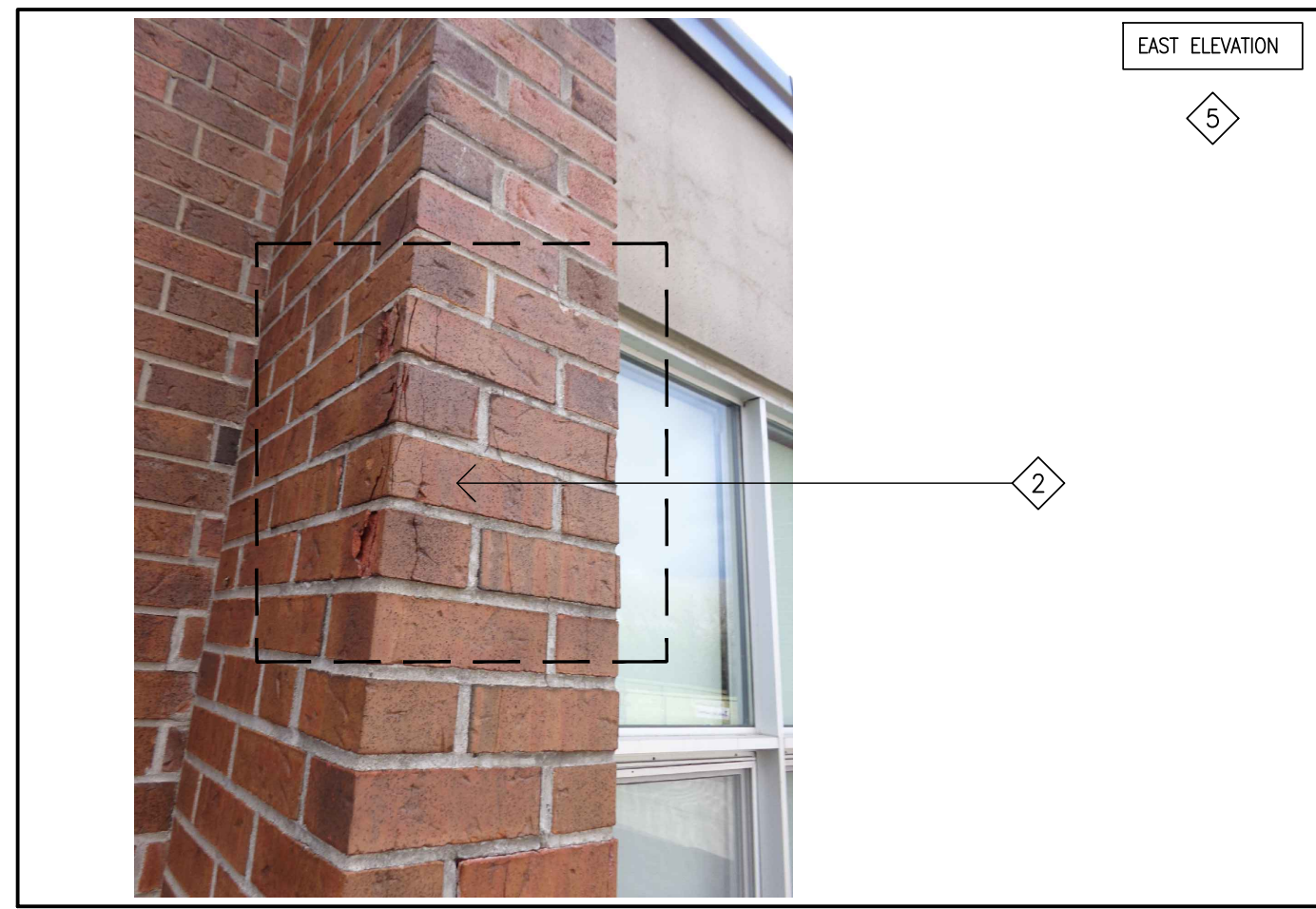


PHOTO-131



PHOTO-127

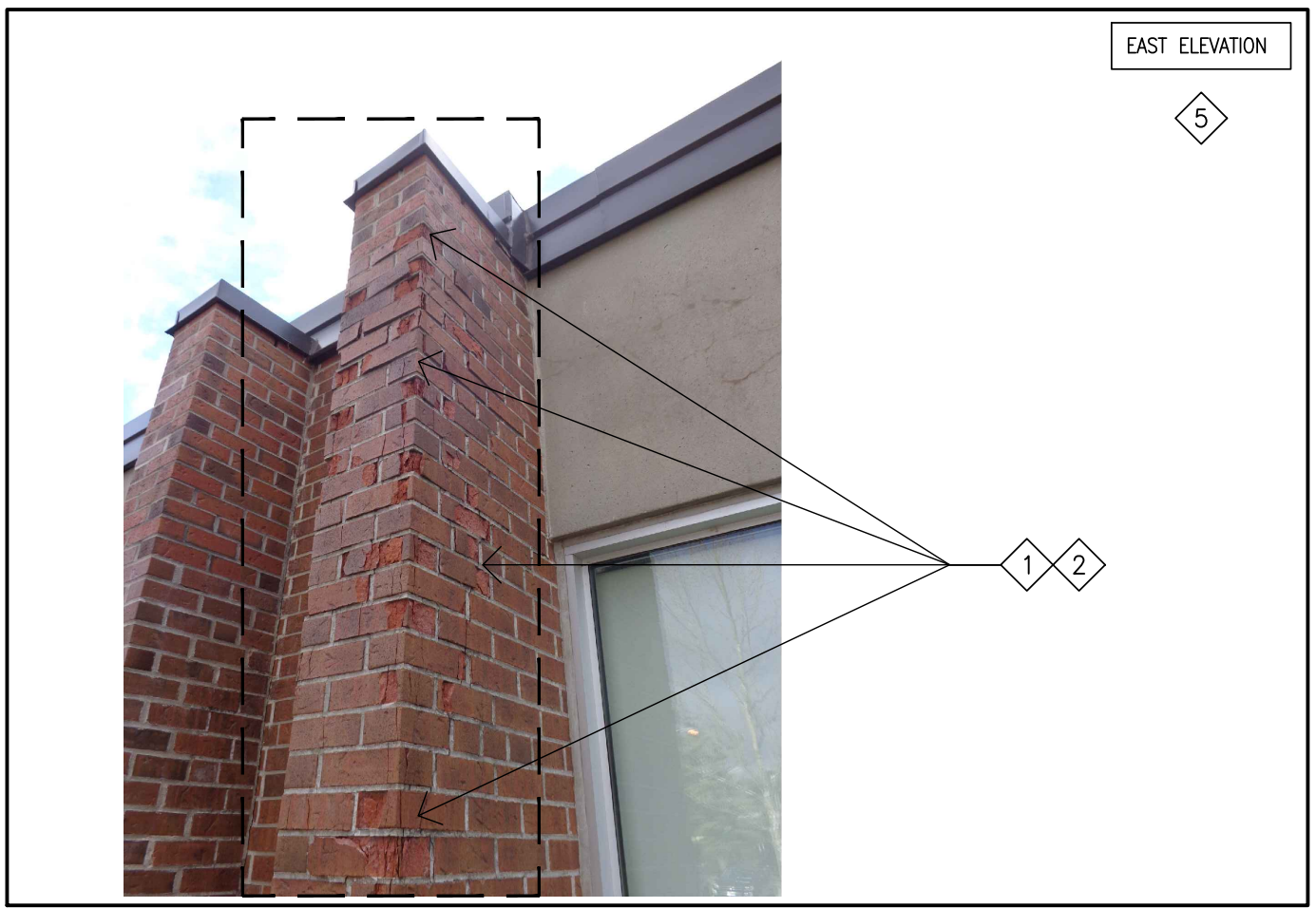


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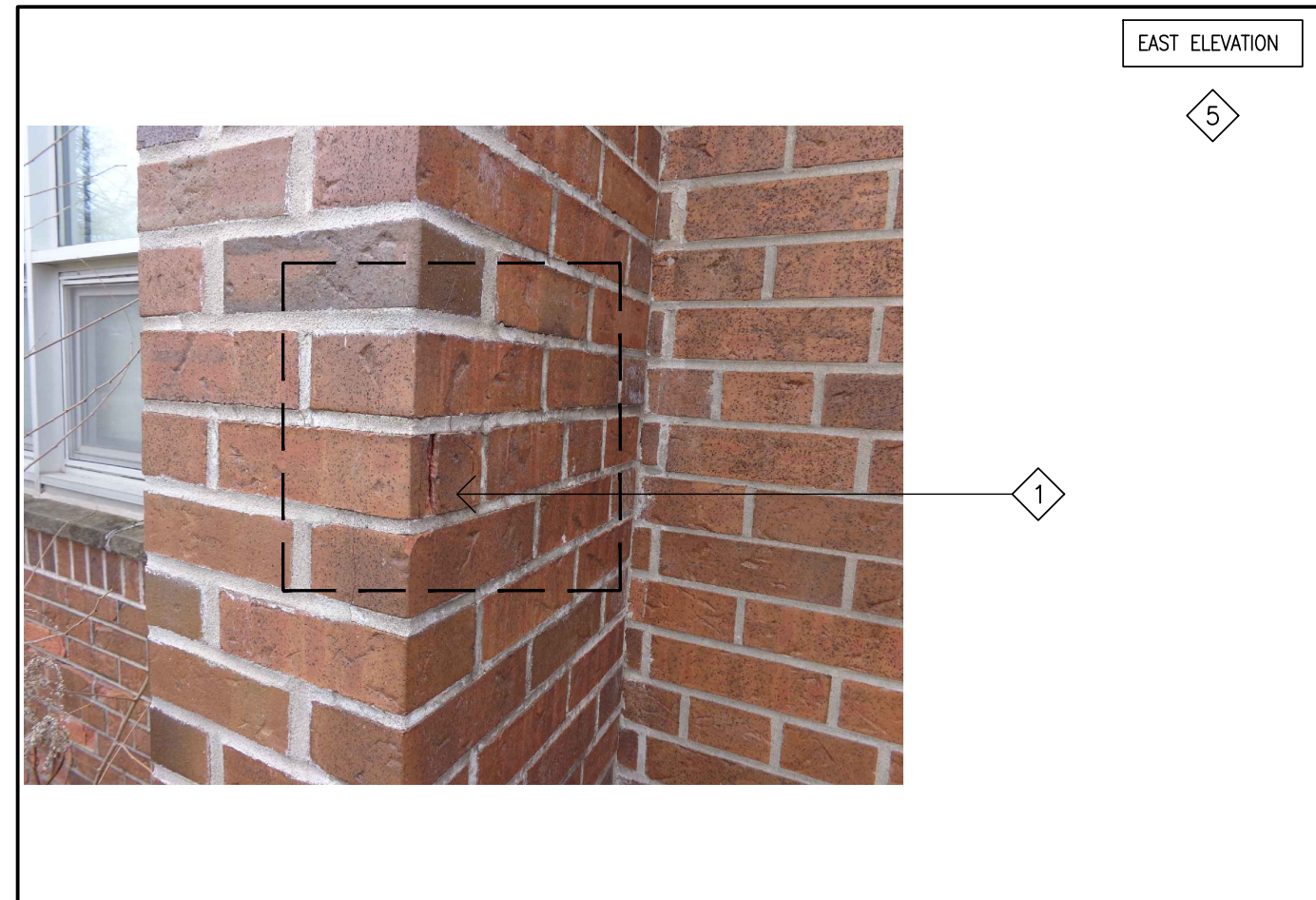


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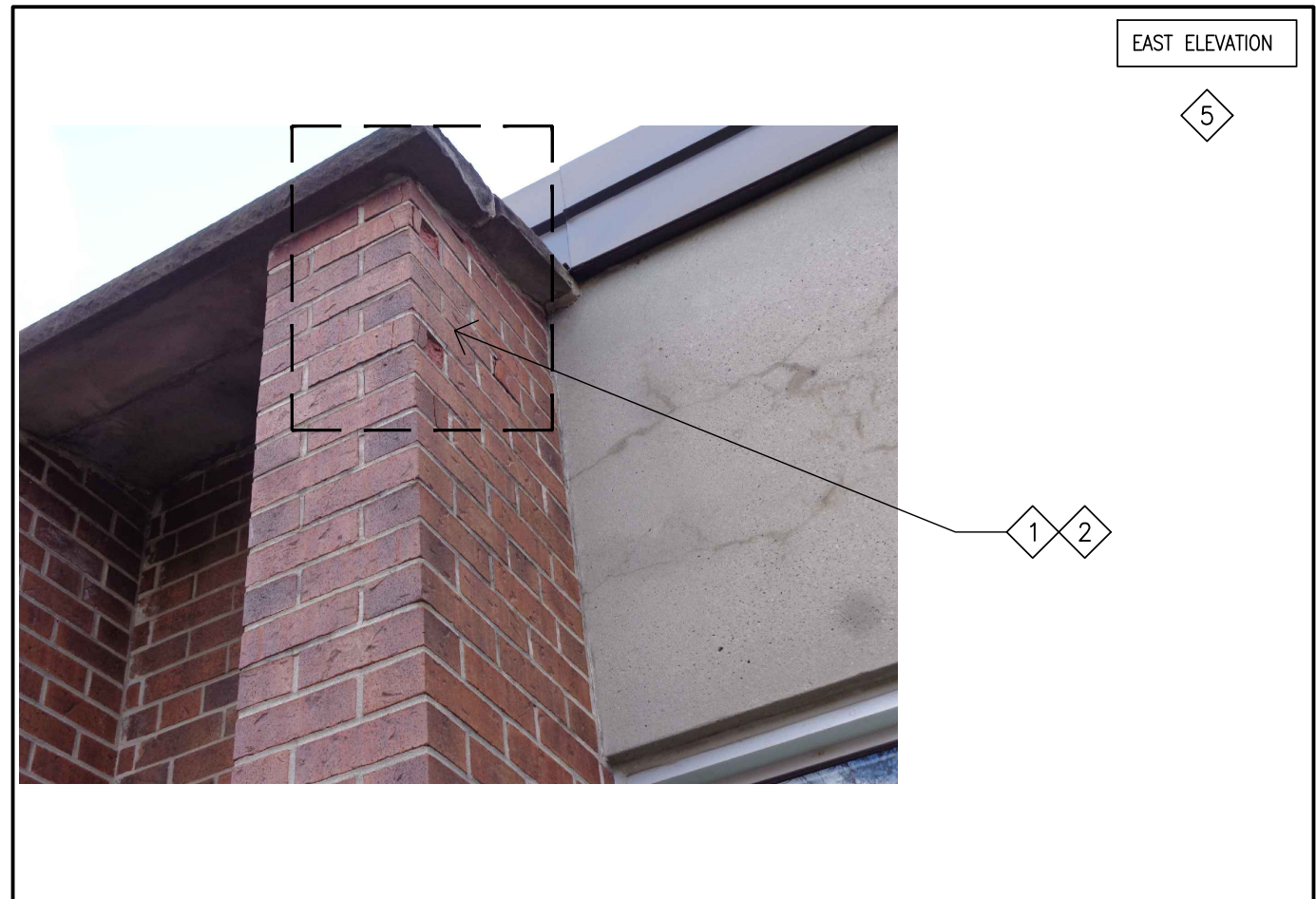


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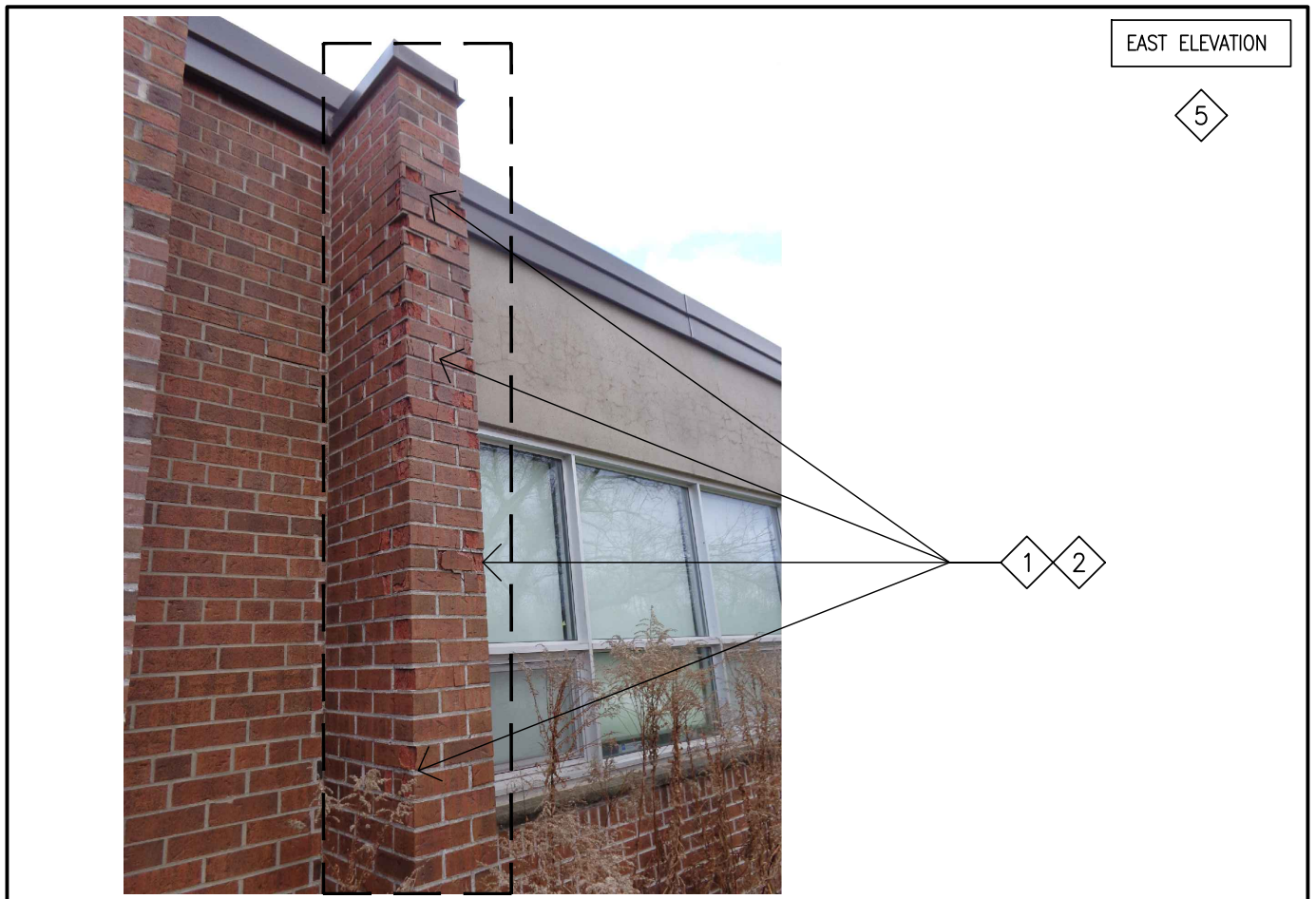


PHOTO-122



PHOTO-133



PHOTO-129

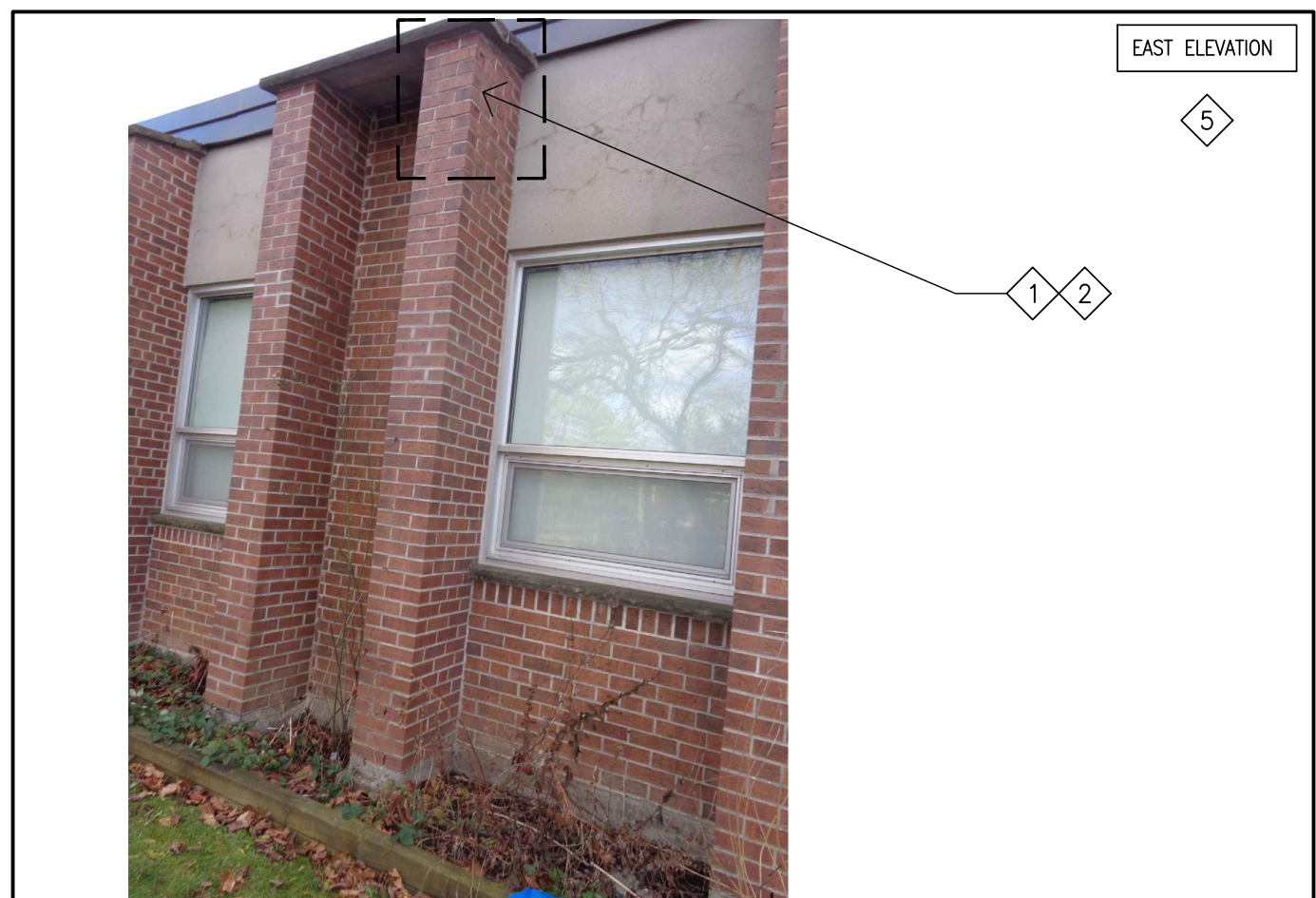


PHOTO-125



PHOTO-121

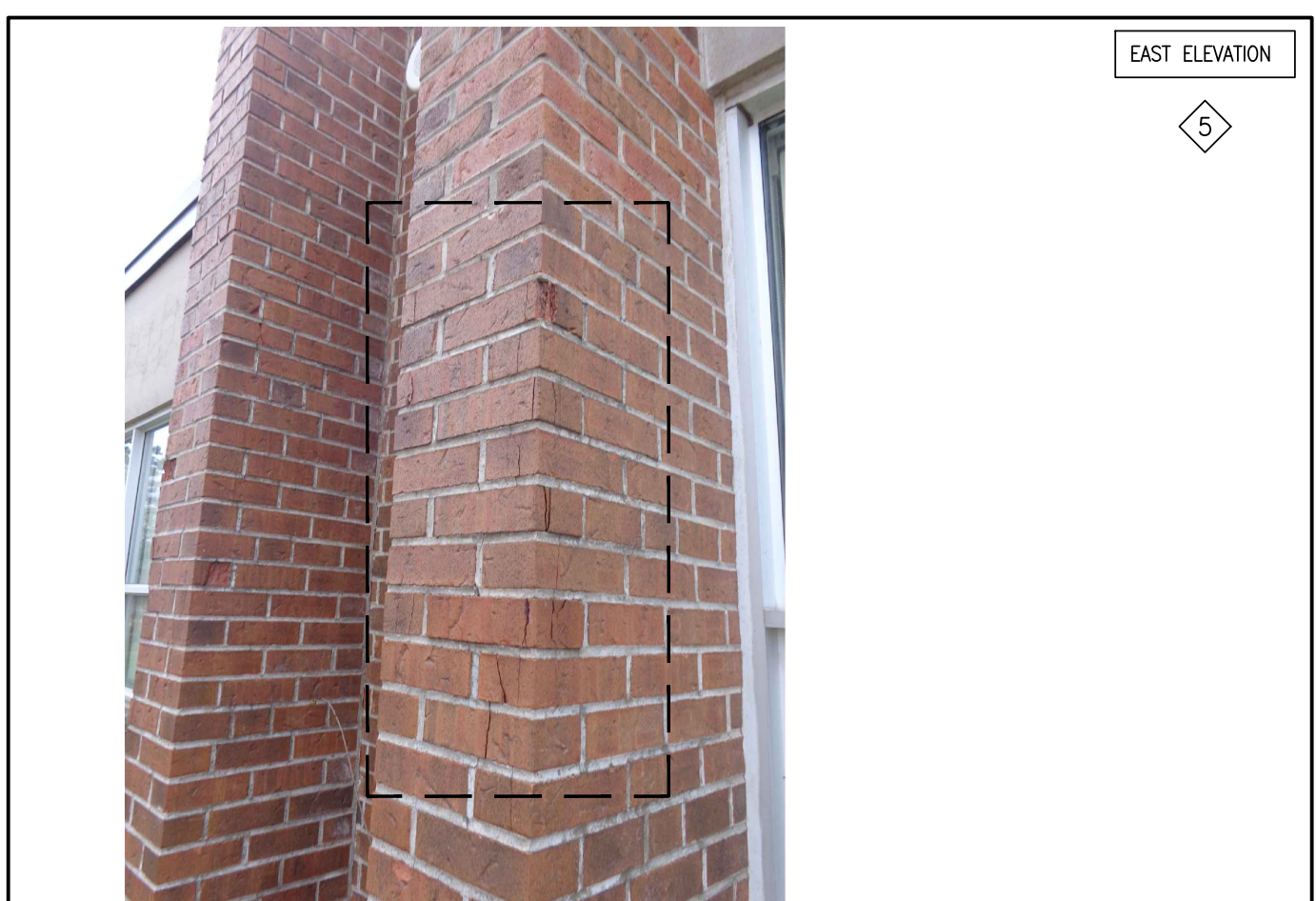


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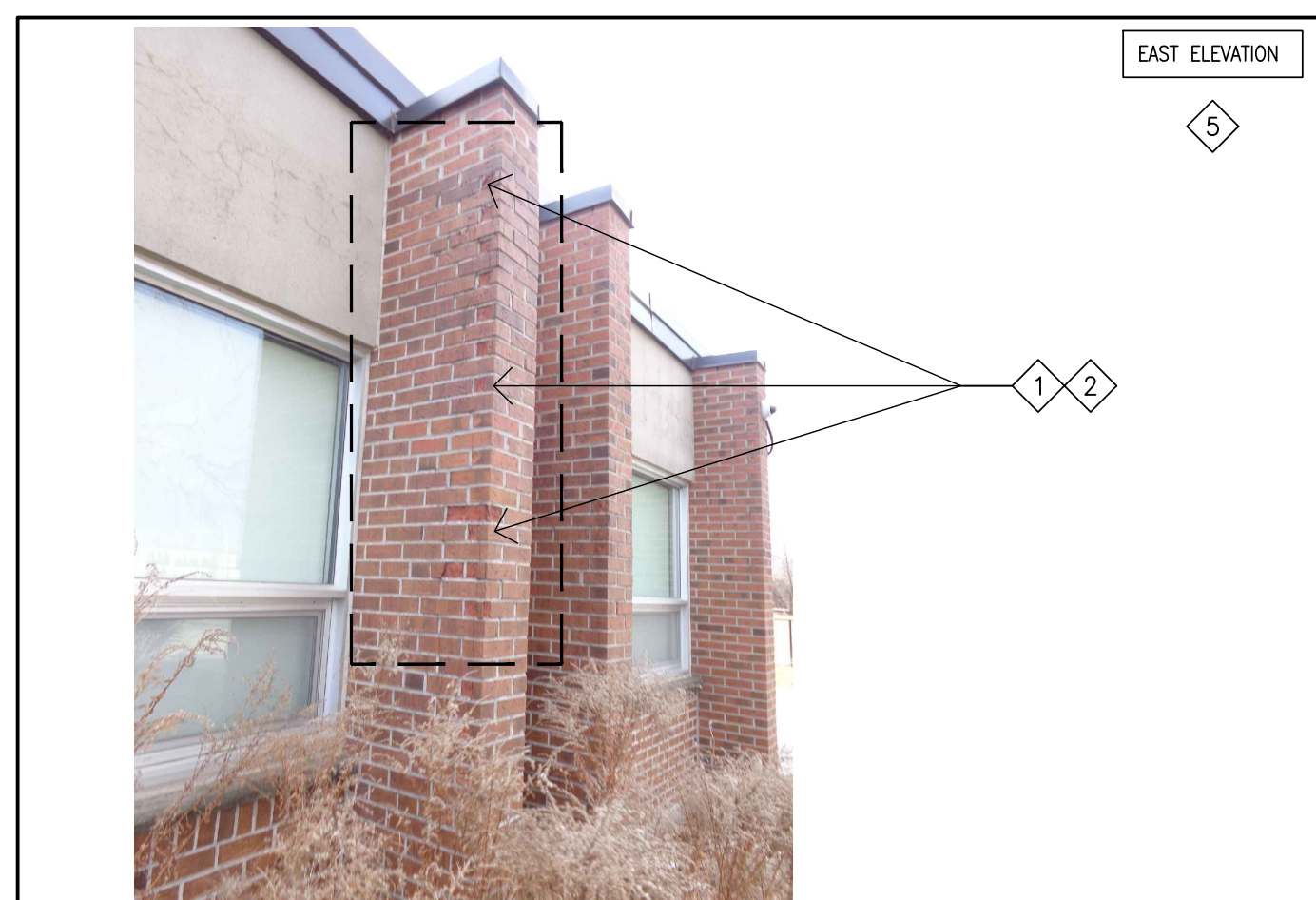


PHOTO-128



PHOTO-124



PHOTO-120

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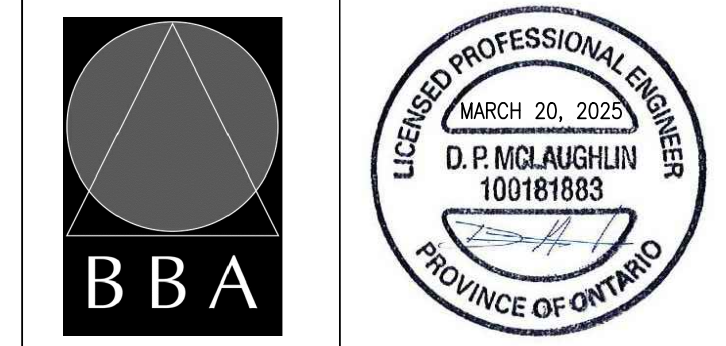


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**ELEVATION PHOTOS**



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DOC CONTROL: DATE: \_\_\_\_\_  
% COMPLETE: \_\_\_\_\_  
INITIAL: \_\_\_\_\_

PROJECT NO: **24195**  
DRAWING NO: **A913**

## GENERAL

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, LATEST EDITION AND THE OCCUPATIONAL HEALTH AND SAFETY ACT/REGULATIONS FOR CONSTRUCTION PROJECTS.
- CONFORM TO OWNER'S GENERAL SPECIFICATIONS INCLUDING ALL SAFETY REQUIREMENTS.
- SITE VERIFY ALL DIMENSIONS AND LEVELS.
- KEEP THE SITE THROUGHOUT THE WORK AREA IN A CLEAN AND ORDERLY CONDITION AT ALL TIMES TO THE SATISFACTION OF THE OWNER.
- THE LATEST EDITION OF ALL CODES AND STANDARDS SHALL BE USED.
- ALL STRUCTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH OTHER CONSULTANTS DRAWINGS.
- SEE SOILS REPORT PREPARED BY: CAMBIUM INC. REFERENCE No. 13732-001 DATED SEPTEMBER 1, 2021 FOR INFORMATION ON REUSE/DISPOSAL REQUIREMENTS OF EXCESS SOIL.

## DEMOLITION NOTES

- PROVIDE PROTECTION AS REQUIRED TO PREVENT DAMAGE TO THE EXISTING STRUCTURE AND/OR ADJACENT EQUIPMENT. PROTECT ALL EXISTING FINISHES, GLAZING, FRAMES AND PROPERTY. PROVIDE NECESSARY SHORING DESIGN BY A PROFESSIONAL ENGINEER REGISTERED IN ONTARIO FOR THE SAFE COMPLETION OF THE WORK.
- REMOVE AND DISPOSE OF EXISTING DEMOLISHED MATERIALS OFF-SITE, AS REQUIRED TO COMPLETE THE WORK. HAZARDOUS MATERIALS MUST BE IDENTIFIED AND PROPERLY DISPOSED.
- KEEP THE WORK AND STAGING AREAS CLEAN AND ORDERLY AT ALL TIMES AND FREE FROM RUBBLE AND DEBRIS.
- NOTIFY CONSULTANT OF ANY LOAD BEARING MEMBERS OR ASSEMBLIES DISCOVERED OR IDENTIFIED DURING WORK AND NOT INDICATED ON THE DRAWINGS. DO NOT PROCEED WITH REMOVAL WITHOUT PRIOR REVIEW BY CONSULTANT.
- ALLOW FOR REMOVAL OF ALL ABANDONED MECHANICAL AND ELECTRICAL.
- ALL BUILDING MATERIALS TO BE REMOVED FROM THE BUILDING SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFIED OTHERWISE AND SHALL BE REMOVED FROM THE SITE INCLUDING THE EXISTING CONSTRUCTION FENCING ONCE WORK HAS BEEN COMPLETED.
- ALL BUILDING SERVICES MUST BE DEACTIVATED AND DISCONNECTED PRIOR TO DEMOLITION START.
- CONTRACTOR SHALL EMPLOY A METHOD TO MAINTAIN DUST CONTROL WITHIN THE DEMOLITION AREA.
- CARRY OUT SAFETY MEASURES AS PER THE CONSTRUCTION SAFETY ASSOCIATION OF ONTARIO ACT AND REGULATIONS FOR DEMOLITION.
- THE ONTARIO OCCUPATIONAL HEALTH AND SAFETY MANUAL APPLIES TO THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE TO PERFORM ALL WORK IN ACCORDANCE WITH O.H.S.A..
- REPORT ANY DOUBTFUL, UNFORESEEN AND/OR UNEXPECTED SITE CONDITIONS TO THE ENGINEER PRIOR TO PROCEEDING.
- CONTRACTOR TO BE FULLY AWARE OF HAZARDOUS MATERIALS PRIOR TO STARTING CONSTRUCTION. HAZARDOUS MATERIAL MAY POSE A RISK TO HUMAN HEALTH AND THE ENVIRONMENT DURING CONSTRUCTION. REFER TO DESIGNATED SUBSTANCE SURVEY ASSESSMENT FOR ADDITIONAL INFORMATION.

## TEMPORARY WORKS

- THE CONTRACTOR SHALL DESIGN, PROVIDE, ERECT, MAINTAIN REMOVE AND ASSUME FULL AND SOLE RESPONSIBILITY FOR ALL TEMPORARY WORKS REQUIRED FOR THE SAFE AND COMPLETE EXECUTION OF THE WORKS.
- IN THE EXECUTION OF THE TEMPORARY WORKS AND FOR THE DURATION OF THE CONTRACT, THE CONTRACTOR SHALL MAKE ADEQUATE PROVISION FOR ALL LIKELY CONSTRUCTION LOADING AND PROVIDE SUFFICIENT BRACING AND PROPS TO KEEP THE WORKS IN PLUMB AND ALIGNMENT AND FREE FROM EXCESSIVE DEFLECTION.
- ACCESS OF HEAVY CONSTRUCTION EQUIPMENT AND ACCUMULATION OF CONSTRUCTION MATERIALS ON THE FLOORS ARE NOT PERMITTED, UNLESS SUCH HAVE BEEN CATERED FOR IN THE CONTRACTOR'S TEMPORARY WORK DESIGN TO THE SATISFACTION OF THE ARCHITECT.
- SUBMIT SHOP DRAWINGS FOR ALL TEMPORARY WORKS FOR REVIEW BEFORE FABRICATION COMMENCES. SHOP DRAWINGS SHALL BE SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF ONTARIO.

## MASONRY

- MASONRY WORK IN ACCORDANCE WITH CAN/CSA A370 AND CAN/CSA A371 EXCEPT WHERE SPECIFIED OTHERWISE.
- ONLY TYPE 'S' MORTAR SHALL BE USED, MINIMUM STRENGTH SHALL BE 12.4 MPa AT 28 DAYS.
- GROUT (PEA GRAVEL) AT BOND BEAMS AND GROUTED HOLLOW BLOCKS TO BE A MINIMUM OF 20MPa COMPRESSIVE STRENGTH AT 28 DAYS, IN ACCORDANCE WITH CAN3-A23.1
- MORTAR FOR EXPOSED EXTERIOR MASONRY SHALL BE AIR ENTRAINED.
- MASONRY WORK SHALL CONFORM TO CAN3-S304 AND ITS REFERENCED DOCUMENTS, INCLUDING:
  - CONCRETE BLOCK TO CSA-A165.1, TYPE H15/A, SEE ARCH. DWGS. FOR FIREWALL REQUIREMENTS UNLESS NOTED OTHERWISE. (BASED ON NET AREA) – H 15/C FOR FIREWALL.
  - MORTAR TO CSA-A179M, TYPE 'S' FOR ALL WALLS.
  - GROUT TO CSA-A179-M.
  - MASONRY WIRE REINFORCING TO CSA-G30.14.
  - REINFORCING BARS TO CSA-G30.18-4-400 MPa.
  - WELDED REINFORCING BARS TO CSA-G30.18-400 MPa.
  - CONNECTION TO CAN/CSA A370.
  - PRACTICE TO CAN/CSA A371.
- SUBMIT EVIDENCE OF MORTAR AND GROUT STRENGTH, FIELD CONTROL AND TESTING SHALL COMPLY WITH REQUIREMENTS OF CLAUSE 5 OF CAN3-S304.
- PROVIDE TEMPORARY BRACING OF MASONRY WORK UNTIL PERMANENT LATERAL SUPPORT IS IN PLACE.
- MINIMUM STANDARD LAP LENGTH:
 

|            |              |
|------------|--------------|
| WIRE REIN. | - 200mm(8")  |
| 10M BARS   | - 400mm(16") |
| 15M BARS   | - 600mm(24") |
| 20M BARS   | - 800mm(32") |
- NO MASONRY WORK SHALL BE PERMITTED WITH TEMPERATURE BELOW 5° CELSIUS, UNLESS PROVISIONS ARE MADE FOR HEATING THE MATERIALS AND PROTECTING THE WORK.

## BRICK REMEDIATION

- FIELD VERIFY ALL DIMENSIONS. REPORT ALL DISCREPANCIES TO CONSULTANT PRIOR TO COMMENCING WORK.
- ALL MATERIAL REMOVED FROM BUILDING TO BE DISPOSED OF OFF SITE.
- ENSURE AREAS BELOW WORK ARE PROTECTED FROM FALLING DEBRIS AT ALL TIMES UNTIL PROJECT CLOSEOUT.
- CONTRACTOR TO PROTECT THE EXISTING BUILDING FROM WEATHER, PEST AND ELEMENTS DURING CONSTRUCTION.
- COMPLETE PAINT REMOVALS AS PER MOL GUIDELINES. REFER TO DESIGNATED SUBSTANCE SURVEY ASSESSMENT FOR ADDITIONAL INFORMATION.
- PREPARE AND SUBMIT MOCK-UPS FOR CONSULTANT REVIEW AND ACCEPTANCE, THE GENERAL CONSTRUCTION AND APPEARANCE OF THE INSTALLED MASONRY WALLS INCLUDING MORTAR COLOURS. MOCK-UP PANEL SHALL INCORPORATE EACH TYPE OF MASONRY UNIT, USE OF REINFORCEMENT, CONNECTORS, THROUGH WALL FLASHINGS, AIR BARRIERS, WEEP HOLES, JOINTING, COURSING, MORTAR AND WORKMANSHIP.

## BRICK MASONRY

- PERFORM MASONRY WORK IN ACCORDANCE WITH CAN/CSA A370 AND CAN/CSA A371 EXCEPT WHERE SPECIFIED OTHERWISE.
- ONLY TYPE 'S' MORTAR SHALL BE USED, MINIMUM STRENGTH SHALL BE AIR ENTRAINED 12.4 MPa AT 28 DAYS.
- MASONRY WORK SHALL CONFORM TO CAN3-S304 AND ITS REFERENCED DOCUMENTS.
- NO MASONRY WORK SHALL BE PERMITTED WHEN THE TEMPERATURE FALLS BELOW 5° CELSIUS UNLESS PROVISIONS ARE MADE FOR HEATING THE MATERIALS AND PROTECTING THE WORK.
- FIRST COURSE OF BRICK SHALL BE LAID IN A FULL BED OF MORTAR. ALL OTHER COURSES SHALL BE LAID WITH MORTAR AT FACE SHELL BED AND HEAD JOINTS.
- NEW BRICK TO MATCH EXISTING IN SIZE, TEXTURE & COLOUR. CONTRACTOR TO PROVIDE SAMPLE OF REPLACEMENT BRICK PRIOR TO PROCEEDING.

## CONCRETE

- CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF CAN/CSA-A23.1 AND CAN/CSA-A23.3 WITH THE FOLLOWING PROVISION:
 

| LOCATION  | DESIGN STRENGTH (28 DAYS) | SLUMP  | EXPOSURE CLASS |
|---|---------------------------|--------|----------------|
| ALL EXTERIOR REINFORCED CONCRETE (STAIRS & RETAINING WALLS) | 35 MPa U.N.O.             | 80± 30 | C-1            |
| EXTERIOR UN-REINFORCED CONCRETE (CURBS & CONCRETE WALKWAYS) | 32 MPa U.N.O.             | 80± 30 | C-2            |
- NO ADDITIONAL WATER SHALL BE ADDED AT THE JOB SITE. CONCRETE WHICH HAS BEEN WATERED OR DOES NOT MEET SPECIFICATIONS SHALL BE REJECTED.
- DURING WINTER WEATHER BELOW 5 °C PROVIDE TEMPORARY HEATING OF CONCRETE IN ACCORDANCE WITH THE REQUIREMENTS OF CSA A23.1, LATEST EDITION.

## CONCRETE REINFORCEMENT

- THE CLEAR DISTANCE BETWEEN REINFORCING STEEL AND SURFACE OF CONCRETE SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE.
 

| LOCATION                       | CLEAR COVER                                 |
|--------------------------------|---|
| FOOTINGS                       | 75mm(3") UNDERSIDE<br>50mm(2") TOP AND ENDS |
| SURFACE IN CONTACT WITH GROUND | 75mm(3")                                    |
- STRUCTURAL GROUT SHALL BE NON-SHRINK, NON METALLIC M-BED STANDARD PREMIX BY SIKA OR APPROVED EQUAL.
- DETAIL REINFORCING STEEL IN ACCORDANCE WITH "REINFORCING STEEL MANUAL OF STANDARD PRACTICE" LATEST EDITION.
- REINFORCING BAR SPLICES FOR DEFORMED BARS:
  - COLUMNS – COMPRESSION LAP UNLESS NOTED
  - WALLS – CLASS 'B' TENSION SPLICE UNLESS NOTED
  - ALL OTHERS – CLASS 'B' TENSION LAP UNLESS NOTED
- ALL REINFORCING STEEL SHALL BE DEFORMED HARD GRADE BILLET STEEL CONFORMING TO CSA G30.18 GRADE 400.
- WELDED STEEL WIRE FABRIC, PLAIN TYPE CONFORMING TO ASTM A1064/A1064M-17 IN FLAT SHEETS NOT ROLLED.
- ALL CONCRETE REINFORCEMENT MUST BE PROPERLY CHAIRED WITH APPROVED BAR SUPPORTS.
- PROVIDE CHAIRS, SPACER BARS, SUPPORT BARS AND OTHER ACCESSORIES TO SUPPORT REINFORCING IN ACCORDANCE WITH THE LATEST EDITIONS OF CSA A23.1 AND CSA A23.3 CHAIRS TO BE PLASTIC, PLASTIC TIPPED OR CONCRETE. ALL THE WIRE, CHAIRS AND BAR SUPPORTS USED FOR COATED REINFORCING SHALL BE NON-METALLIC OR PROTECTED WITH ACCEPTABLE COATING.
- CHAIRS SHALL BE SPACED AT 1200mm(4'-0")O.C. MAXIMUM.

## EXCAVATION, BACKFILLING AND GRADING

### CODES, REGULATIONS

- CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE, THE ONTARIO PROVINCIAL STANDARD SPECIFICATIONS (OPSS) AND THE WORKPLACE HEALTH AND SAFETY ACT.
- PROVIDE MINIMUM 8" TOPSOIL BELOW ANY DISTURBED GREEN SCAPE AREAS TO BE RESTORED PRIOR TO SOODING.

### EXAMINATION

- BEFORE TENDERING THE WORK, THE CONTRACTOR SHALL EXAMINE THE SITE AND ASCERTAIN THE EXTENT AND NATURE OF THE MATERIAL IT MAY BE NECESSARY TO REMOVE TO PROVIDE FOR THE DEPTHS, LEVELS, AND GRADES REQUIRED, TO ASSURE HIMSELF THAT HIS DETERMINATIONS ARE MADE IN CONFORMITY WITH THE DRAWINGS AND SPECIFICATIONS.

### SETTING OUT WORK

- THE DRAWINGS INDICATE THE SITE COMPONENTS LOCATION, AND PROPOSED AND FINAL GRADES. BE RESPONSIBLE TO CONSTRUCT THE WORK ACCORDING TO LEVELS AND LOCATIONS SHOWN ON THE DRAWINGS. REPORT ANY ERRORS OR DISCREPANCIES TO THE CONSULTANT BEFORE COMMENCING WITH THE WORK. COMMENCEMENT OF ANY PART OF THE WORK SHALL CONSTITUTE ACCEPTANCE OF DRAWINGS AS BEING CORRECT.
- EMPLOY A COMPETENT INSTRUMENT MAN AND PROVIDE ALL LINES AND LEVELS, LIMIT LINES AND BOUNDARY STAKES FOR THE EXECUTION OF THE WORK AS REQUIRED. ALL BENCH MARKS SHALL BE CAREFULLY PROTECTED.
- PROVIDE ALL SUBCONTRACTORS WITH, AND BE RESPONSIBLE FOR, ALL LINES, LEVELS AND DIMENSIONS WHICH SUCH TRADES REQUIRE TO RELATE THEIR WORK TO THE WORK OF THE CONTRACTOR OR OTHER TRADES. ALL TRADES SHALL BE NOTIFIED THAT ALL SUCH LEVELS AND DIMENSIONS MUST BE OBTAINED FROM THE CONTRACTOR.

### PROTECTION

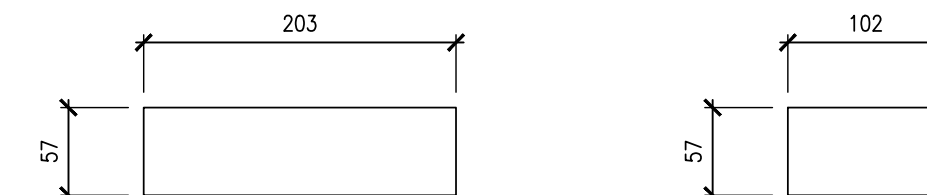
- PROTECTION OF EXISTING SERVICES
- BEFORE STARTING THE WORK, VERIFY THE LOCATION OF ALL KNOWN UNDERGROUND SERVICES AND UTILITIES OCCURRING IN THE WORK SITE AREA.
  - NOTIFY THE OWNER, PUBLIC UTILITY OR MUNICIPAL AUTHORITIES IN ADVANCE OF PLANNED EXCAVATIONS ADJACENT TO THEIR SERVICES.
  - TAKE CARE NOT TO DAMAGE OR DISPLACE ENCOUNTERED KNOWN AND UNKNOWN SERVICES.
  - WHEN SUCH SERVICES ARE ENCOUNTERED DURING THE EXECUTION OF WORK, IMMEDIATELY NOTIFY THE CONSULTANT AND PROTECT, BRACE AND SUPPORT ACTIVE SERVICES. WHERE REPAIRS TO THESE SERVICES BECOME NECESSARY USE THE FOLLOWING PROCEDURE:
    - KNOWN SERVICES, REPAIR AT NO EXPENSE TO THE OWNER.
    - UNKNOWN SERVICES, FORWARD TO THE CONSULTANT A COMPLETE BREAKDOWN OF THE ESTIMATED COST OF SUCH WORK. PROCEED ONLY UPON WRITTEN AUTHORIZATION.
  - IN THE CASE OF DAMAGE TO, OR CUTTING OFF OF AN ESSENTIAL SERVICE, NOTIFY CONSULTANT, THE OWNER, AND PUBLIC UTILITY OR MUNICIPAL AUTHORITIES IMMEDIATELY AND REPAIR THE SERVICE UNDER THE CONSULTANT'S DIRECTION.
  - BACKFILL
    - ASSUME REUSE EXISTING COMPACT SOIL AND INFILL BALANCE OF GRANULAR MATERIAL/TOPSOIL AS REQUIRED TO ACCOMPLISH WORK ON PROJECT.
    - ALL FILL SHALL BE STORED ON SITE IN A LOCATION APPROVED BY THE OWNER/CONSULTANT AND SHALL BE PROTECTED AS REQUIRED FOR RE-USE.

### EXCAVATION WORK

- REMOVE ALL CONCRETE, MASONRY, RUBBLE OR OTHER CONSTRUCTION DEBRIS ENCOUNTERED DURING THE WORK. REFER TO SOILS REPORT FOR DISPOSAL REQUIREMENTS.
- KEEP EXCAVATION FREE OF WATER BY BAILING, PUMPING OR A SYSTEM OF DRAINAGE AS REQUIRED AND PROVIDE PUMPS, SUCTION AND DISCHARGE LINES OR WELL POINTS OF SUFFICIENT CAPACITY AND MAINTAIN UNTIL SUCH TIME AS THE PERMANENT DRAINAGE SYSTEM IS INSTALLED OR UNTIL THE CONSULTANT'S APPROVAL OF REMOVAL OF EQUIPMENT IS OBTAINED. TAKE ALL NECESSARY MEASURES TO PREVENT FLOW OF WATER INTO THE EXCAVATION.
- PROTECT THE BOTTOM AND SIDES OF EXCAVATED PITS AND TRENCHES FROM FREEZING. PROTECT ALSO FROM EXPOSURE TO THE SUN AND WET WEATHER TO PREVENT CAVE-INS AND SOFTENING OF THE BED UPON WHICH CONCRETE OR DRANS REST.
- EXCAVATIONS MUST NOT INTERFERE WITH THE NORMAL 45 DEGREE PLANE OF BEARING FROM THE BOTTOM OF ANY FOOTING.
- KEEP BOTTOMS OF EXCAVATIONS CLEAN AND CLEAR OF LOOSE MATERIALS LEVELLED AND STEPPED AT CHANGES OF LEVELS WITH EXCEPTION OF EXCAVATIONS MADE FOR DRAINAGE PURPOSES AND THOSE SLOPE AS REQUIRED.
- IF THE EXCAVATIONS REVEAL SEEPAGE ZONES, SPRINGS OR OTHER UNEXPECTED SUB-SURFACE CONDITIONS WHICH MAY NECESSITATE REVISIONS OR ADDITIONS TO ANY DRAINAGE SYSTEM, INFORM THE CONSULTANT IMMEDIATELY SO THAT REMEDIAL CAN BE TAKEN.

### BACK FILLING

- PROCEED PROMPTLY WITH BACKFILLING AS THE BUILDING REPAIRS PROGRESSES, AND AS WORK TO BE BACKFILLED HAS BEEN INSPECTED AND APPROVED BY THE GEOTECHNICAL CONSULTANT. THE BACKFILL SHOULD BE PLACED IN LIFTS NOT GREATER THAN 200mm THICK IN THE LOOSE STATE, EACH LIFT BEING COMPACTED WITH A SUITABLE COMPACTOR TO THE SPECIFIED DENSITY.
- DO NOT COMMENCE BACKFILLING OPERATIONS UNTIL SITE DRAINAGE SYSTEMS AND WATERPROOFING HAS BEEN INSPECTED AND APPROVED BY CONSULTANT.
- WITHDRAW SHORING MATERIAL DURING BACKFILL. LUMBER LEFT IN PLACE WITHOUT THE CONSULTANT'S APPROVAL WILL NOT BE PAID FOR BY THE OWNER.
- WHERE FILL IN PLACED ADJACENT TO STRUCTURES OR VULNERABLE BUILDING COMPONENTS OR IN RESTRICTED AREAS, THE FILL SHALL BE COMPACTED TO THE SAME DEGREE AS SPECIFIED BY SUITABLE EQUIPMENT APPROVED BY THE CONSULTANT. AVOID DAMAGE TO OR DISPLACEMENT OF EXISTING/NEW STRUCTURES.
- ADD WATER IN AMOUNTS REQUIRED ONLY TO ACHIEVE THE OPTIMUM MOISTURE CONTENT, IN ACCORDANCE WITH ASTM D1557.
- BACKFILL SHALL BE FREE OF SNOW AND ICE, TOPSOIL, CONSTRUCTION DEBRIS AND OVERSIZED BOULDERS GREATER THAN 150mm.



TYPICAL COMMON EXISTING BRICK DIMENSIONS

15

DO NOT SCALE THE DRAWINGS  
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.

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DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY THE CONSULTANT.



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| 1   | ISSUED FOR PERMIT AND TENDER | MAR. 20, 2025 | BBA |
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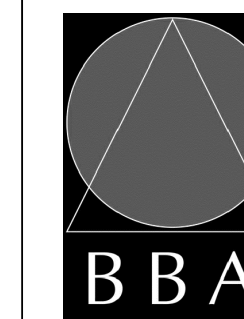
PROJECT:

**RENOVATIONS AT  
ECOLE ELEMENTAIRE  
JEANNE-LAJOIE**

150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
Conseil scolaire Viamonde

DRAWING:

**GENERAL NOTES**



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DESIGN BY: --  
DRAWN BY: JJA  
CHECKED BY: DM  
DATE: MARCH 20, 2025  
SCALE: AS NOTED  
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PROJECT NO:

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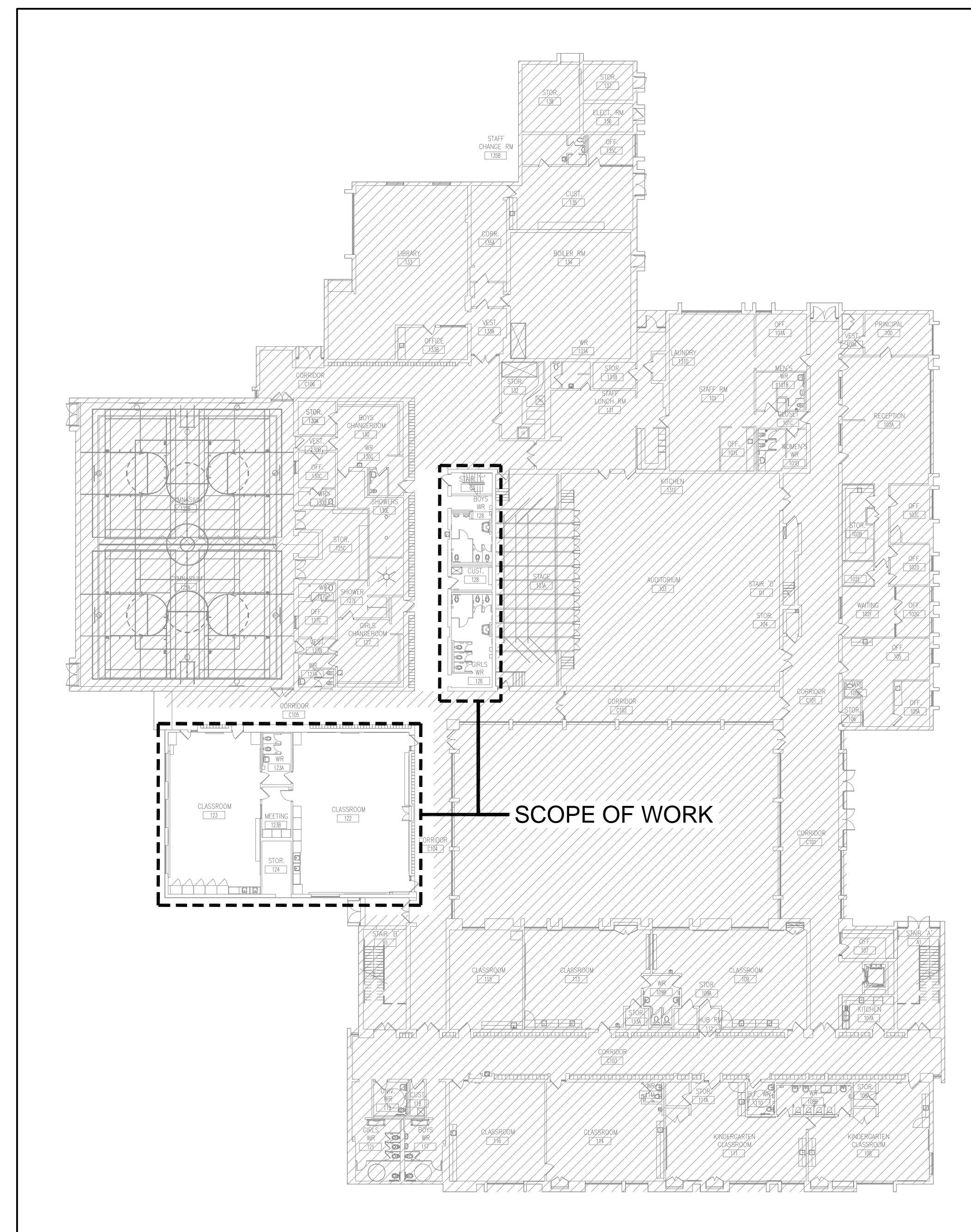
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# RENOVATIONS AT ECOLE ELEMENTAIRE JEANNE-LAJOIE

150 CARNFORTH ROAD  
NORTH YORK, ON

## MECHANICAL DRAWINGS



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M-0  
GROUND FLOOR KEYPLAN  
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| DRAWING LIST |  |
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| DWG. NO.     | DRAWING NAME   |
| M-0          | TITLE SHEET  |
| M-1.1        | MECHANICAL SPECIFICATIONS I                          |
| M-1.2        | MECHANICAL SPECIFICATIONS II AND LEGEND              |
| M-1.3        | MECHANICAL SCHEDULES AND DETAILS                     |
| M-2.1        | PART 1ST & 2ND FLOOR DEMOLITION PLAN - HVAC          |
| M-2.2        | PART 1ST FLOOR DEMOLITION PLAN - HVAC                |
| M-2.3        | PART 1ST & 2ND FLOOR NEW PLAN - HVAC                 |
| M-2.4        | PART 1ST FLOOR NEW PLAN - HVAC                       |
| M-3.1        | PART 1ST FLOOR DEMOLITION PLAN - PLUMBING & DRAINAGE |
| M-3.2        | PART 1ST FLOOR DEMOLITION PLAN - PLUMBING & DRAINAGE |
| M-3.3        | PART 1ST FLOOR NEW PLAN - PLUMBING & DRAINAGE        |
| M-3.4        | PART 1ST FLOOR NEW PLAN - PLUMBING & DRAINAGE        |



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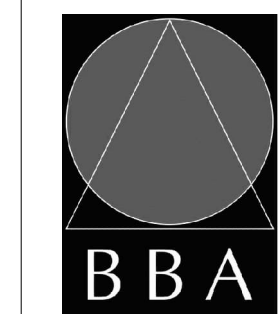


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| 2   | ISSUED FOR TENDER | MAR. 19 2025 | SW |

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PROJECT:  
**RENOVATIONS AT  
ECOLE ELEMENTAIRE  
JEANNE-LAJOIE**  
150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
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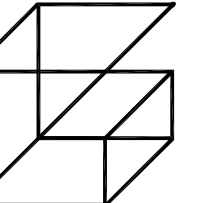


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PROJECT NO: **25-102**      DRAWING NO: **M-0**



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**PROJECT:**

**RENOVATIONS AT ECOLE ELEMENTAIRE JEANNE-LAJOIE**

150 CARNFORTH ROAD  
 NORTH YORK, ONTARIO  
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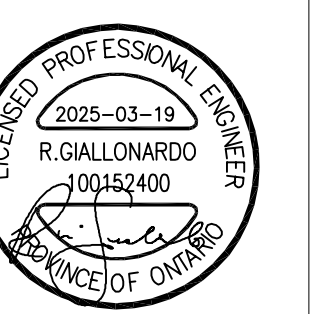
**DRAWING:**

**MECHANICAL SPECIFICATIONS I**



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PROJECT NO:

**25-102**

DRAWING NO:

**M-1.1**

| GENERAL SPECIFICATIONS  |
|---|
| <b>1. GENERAL</b>   |
| 1.1. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH LATEST EDITION OF THE ONTARIO BUILDING CODE, CSA, ASHRAE, NFPA, ETC. WHERE CODES/STANDARDS ARE PRESENT FROM MULTIPLE SOURCES, THE MOST STRINGENT SHALL BE UTILIZED.   |
| 1.2. THE FOLLOWING SPECIFICATIONS FORM AN ESSENTIAL PART OF THE CONTRACT DOCUMENTS. REFER AND COORDINATE WITH ALL OTHER DIVISIONS, SECTIONS AND SPECIFICATIONS TO PROVIDE A COMPLETE AND OPERATIONAL INSTALLATION.  |
| 1.3. FOR THE PURPOSE OF THESE SPECIFICATIONS, DRAWINGS AND CONTRACT DOCUMENTS, THE WORD "PROVIDE" REFERS TO THE SUPPLY, INSTALLATION AND TESTING OF THE RESPECTIVE EQUIPMENT/COMPONENTS.  |
| 1.4. CONTRACTOR IS TO REPORT ALL APPARENT DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS OF ALL DIVISIONS PRIOR TO TENDER SUBMISSION, NO EXCEPTIONS WILL BE GIVEN TO CONTRACTORS WHO DO NOT COMPLETELY UNDERSTAND THE SCOPE OF WORK.   |
| 1.5. ALL DIV.23 WORK SHALL BE COORDINATED AND SCHEDULED WITH ALL OTHER DIVISIONS.   |
| 1.6. THIS CONTRACTOR SHALL VISIT THE SITE AND COMPLETELY INVESTIGATE AND UNDERSTAND THE EXISTING CONDITIONS AND THEIR RELATION TO THE DESIGN DRAWINGS/DOCUMENTS. NO CONSIDERATION WILL BE GIVEN TO THE CONTRACTOR FOR ANY HINDERANCES TO THE MECHANICAL INSTALLATION FROM SITE CONDITIONS WHICH EXISTED PRIOR TO TENDER SUBMISSION, AS SUCH AND WHERE REQUIRED, THE CONTRACTOR SHALL PROVIDE INTERFERENCE DRAWINGS AND SHALL SUBMIT THEM TO THE CONSULTANT FOR REVIEW.  |
| 1.7. PROVIDE NEW MATERIALS AND EQUIPMENT OF ACCEPTABLE QUALITY THAT ARE MANUFACTURED IN CANADA OR THE UNITED STATES AND BEAR THE APPROVAL OF RECOGNIZED NORTH AMERICAN STANDARD ASSOCIATIONS SUCH AS CSA, ASME, ETC. THE CONTRACTOR SHALL MAXIMIZE THE UTILIZATION OF CANADIAN EQUIPMENT, MATERIALS, ETC.   |
| 1.8. ALL EQUIPMENT, MATERIALS, ETC. SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.  |
| 1.9. THE MECHANICAL DRAWINGS DISPLAY A GENERAL DESIGN AND INSTALLATION. THEREFORE THE CONTRACTOR SHALL OBTAIN CLARIFICATION FROM THE CONSULTANT PRIOR TO INSTALLATION.  |
| 1.10. THESE DRAWINGS HAVE BEEN PREPARED FOR DIV.23 AND DO NOT ACCURATELY DISPLAY ALL ELECTRICAL, STRUCTURAL AND ARCHITECTURAL ELEMENTS. REFER TO OTHER DIVISION'S DRAWINGS FOR CLARIFICATION.   |
| 1.11. IN NO CASE SHALL THESE DRAWINGS BE SCALED. ALL ROUGH-IN'S SHALL BE COORDINATED WITH OTHER DIVISIONS.  |
| 1.12. DO NOT PROCEED WITH WORK OUTSIDE THE SCOPE OF THE DESIGN DRAWINGS AND SPECIFICATIONS WITHOUT WRITTEN CONSENT FROM THE OWNER. THIS APPLIES TO ALL DIV.23 CHANGE NOTICES AS ISSUED BY THE CONSULTANT.   |
| 1.13. IN REGARDS TO DIV.23 CHANGE NOTICES, CONTRACTOR SHALL PROVIDE A BREAKDOWN INCLUDING, BUT NOT LIMITED TO, MATERIALS, LABOUR, MARK-UP, ETC. QUOTATIONS SHALL BE BASED ON ALLPFRSR FOR EQUIPMENT AND THE MECHANICAL CONTRACTORS OF AMERICA, SMACNA, AND NATIONAL ELECTRICAL CONTRACTORS FOR LABOUR RATES.  |
| 1.14. WHERE EQUIPMENT HAS BEEN PRE-PURCHASED, DIV.23 SHALL ACCEPT ALL RESPONSIBILITY FOR EQUIPMENT DELIVERY, INSTALLATION, TESTING AND WARRANTY, SIMILAR TO AS IF THE EQUIPMENT WAS PURCHASED BY DIV.23.  |
| 1.15. THE CONTRACTOR SHALL WARRANT ALL MATERIALS, EQUIPMENT, INSTALLATION AND QUALITY OF WORKMANSHIP FOR A MINIMUM OF ONE (1) YEAR UNLESS OTHERWISE NOTED.  |
| 1.16. IT IS THE MECHANICAL CONTRACTOR'S RESPONSIBILITY TO PAY FOR ALL CHARGES AND DAMAGES ASSOCIATED WITH EQUIPMENT THAT IS NOT PROVIDED AS SPECIFIED AND INCLUDES NOT MEETING THE MANUFACTURER'S RATINGS, PUBLISHED DATA AND/OR THE APPLICABLE GOVERNING STANDARDS.  |
| 1.17. THE CONTRACTOR MAY SUBMIT FOR ALTERNATE MATERIALS AND EQUIPMENT ONLY WHEN THE SPECIFIED ARE NOT AVAILABLE OR WILL ADVERSELY IMPACT THE COMPLETION SCHEDULE. THE CONTRACTOR SHALL COMPENSATE THE CONSULTANT FOR THEIR TIME REQUIRED TO REVIEW THE ALTERNATE SUBMITTALS.  |
| <b>2. SUBMITTALS</b>  |
| 2.1. THE CONTRACTOR SHALL SUBMIT THREE (3) HARD COPIES OF MECHANICAL SHOP DRAWINGS TO THE CONSULTANTS FOR REVIEW. ELECTRONIC SUBMISSION OF SHOP DRAWINGS SHALL BE DEEMED ACCEPTABLE UPON APPROVAL FROM CONSULTANT. THE CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH THE DOCUMENT SUBMITTAL PROCESS.  |
| 2.2. ALL SHOP DRAWINGS SUBMITTED FOR REVIEW MUST BEAR THE REVIEW STAMP OF THE MECHANICAL CONTRACTOR. SHOP DRAWINGS THAT DO NOT BEAR THE CONTRACTOR'S STAMP WILL, WITHOUT QUESTION, BE REJECTED BY THE CONSULTANT.   |
| 2.3. SHOP DRAWINGS SHALL INCLUDE ALL INFORMATION REQUIRED FOR THE CONSULTANT TO PERFORM A REASONABLE REVIEW OF THE SUBMITTALS AS THEY PERTAIN TO THE MECHANICAL DESIGN DRAWINGS AND SPECIFICATIONS.   |
| 2.4. SHOP DRAWINGS SHALL HAVE THE SAME IDENTIFYING NUMBER AS NOTED IN THE MECHANICAL DRAWINGS.  |
| 2.5. PROVIDE SHOP DRAWINGS WITH TECHNICAL SUBMITTALS ON ALL TYPES OF INSULATION TO BE INSTALLED.  |
| 2.6. THE CONTRACTOR SHALL MAINTAIN ON SITE ONE (1) RECORD OF MECHANICAL DRAWINGS THAT SHALL INDICATE WITH RED LINES ALL PROJECT CONDITIONS, LOCATIONS, CONFIGURATIONS AND ANY OTHER CHANGES OR DEVIATIONS WHICH MAY VARY FROM THE ORIGINAL CONTRACT DOCUMENTS AND DRAWINGS. IN ADDITION, THIS SET SHALL INCLUDE REVISIONS AS A RESULT OF ALL ADDENDAS, CHANGE NOTICES, SITE INSTRUCTIONS, ETC. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL SUBMIT TO THE OWNER AND ENGINEER ONE (1) COPY EACH OF A HARDCOPY AND ELECTRONIC COPY (PDF) FOR REVIEW. ONE (1) SET OF BOTH COPIES SHALL ALSO BE INCLUDED IN THE CLOSEOUT DOCUMENT PACKAGE.  |
| 2.7. TWO (2) COPIES OF OPERATION AND MAINTENANCE MANUALS SHALL BE SUBMITTED TO THE CONSULTANT FOR REVIEW UPON PROJECT COMPLETION. THE MANUALS SHALL CONTAIN THE FOLLOWING WHERE APPLICABLE:<br>- DESCRIPTION OF EACH SYSTEM<br>- ALL SHOP DRAWINGS WITH APPROVAL STAMPS<br>- EQUIPMENT MANUFACTURER'S INSTALLATION AND OPERATION MANUALS AND SPARE PARTS LIST<br>- WIRING DIAGRAMS<br>- LUBRICATION SCHEDULE<br>- EQUIPMENT IDENTIFICATION LIST WITH SERIAL NUMBERS<br>- VALVE TAG SCHEDULES AND FLOW DIAGRAMS<br>- FINAL AND REVIEWED BALANCING REPORTS (AIR AND WATER)<br>- WATER TREATMENT PROCEDURE AND TESTS<br>- CONTROL DRAWINGS AND SEQUENCES OF OPERATION<br>- AS-BUILT DRAWINGS (HARDCOPY AND ELECTRONIC)<br>- WARRANTY DOCUMENTATION |
| <b>3. EXECUTION</b>   |
| 3.1. PERIODIC INSPECTIONS OF THE WORK WILL BE CONDUCTED OVER THE COURSE OF THE PROJECT. ALL REPORTED DEFICIENCIES SHALL BE RECTIFIED BY THE CONTRACTOR IN A TIMELY FASHION. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR NOT MEETING THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.  |
| 3.2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL INSPECTIONS WITH CITY AND/OR MUNICIPAL OFFICIALS AND ALL OTHER AUTHORITIES HAVING JURISDICTION.   |
| 3.3. IN REGARDS TO TEMPORARY SERVICES, PROVIDE, AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION, TEMPORARY FIRE PROTECTION SYSTEMS. REFRAIN FROM USING INSTALLED SYSTEMS FROM THE CONTRACT DOCUMENTS AS A TEMPORARY SERVICES. THIS SHALL APPLY TO ALL MECHANICAL SYSTEMS INCLUDING HVAC, PLUMBING AND DRAINAGE, ETC.   |

| GENERAL SPECIFICATIONS   |
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| 3.4. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, PATCHING AND RESTORATION WHERE REQUESTED. THE CONTRACTOR SHALL CONTRACT THE SERVICES OF THE BASE BUILDING TRADES AT DIV.23 EXPENSE.   |
| 3.5. PROVISIONS SHALL BE MADE FOR THE PROTECTION OF DIV.23 WORK UNTIL THE COMPLETION OF THE PROJECT. THIS MAY INCLUDE, BUT NOT LIMITED TO, COVERING OF EQUIPMENT OPENINGS AND DUCTWORK, PLUMBING FIXTURES, FLOOR DRAINS, ETC.  |
| 3.6. UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL MAKE ALL FINAL ADJUSTMENTS TO EQUIPMENT AS WELL AS REMOVE ALL PROTECTION. ALL INSTALLATIONS SHALL BE CLEANED THOROUGHLY AND TESTED FOR PROPER OPERATION. CHANGE ALL AIR AND WATER FILTERS AS REQUIRED.  |
| 3.7. IN REGARDS TO INTERRUPTION OF SERVICES, THE CONTRACTOR SHALL CARRY OUT THEIR WORK IN A MANNER THAT CAUSES THE LEAST DISTURBANCE TO THE OWNER. PROVIDE NOTIFICATION TO THE OWNER IN WRITING WITH AT LEAST 72 HOURS OF THE SCHEDULED INTERRUPTION.  |
| 3.8. ARRANGE AND PAY FOR THE SAFE DISPOSAL OF REMOVED ITEMS AS SPECIFIED. PROVIDE PROOF OF SAFE DISPOSAL FOR ITEMS SUCH AS HVAC REFRIGERANT. COORDINATE THE TIME AND METHOD OF DISPOSAL WITH THE OWNER. FOR EXAMPLE CLEARLY INDICATE THE ROUTE THAT WILL BE TAKEN FROM THE INSIDE OF THE BUILDING TO THE OUTDOORS, AS WELL AS THE STORAGE LOCATION OUTDOORS IF APPLICABLE.   |
| 3.9. WHERE COMPONENTS ARE TO BE REUSED, THE CONTRACTOR SHALL CLEAN AND TEST THE COMPONENT TO ENSURE PROPER OPERATION. THE CONSULTANT SHALL BE NOTIFIED IN THE EVENT THERE IS A DEFICIENCY WITH THE COMPONENT.  |
| 3.10. PERFORM WORK SO AS TO CAUSE MINIMAL DISTURBANCE TO OWNER AND/OR ADJACENT AREAS. MINIMIZE DUST AND NOISE AND PROVIDE TEMPORARY AIR FILTERS ON AIR HANDLING SYSTEMS AFFECT BY THE AREA OF WORK. ALL COSTS ASSOCIATED WITH DAMAGES AS A RESULT OF THE MECHANICAL INSTALLATION SHALL BE COVERED BY DIV.23. MAINTAIN SAFETY STANDARDS AND PROVIDE ADEQUATE SIGNAGE FOR BOTH WORKERS AND OCCUPANTS.  |
| 3.11. WHERE CUTTING OR CORE DRILLING OF THE EXISTING CONCRETE STRUCTURE IS REQUIRED, THE MECHANICAL CONTRACTOR SHALL CONTRACT THE SERVICES OF AN EXPERIENCED AND REPUTABLE COMPANY TO CARRY OUT X-RAYING. THE RESULTS SHALL BE SUBMITTED TO THE BASE BUILDING STRUCTURAL ENGINEER AND NOT CUTTING OR CORING SHALL TAKE PLACE UNTIL WRITTEN APPROVAL IS RECEIVED. THE CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST TO PERFORM X-RAYING WITH AT LEAST 72 HOURS IN ADVANCE.   |
| <b>4. IDENTIFICATION OF MECHANICAL SERVICES</b>  |
| 4.1. PROVIDE SMS WRAP-MARK ON ALL PIPE COVERINGS WITH FLOW ARROW AND ALTERNATING WORDING. COVERING COLOURS SHALL MATCH BASE BUILDING. IN THE CASE WHERE THERE IS NO EXISTING STANDARD, INDUSTRY STANDARDS SHALL BE FOLLOWED.   |
| 4.2. USE STENCILS AND STENCIL PAINT ON DUCTWORK AND DUCTWORK INSULATION WITH BLACK CAPITALIZED LETTERS 2" (50 MM) HIGH AND SOLID BLACK FLOW ARROWS.  |
| 4.3. IDENTIFICATION OF PIPING AND DUCTWORK SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:<br>- AT LEAST ONCE IN EACH ROOM<br>- AT EACH PIECE OF EQUIPMENT<br>- AT EACH BRANCH CLOSE TO THE CONNECTION POINT AT MAIN<br>- AT NOT GREATER INTERVALS OF 50 FT. (15 M) ON STRAIGHT RUNS OF EXPOSED PIPING AND DUCTWORK.<br>- AT ENTRY AND LEAVING POINT TO PIPE AND DUCT CHASES, OR OTHER CONCEALED SPACES<br>- BOTH SIDES WHERE PIPING AND DUCTWORK PASSES THROUGH WALL, PARTITIONS AND FLOORS<br>- ON VERTICAL PIPES AND DUCTS APPROXIMATELY 6 FT. (1800 MM) A.F.F. BEHIND EACH ACCESS DOOR AND PANEL |
| 4.4. PROVIDE IDENTIFICATION FOR PIPING CONTAINING ELECTRICAL HEAT TRACING.   |
| 4.5. TAG ALL VALVES, EXCEPT SMALL VALVES ISOLATING EQUIPMENT, WITH BRASS TAGS AND HIGH DIE-STAMPED BLACK LETTERS ATTACHED TO VALVES WITH 4" BRASS CHAINS.  |
| 4.6. PROVIDE IDENTIFICATION FOR ALL NEW EQUIPMENT, STARTERS AND REMOTE CONTROL DEVICES WITH LAMACOD LABELS ENGRAVED WITH WHITE LETTERING ON A BLACK BACKGROUND. THE MINIMUM LETTERING SIZE SHALL BE 3/8" (10 MM).  |
| <b>5. ACCESS DOORS AND PANELS</b>  |
| 5.1. PROVIDE ADEQUATE ACCESS TO CONCEALED EQUIPMENT AND COMPONENTS THAT REQUIRE ACCESS FOR MAINTENANCE, ADJUSTMENT AND INSPECTION. PROVIDE MARKING TO THE OWNER'S SATISFACTION THE LOCATIONS WHERE CONCEALED EQUIPMENT IS LOCATED.   |
| 5.2. ENSURE THAT THE SIZE OF THE DOOR COMPLIES WITH THE MANUFACTURER'S SUGGESTED ACCESS REQUIREMENTS.  |
| 5.3. COORDINATE ALL ACCESS DOOR AND PANEL SIZES AND LOCATIONS WITH ARCHITECT/INTERIOR DESIGNER.  |
| <b>6. FLASHING, CURBS AND CONCRETE</b>   |
| 6.1. FLASHING SHALL BE CARRIED OUT AS SHOWN ON ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS AT THE EXPENSE OF DIV.23.  |
| 6.2. ALL CURBS REQUIRED FOR MECHANICAL EQUIPMENT SHALL BE CARRIED OUT AS SHOWN ON ARCHITECTURAL AND/OR MECHANICAL DRAWINGS AT THE EXPENSE OF DIV.23. CURBS SHALL BE INSTALLED AT LEAST 14" ABOVE THE ROOF LEVEL.   |
| 6.3. PREMANUFACTURED EQUIPMENT CURBS SHALL BE SUPPLIED BY THE EQUIPMENT MANUFACTURER.  |
| 6.4. PROVIDE 4" (100 MM) THICK CONCRETE HOUSEKEEPING PADS WHERE INDICATED ON ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS.   |
| <b>7. FIRESTOPPING</b>   |
| 7.1. PROVIDE FIRE STOPPING SYSTEMS AND PRODUCTS FOR ALL DUCTS, PIPING, ETC. PENETRATING FIRE SEPARATIONS THAT ARE ULC LISTED AND COMPLY WITH CAN4-S115S AND THE AUTHORITIES HAVING JURISDICTION.   |
| 7.2. MAINTAIN ALL FLOOR AND WALL FIRE RATINGS TO COMPLY WITH BASE BUILDING STANDARDS AND THE AUTHORITIES HAVING JURISDICTION.  |
| <b>8. PIPE, DUCT AND EQUIPMENT INSTALLATION</b>  |
| 8.1. INSTALL ALL PIPING, DUCTWORK AND EQUIPMENT TO PROVIDE ADEQUATE CLEARANCES FOR SERVICING AS WELL AS MAXIMUM USABLE SPACE FOR ALL OTHER DIVISIONS.  |
| 8.2. INSTALL PIPING AND DUCTWORK STRAIGHT, IN A NEAT AND CLEAN FASHION AND TIGHT TO STRUCTURES ABOVE (UNLESS OTHERWISE NOTED).   |
| 8.3. TAKE MEASURES TO PROTECT COPPER PIPING CORROSION FROM CONTACT WITH DISSIMILAR METALS.   |
| <b>9. HANGERS AND SUPPORTS</b>   |
| 9.1. PROVIDE HANGER SYSTEMS FOR ALL DUCTWORK, PIPING AND EQUIPMENT TO RENDER A SAFE AND FUNCTIONAL INSTALLATION. HANGER RODS SHALL BE ATTACHED DIRECTLY TO THE STRUCTURE AND IN NO WAY SHALL BE ATTACHED TO OTHER MECHANICAL COMPONENTS OR CEILING SYSTEMS. WHERE COMPONENTS ARE TO BE SUSPENDED BETWEEN JOISTS OR BEAMS, PROVIDE AUXILIARY STEEL CHANNELS TO SUIT.  |
| 9.2. FOR GENERAL CONDITIONS, PROVIDE ROUND STEEL THREADED RODS CONFORMING TO ASTM A-36, WHERE SPECIAL CONDITIONS EXIST, SUCH AS HIGH HUMIDITY OR EXPOSURE TO ELEMENTS, PROVIDE HANGER COMPONENTS TO SUIT.  |
| 9.3. IN REGARDS TO ALL PIPING, PROVIDE SUPPORTS AT CONNECTION (SUCH AS HUB) AND AT EVERY CHANGE IN DIRECTION.  |
| <b>10. STRUCTURAL AND SEISMIC</b>  |
| 10.1. WHERE THERE IS NO STRUCTURAL DIVISION AS PART OF THE PROJECT, IT SHALL   |

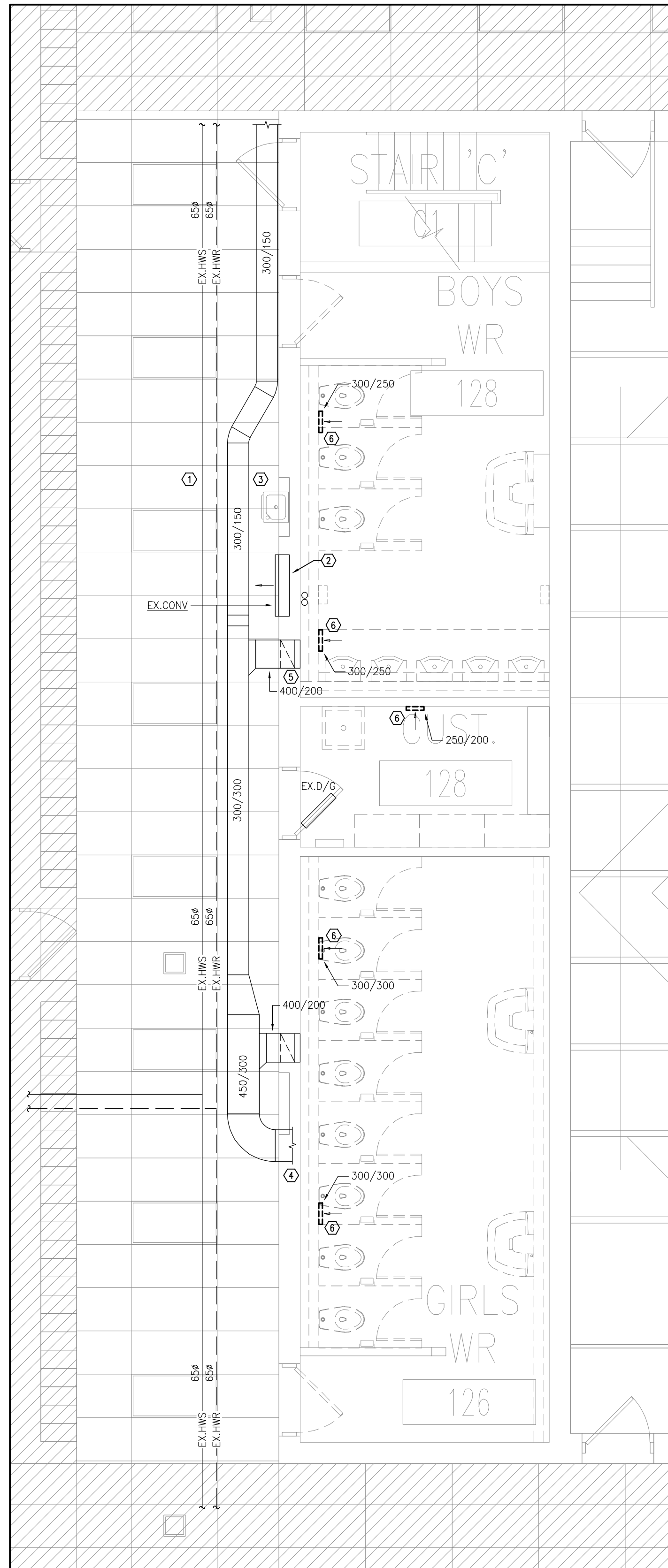
| GENERAL SPECIFICATIONS  |
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| BE THE MECHANICAL CONTRACTOR'S RESPONSIBILITY TO PROVIDE STRUCTURAL REINFORCING FOR ALL DIV.23 INSTALLATIONS. THE CONTRACTOR SHALL OBTAIN THE SERVICES OF A LICENSED PROFESSIONAL ENGINEER WHO IS TO PROVIDE A DESIGN BEARING THEIR PROFESSIONAL SEAL. THE CONTRACTOR SHALL APPLY FOR BUILDING PERMIT AND ASSUME ALL RESPONSIBILITY AND COST FOR THE PERMIT PROCESS. UPON COMPLETION OF WORK, CONTRACTOR SHALL SUBMIT A LETTER FROM THE STRUCTURAL ENGINEER COMPLETE WITH PROFESSIONAL SEAL TO INDICATE THAT THE WORK HAS BEEN COMPLETED TO THE ONTARIO BUILDING CODE. ALL OTHER RELEVANT CODES AND STANDARDS AND TO THE AUTHORITIES HAVING JURISDICTION. |
| 10.2. IT IS THE RESPONSIBILITY OF THE MECHANICAL CONTRACTOR TO COORDINATE THE REQUIREMENTS FOR SEISMIC BRACING AND SUPPORTS WITH STRUCTURAL DRAWINGS. DIV.23 SHALL CONTRACT THE SERVICES OF A LICENSED PROFESSIONAL ENGINEER TO DESIGN SUPPORTS AND BRACING IN ACCORDANCE WITH ALL CURRENT CODES AND THAT MATCHES THE REQUIREMENT OF THE LOCATION IN WHICH THE SYSTEMS ARE BEING INSTALLED. UPON COMPLETION OF THE PROJECT, SEISMIC ENGINEER SHALL PROVIDE A LETTER BEARING THEIR PROFESSIONAL SEAL INDICATING THAT THE INSTALLATION MEETS THE SEISMIC DESIGN DOCUMENT AND CONFORMS TO THE BUILDING CODE AND THE AUTHORITIES HAVING JURISDICTION.         |
| <b>11. ELECTRICAL</b>   |
| 11.1. ALL ELECTRICAL MOTORS, STARTERS, CONTACTORS, DISCONNECT SWITCHES AND CONTROL DEVICES FOR DIV.23 WORK SHALL BE PROVIDED BY DIV.23.   |
| 11.2. DIV.26 SHALL BE RESPONSIBLE FOR POWERING LOAD SIDE OF STARTERS AND CONTACTORS, POWER FOR ELECTRICAL HEAT TRACING AND CONTROLS, LINE SIDE POWER TO LOOSE STARTERS AND DISCONNECTS.   |
| 11.3. ALL LOW VOLTAGE WIRING AND CONNECTION IS TO BE PROVIDED BY THE MECHANICAL CONTRACTOR.   |
| 11.4. WHERE THERE IS NO DIV.26 (ELECTRICIAN) AS PART OF THE PROJECT, THE MECHANICAL CONTRACTOR SHALL CONTRACT THE SERVICES OF A LICENSED ELECTRICAL CONTRACTOR AND OBTAIN THE APPROPRIATE INSPECTIONS AND APPROVALS FOR THE INSTALLATION OF ALL ELECTRICAL WORK REQUIRED FOR MECHANICAL SYSTEMS.  |
| <b>12. PROJECT CLOSEOUT</b>   |
| 12.1. PRIOR TO THE ISSUING OF A PROJECT COMPLETION NOTICE OR A SIGN-OFF LETTER, THE FOLLOWING DOCUMENTS, AT A MINIMUM, MUST BE PROVIDED TO THE ENGINEER FOR REVIEW:<br>- AIR BALANCING REPORT<br>- NFPA-13 LETTER<br>- APPLICABLE SYSTEM/EQUIPMENT TESTING REPORT   |

| HVAC SPECIFICATIONS   |
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| 1. PROVIDE ALL LABOUR AND MATERIALS TO SUPPLY AND INSTALL THE DUCTWORK AND SHEET METAL SYSTEMS AS INDICATED ON MECHANICAL DRAWINGS. THIS INCLUDES INSTALLING THE DUCTWORK, ACCESSORIES, ASSOCIATED ITEMS AND ALL NECESSARY CONNECTIONS TO OUTLETS, INLETS AND EQUIPMENT TO PROVIDE A COMPLETE SYSTEM.   |
| 2. UNLESS OTHERWISE NOTED, FABRICATE ALL DUCTWORK SYSTEMS, INCLUDING DUCTWORK JOINTS. DAMPERS SHALL MATCH THE DUCTWORK SYSTEM. GALVANIZED STEEL SHEET METAL MEETING ASTM A653 AND A924. CONSTRUCTION OF THE DUCTWORK SYSTEMS SHALL BE IN STRICT ACCORDANCE WITH SMACNA, SMACNA DUCT CLEANLINESS AND ASHRAE. ALL DUCTWORK SHALL BE SMOOTH ON THE INSIDE AND SHALL BE FREE FROM RATTLING OR VIBRATION. DUCTWORK NOT MEETING THESE STANDARDS WILL BE REPLACED AT NO EXTRA CHARGE TO THE OWNER.   |
| 3. CONSTRUCT DUCTWORK AND SEAL ACCORDING TO THE APPROPRIATE SMACNA STANDARDS. LOW PRESSURE DUCTWORK SHALL BE CONSTRUCTED WITH THE ONE (1) INCH PRESSURE CLASSIFICATION AND ALL OTHER DUCTWORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE THREE (3) INCH CLASSIFICATION. DUCT PRESSURES SHALL BE CLASSIFIED AS FOLLOWS:<br>3.1. LOW: DUCT PRESSURES (LOW) OF 1/2" TO 2" W.C. AND NOT EXCEEDING AN AIR VELOCITY OF 2000 FPM.<br>3.2. MEDIUM: DUCT PRESSURES EXCEEDING 2" W.C. OR AIR VELOCITY OF 2000 FPM.<br>3.3. THREE INCH: ALL VARIABLE AIR VOLUME (VAV) SUPPLY AIR DUCT SYSTEMS AND AIR DUCTWORK SYSTEMS EXPOSED TO THE OUTDOORS.<br>4. FLEXIBLE DUCTWORK<br>4.1. PROVIDE, WHERE INDICATED ON MECHANICAL DRAWINGS, FLEXIBLE DUCTWORK EQUAL TO FLEXMASTER TRIPLE LOCK ALUMINUM DUCTWORK. THE PRESSURE RATING OF THE DUCTWORK SHALL MATCH THE DUCTWORK SYSTEM TO WHICH IT IS ATTACHED. MATCH THE DUCTWORK SIZE TO THE CONNECTION OUTLET OF THE AIR TERMINAL.<br>4.2. SECURE FLEXIBLE DUCTWORK USING GEAR CLAMPS WITH AN ADJUSTING WORM DRIVE TYPE SCREW. SEAL AROUND CONNECTION WITH DUCT TAPE TO OBTAIN THE APPROPRIATE SMACNA SEAL CLASS.<br>4.3. MAXIMUM LENGTH OF FLEXIBLE DUCTWORK PERMITTED IN LOW PRESSURE SYSTEMS IS 10'-0" AND 4'-0" IN ALL OTHER HIGHER PRESSURE SYSTEMS.<br>5. ALL DUCT DIMENSIONS SHOWN ON DRAWINGS ARE CLEAR INSIDE DIMENSIONS. CONTRACTOR TO TAKE INTO ACCOUNT DUCT LINERS, ETC. WHEN PERFORMING TAKE-OFFS.<br>6. MAKE ALL DUCT CONNECTIONS, CONCENTRIC AND ECCENTRIC TRANSITIONS, ETC., IN ACCORDANCE WITH SMACNA.<br>7. PROVIDE DUCT ACCESS DOORS AT LOCATIONS AS SHOWN ON DRAWINGS, AS WELL AS AT THE LINKAGE SIDE OF AUTOMATIC DAMPERS, FIRE DAMPERS AND ANY OTHER SERVICE, BALANCE OR CONTROL DEVICE REQUIRING PERIODIC MAINTENANCE. THE DOORS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SMACNA AND SHALL MATCH THE PRESSURE RATING OF THE DUCTWORK SYSTEM TO WHICH IT IS BEING INSTALLED.<br>8. PROVIDE FLEXIBLE CONNECTIONS AT THE INLET AND OUTLET CONNECTION FOR EACH FAN BETWEEN DUCTWORK AND INLET AND OUTLET COLLARS. FLEXIBLE CONNECTIONS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE NEOPRENE COATED FIBERGLASS FABRIC. FOR OUTDOOR CONNECTIONS, PROVIDE A CONNECTOR THAT IS SUITABLE FOR EXPOSURE TO SUNLIGHT AND THE ELEMENTS.<br>9. PROVIDE FIRE DAMPERS WHERE INDICATED ON MECHANICAL DRAWINGS. ALL DAMPERS SHALL BE SELECTED TO SUIT THE RATING OF THE FLOOR OR WALL ASSEMBLY IN WHICH IT WILL BE INSTALLED. FIRE DAMPERS SHALL BE ULC LISTED AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. NFPA 90A AND THE AUTHORITIES HAVING JURISDICTION. TYPE A FIRE DAMPERS ARE PERMITTED FOR NON-DUCTED TRANSFER DUCTWORK. TYPE B FIRE DAMPERS SHALL BE USED IN ALL OTHER CASES UNLESS OTHERWISE NOTED.<br>9.1. REMOVABLE DUCT SECTIONS FOR FIRE AND SMOKE DAMPER ACCESS: WHERE A MINIMUM 12"x12" ACCESS PANEL CAN NOT BE INSTALLED ON DUCTWORK, A REMOVABLE DUCTWORK SECTION FOR DAMPER INSPECTION AND MAINTENANCE SHALL BE PROVIDED. REMOVABLE DUCTWORK SECTION TO FUNCTION WITHOUT THE USE OF TOOLS AND SHALL NOT BE MORE THAN 4' AWAY FROM THE FIRE DAMPER SLEEVE BREAK AWAY CONNECTION.<br>10. MANUAL BALANCING DAMPERS INSTALLED IN DUCTWORK NOT EXCEEDING 12" ON THE LONGEST SIDE SHALL BE CONSTRUCTED AS PER SMACNA. PROVIDE OPPOSED BLADE DAMPERS WHERE THE DIMENSION OF THE LONGEST SIDE OF THE DUCTWORK EXCEEDS 12". OPPOSED BLADE DAMPERS SHALL BE OF GALVANIZED STEEL. CONSTRUCTION WITH LOCK SCREWS AT OPPOSITE ENDS. PROVIDE BALANCING DAMPERS WHERE SHOWN ON DRAWING AS WELL AS ON BRANCHES OFF OF MAIN DUCTWORK WITH ADEQUATE ACCESS.<br>11. PROVIDE ALL DIFFUSERS, REGISTERS, GRILLES, ETC. OF TYPE AND SIZE AS INDICATED ON MECHANICAL DRAWINGS. CONFIRM ALL AIR TERMINAL COLOURS WITH ARCHITECT/INTERIOR DESIGNER, REGARDLESS OF SPECIFICATION ON MECHANICAL DRAWINGS. MECHANICAL CONTRACTOR IS TO COORDINATE INSTALLATION OF DOOR GRILLES WITH ARCHITECTURAL DRAWINGS AND GENERAL CONTRACTOR.<br>12. PROVIDE DUCTWORK INSULATION AND LINERS WHERE NOTED ON MECHANICAL DRAWINGS, AS PER THE FOLLOWING:<br>12.1. ACOUSTIC LINING:<br>12.1.1. DUCT LINING SHALL COMPLY WITH NFPA 90A AND DUCT LINER MATERIALS STANDARD OF THE THERMAL INSULATION MANUFACTURER'S ASSOCIATION.<br>12.1.2. RECTANGULAR DUCTWORK: PROVIDE ONE INCH (1") THICK ACOUSTIC LINING EQUAL TO JOHNS MANVILLE UNACOUSTIC RC COMPLETE WITH PERMACOTE ACRYLIC ANTI-MICROBIAL COATING.<br>12.1.3. SPIRAL DUCTWORK: PROVIDE ONE INCH (1") THICK ACOUSTIC LINING EQUAL TO JOHNS MANVILLE SPINACOUSTIC PLUS ROUND DUCT LINER SYSTEM COMPLETE WITH PERMACOTE ANTI-MICROBIAL COATING.<br>12.1.4. PROVIDE ACOUSTIC LINING AS SPECIFIED ON ALL SUPPLY, RETURN AND EXHAUST FAN EQUIPMENT FOR 10'-0" (3.0 M) FROM THE INLET/OUTLET.<br>12.2. THERMAL INSULATION<br>12.2.1. PROVIDE THERMAL INSULATION WHERE NOTED ON MECHANICAL DRAWINGS. INSULATE ALL DUCTWORK LEAVING OR ENTERING THE BUILDING FOR THE FIRST 6 FT. FROM THE BUILDING PENETRATION WITH 2" OF THERMAL INSULATION.<br>12.2.2. RECTANGULAR DUCTWORK: PROVIDE ONE INCH (1") JOHNS MANVILLE SERIES 814 SPIN-GLAS FIBER GLASS DUCT BOARD INSULATION WITH FSK FACING. IMPALE ON MECHANICALLY FASTENED PINS LOCATED AT NOT MORE THAN 12" ON CENTRE, AND SECURE WITH SPEED WASHERS.<br>12.2.3. RIGID ROUND (SPIRAL) DUCTWORK: PROVIDE ONE INCH (1") JOHNS MANVILLE MICROLITE EQ FSK FIBER GLASS DUCT WRAP INSULATION WHERE INDICATED ON DRAWINGS. ADHERE INSULATION TO DUCT SURFACE AND LAP ALL EDGES AT LEAST 2". SEAL JOINTS WITH 4" WIDE ALUMINUM FOIL TAPE.<br>12.2.4. FLEXIBLE DUCTWORK: PROVIDE ONE INCH (1.25") JOHNS MANVILLE FLEX-GLAS EO FLEXIBLE DUCTWORK INSULATION WITH FSK FACING. LAP JOINTS AND SEAL WITH 4" WIDE ALUMINUM FOIL TAPE.<br>12.2.5. WHERE DUCTWORK IS INSTALLED OUTSIDE THE BUILDING OR EXPOSED TO THE ELEMENTS, PROVIDE TWO INCHES (2") OF THERMAL INSULATION. BUTT JOINTS TIGHTLY TOGETHER AND SEAL WASHERS, BREAKS AND JOINTS WITH SELF-ADHERING FOUR INCHES (4") WIDE PLAIN ALUMINUM TAPE, OR ADHERE FOIL WITH CHILDERS CPB2 OR BAKELITE 230-39 ADHESIVE.<br>12.3. JACKETING<br>12.3.1. RECOVER ALL DUCTWORK OUTSIDE THE BUILDING OR EXPOSED TO THE ELEMENTS WITH ALUMINUM JACKETING TO ASTM B209 WITH MOISTURE BARRIER, THICKNESS 0.50MM SHEET, STUCCO EMBOSSED FINISH, JACKET BANDING AND MECHANICAL SEALS 12MM WIDE AND 0.5MM THICK STAINLESS STEEL.<br>13. HVAC BALANCING<br>13.1. PROVIDE BALANCING OF ALL AIR AND WATER SYSTEMS AS INDICATED ON MECHANICAL DRAWINGS. THE BALANCING CONTRACTOR SHALL HAVE A MINIMUM |

| HVAC SPECIFICATIONS  |
|--|
| OF FIVE (5) YEARS EXPERIENCE AND BE NEBB CERTIFIED. ALL BALANCING, TESTING ADJUSTING AND REPORTING SHALL BE CARRIED OUT IN ACCORDANCE WITH NEBB, PROCEDURAL STANDARDS FOR TESTING, ADJUSTING AND BALANCING OF ENVIRONMENTAL SYSTEMS, WHERE APPLICABLE. THE MECHANICAL CONTRACTOR SHALL CONTRACT THE SERVICES OF THE BASE BUILDING APPROVED TAB CONTRACTOR. |
| 13.2. PERFORM TESTING AND BALANCING PROCEDURES ON EACH SYSTEM ACCORDING TO THE CURRENT EDITION OF THE NEBB STANDARDS. MARK EQUIPMENT AND BALANCING DEVICE SETTING WITH PAINT OR OTHER SUITABLE PERMANENT IDENTIFICATION MATERIAL TO SHOW FINAL SETTINGS.   |
| 13.3. BALANCE AIRFLOW AND HYDRONIC FLOW QUANTITIES WITHIN +/- 10% OF THE DESIGN CRITERIA. IN THE EVENT THAT A CONDITION OR DEFICIENCY IS PREVENTING THE ACCEPTANCE RANGE FROM BEING ACHIEVED, IT SHALL BE NOTED WITH DESCRIPTION ON THE TAB REPORT. UPON COMPLETION, SUBMIT A FINAL TAB REPORT TO THE CONSULTANT FOR REVIEW.                               |
| <b>14. CONTROLS</b>  |
| 14.1. PROVIDE ALL CONTROLS, WIRING, CONDUIT, ACCESSORIES, ETC. AND INTERLOCK WITH EQUIPMENT/STARTERS AS INDICATED ON DRAWINGS.   |
| 14.2. WHEN INSTALLED IN CEILING PLenums, CABLE MAY BE FREE-AIR, UNLESS OTHERWISE NOTED, PROVIDING THE WIRING IS FT-6 PLENUM RATED.   |
| 14.3. WHEN INSTALLED IN OPEN AREAS, PROVIDE EMT CONDUIT, FITTINGS, MOUNTING ACCESSORIES, ETC. TO DELIVER A NEAT AND CLEAN INSTALLATION.  |
| 14.4. MOUNTING HEIGHTS:<br>14.4.1. OCCUPANT ADJUSTABLE: MOUNT AT 3'-11" (1200 MM) A.F.F.<br>14.4.2. NON-ADJUSTABLE (SENSOR ONLY): MOUNT AT 5'-0" (1500 MM) A.F.F.<br>**CONFIRM MOUNTING HEIGHTS WITH CONSULTANT PRIOR TO INSTALLATION.   |
| 14.5. COORDINATE INSTALLATION OF ALL CONTROL DEVICES/SENSORS WITH ARCHITECTURAL DRAWINGS.  |
| 14.6. INSTALL CONTROL DEVICES/SENSORS CLEAR OF DIMMERS SO AS TO AVOID INTERFERENCE.  |
| 14.7. THE MECHANICAL CONTRACTOR SHALL TEST ALL CONTROLS/INTERLOCKS FOR GOOD OPERATION PRIOR TO PROJECT CLOSE-OUT. PROVIDE A REPORT FOR REVIEW TO THE ENGINEER INDICATING DEFICIENCIES.   |
| 14.8. WIRE ALL DEVICES TO THEIR RESPECTIVE MAGNETIC STARTERS AND PROVIDE POWER TO DIV.23 CONTROL PANELS FROM NEAREST AND MOST SUITABLE ELECTRICAL PANEL.   |
| 14.9. CONTRACT THE SERVICES OF THE BASE BUILDING APPROVED CONTROLS CONTRACTOR WHERE APPLICABLE.  |



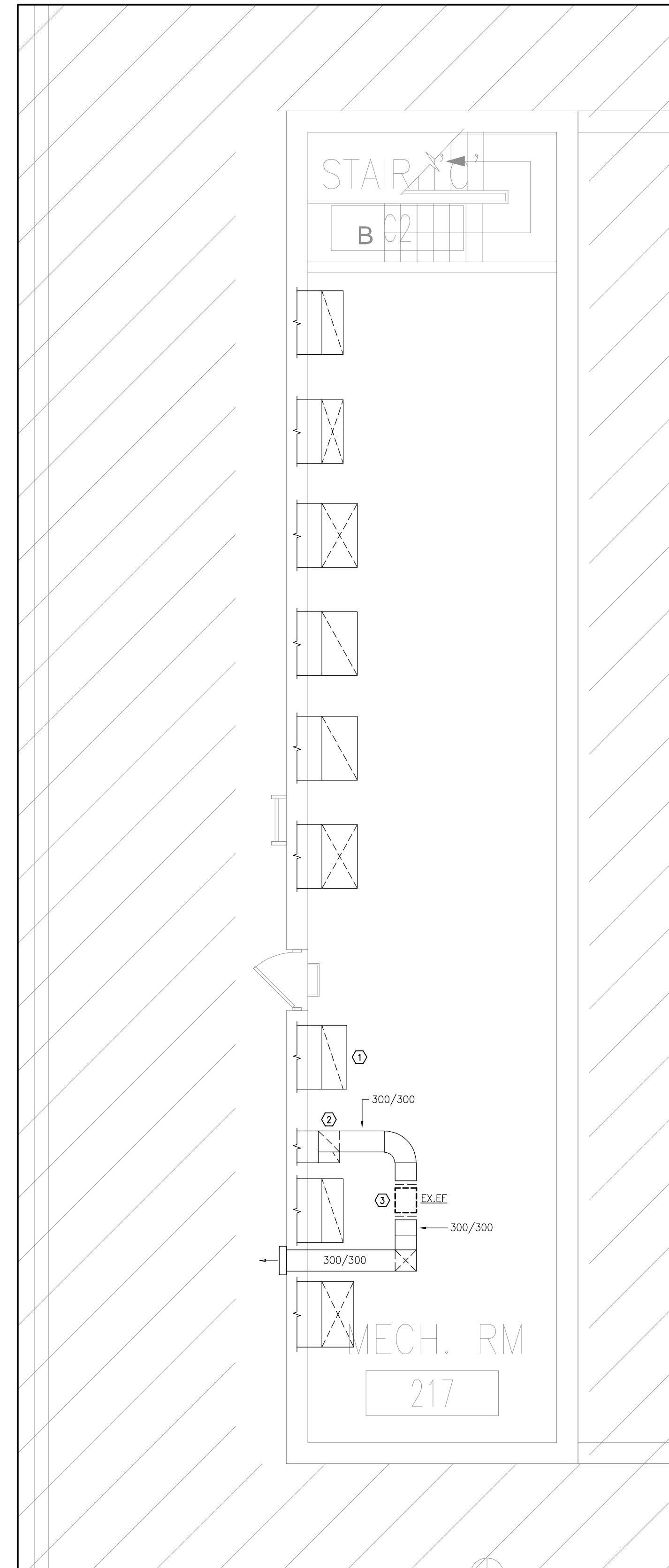




1 PART 1ST FLOOR DEMOLITION PLAN - HVAC  
M-2.1 1:50

- HVAC NOTES
- ① EXISTING HWS/HWR PIPING IN CORRIDOR CEILING SPACE TO REMAIN (TYPICAL).
  - ② EXISTING CABINET CONVECTOR UNIT TO REMAIN. EXISTING HWS/HWR PIPING IN PIPE CHASE TO BE REMOVED FROM CONVECTOR UNIT UP TO HIGH LEVEL.
  - ③ EXISTING E/A DUCTWORK IN CORRIDOR CEILING SPACE TO REMAIN (TYPICAL).
  - ④ REFER TO DRAWING 2/M-2.1 FOR CONTINUATION OF DUCTWORK INTO MECHANICAL ROOM.
  - ⑤ EXISTING E/A TAKE-OFF AND ASSOCIATED DUCT DROP WITHIN WALL TO REMAIN. PREPARE FOR CONNECTION OF NEW DUCTWORK. REFER TO NEW PLANS.
  - ⑥ EXISTING E/A GRILLE TO BE REMOVED AND DISPOSED OF.

- GENERAL HVAC NOTES
1. WHERE COMPONENTS ARE TO BE REUSED, THE CONTRACTOR SHALL CLEAN AND TEST THE COMPONENT TO ENSURE PROPER OPERATION. THE CONSULTANT SHALL BE NOTIFIED IN THE EVENT THERE IS A DEFICIENCY WITH THE COMPONENT.
  2. PERFORM DEMOLITION WORK SO AS TO CAUSE MINIMAL DISTURBANCE TO OWNER AND/OR ADJACENT AREAS. MINIMIZE DUST AND NOISE AND PROVIDE TEMPORARY AIR FILTERS ON AIR HANDLING SYSTEMS AFFECTED BY THE AREA OF WORK. ALL COSTS ASSOCIATED WITH DAMAGES AS A RESULT OF THE MECHANICAL DEMOLITION SHALL BE COVERED BY DIV.23. MAINTAIN SAFETY STANDARDS AND PROVIDE ADEQUATE SIGNAGE FOR BOTH WORKERS AND OCCUPANTS.
  3. THE MECHANICAL DRAWINGS DISPLAY A GENERAL DESIGN AND INSTALLATION. THEREFORE, IF REQUIRED, THE CONTRACTOR SHALL OBTAIN CLARIFICATION FROM THE CONSULTANT PRIOR TO INSTALLATION.
  4. THESE DRAWINGS HAVE BEEN PREPARED FOR DIV.23 AND DO NOT ACCURATELY DISPLAY ALL ELECTRICAL, STRUCTURAL AND ARCHITECTURAL ELEMENTS. REFER TO OTHER DIVISION'S DRAWINGS FOR CLARIFICATION.
  5. THIS CONTRACTOR SHALL VISIT THE SITE AND COMPLETELY INVESTIGATE AND UNDERSTAND THE EXISTING CONDITIONS AND THEIR RELATION TO THE DESIGN DRAWINGS/DOCUMENTS. NO CONSIDERATION WILL BE GIVEN TO THE CONTRACTOR FOR ANY HINDRANCES TO THE MECHANICAL INSTALLATION FROM SITE CONDITIONS WHICH EXISTED PRIOR TO TENDER SUBMISSION. AS SUCH AND WHERE REQUIRED, THE CONTRACTOR SHALL PROVIDE INTERFERENCE DRAWINGS AND SHALL SUBMIT THEM TO THE CONSULTANT FOR REVIEW.



2 PART 2ND FLOOR MECH ROOM DEMOLITION PLAN - HVAC  
M-2.1 1:50

- HVAC NOTES
- ① EXISTING DUCT DROPS IN MECHANICAL ROOM TO REMAIN (TYPICAL).
  - ② EXISTING SANITARY E/A DUCTWORK TO REMAIN (TYPICAL).
  - ③ EXISTING SANITARY EXHAUST FAN TO BE REMOVED AND DISPOSED OF. PREPARE DUCTWORK CONNECTION FOR CONNECTION OF NEW FAN. REFER TO NEW PLANS.

- GENERAL HVAC NOTES
1. WHERE COMPONENTS ARE TO BE REUSED, THE CONTRACTOR SHALL CLEAN AND TEST THE COMPONENT TO ENSURE PROPER OPERATION. THE CONSULTANT SHALL BE NOTIFIED IN THE EVENT THERE IS A DEFICIENCY WITH THE COMPONENT.
  2. PERFORM DEMOLITION WORK SO AS TO CAUSE MINIMAL DISTURBANCE TO OWNER AND/OR ADJACENT AREAS. MINIMIZE DUST AND NOISE AND PROVIDE TEMPORARY AIR FILTERS ON AIR HANDLING SYSTEMS AFFECTED BY THE AREA OF WORK. ALL COSTS ASSOCIATED WITH DAMAGES AS A RESULT OF THE MECHANICAL DEMOLITION SHALL BE COVERED BY DIV.23. MAINTAIN SAFETY STANDARDS AND PROVIDE ADEQUATE SIGNAGE FOR BOTH WORKERS AND OCCUPANTS.
  3. THE MECHANICAL DRAWINGS DISPLAY A GENERAL DESIGN AND INSTALLATION. THEREFORE, IF REQUIRED, THE CONTRACTOR SHALL OBTAIN CLARIFICATION FROM THE CONSULTANT PRIOR TO INSTALLATION.
  4. THESE DRAWINGS HAVE BEEN PREPARED FOR DIV.23 AND DO NOT ACCURATELY DISPLAY ALL ELECTRICAL, STRUCTURAL AND ARCHITECTURAL ELEMENTS. REFER TO OTHER DIVISION'S DRAWINGS FOR CLARIFICATION.
  5. THIS CONTRACTOR SHALL VISIT THE SITE AND COMPLETELY INVESTIGATE AND UNDERSTAND THE EXISTING CONDITIONS AND THEIR RELATION TO THE DESIGN DRAWINGS/DOCUMENTS. NO CONSIDERATION WILL BE GIVEN TO THE CONTRACTOR FOR ANY HINDRANCES TO THE MECHANICAL INSTALLATION FROM SITE CONDITIONS WHICH EXISTED PRIOR TO TENDER SUBMISSION. AS SUCH AND WHERE REQUIRED, THE CONTRACTOR SHALL PROVIDE INTERFERENCE DRAWINGS AND SHALL SUBMIT THEM TO THE CONSULTANT FOR REVIEW.

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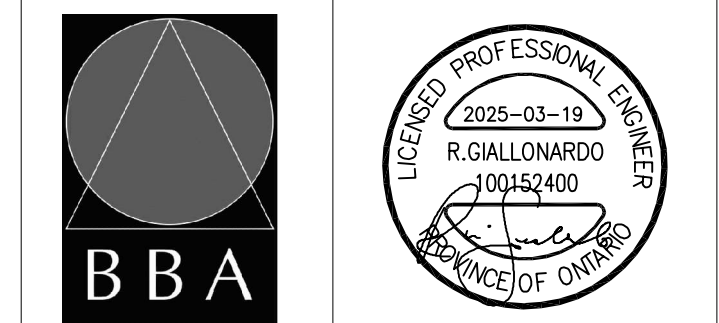


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| 2   | ISSUED FOR TENDER | MAR. 19 2025 | SW |

| NO. | REVISIONS | DATE | BY |
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PROJECT:  
**RENOVATIONS AT ECOLE ELEMENTAIRE JEANNE-LAJOIE**  
150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
Conseil scolaire Viamond

DRAWING:  
**PART 1ST & 2ND FLOOR DEMOLITION PLAN - HVAC**

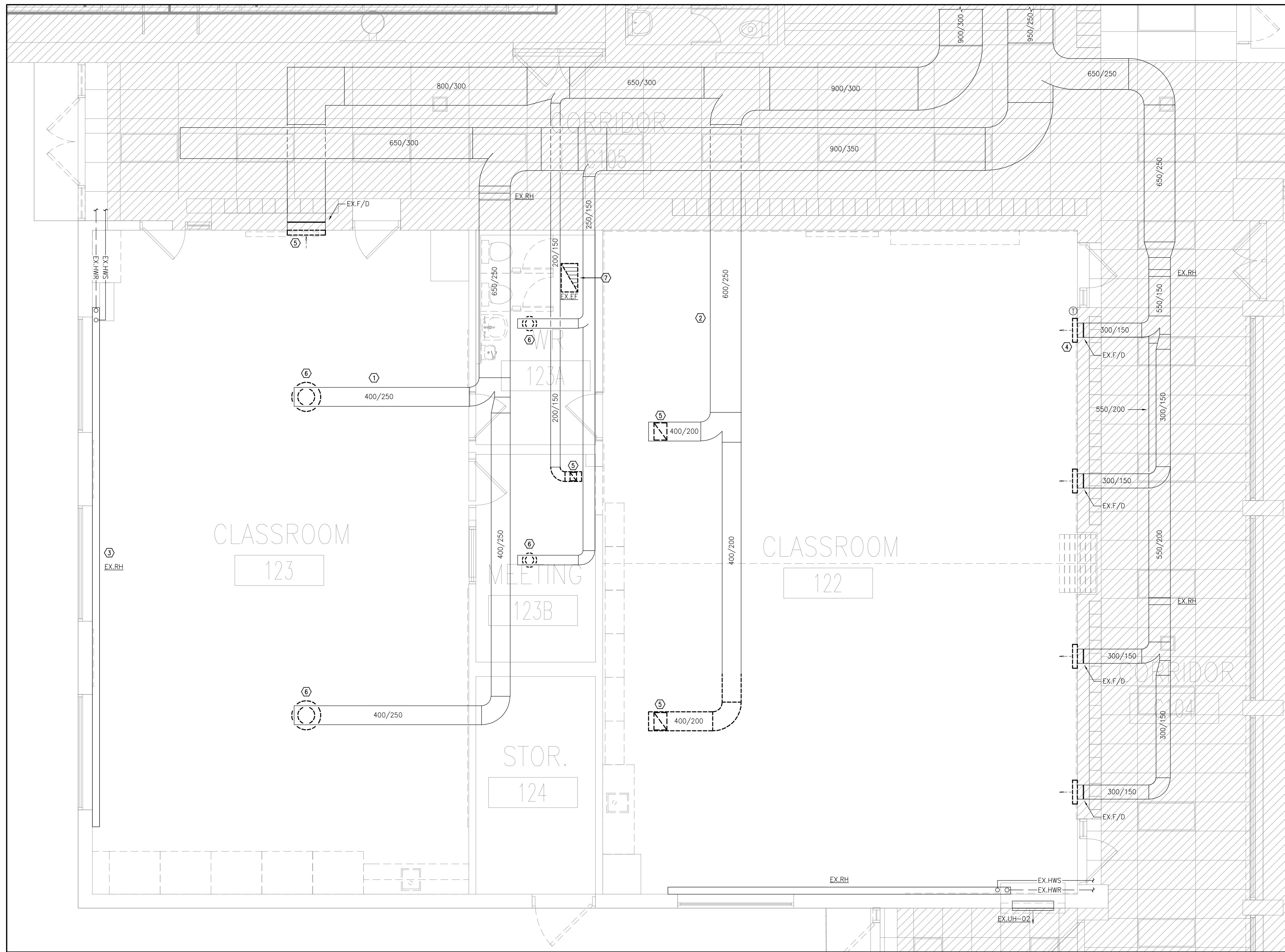


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PROJECT NO: **25-102** DRAWING NO: **M-2.1**





- HVAC NOTES**
- ① EXISTING S/A DUCTWORK IN CEILING SPACE TO REMAIN (TYPICAL).
  - ② EXISTING R/A DUCTWORK IN CEILING SPACE TO REMAIN (TYPICAL).
  - ③ EXISTING WALL FIN HEATER TO REMAIN (TYPICAL).
  - ④ EXISTING WALL MOUNTED S/A GRILLE TO BE REMOVED AND DISPOSED OF. PREPARE FOR CONNECTION OF NEW GRILLE, REFER TO NEW PLANS (TYPICAL).
  - ⑤ EXISTING R/A GRILLE TO BE REMOVED AND DISPOSED OF. PREPARE DUCTWORK FOR CONNECTION OF NEW GRILLE. REFER TO NEW PLANS.
  - ⑥ EXISTING S/A DIFFUSER TO BE REMOVED AND DISPOSED OF. CAP DUCTWORK AT MAIN IN CEILING SPACE.
  - ⑦ EXISTING CABINET EXHAUST FAN TO BE REMOVED AND DISPOSED OF. PREPARE DUCTWORK IN CEILING SPACE FOR CONNECTION TO NEW FAN. REFER TO NEW PLANS.

- GENERAL HVAC NOTES**
1. WHERE COMPONENTS ARE TO BE REUSED, THE CONTRACTOR SHALL CLEAN AND TEST THE COMPONENT TO ENSURE PROPER OPERATION. THE CONSULTANT SHALL BE NOTIFIED IN THE EVENT THERE IS A DEFICIENCY WITH THE COMPONENT.
  2. PERFORM DEMOLITION WORK SO AS TO CAUSE MINIMAL DISTURBANCE TO OWNER AND/OR ADJACENT AREAS. MINIMIZE DUST AND NOISE AND PROVIDE TEMPORARY AIR FILTERS ON AIR HANDLING SYSTEMS AFFECTED BY THE AREA OF WORK. ALL COSTS ASSOCIATED WITH DAMAGES AS A RESULT OF THE MECHANICAL DEMOLITION SHALL BE COVERED BY DIV.23. MAINTAIN SAFETY STANDARDS AND PROVIDE ADEQUATE SIGNAGE FOR BOTH WORKERS AND OCCUPANTS.
  3. THE MECHANICAL DRAWINGS DISPLAY A GENERAL DESIGN AND INSTALLATION. THEREFORE, IF REQUIRED, THE CONTRACTOR SHALL OBTAIN CLARIFICATION FROM THE CONSULTANT PRIOR TO INSTALLATION.
  4. THESE DRAWINGS HAVE BEEN PREPARED FOR DIV.23 AND DO NOT ACCURATELY DISPLAY ALL ELECTRICAL, STRUCTURAL AND ARCHITECTURAL ELEMENTS. REFER TO OTHER DIVISION'S DRAWINGS FOR CLARIFICATION.
  5. THIS CONTRACTOR SHALL VISIT THE SITE AND COMPLETELY INVESTIGATE AND UNDERSTAND THE EXISTING CONDITIONS AND THEIR RELATION TO THE DESIGN DRAWINGS/DOCUMENTS. NO CONSIDERATION WILL BE GIVEN TO THE CONTRACTOR FOR ANY HINDRANCES TO THE MECHANICAL INSTALLATION FROM SITE CONDITIONS WHICH EXISTED PRIOR TO TENDER SUBMISSION. AS SUCH AND WHERE REQUIRED, THE CONTRACTOR SHALL PROVIDE INTERFERENCE DRAWINGS AND SHALL SUBMIT THEM TO THE CONSULTANT FOR REVIEW.

**1**  
M-2.2  
1:50  
**PART 1ST FLOOR DEMOLITION PLAN - HVAC**

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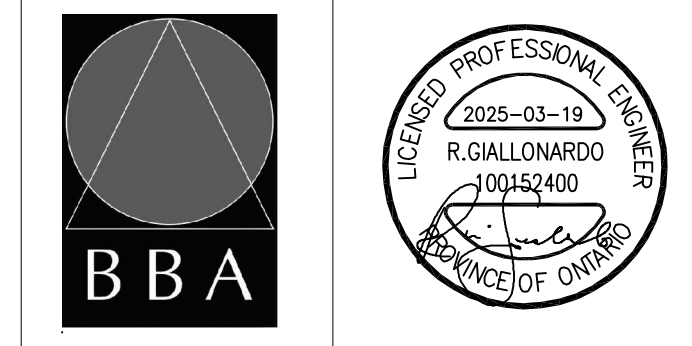


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**PROJECT:**  
**RENOVATIONS AT ECOLE ELEMENTAIRE JEANNE-LAJOIE**  
150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
Conseil scolaire Viamond

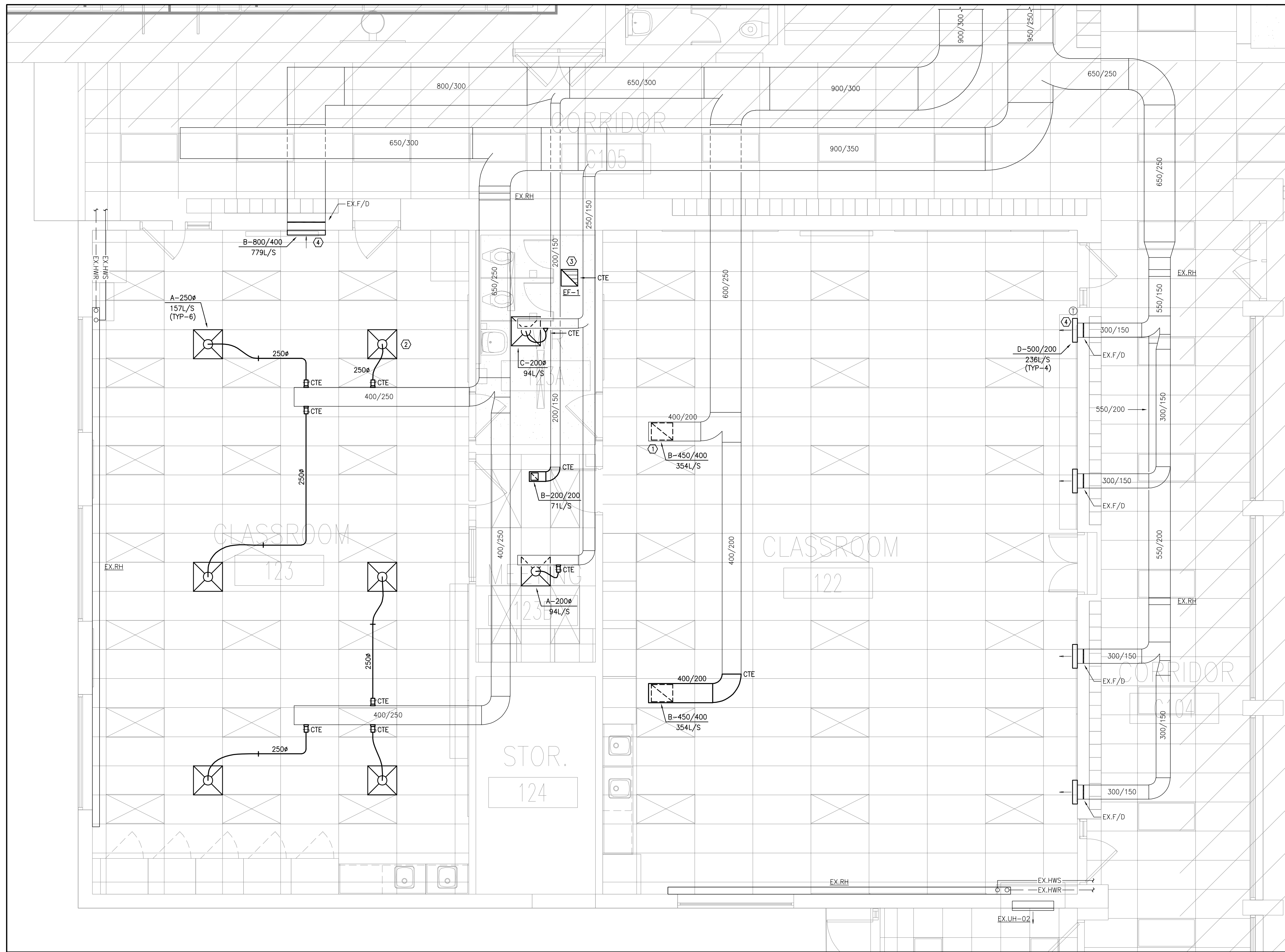
**DRAWING:**  
**PART 1ST FLOOR DEMOLITION PLAN - HVAC**



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|--|---------------------------|-------------------|
| <b>BARRY BRYAN ASSOCIATES</b><br>Architects<br>Engineers<br>Project Managers<br>250 Water Street<br>Suite 201<br>Whitby, Ontario<br>L1N 0G5<br>Tel: (905) 866-6252<br>Fax: (905) 866-6256<br>e-mail: bba@bba-archeng.com | DESIGN BY:<br><b>SW</b>   | DOC CONTROL DATE: |
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PROJECT NO: **25-102** DRAWING NO: **M-2.2**





- HVAC NOTES**
1. PROVIDE NEW R/A GRILLE AS SPECIFIED. PROVIDE NEW/MODIFY EXISTING DUCTWORK TO SUIT NEW CEILING. SIZE AS INDICATED (TYPICAL).
  2. PROVIDE NEW S/A DIFFUSER AS SPECIFIED. CONNECT TO EXISTING S/A DUCTWORK IN CEILING SPACE. SIZE AND BALANCE AS INDICATED (TYPICAL).
  3. PROVIDE NEW CABINET EXHAUST FAN AS SPECIFIED. CONNECT TO EXISTING DUCTWORK IN CEILING SPACE. REFER TO DETAILS.
  4. PROVIDE NEW LOUVERED FACE GRILLE AS SPECIFIED IN EXISTING WALL OPENING. CONNECT TO EXISTING DUCTWORK. SIZE AND BALANCE AS INDICATED (TYPICAL).

- GENERAL HVAC NOTES**
1. THE MECHANICAL DRAWINGS DISPLAY A GENERAL DESIGN AND INSTALLATION. THEREFORE, IF REQUIRED, THE CONTRACTOR SHALL OBTAIN CLARIFICATION FROM THE CONSULTANT PRIOR TO INSTALLATION.
  2. THESE DRAWINGS HAVE BEEN PREPARED FOR DIV.23 AND DO NOT ACCURATELY DISPLAY ALL ELECTRICAL, STRUCTURAL AND ARCHITECTURAL ELEMENTS. REFER TO OTHER DIVISION'S DRAWINGS FOR CLARIFICATION.
  3. THIS CONTRACTOR SHALL VISIT THE SITE AND COMPLETELY INVESTIGATE AND UNDERSTAND THE EXISTING CONDITIONS AND THEIR RELATION TO THE DESIGN DRAWINGS/DOCUMENTS. NO CONSIDERATION WILL BE GIVEN TO THE CONTRACTOR FOR ANY HINDRANCES TO THE MECHANICAL INSTALLATION FROM SITE CONDITIONS WHICH EXISTED PRIOR TO TENDER SUBMISSION. AS SUCH AND WHERE REQUIRED, THE CONTRACTOR SHALL PROVIDE INTERFERENCE DRAWINGS AND SHALL SUBMIT THEM TO THE CONSULTANT FOR REVIEW.

1 M-2.4 1:50 PART 1ST FLOOR NEW PLAN - HVAC

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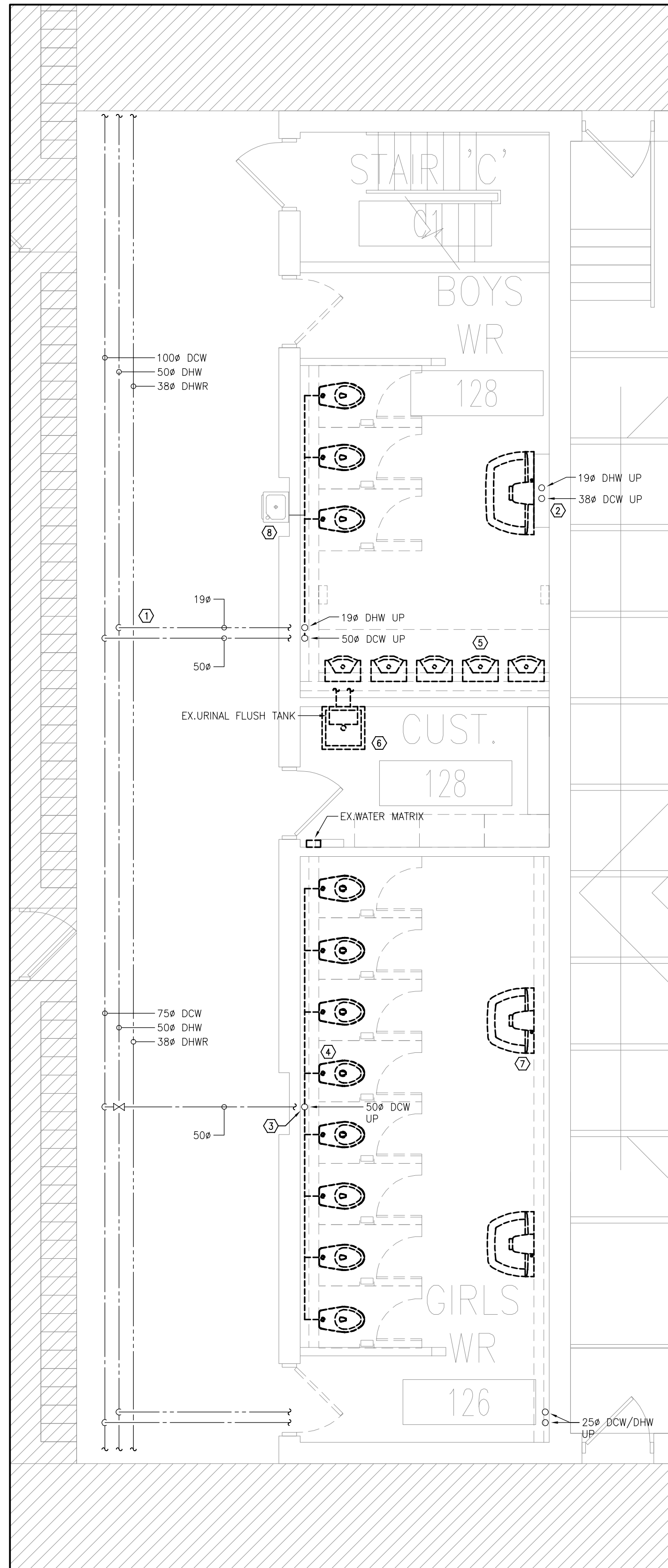
**PROJECT:**  
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 Conseil scolaire Viamond

**DRAWING:**  
 PART 1ST FLOOR  
 NEW PLAN - HVAC

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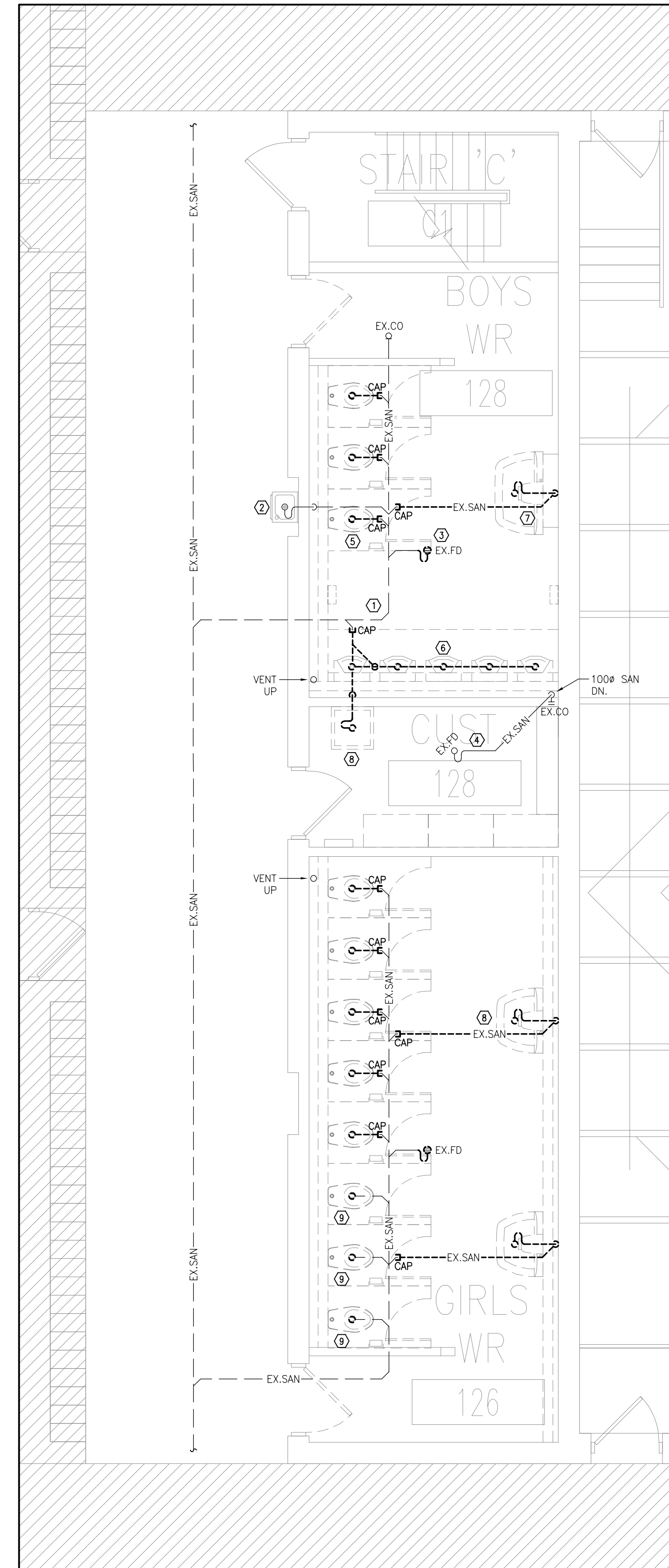
PROJECT NO: **25-102** DRAWING NO: **M-2.4**



1 PART 1ST FLOOR DEMOLITION PLAN - PLUMBING  
M-3.1 1:50

- DRAINAGE DRAWING NOTES**
- ① EXISTING DCW/DHW/DHWR PIPING IN CORRIDOR CEILING SPACE TO REMAIN (TYPICAL).
  - ② EXISTING DCW/DHW PIPING FROM MECHANICAL ROOM ABOVE TO REMAIN (TYPICAL).
  - ③ EXISTING DCW PIPING FROM MECHANICAL ROOM ABOVE TO REMAIN (TYPICAL).
  - ④ EXISTING WATER CLOSET TO BE REMOVED AND DISPOSED OF. ASSOCIATED DCW PIPING IN PIPE CHASE TO BE REMOVED AND DISPOSED OF BACK TO MAIN AT HIGH LEVEL FROM MECHANICAL ROOM ABOVE (TYPICAL).
  - ⑤ EXISTING URINAL TO BE REMOVED AND DISPOSED OF. ASSOCIATED DCW PIPING, FLUSH TANK, AND WATER MATRIX TO BE COMPLETELY REMOVED AND DISPOSED OF (TYPICAL).
  - ⑥ EXISTING MOP SINK TO BE REMOVED AND DISPOSED OF. ASSOCIATED DCW/DHW PIPING IN PIPE CHASE TO BE REMOVED AND DISPOSED OF BACK TO MAIN AT HIGH LEVEL FROM MECHANICAL ROOM ABOVE (TYPICAL).
  - ⑦ EXISTING WASH FOUNTAIN TO BE REMOVED AND DISPOSED OF. ASSOCIATED DCW/DHW PIPING IN PIPE CHASE TO BE REMOVED AND DISPOSED OF BACK TO MAIN AT HIGH LEVEL FROM MECHANICAL ROOM ABOVE (TYPICAL).
  - ⑧ EXISTING DRINKING FOUNTAIN TO REMAIN. EXISTING DCW PIPING IN PIPE CHASE TO BE REMOVED FROM DRINKING FOUNTAIN BACK TO MAIN AT HIGH LEVEL. PREPARE FOR CONNECTION OF NEW PIPING, REFER TO NEW PLANS.

- GENERAL NOTES**
1. ALL EXISTING SERVICES SHOWN ARE A GENERAL REPRESENTATION ONLY OF ACTUAL ONSITE CONDITIONS. CONTRACTOR TO VERIFY EXACT LOCATION OF EXISTING SERVICES PRIOR TO CONSTRUCTION AND REPORT ALL DISCREPANCIES TO ENGINEER IN A TIMELY MANNER.
  2. PROVIDE VENTING SYSTEMS IN ACCORDANCE WITH PART 7 OF THE NATIONAL PLUMBING CODE.
  3. PROVIDE ADEQUATE ACCESS FOR ALL EQUIPMENT, VALVES, ETC. LOCATED BEHIND WALLS AND CEILINGS. REFER TO SPECIFICATIONS.
  4. PROVIDE TRAP PRIMING AND ASSOCIATED EQUIPMENT AS SPECIFIED AND/OR REQUIRED. ENSURE THAT TRAP PRIMER MECHANISM IS INSTALLED IN AN ACCESSIBLE LOCATION.
  5. PROVIDE APPROPRIATE MEANS FOR FIRESTOPPING FOR ALL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES.
  6. PATCH ALL FLOOR/WALL PENETRATIONS FROM REMOVED PIPING/EQUIPMENT TO BASE BUILDING STANDARDS.



2 PART 1ST FLOOR DEMOLITION PLAN - DRAINAGE  
M-3.1 1:50

- DRAINAGE DRAWING NOTES**
- ① APPROXIMATE LOCATION OF EXISTING UNDERGROUND SANITARY DRAINAGE PIPING. CONTRACTOR TO VERIFY EXACT LOCATION, SIZES AND DIRECTION OF FLOW PRIOR TO START OF CONSTRUCTION AND/OR CUTTING OF SLAB. CONTRACTOR SHALL CARRY SERVICES FOR SCOPING OF EXISTING UNDERGROUND DRAINAGE PIPING IN THEIR BASE BID. PROVIDE A DRAWING INDICATING THE ROUTING, SIZES AND INVERTS OF EXISTING UNDERGROUND PIPING TO ENGINEER FOR REVIEW (TYPICAL).
  - ② EXISTING DRINKING FOUNTAIN TO REMAIN.
  - ③ EXISTING FLOOR DRAIN AND ASSOCIATED TRAP SEAL PRIMING TO BE REMOVED AND DISPOSED OF (TYPICAL).
  - ④ EXISTING SANITARY DRAINAGE PIPING AT HIGH LEVEL SERVING FLOOR DRAIN IN MECHANICAL ROOM ABOVE TO REMAIN.
  - ⑤ EXISTING FLUSH VALVE WATER CLOSET TO BE REMOVED AND DISPOSED OF. CAP EXISTING SANITARY DRAINAGE PIPING AT MAIN (TYPICAL).
  - ⑥ EXISTING FLOOR MOUNT URINAL TO BE REMOVED AND DISPOSED OF. CAP EXISTING SANITARY DRAINAGE PIPING AT MAIN (TYP-5).
  - ⑦ EXISTING WASHFOUNTAIN, P-TRAP, MOUNTING HARDWARE, ETC. TO BE REMOVED AND DISPOSED OF. CAP UNDERGROUND SANITARY DRAINAGE PIPING AT MAIN (TYP-2).
  - ⑧ EXISTING WALL MOUNTED MOP SINK, P-TRAP, SUPPORTS, MOUNTING HARDWARE, ETC. TO BE REMOVED AND DISPOSED OF. CAP UNDERGROUND SANITARY DRAINAGE PIPING AT MAIN.
  - ⑨ EXISTING WATER CLOSET TO BE REMOVED AND DISPOSED OF. REMOVE TOILET FLANGE AND PREPARE FOR INSTALLATION OF NEW WATER CLOSET. REFER TO NEW PLANS.

- GENERAL NOTES**
1. ALL EXISTING SERVICES SHOWN ARE A GENERAL REPRESENTATION ONLY OF ACTUAL ONSITE CONDITIONS. CONTRACTOR TO VERIFY EXACT LOCATION OF EXISTING SERVICES PRIOR TO CONSTRUCTION AND REPORT ALL DISCREPANCIES TO ENGINEER IN A TIMELY MANNER.
  2. PROVIDE VENTING SYSTEMS IN ACCORDANCE WITH PART 7 OF THE NATIONAL PLUMBING CODE.
  3. PROVIDE ADEQUATE ACCESS FOR ALL EQUIPMENT, VALVES, ETC. LOCATED BEHIND WALLS AND CEILINGS. REFER TO SPECIFICATIONS.
  4. PROVIDE TRAP PRIMING AND ASSOCIATED EQUIPMENT AS SPECIFIED AND/OR REQUIRED. ENSURE THAT TRAP PRIMER MECHANISM IS INSTALLED IN AN ACCESSIBLE LOCATION.
  5. PROVIDE APPROPRIATE MEANS FOR FIRESTOPPING FOR ALL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES.
  6. PATCH ALL FLOOR/WALL PENETRATIONS FROM REMOVED PIPING/EQUIPMENT TO BASE BUILDING STANDARDS.

**DISCLAIMER**  
This drawing is the property of GIALNONARDO ENGINEERING INC.  
This drawing shall be read in conjunction with the architectural, structural, electrical and all other consultant's drawings prior to proceeding with the work. Do not scale the drawings.  
The contractor is to verify and accept responsibility for all dimensions and conditions on site and must notify GIALNONARDO ENGINEERING INC. of any variations from the drawings.




| NO. | ISSUES            | DATE         | BY |
|-----|-------------------|--------------|----|
| 1   | ISSUED FOR REVIEW | MAR. 10 2025 | RC |
| 2   | ISSUED FOR TENDER | MAR. 19 2025 | SW |


| NO. | REVISIONS | DATE | BY |
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**PROJECT:**  
**RENOVATIONS AT ECOLE ELEMENTAIRE JEANNE-LAJOIE**  
150 CARNFORTH ROAD  
NORTH YORK, ONTARIO  
Conseil scolaire Viamond

**DRAWING:**  
**PART 1ST FLOOR DEMOLITION PLAN - PLUMBING & DRAINAGE**



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