

Development Services Department Building Permit Services Ontario Building Code Design Information

CITY OF OSHAWA

Proposed:				alteratio			100	r Loc	ati	on: 50 (Cei	ntre St	. Sc	outh	n , Osh	awa, O	N		
		5 1		undle To					P	lan App	lica	ation N	o.:						
Oshawa Sn	ow Lo	oad Map	Re	ceived:	Z١	res 🗌	No	Perr	nit	t Applic	ati	on No.		- 1					
Major Occupancy:	-	□ A		□ B			С		Ø	5.10		ΠE			□ F	_			
		□ F-3	C	ombustib	le c	content o	of		-		n²	(lb./sq.	ft.)		_	MJ/	m² (E	BTU/s	q.ft.)
Building Are	a:	Existing		800		m ²	P	roposed		0		m ²				Total	80	0	m²
Gross Area:		Existing				m ²	P	roposed				m²				Total			m²
Building Hei	ght:	Storeys		10		_	H	leight		42.6		m		Lev	/el(s) of	bsmt.	1		
Building Div by Firewa		□ Yes		No		Buildin	g "A	۹"		_m² E	Buil	ding "B			_m²	Building	g "C"		_m²
Firewal Construct		Concret Masonr						Ho	our	s FRR, o	ext	ended				_ mm a	bove	roof.	
Propose		□ Yes		Open m	ezz	zanine_							loc						
Mezzanin	es	□ No		Enclose	ed i	mezzani	ne_					_ m²,	loc	atec	din _				
Building is required to f	ace	□2	OB	C defined	l pu	ublic stre	et(s	s) 🗆]	acces	s ro	oute(s)	for	Fire	Depart	ment ve	hicle	s.	
Fire Hydrant	locate	ed within		15	me	etres		from bui	ldi	ng entra	nce	9		fro	m Fire [Departm	ent c	onne	ction
Fire Sprinkle Proposed:	er Syst	em		Entire Bi Addition				Basemer					u of	Ro	of Ratin			ropos	
Governing C	BC A	rticle:		3.2.2.				3.2.2.32			-					רם	able	9.10.	8.1.
Permitted C				Combus	tible	e		Noncom				l Both							
Actual Cons	tructio	n:		Combus				Noncom] Both							
Energy Effic Performation Pe	ient D nce: N nce: A	esign Sta INECB+2 SHRAE9	anda 25% 10.1	ard: % +5%		-	To Be Determined at Building Permit Application Prescriptive or Tradeoff: ASHRAE 90.1+SB10												
Div. 4 of S			-		- /			SB-12 (F	_							80 (Pa		Reside	ential)
Exempt from	n Ener	gy Efficie	ency	y: 🛛 Exp	lair	nation B	asi	c Reno	va	tion Pa	art	<u>11 Int</u>	eric	or C	Office /	Alterati	ons		
Design & Re	eview l	By: I		AAC		P.Eng.		CET		□ M.				BC	IN		□ Ot	ther	
Total Occup	ant Lo	ad: [<u>-</u> 4	0 Pe	rso	ns	ba	sed on:	Ľ] desig	nn	n ² /pers	son		□ not fo	und in C	BC 1	T.3.1.	17.1.
Fire Alarm S	system	1:				Yes	□ No If No, Explain:												
Standpipe a	nd Ho	se Syster	m:		Ø	Yes		No I	f١	lo, Expla	ain:								
Barrier-Free	Desi	gn:			Ø	Yes		No I	f١	lo, Expla	ain:								
Fi	uired ire		Horizontal Assemb FRR Hours			ies			d Desigr Jescripti			Su	ipp	R of orting ibers			esign script		
Resis	tance	5 m	Floors 2 H		lours 305 mm th			n thk co	onc	: slap	2		Hour	s cast	con	c frar	ne		
(Note: Opti	onal fo	or Site	Roof n/a Ho		ours				Hours			s							
Plan Ap	plicatio	<u>(IIC</u>	М	ezzanine		n/a H	ours	s			-				Hour	s			
			Spa	atial Separ	atio	n - Constr	uctio	on of Exteri	or \	Walls (sub	mit	calculatio	ons if	requ	uired)				
	rea of IF (m²)	L.D. (m)		L/H or H	/L	Permitte Max. % Opening	of	Propose % of Opening		FRR (Hours)		Listed D or Descrip	-		Comb. Const.	Comb.C Nonce Clade	omb.		comb. onstr.
North											1								
South		NOT A	PP	LICABL	ΕI	NTERIO	DR	RENO	/A'	TION									
East																			
West											+			+				1	
Prepared by		I ame J. F	Rea	l jinald Fre	eet	hv B.Ar	ch.	OAA.MF	RA	I IC Fi			ree	thy	Archite				
		-		(please p	orint,	· /	P	BCIN #	-									BCIN	#
Date: Se		2024		Signat		7 11	P	2		5			_			5 623 7	476		
engin Reference: 20	buildin eer or b 12 Onta	ooth. Irio Building	Co		in (OBC Divis		C	/	1 shall be	e de				8	100 C			ILDIN
Note: A full te	at versi	on of this	doci	ument will	be i	made ava	llabi	ie upon red	que	est (905-43	36-5	658)						BL	D2

THE CITY OF OSHAWA BUILDING DEPARTMENT OFFICE ALTERATIONS 50 CENTRE ST. S. OSHAWA, ONTARIO.

DESIGN TEAM:

ARCHITECTURAL:

J.R. FREETHY ARCHITECT 325 LAKE ROAD, SUITE 202 BOWMANVILLE, ON L1C 4P8 TEL: (905) 623-7476

STRUCTURAL:

STIEMER ENGINEERING INC. 25 SAUNDERS RD., UNIT 1 BARRIE, ON L4N 9A7 TEL: (705) 797-0042

ALL ELECTRICAL WIRING MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE NSPECTION APPLICATIONS (PERMITS) MUST BE ILED. WE RECOMMEND YOU USE A QUALIFIED LECTRICAL CONTRACTOR. FOR MORE

NFORMATION PLEASE CALL: 1-877-ESA-SAFE OR VISIT WWW.ESASAFE.COM ECTRICAL

COPY OF BUILDING PERMIT PLANS COPY OF THE STAMPED/REVIEWED DRAWINGS MUST REMAIN ON SITE DURING CONSTRUCTION.

IMPORTANT NOTE

IRHAM.

EITHER THE ISSUANCE OF A PERMIT NOR THE RRYING OUT OF INSPECTIONS BY THE CITY ELIEVE THE APPLICANT FROM THE FULL PONSIBILITY FOR COMPLIANCE WITH THE VISIONS OF THE BUILDING CODE ACT AND TH TARIO BUILDING CODE, BOTH AS AMENDED, A LL AS OTHER APPLICABLE STATUES AND GULATIONS OF THE PROVINCE OF ONTARIO ND ALL RELEVANT BY-LAWS OF THE CITY OF HAWA AND THE REGIONAL MUNICIPALITY OF

ALL STANDARDS REFERED TO IN THESE BUILDING PERMIT DOCUMENTS SHALL BE THE EDITION DESIGNATED IN THE ONTARIO BUILDING CODE AS AMENDED

FUTURE ALTERATIONS A SEPARATE BUILDING PERMIT IS REQUIRED FOR ANY PROPOSED INTERIOR PARTITONS AND/OR ALTERATIONS. STRUCTURAL ALTERATIONS ALL STRUCTURAL ALTERATIONS MUST BE FIELD REVIEWED BY A PROFESSIONAL ENGINEER IF REQUIRED BY THE BUILDING INSPECTOR.

oration of the City of Oshawa TRUE COPY OF FINAL REVIEWED **BUILDING PERMIT PLANS** Iangi per the Chief Building Official **BUILDING PERMIT #** BLD202401488 CITY OF OSHAWA

MECHANICAL:

ROMAR ENGINEERING INC. 4828 LIVINGSTON ST. CLAREMONT, ON L17 1A5 TEL: (647) 406-8602

ELECTRICAL:

SIMNA ENGINEERING 20 AMBER STREET, UNIT 6 MARKHAM, ON L3R 95P4 TEL: (416) 824-5822

DRAWING LIST

DWG#	TITLE	LATEST	
<u></u>		REVISION #	DATE ISSUED
<u>ARC</u>	CHITECTURAL:		
A001	COVER SHEET - DRAWING LIST	2	JANUARY 14, 2025
AI04	OBC MATRIX, KEY PLANS, TRAVEL DISTANCE PLAN	3	JANUARY 14, 2025
A201	EXISTING FLOOR PLAN	6	SEPTEMBER 20, 2024
A202	DEMOLITION FLOOR PLAN	4	SEPTEMBER 20, 2024
A203	NEW CONSTRUCTION FLOOR PLAN	7	SEPTEMBER 20, 2024
A204	DEMOLITION CEILING PLAN	4	SEPTEMBER 20, 2024
A205	NEW CONSTRUCTION REFLECTED CEILING PLAN	5	SEPTEMBER 20, 2024
A206	FURNITURE PLAN	6	SEPTEMBER 20, 2024
A300	NEW CONSTRUCTION INTERIOR ELEVATIONS	2	SEPTEMBER 20, 2024
A400	WASHROOM PLAN DETAILS AND WALL SECTION DETAILS	3	JANURARY 14, 2025
A401	WALL SECTION AND STRUCTURAL SLAB DETAILS	3	JANURARY 14, 2025
A500	DOOR AND ROOM FINISH SCHEDULE	3	SEPTEMBER 20, 2024
A50I	SCREEN SECTION DETAILS	2	SEPTEMBER 20, 2024
A700	MILLWORK DETAILS	2	SEPTEMBER 20, 2024
A701	3D MODEL VIEWS	3	SEPTEMBER 20, 2024
A702	3D MODEL VIEWS 2	3	SEPTEMBER 20, 2024
A703	3D MODEL VIEWS 3	3	SEPTEMBER 20, 2024
A704	3D MODEL VIEWS 4	3	SEPTEMBER 20, 2024
MEC	HANICAL:		
M-100	MECHANICAL LEGENDS & SCHEDULES		SEPTEMBER 20, 2024
M-200	GROUND FLOOR PD		SEPTEMBER 20, 2024
M-300	HVAC - DEMO/NEW	2	SEPTEMBER 20, 2024
ELE	CTRICAL:		
E-01	ELECTRICAL LEGEND AND GENERAL NOTES		SEPTEMBER 20, 2024
E-02	ELECTRICAL SPECIFICATIONS		SEPTEMBER 20, 2024
E-03	ELECTRICAL SPECIFICATIONS		SEPTEMBER 20, 2024
E-04	ELECTRICAL SPECIFICATIONS		SEPTEMBER 20, 2024
E-05	ELECTRICAL LIGHTING DEMOLITION PLAN		SEPTEMBER 20, 2024
E-06	ELECTRICAL POWER AND SYSTEMS DEMOLITION PLAN		SEPTEMBER 20, 2024
E-07	ELECTRICAL LIGHTING PLAN		SEPTEMBER 20, 2024
E-08	ELECTRICAL POWER AND SYSTEM PLAN		SEPTEMBER 20, 2024
E-09	ELECTRICAL DETAILS	I	SEPTEMBER 20, 2024
E-10	ELECTRICAL DETAILS		SEPTEMBER 20, 2024

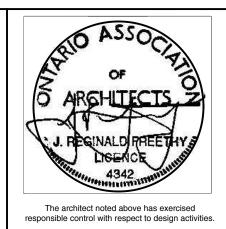
J.R. FREETHY ARCHITECT

GENERAL NOTES

CONTRACTOR SHALL PROVIDE AND MAINTAIN DUST PROTECTION AT ACTIVE WORK ZONES (NOTE.1 DURATION OF CONSTRUCTION. (NOTE.2) EXISTING BUILDING FIRE ALARM SYSTEM MUST BE MAINTAINED OPERATIONAL THROUGHOUT FINANCE DEPARTMENT OFFICE AREA IS NOT IN THIS CONTRACT. CONTRACTOR'S FORCES (NOTE.3) IN THIS AREA. DISPOSAL BINS SHALL BE LOCATED IN THE DESIGNATED LOCATION WITH MIN. 10'-0" DIST (NOTE.4) BLDG. DISPOSAL BINS SHALL BE WITHIN AN 8'-0" HT TEMPORARY IOMEGA OR FAST FENC THE EXISTING PARTITIONS ARE CONSTRUCTED OF 5/8" GYPSUM BOARD ON 3 1 / 2 "S" CENTRE ANCHORED TO THE EXISTING MAIN TEES OF THE SUSPENDED ACOUSTIC CEILING (NOTE.5) CONTRACTOR SHALL EXERCISE CAUTION TO NOT DAMAGE THE CEILING GRID DURING SEL AND NEW CONSTRUCTION OPERATIONS. REPAIR ANY RESULTANT DAMAGE TO MATCH EXIST (NOTE.6) THE EXISTING BUILDING STRUCTURE IS CAST CONCRETE. STRUCTURE PROVIDES THE FIRE REFER TO THE MECHANICAL AND ELECTRICAL DRAWINGS FOR THE RESPECTIVE DIVISIONS EXISTING MECHANICIAL AND ELECTRICAL SYSTEMS. THE ARCHITECTURAL DRAWINGS OUTLIN (NOTE.7)TO THE EXISTING PA SPEAKER RELOCATES AND NEW SPEAKER LOCATIONS. THE OWNER'S FORCES ARE RESPONSIBLE FOR THE DISMOUNTING AND RELOCATION OF T (NOTE.8)WORKSTATION FURNITURE, COMPUTERS, LATERAL FILES, BOOKS, PHOTOCOPIER, SCANNER, MICROFICHE EQUIPMENT, TELEPHONES. (NOTE.9)THE NEW WORKSTATIONS IN THE ZONING EXAMINERS AREA ARE NOT IN CONTRACT. SUPP CONTRACTOR'S FORCES WILL BE SUPPLIED WITH A SECURITY ID BADGE. CONTRACTOR SH (NOTE.10)WRITTEN SIGN IN LOG FOR ALL PERSONNEL ACCESSING THE WORK ZONE. ALTERATIONS TO THE PLUMBING FOR THE NEW WATER CLOSET SHALL OCCUR OFF HOUR (NOTE.11) INTERFERENCE WITH THE OPERATIONS OF THE OFFICE TOWER. THE EXISTING GLAZED SCREENS ARE PC350 ELITE SERIES CLEAR ANODIZED ALUMINUM (NOTE.12) SHALL BE THE SAME MANF AND PROFILES. ALL GLAZING SHALL BE LAMINATED SAFETY GLASS 10 MM THK. CONSTRUCTION DEBRIS MUST BE REMOVED FROM THE ALTERATION AREAS ON A DAILY B (NOTE.13 DISPOSAL BINS. DISPOSAL BINS SHALL BE EMPTIED ON A WEEKLY BASIS. (NOTE.14) CONTRACTOR SHALL MAINTAIN FULL TIME SITE SUPERVISION THROUGHOUT THE DURATION ALL OPERATIONS SHALL COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT LATI (NOTE.15) CONTRACTOR SHALL OBTAIN AND POST THE MINISTRY OF LABOUR NOTICE OF PROJECT.

I.R.FREETHY ARCHITECT

Certificate of Practice Number: 1928 325 LAKE ROAD, BOWMANVILLE ONTARIO, L1C 4P8 (905) 623-7476 reg@jrfreethy.com



THROUGHOUT THE	
T CONSTRUCTION ARE NOT PERMITTE	D
TANCE FROM THE CE ENCLOSURE.	
TEEL STUDS @ 16 SYSTEM. ECTIVE DEMOLTION TING CONSTRUCTIO	
E RESISTANCE RATI	
ALTERATIONS TO NE THE MODIFICATIO	ONS
THE EXISTING	
PLIED BY OWNER.	
HALL MAINTAIN A	
RS TO MITIGATE	
FINISH. NEW SCREE	ENS
BASIS TO THE	
OF CONSTRUCTIO	N.
EST EDITION.	
COVER SH	
PROJECT No.: 2024-15 DATE: JANUARY 14, 2025	DWG. No.:

	J.R. Fi 325 La Name Oshaw	of Practice Teethy Arch ake Rd. Sui of Project: /a Building d Floor Rur
		on: htre Street /a, ON.
	Date: Septer	nber 20, 2(
	11.00	Building C
	11.01	Project Ty
	11.02	Major Occ Classificat
	11.03	Superimpo
	11.04	Major Occ Building A
		Insert addition needed
	11.05	Building H
	11.06	Number of Firefighter
	11.07	Building S
	11.08	Existing B Classificat Building Constructi Concrete superstruc
	11.09	Renovatio
	11.10	Occupant 1st floor R Tower
		Insert additior needed
1 KEY PLAN A101 SCALE: N.T.S.	2 0 A101 5	BC MATRIX SCALE: N.T.S.

7.

hitect uite 202, Bowmanville, ON. L1C 4P8

g Dept. Office and Washroom Alterations undle Tower

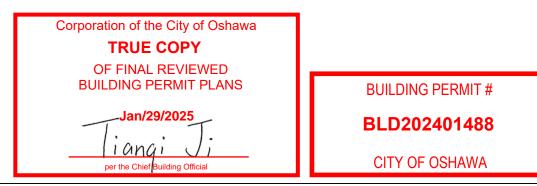
t South,

2024					
	Ontario Building Code Data Matrix Part 11 – Renovation	Building Code Reference ¹	7		
g Code n:	O. Reg. 332/12 Last Amendment O. Reg. 89/23		77	Z	,
Туре:	 □ Addition □ Addition and renovation □ Change of use 	[A] 1.1.2.6.			
	Description: Interior Office and Washroom Alterations				
Occupancy cation:	Occupancy Use <u>Group D Municip</u> al <u>Bldg Dept Offices</u> <u>OBC 925/75 3.2.2.32(1) Any Height, Any Area, Non combustible constr.</u>	3.1.2.1.(1), and 11.2.1.			
	Nonsprinklered on areas above grade, parking garage sprinklered, existing FHC standpipe system Bldg was retrofitted in 2009 with EVAC communication system and fire alarm strobes				
nposed Occupancies:	□ No □ Yes Description:	11.2 and 3.2.2.5. to 3.2.2.8.	11.	12	
g Area (m2)	Description: Existing New Total	[A] 1.4.1.2., 11.2, and 11.3	11.	13	F
	Rundle Tower 1st Floor 800 0 800				
litional lines as			11.	14	(
g Height	<u>10</u> Storeys above grade <u>42.6</u> (m) Above grade	[A] 1.4.1.2. & 3.2.1.1., and 11.3			
r of Streets/ ter access	<u>1</u> Storeys below grade <u>2 stree</u> t(s)	3.2.2.10., 3.2.5., and 11.3			
g Size	□ Small □ Medium ⊠ Large □ > Large	T.11.2.1.1.B-N.			
g Building cation: g uction 1968 te tructure	Change in Major Occupancy: Yes Not Applicable (no change of major occupancy) Construction Index: Not applicable Hazard Index: Not applicable Importance Category : Low Normal	11.2.1.1. T 11.2.1.1.A T 11.2.1.1.B to N 4.2.1.(3), and	11.	15	(// F
	Importance Category : L Low D Normal High Post-disaster	5.2.2.1.(2)	11.	16	٢
ation type:	Basic Renovation	11.3.3.1. 11.3.3.2.			
ant Load r Rundle	Floor Level/AreaOccupancyBased On (Persons)Occupant Load (Persons)	3.1.17., 11.4.2.2.			
	1st floor D Design 40		1	All r	 e1
litional lines as					

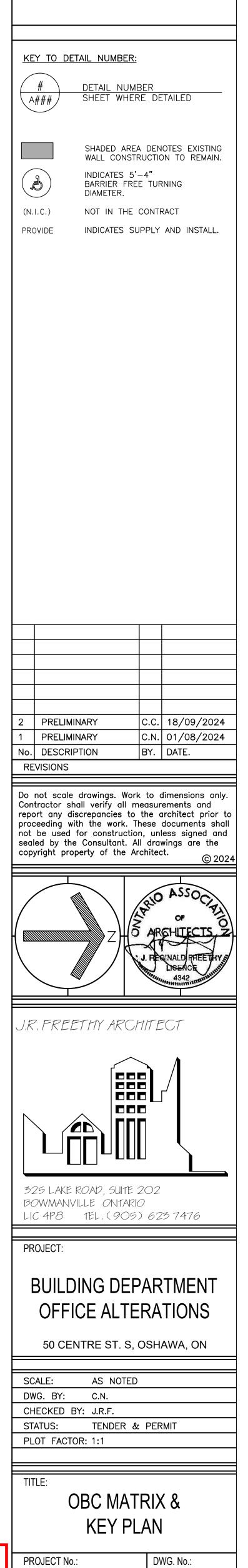
Plumbing Fixture Requirements	Ratio: M:F <u>=60/40</u>					3.7.4., 11.3.4., 11.3.5., 11.4.2.4., and 11.4.2.5.
Adding 1 water	<u>Floor Level/Area</u>	<u>Occupant</u> Load 25M	<u>OBC</u> <u>Reference</u> <u>Table</u> 3.7.4.7.(1)	<u>WCs</u> Required 3	<u>WCs</u> Provided 4	
closet to exist. Male washroom.		<u>15F</u>	<u></u>	2	2	
Insert additional lines as needed						
Plumbing Fixture Requirements continued:	(repeated) W	arrier-free <u>'Cs</u> equired	<u>Barrier-free</u> <u>WCs</u> Provided	<u>Universal</u> <u>Washrooms</u> Required	<u>Universal</u> <u>Washrooms</u> <u>Provided</u>	Tables 3.8.2.3.A and 3.8.2.3.B
Existing main lobby and service area has universal wshrm and bf facilities.		<u>N/A</u>	<u>Existing</u> lobby	<u>1ex</u>	<u>Existing</u> lobby	
Insert additional lines as needed						
Barrier-free Design:	X Yes □ No					11.3.3.2.(2)
Barrier-free Entrances:	Number <u>1</u> Existing	Suite entrar	nce from Elev I	Lobby		
Reduction in Performance Level:	Structural: By Increase in occupant I	oad:	⊠ No	□ Yes		11.4.2.1. 11.4.2.2.
	By change of major occu		⊠ No ⊠ No	□ Yes □ Yes		11.4.2.3.
	Plumbing:		⊠ No	□ Yes		11.4.2.4.
	Sewage-systems:		⊠ No	□ Yes		11.4.2.5.
	Extension of buildings of combustible construction:		⊠ No			11.4.2.6.
Compensating	🛛 No 🛛 Yes					11.4.3.1,
Construction:	Structural:	🛛 No	□ Yes			11.4.3.2,
	Increase in occupant load	I:⊠No □	Yes			11.4.3.3,
	Change of major occupar	ncy: 🛛 No	□ Yes			11.4.3.4,
	Plumbing:	🛛 No	□ Yes			11.4.3.5,
	Sewage systems:	🛛 No	□ Yes			11.4.3.6,
	Extension of buildings of combustible construction:		□ Yes			11.4.3.7.
Compliance Alternatives Proposed:	⊠ No □ Yes					11.5.1.
Notes:	Is an alternative solution	used?		□ Yes	X No	11.5.1.

11.11

All references are to Division B of the OBC, unless preceded by [A] for Division A and [C] for Division C.



THE CITY OF OSHAWA



2024-15

DATE: SEPTEMBER 20, 2024

A101

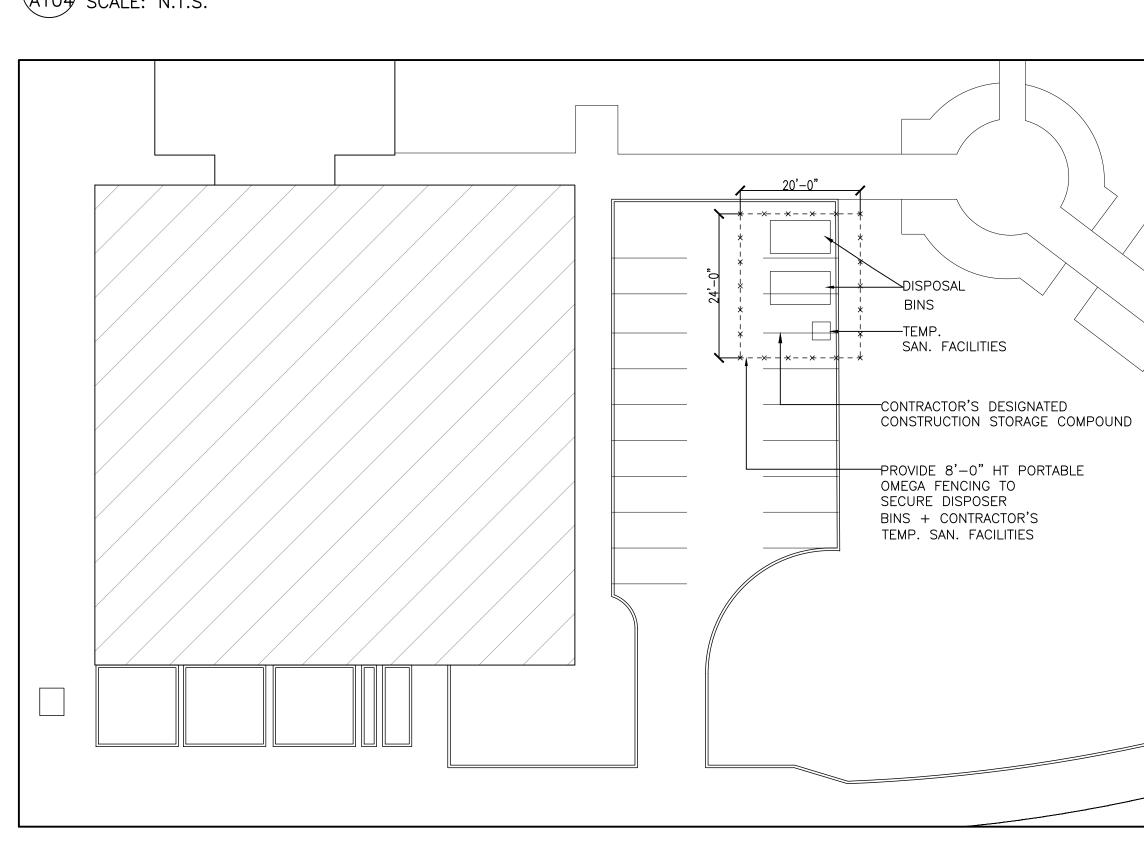
Name of Practice: J.R. Freethy Architect 325 Lake Rd. Suite 202, Bowmanville, ON. L1C 4P8 Name of Project: Oshawa Building Dept. Office and Washroom Alterations Ground Floor Rundle Tower

Location: 50 Centre Street South, Oshawa, ON.

Date: September 20, 2024

Septen	nber 20, 2024				Adding
		Ontario Building Code Data Matrix Part 11 – Renovation	Building Code Reference ¹		Adding closet to Male wa
11.00	Building Code Version:	<u>O. Reg. 332/12</u> Last Amendment <u>O. Reg. 89/23</u>			
11.01	Project Type:	 □ Addition □ Addition and renovation □ Change of use 	on [A] 1.1.2.6.		Insert addi needed
		Description: Interior Office and Washroom Alterations		7.7.78	Plumbin Require continue
11.02	Major Occupancy Classification:	Occupancy Use <u>Group D Municip</u> al <u>Bldg Dept Offices</u> <u>OBC 925/75 3.2.2.32(1) Any Height, Any Area, Non combustible cons</u>	3.1.2.1.(1), and 11.2.1.		Existing lobby ar area has
		Nonsprinklered on areas above grade, parking garage sprinklered, exist FHC standpipe system Bldg was retrofitted in 2009 with EVAC communication system and fire alarm strobes	ting		facilities
11.03	Superimposed Major Occupancies:	⊠ No □ Yes Description:	11.2 and 3.2.2.5. to 3.2.2.8.		
11.04	Building Area (m2)	Description: Existing New Tot	al [A] 1.4.1.2., 11.2, and 11.3		Insert addi needed
		Rundle Tower 1st Floor 800 0 800	<u> </u>	11.12	Barrier-fi Barrier-fi Entrance
				11.13	Reductic Performa
	Insert additional lines as needed				
11.05	Building Height	Total 800 10 Storeys above grade 42.6 (m) Above grade	e [A] 1.4.1.2. & 3.2.1.1., and 11.3		
		<u>1</u> Storeys below grade		11.14	Compen
11.06	Number of Streets/ Firefighter access	<u>2 stree</u> t(s)	3.2.2.10., 3.2.5., and 11.3		
11.07	Building Size	□ Small □ Medium ⊠ Large □ > Large	T.11.2.1.1.B-N.		
11.08	Existing Building Classification: Building Construction 1968 Concrete superstructure	Change in Major Occupancy: Yes Not Applicable (no change of major occupancy) Construction Index: Not <u>applicable</u> Hazard Index: Not appli <u>cable</u> Importance Category : Low Normal	T 11.2.1.1.A T 11.2.1.1.B to N 4.2.1.(3), and		
11.09	Renovation type:	☑ High □ Post-disaster ☑ Basic Renovation □ Extensive Renovation	5.2.2.1.(2)	11.15	Complia Alternati Propose
11.10	Occupant Load	Floor Level/Area Occupancy <u>Based On</u> Occupant	11.3.3.2. Load 3.1.17., 11.4.2.2.		
	1st floor Rundle Tower	Type (Persons) 1st floor D		11.16	Notes:
	Insert additional lines as needed				

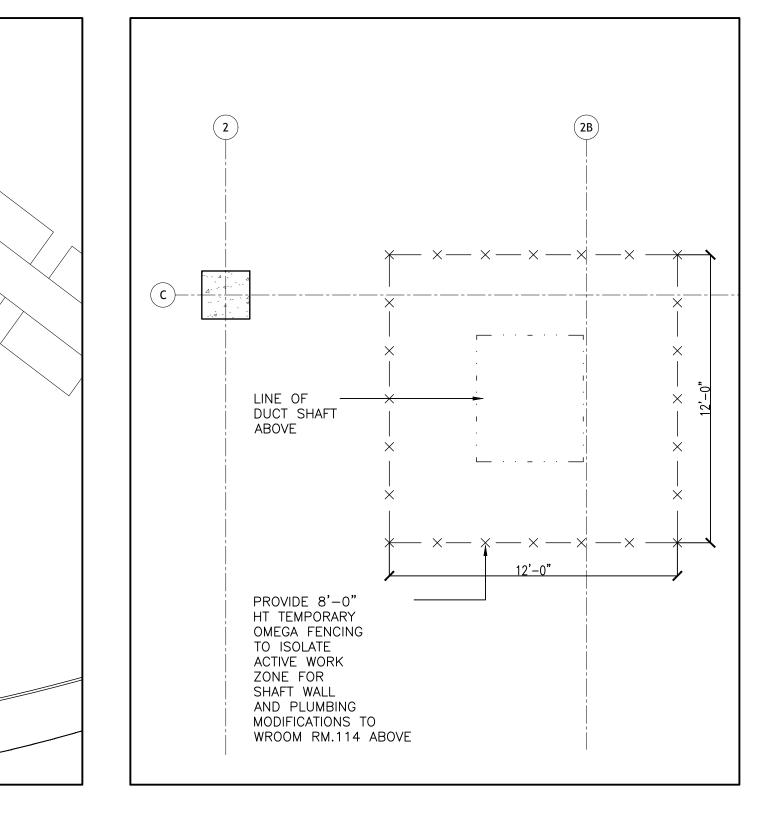
1 OBC MATRIX A104 SCALE: N.T.S.



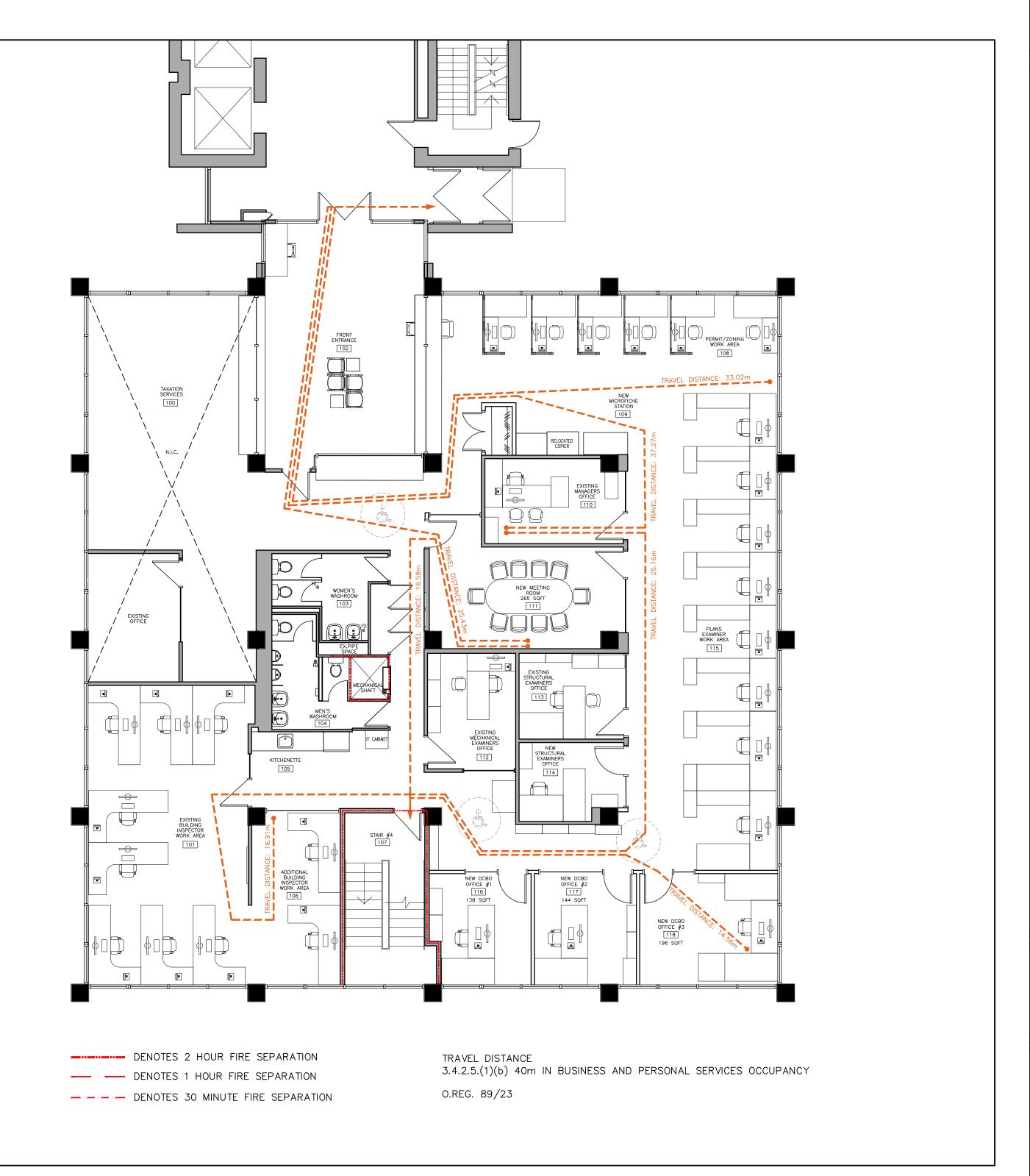
11.11 a	Plumbing Fixture Requirements	Ratio: M:F <u>=60/40</u>	3.7.4., 11.3.4., 11.3.5., 11.4.2.4., and 11.4.2.5.
		Floor Level/Area Occupant OBC WCs WCs Load Reference Required Provided	
		Ground Floor Suite 25M Table 3 4	
	Adding 1 water closet to exist.	3.7.4.7.(1)	
	Male washroom.	<u>15F</u> <u>2</u> <u>2</u>	
	Insert additional lines as needed		
7,770	Plumbing Fixture Requirements continued:	Floor Level/Area (repeated)Barrier-free WCs RequiredBarrier-free WCs ProvidedUniversal Washrooms RequiredUniversal Washrooms Provided	Tables 3.8.2.3.A and 3.8.2.3.B
		<u>1 </u>	
	Existing main lobby and service	lobby lobby	
	area has universal wshrm and bf		
	facilities.		
	Insert additional lines as needed		
11.12	Barrier-free Design:	X Yes 🗆 No	11.3.3.2.(2)
	Barrier-free Entrances:	Number 1 Existing Suite entrance from Elev Lobby	
11.13	Reduction in Performance Level:	Structural: 🛛 No 🗆 Yes	11.4.2.1.
	Penomance Level.	By Increase in occupant load: 🛛 No 🖓 Yes	11.4.2.2.
		By change of major occupancy: 🛛 No 🗆 Yes	11.4.2.3.
		Plumbing: Image: No Image: Yes Sewage-systems: Image: No Image: Yes	11.4.2.4.
		Extension of buildings of	11.4.2.5.
		combustible construction: \square No \square Yes	11.4.2.6.
11.14	Compensating	⊠ No □ Yes	11.4.3.1,
	Construction:	Structural: 🛛 No 🗆 Yes	11.4.3.2,
		Increase in occupant load: $oxtimes$ No \oxtimes Yes	11.4.3.3,
		Change of major occupancy: $oxtimes$ No \odots Yes	11.4.3.4,
		Plumbing: 🛛 No 🗆 Yes	11.4.3.5,
			11.4.3.6,
		Extension of buildings of combustible construction: \boxtimes No \Box Yes	11.4.3.7.
11.15	Compliance Alternatives	⊠ No □ Yes	11.5.1.
	Proposed:		
11.16	Notes:		11.5.1.
-		Is an alternative solution used?	

1 All references are to Division B of the OBC, unless preceded by [A] for Division A and [C] for Division C.

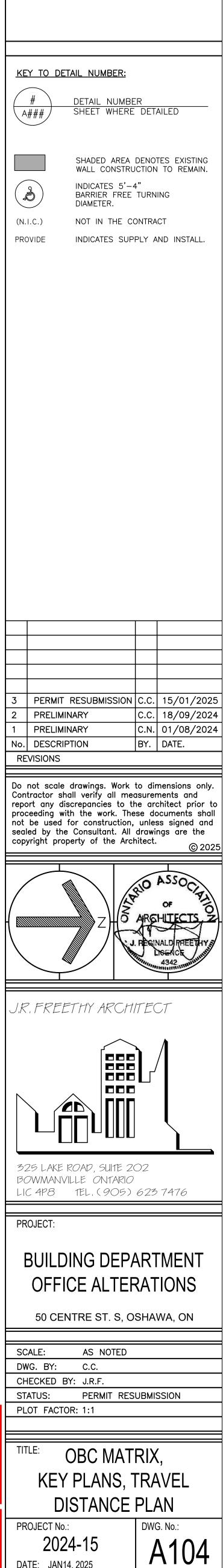
2 TRAVEL DISTANCE PLAN A104 SCALE: 1/8"=1'-0"

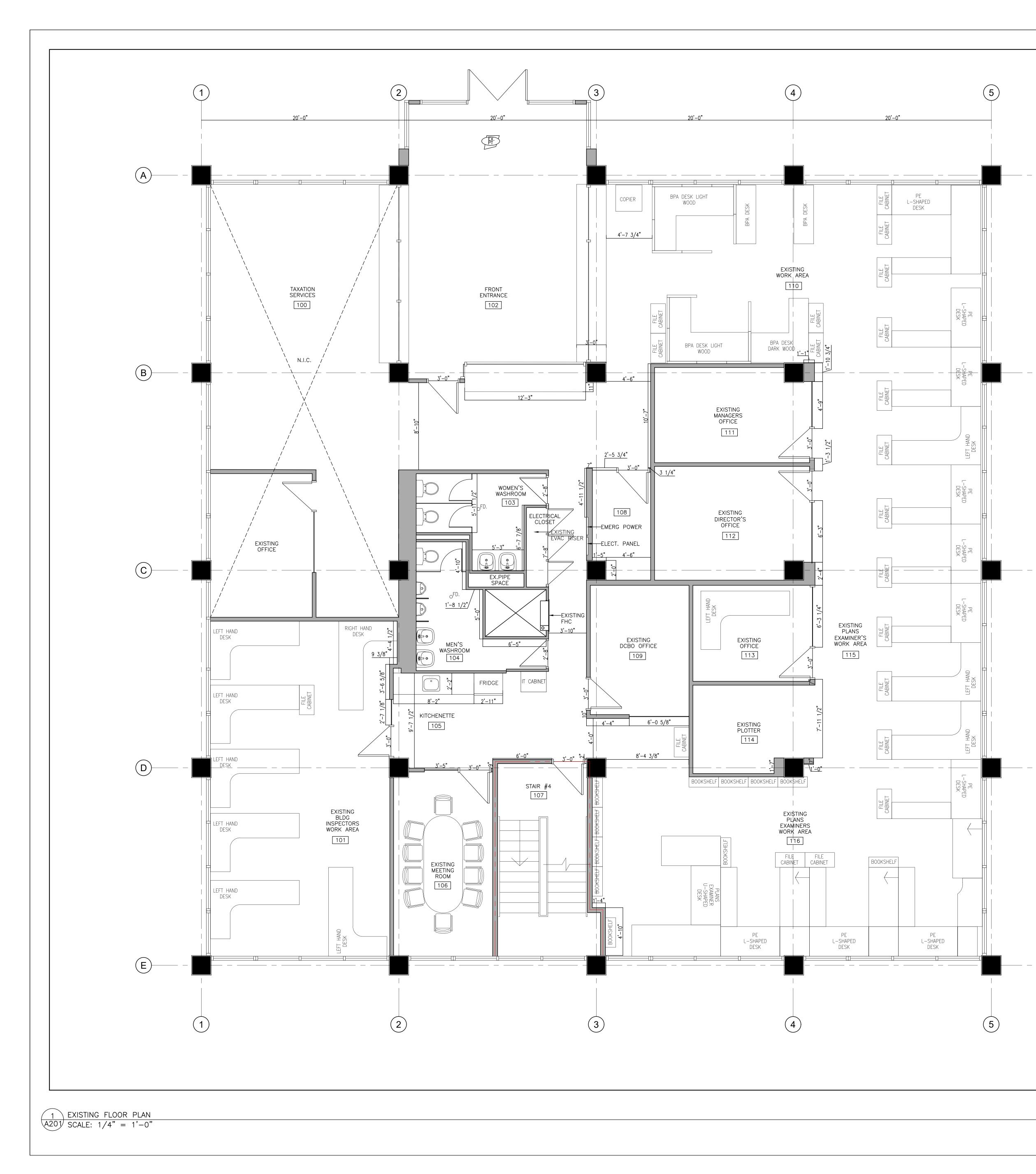


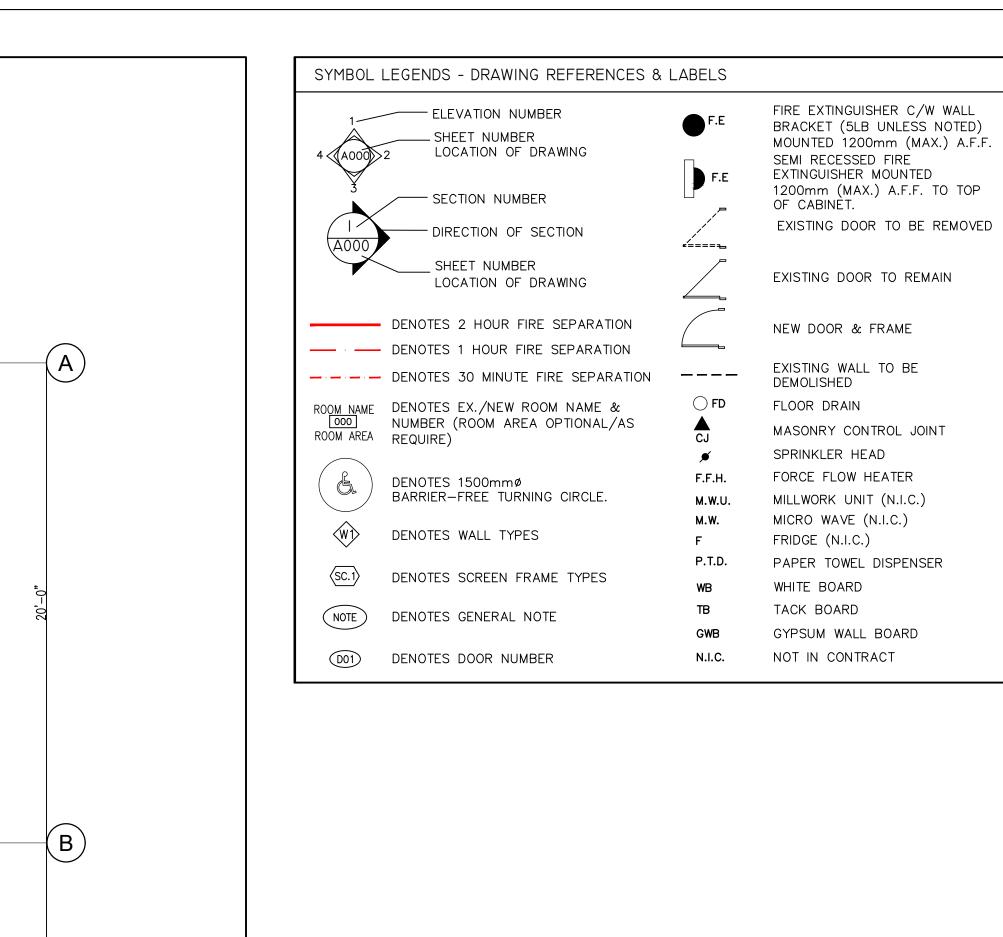
4 PARKING LEVEL P.1 TEMPORARY BARRIER A104 SCALE: 1/4"=1'-0"



Corporation of the City of Oshawa	PLOT FACTOR: 1:1
TRUE COPY	
OF FINAL REVIEWED	
BUILDING PERMIT PLANS	
Jan/29/2025	• - •
liangi Ji	KEY PLA
per the Chief Building Official	
	DISTA
BUILDING PERMIT #	PROJECT No.:
BLD202401488	2024-15
CITY OF OSHAWA	DATE: JAN14, 2025







-(C)

-(D)

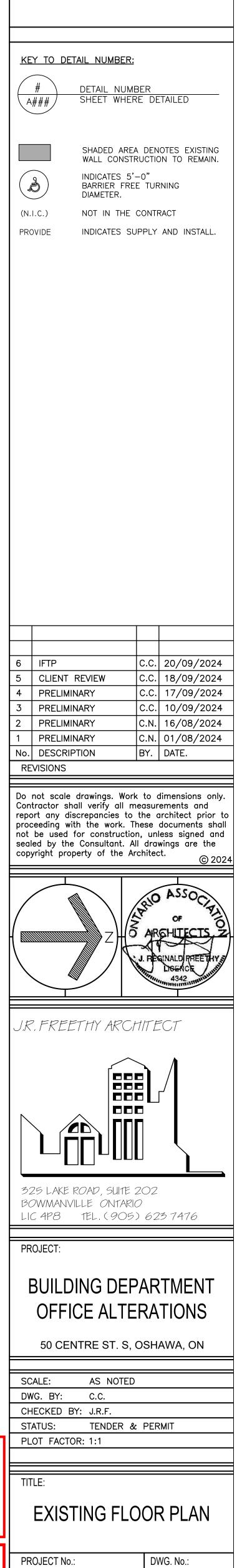
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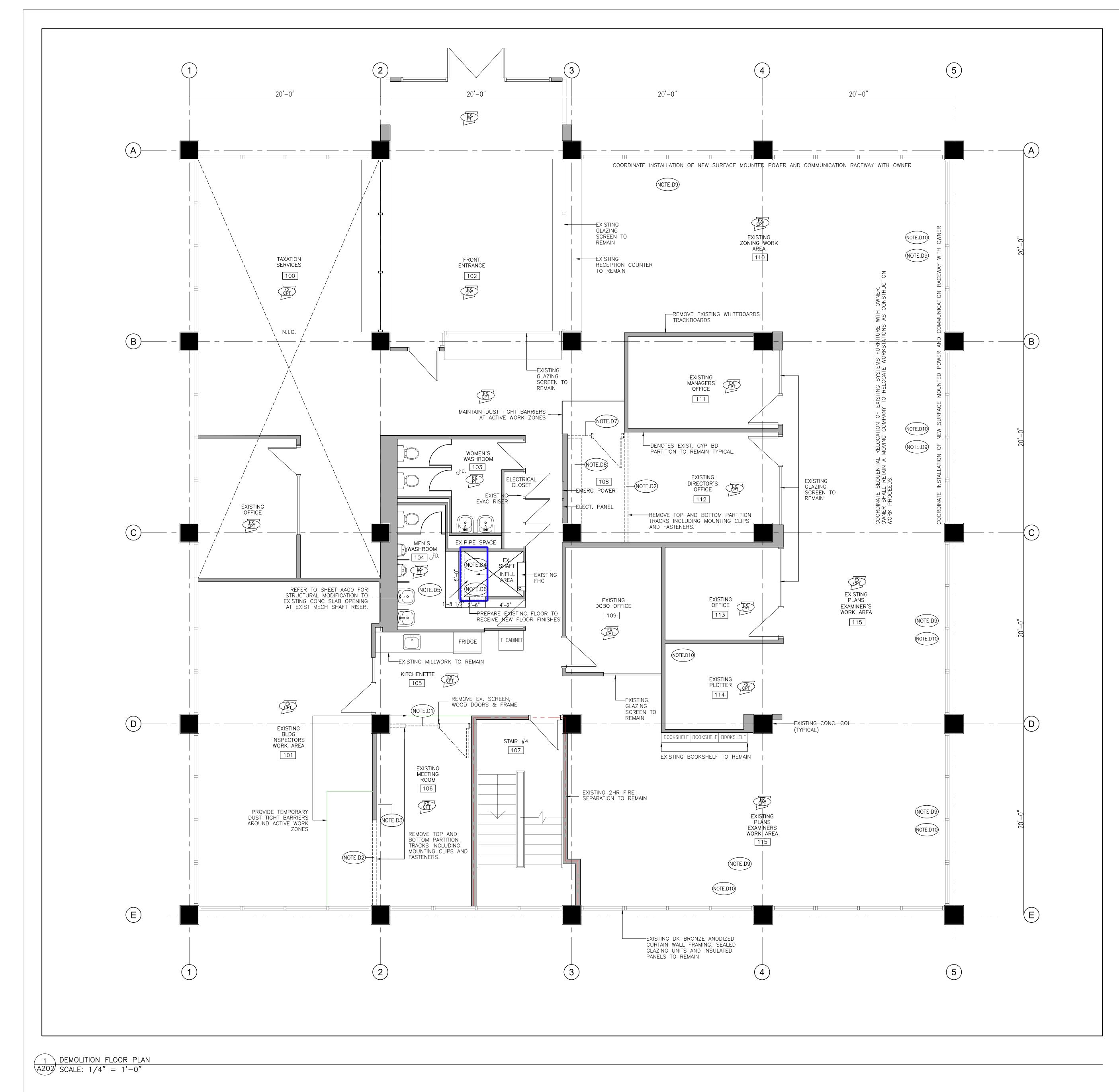
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	per the enterpanding enter
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	CITY OF OSHAWA
	CITE OF OSHAWA

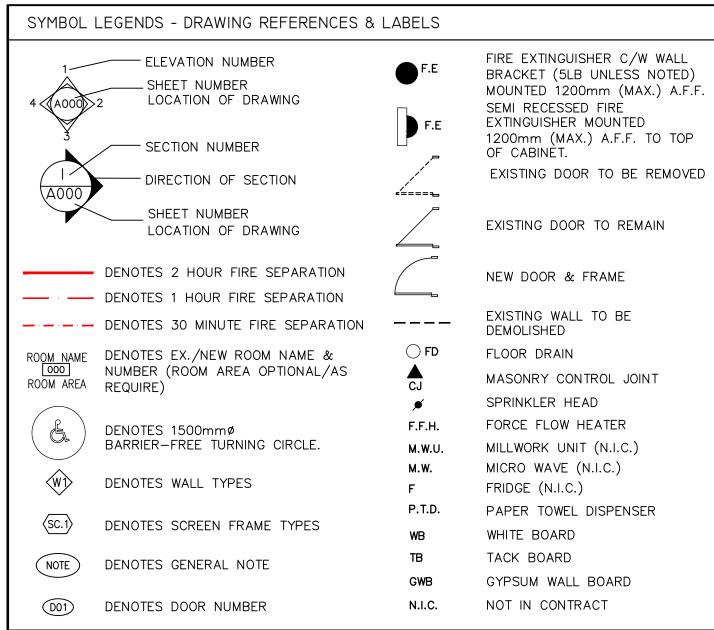
2024-15

DATE: SEPTEMBER 20, 2024

A20







SELECTIVE DEMOLITION NOTES

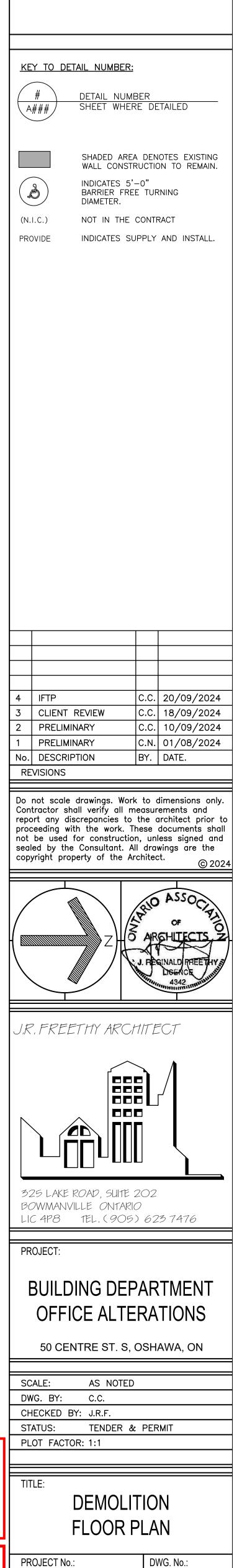
DISMOUNT THE EXISTING WOOD DOOR AND HARDWARE. TURN OVER TO OWNER FOR MAINTENANCE PURPOSES. WOTED DISMOUNT THE EXISTING GLAZED WALL PANELS AND PO350 FRAMING COMPONENTS. CUT BACK EXISTING CYPSUM BD. STEEL STUD PARTITION AS REQUIRED TO SUIT NEW CONSTRUCTION. REPAIR ANY RESULTANT DAMAGE TO EXISTING ADJACENT FLOOR, WALL AND CEILING FINISHES. WOTED PROVIDE TEMPORARY DUST TIGHT BARRIERS. REMOVE SECTION OF EXISTING GYPSUM BOARD AND STEEL STUD PARTITION, RUBBER COVE BASE AND CONCEALED ANCHOR CLIPS. REPAIR ANY RESULTANT DAMAGE TO EXISTING ACOUSTIC CEILING ASSEMBLY, CARPET TILE FLOOR FINISH, ADJACENT WALL FINISHES. WOTED TEMPORARILY DISMOUNT THE EXISTING LED WALL MONITOR AND MOUNTING BRACKET. TURN OVER TO DIV.OF FOR REINSTALLATION. PROVIDE TEMPORARY DUST PROTECTION. REMOVE SECTION OF THE EXISTING FIRE RATED STRUCTURE INCLUDING PORCELAIN TILE FLOOR BASE. NOTE THAT THE PARKING GARAGE IS DIRECTLY BELOW. CONTRACTOR SHALL FENCE OFT THE AREA UNDER THE PARKING GARAGE IS DIRECTLY BELOW. CONTRACTOR SHALL FENCE OFT THE AREA UNDER THE PARKING GARAGE IS DIRECTLY BELOW. CONTRACTOR SHALL FENCE OFT THE AREA UNDER THE PARKING GARAGE IS DIRECTLY BELOW. CONTRACTOR SHALL FENCE OFT THE AREA UNDER THE PARKING GARAGE IS DISMOUNT THE EXISTING STAINLESS STEEL PAPER TOWER WASTE DISPOSAL UNIT. NOTED REMOVE THE EXISTING GLAZED WALL PANELS AND PC350 FRAMING COMPONENTS. CUT BACK EXISTING GYPSUM BD. STEEL STUD PARTITION AS REQURED TO SUIT NEW CONSTRUCTION. REPARE THE EXISTING GLAZED WALL PANELS AND PC350 FRAMING COMPONENTS. CUT BACK EXISTING GYPSUM BD. STEEL STUD PARTITION AS REQURED TO SUIT NEW CONSTRUCTION. REPARA ANY RESULTANT GARAZE TO EXISTING ADJACENT FLOOR, WALL AND CEILING FINISHES. WOTED COORDINATE TEMPORARY REMOVAL OF EXISTING MORKSTATIO		
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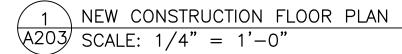
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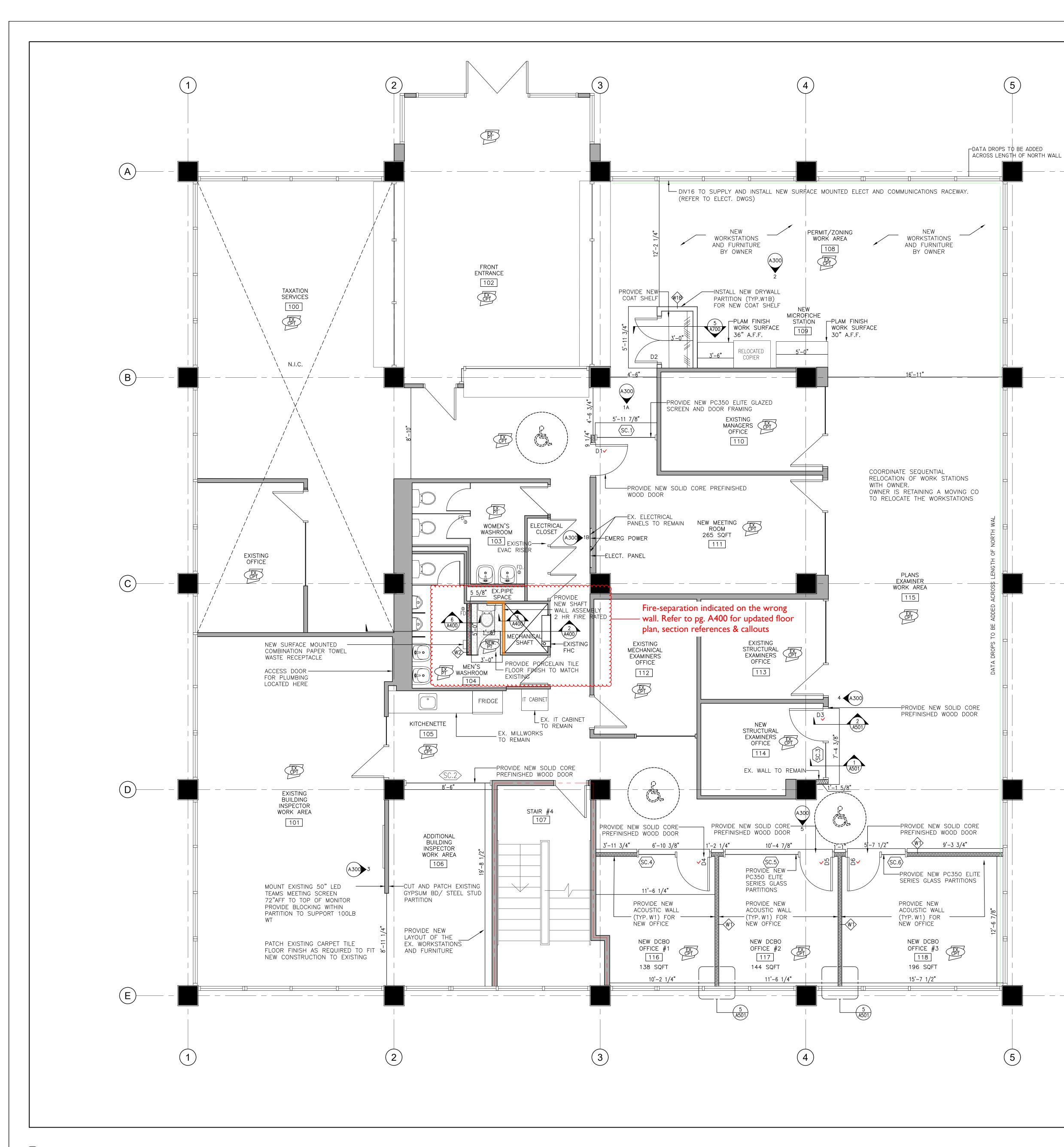
2024-15

DATE: SEPTEMBER 20, 2024

A202







SYMBOL LEGENDS - DRAWING REFERENCES &	LABELS		
ELEVATION NUMBER		FIRE EXTINGUISHER C/W WALL	
SHEET NUMBER	F.E	BRACKET (5LB UNLESS NOTED) MOUNTED 1200mm (MAX.) A.F.	F.
4 A000 2 LOCATION OF DRAWING		SEMI RECESSED FIRE	
SECTION NUMBER	F.E	1200mm (MAX.) A.F.F. TO TOP	
		OF CABINET. EXISTING DOOR TO BE REMOVE	D
A000 DIRECTION OF SECTION			
SHEET NUMBER LOCATION OF DRAWING		EXISTING DOOR TO REMAIN	
DENOTES 2 HOUR FIRE SEPARATION		NEW DOOR & FRAME	
DENOTES 1 HOUR FIRE SEPARATION		EXISTING WALL TO BE	
DENOTES 30 MINUTE FIRE SEPARATION		DEMOLISHED	
ROOM NAME DENOTES EX./NEW ROOM NAME &	○ FD	FLOOR DRAIN	
ROOM AREA REQUIRE)	CJ	MASONRY CONTROL JOINT	
	ب≢ F.F.H.	SPRINKLER HEAD FORCE FLOW HEATER	
DENOTES 1500mmø BARRIER-FREE TURNING CIRCLE.	M.W.U.	MILLWORK UNIT (N.I.C.)	
DENOTES WALL TYPES	M.W.	MICRO WAVE (N.I.C.)	
DENOTES WALL THES	F P.T.D.	FRIDGE (N.I.C.) PAPER TOWEL DISPENSER	
SC.1 DENOTES SCREEN FRAME TYPES	WB	WHITE BOARD	
(NOTE) DENOTES GENERAL NOTE	ТВ	TACK BOARD	
DENOTES GENERAL NOTE	GWB	GYPSUM WALL BOARD	
DO1) DENOTES DOOR NUMBER	N.I.C.	NOT IN CONTRACT	
		VDEO	
FLOOR FINISHES	WALL T	YPES	
		1/2" GYPSUM BOARD 3 1/2" STEEL STUDS © 16" O.C	
DENOTES EXISTING FLOOR FINISH	⟨W1⟩	FILL VOID WITH ROCKWOOL AFB ACOUSTIC INSULATION	
		1/2" GYPSUM BOARD FROM FINISH FLOOR TO 9'-1" A.F.F.	
DENOTES NEW FLOOR FINISH		FROM FINISH FLOOR TO $9-1$ A.F.F. 1/2" GYPSUM BOARD	
	W1B	3 1/2" STEEL STUDS @ 16" O.C	
DENOTES CARPET TILE	\checkmark	1/2" GYPSUM BOARD FROM FINISH FLOOR TO 9'–1" A.F.F.	
		1/2" DRICON FIRE RETARDANT TREATED	
(PT) DENOTES PORCELAIN TILE	W2	DOUGLAS FIR PLYWOOD (ON BOTH SIDES 3 5/8" 18 GA. STEEL STUDS @ 16" O.C)
		1/2" GYPSUM BOARD (ON BOTH SIDES) FROM FINISH FLOOR TO 8'-0" A.F.F.	
SCREEN TYPES			
SC.# 3/8" CLEAR LAMINATED PC350 'ELITE'			
	PORTAB	BLE FIRE EXTINGUISHERS	
		BLE FIRE EXTINGUISHERS 7. B 3.2.5.17. AND 9.10.20.4.	
	OBC DIV	7. B 3.2.5.17. AND 9.10.20.4. BLE FIRE EXTINGUISHERS MUST BE IN	
	OBC DIV	/. B 3.2.5.17. AND 9.10.20.4.	
	OBC DIV PORTAB IN CONF	7. B 3.2.5.17. AND 9.10.20.4. BLE FIRE EXTINGUISHERS MUST BE IN	ODE.
	OBC DIV PORTAB IN CONF	A. B 3.2.5.17. AND 9.10.20.4. SLE FIRE EXTINGUISHERS MUST BE IN ORMANCE WITH THE ONTARIO FIRE O R-FREE PATH OF TRAVEL WITHIN FLC A. B 3.8.1.3.(1), 3.8.2.1.(1)	ODE.
	OBC DIV PORTAB IN CONF	7. B 3.2.5.17. AND 9.10.20.4. SLE FIRE EXTINGUISHERS MUST BE IN FORMANCE WITH THE ONTARIO FIRE C R-FREE PATH OF TRAVEL WITHIN FLC	ODE.
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	OBC DIV PORTAB IN CONF BARRIE OBC DIV A BARRI UNOBST BE PROV	A. B 3.2.5.17. AND 9.10.20.4. SUE FIRE EXTINGUISHERS MUST BE IN FORMANCE WITH THE ONTARIO FIRE C R-FREE PATH OF TRAVEL WITHIN FLC A. B 3.8.1.3.(1), 3.8.2.1.(1) URER-FREE PATH OF TRAVEL WITH A MI FRUCTED WIDTH OF 1100mm (3'-7 1/3") VIDED THROUGHOUT ALL NORMALLY ED FLOOR AREA UNLESS EXEMPTED	ODE. OR AREA NIMUM SHALL BY OBC.
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THE BUILDING IS REQUIRED TO BE OF NON-COMBUSTIBLE CONSTRUCTION.

-(A)

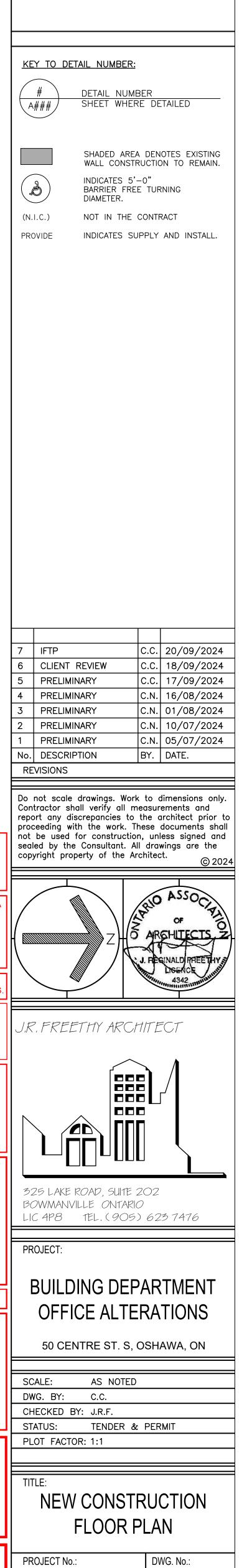
-(B)

-(C)

—(D)

-(E)

THE CITY OF OSHAWA

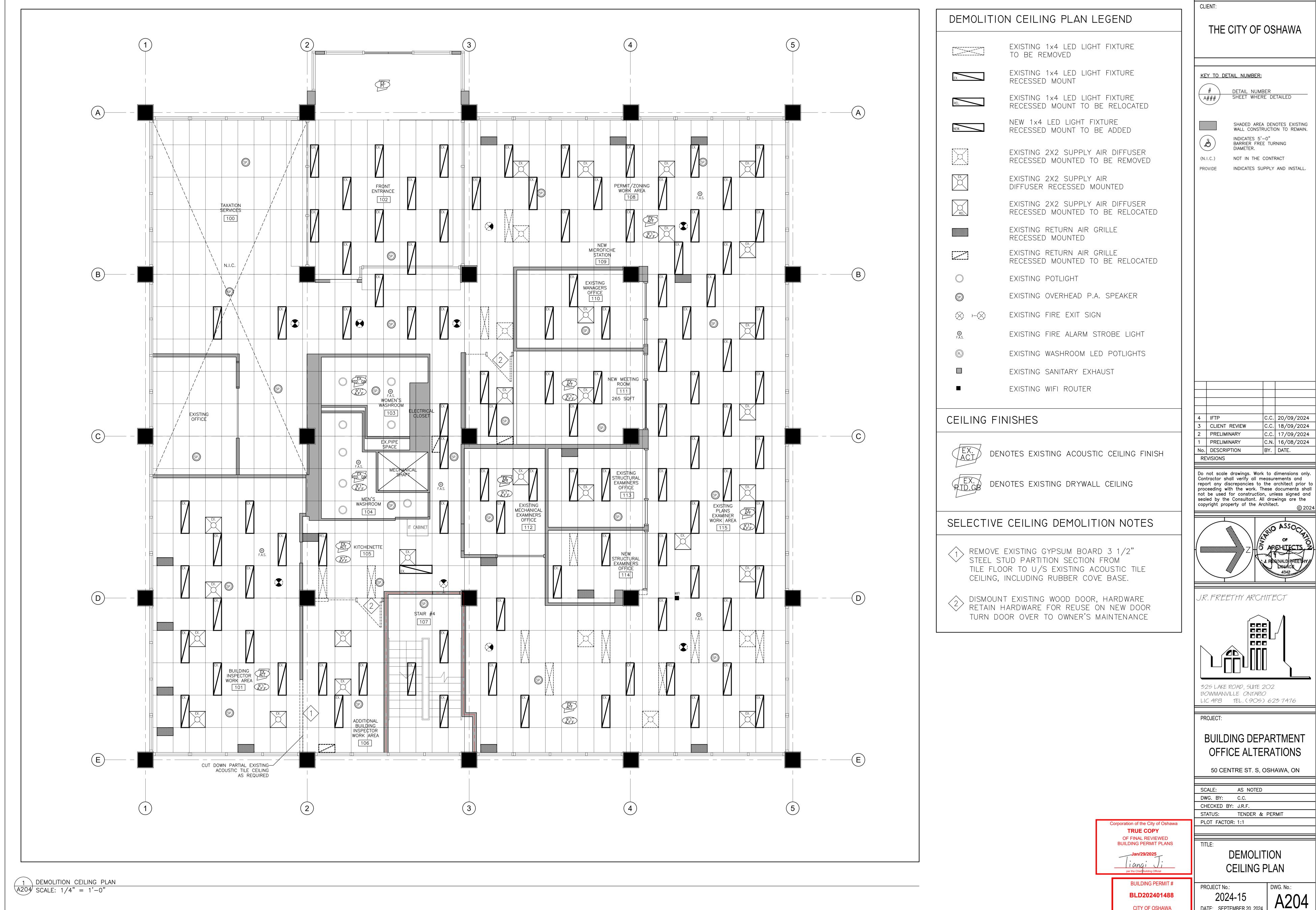


2024-15

DATE: SEPTEMBER 20, 2024

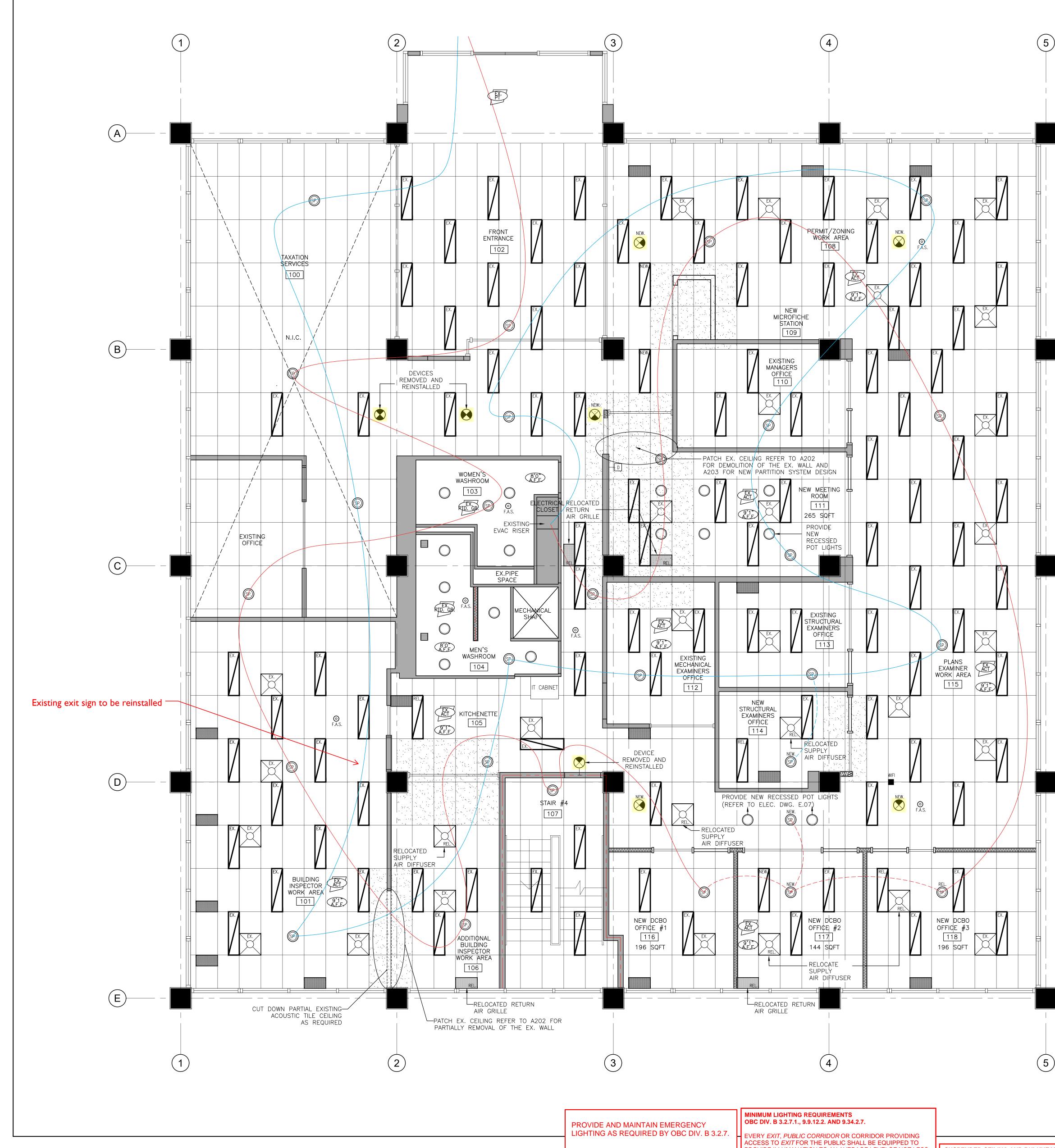
CITY OF OSHAWA

A203



BL	.D2	202	240	14	88
С	ΙΤΥ	OF	051	ΗΔΙΛ	/Δ

DATE: SEPTEMBER 20, 2024



 $\begin{array}{c|c} 1 & \text{REFLECTED CEILING PLAN} \\ \hline \text{A205} & \text{SCALE: } 1/4" = 1'-0" \end{array}$

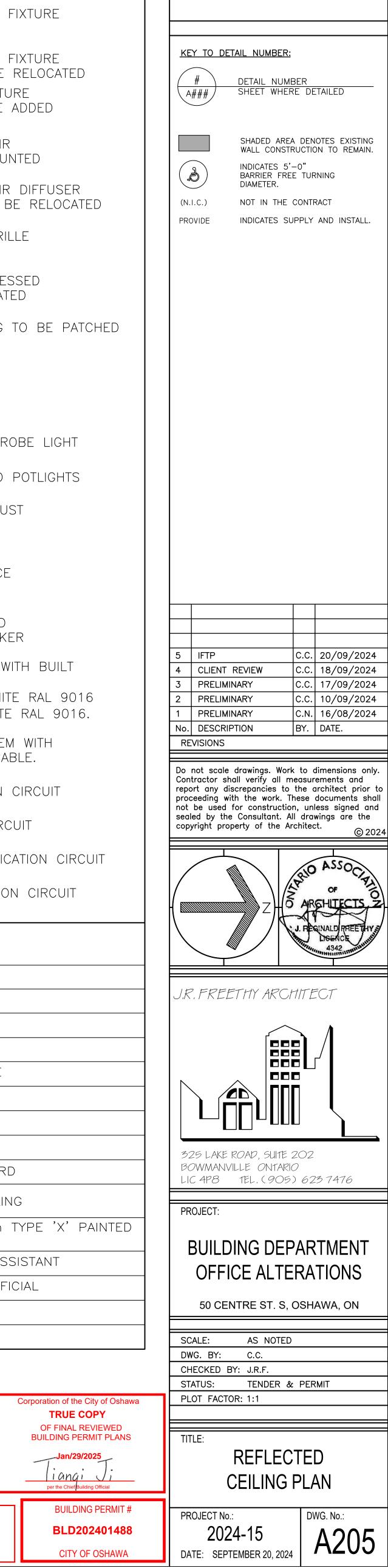
MINIMUM EMERGENCY LIGHTING REQUIREMENTS OBC DIV. B 3.2.7.3. AND 9.9.12.3. THE REQUIRED EMERGENCY LIGHTING SHALL HAVE AN AVERAGE LEVEL NOT LESS THAN 10 LX (0.9 FT. -

 OV
 CANDLES) AT FLOOR OR TREAD LEVEL.

PROVIDE ILLUMANATION TO AN AVERAGE LEVELOF NOT LESS THAN 50LX (4.6 FT-CANDLE) AT FLOOR OR TREAD LEVEL AND AT ALL POINTS SUCH AS ANGLES AND INTERSECTIONS AT CHANGES OF LEVEL WHERE THERE ARE STAIRS OR RAMPS. ILLUMANTION OF PUBLIC AND SERVICE AREAS SHALL CONFORM TO TABLE 9.34.2.7. (MINIMUM LIGHTING RANGE BETWEEN 50 AND 500 LX) SUSPENDED CEILING AND BULKHEAD THE PROPOSED SUSPENDED CEILING, BULKHEAD AND DECORATIVE STRUCTURE SHALL BE SUPPORTED BY STRUCTURAL MEMBERS AND BE CERTIFIED BY A PROFESSIONAL ENGINEER PRIOR TO OCCUPANCY IF REQUIRED BY THE BUILDING

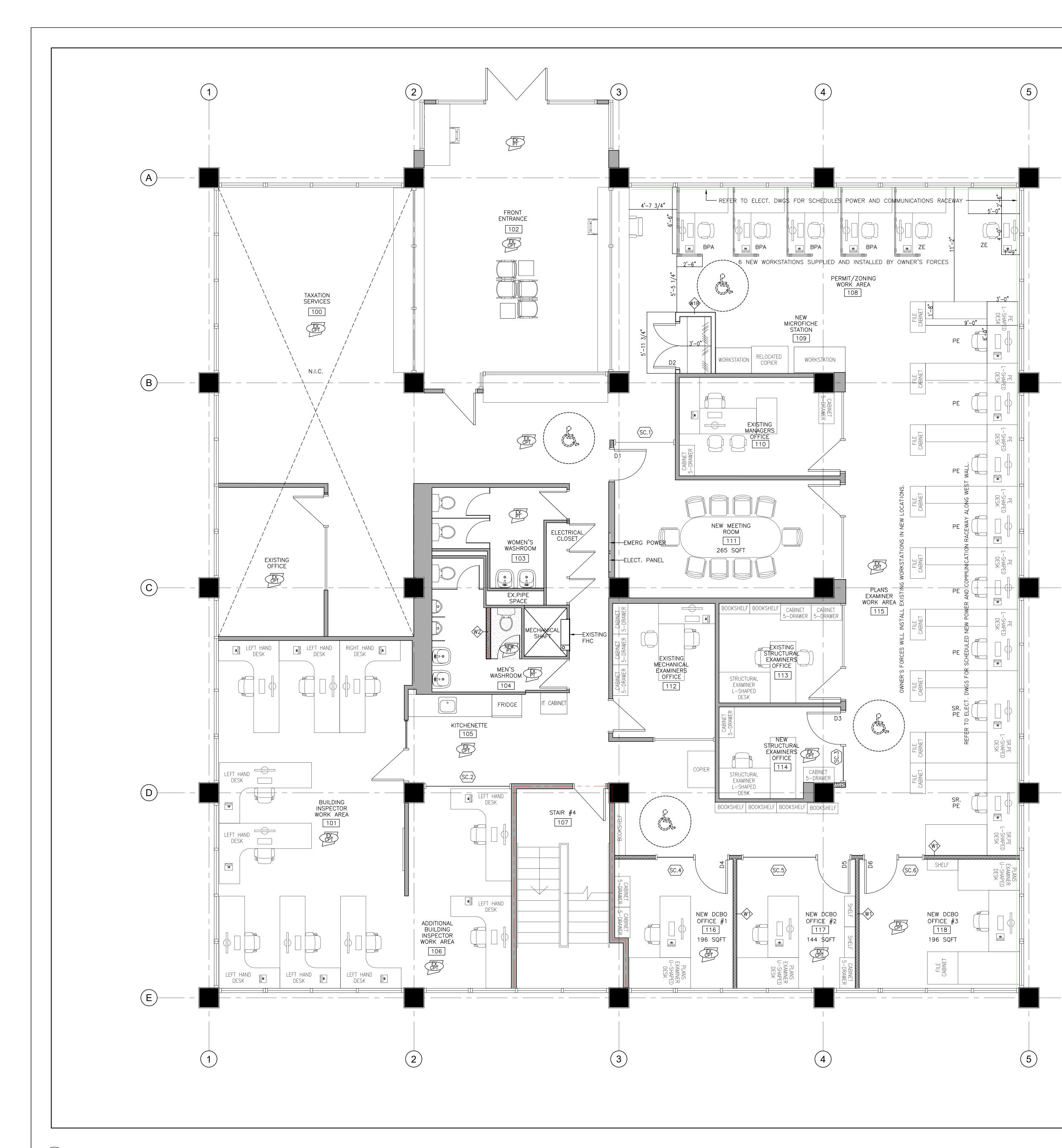
INSPECTOR.

	1 1		
	EX.		XISTING 1×4 LED LIGHT FIXTURE RECESSED MOUNT
	REL.		XISTING 1×4 LED LIGHT FIXTURE
	NEW.	N	RECESSED MOUNT TO BE RELOCATED EW 1x4 LED LIGHT FIXTURE ECESSED MOUNT TO BE ADDED
— – — (A)	EX.		XISTING 2X2 SUPPLY AIR IFFUSER RECESSED MOUNTED
		E	XISTING 2X2 SUPPLY AIR DIFFUSER
		E	ECESSED MOUNTED TO BE RELOCATED
	REL	R	ECESSED MOUNTED ETURN AIR GRILLE RECESSED
		·	IOUNTED TO BE RELOCATED X. GYPSUM BD. CEILING TO BE PATCHED
			XISTING POTLIGHT
— — — (B)		—(S) E	XISTING FIRE EXIT SIGN
	O F.A.S.	E	XISTING FIRE ALARM STROBE LIGHT
	PL	E	XISTING WASHROOM LED POTLIGHTS
		E	XISTING SANITARY EXHAUST
		E	XISTING WIFI ROUTER
	(SP)		XISTING OVERHEAD VOICE VACUATION SPEAKER
C	NEW.	V N 3 IN B / C V	OA IP CEILING MOUNTED OICE EVACUATION SPEAKER ODEL IP-A1PC58580R 24mm DIA. COMPLETE WITH BUILT N 8WATT AMPLIFIER/ BAFFLE STEEL PLATE WHITE RAL 9016 GRILLE STEEL NET WHITE RAL 9016. CONNECT TO EXISTING OICE EVACUATION SYSTEM WITH CAT 5 PLENUM RATED CABLE.
		— Е	XISTING COMMUNICATION CIRCUIT
		N	IEW COMMUNICATION CIRCUIT
		— Е	XISTING EVAC. COMMUNICATION CIRCUIT
		N	IEW EVAC. COMMUNICATION CIRCUIT
	LEG	END	
\frown		ABBREV.	DEFINITION
— — — (D)		UF.	UNFINISHED
	FLOORING	CPT.	CARPET TILE
	BASE	PT.	PORCELAIN TILE CARPET COVE BASE
		СРТ. СВ. ТВ.	TILE BASE
	WALLS	VB.	VINYL BASE
		CT.	CERAMIC TILE
		GWB	GYPSUM WALL BOARD
		ACT.	ACOUSTIC TILE CEILING
	CEILINGS	PTD. GB.	1 LAYER OF 16mm TYPE 'X' PAINTED GYPSUM BOARD
		BPA	BUILDING PERMIT ASSISTANT
		L	
— — — — — E		СВО	CHIEF BUILDING OFFICIAL

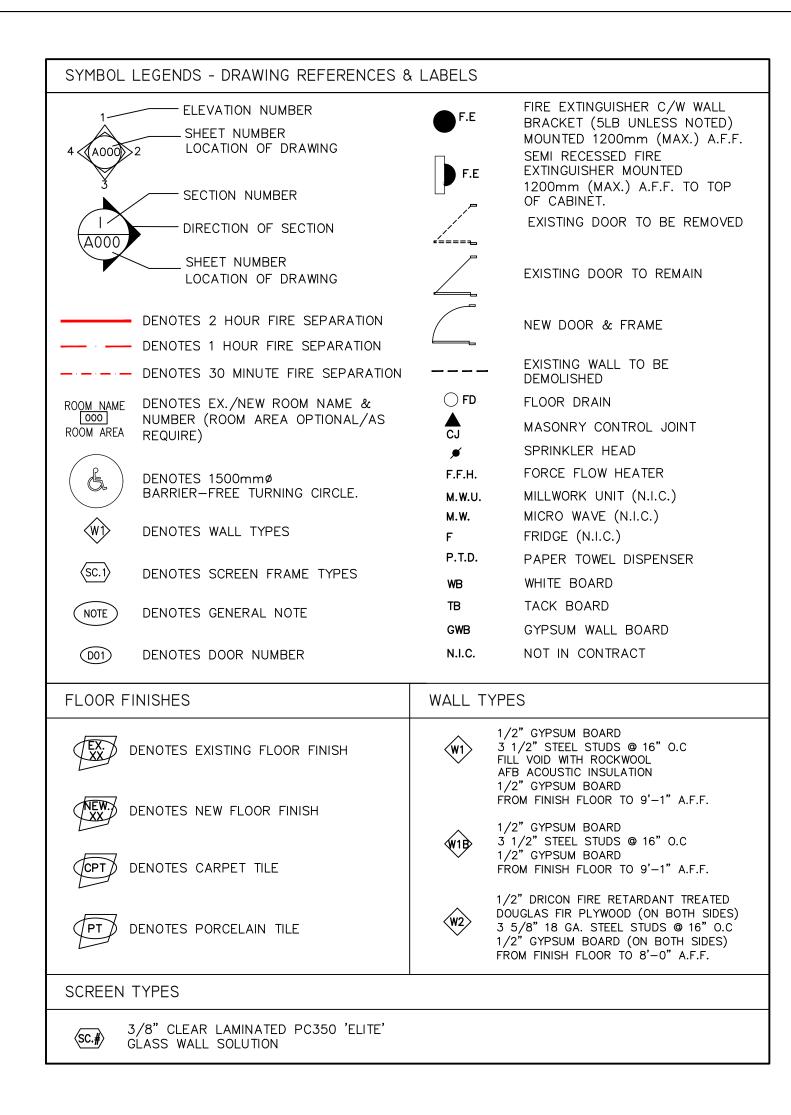


SUSPENDED CEILING THE INSTALLATION OF SUSPENDED CEILING, SPRINKLER HANGERS, MECHANICAL EQUIPMENT AND THIER ANCHORAGE SYSTEMS SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER PRIOR TO OCCUPANCY IF REQUIRED BY THE BUILDING INSPECTOR.

EXIT SIGNS EXIT SIGNS ARE TO BE INSTALLED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, SUBSECTION DIV. B 3.4.5. & DIV. B 9.9.11.



B

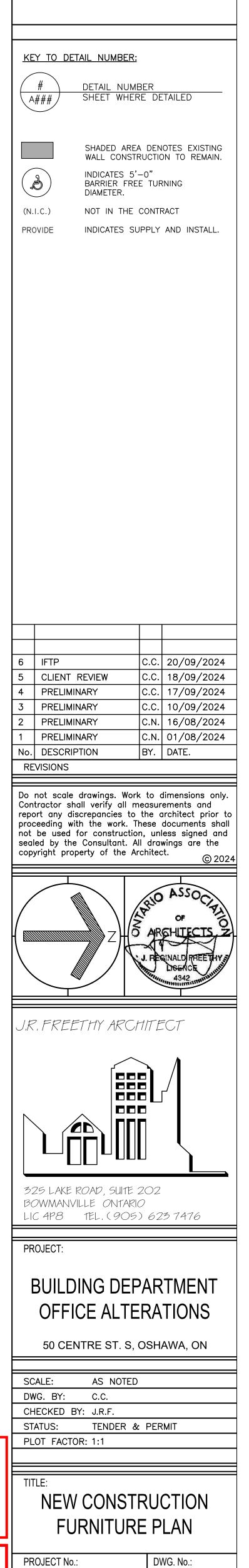


-(C)

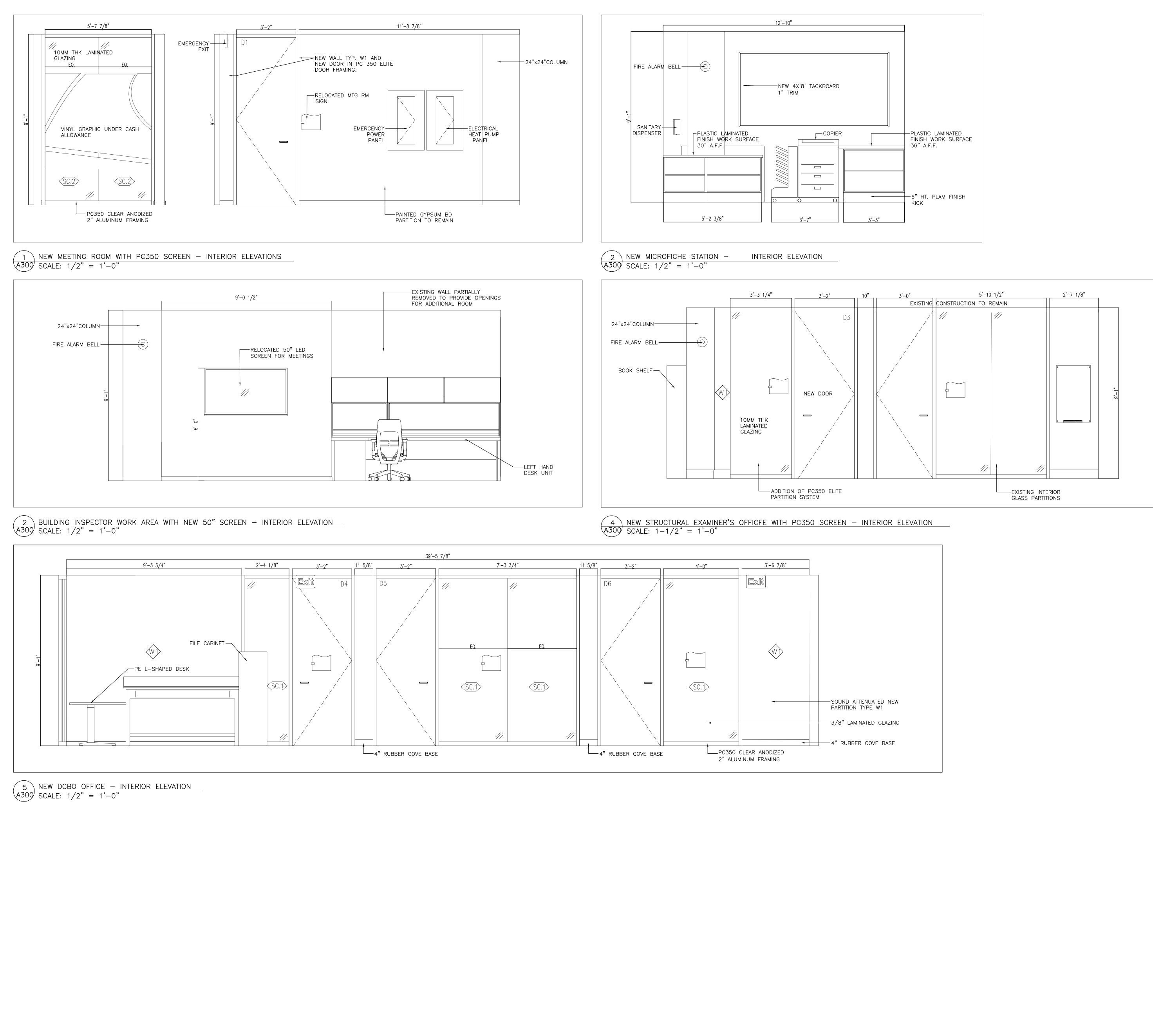
E

Corporation of the City of Oshawa TRUE COPY OF FINAL REVIEWED BUILDING PERMIT PLANS Jan/29/2025 Jan/29/20 Jan/29/20 Jan/29/2025

THE CITY OF OSHAWA



A206

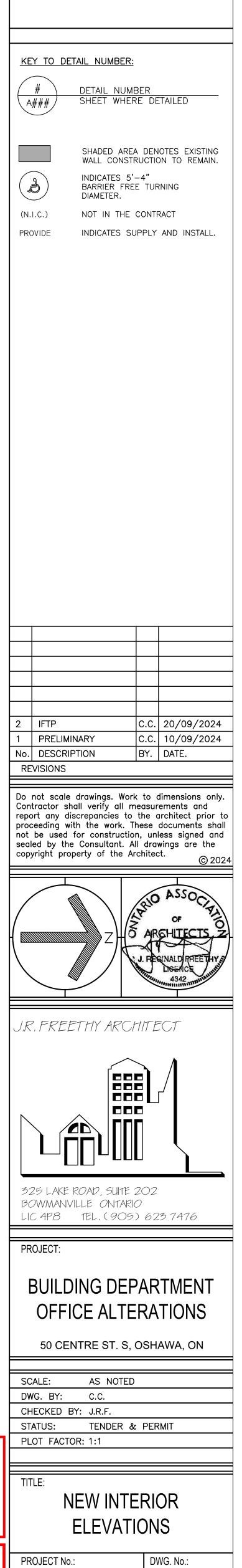


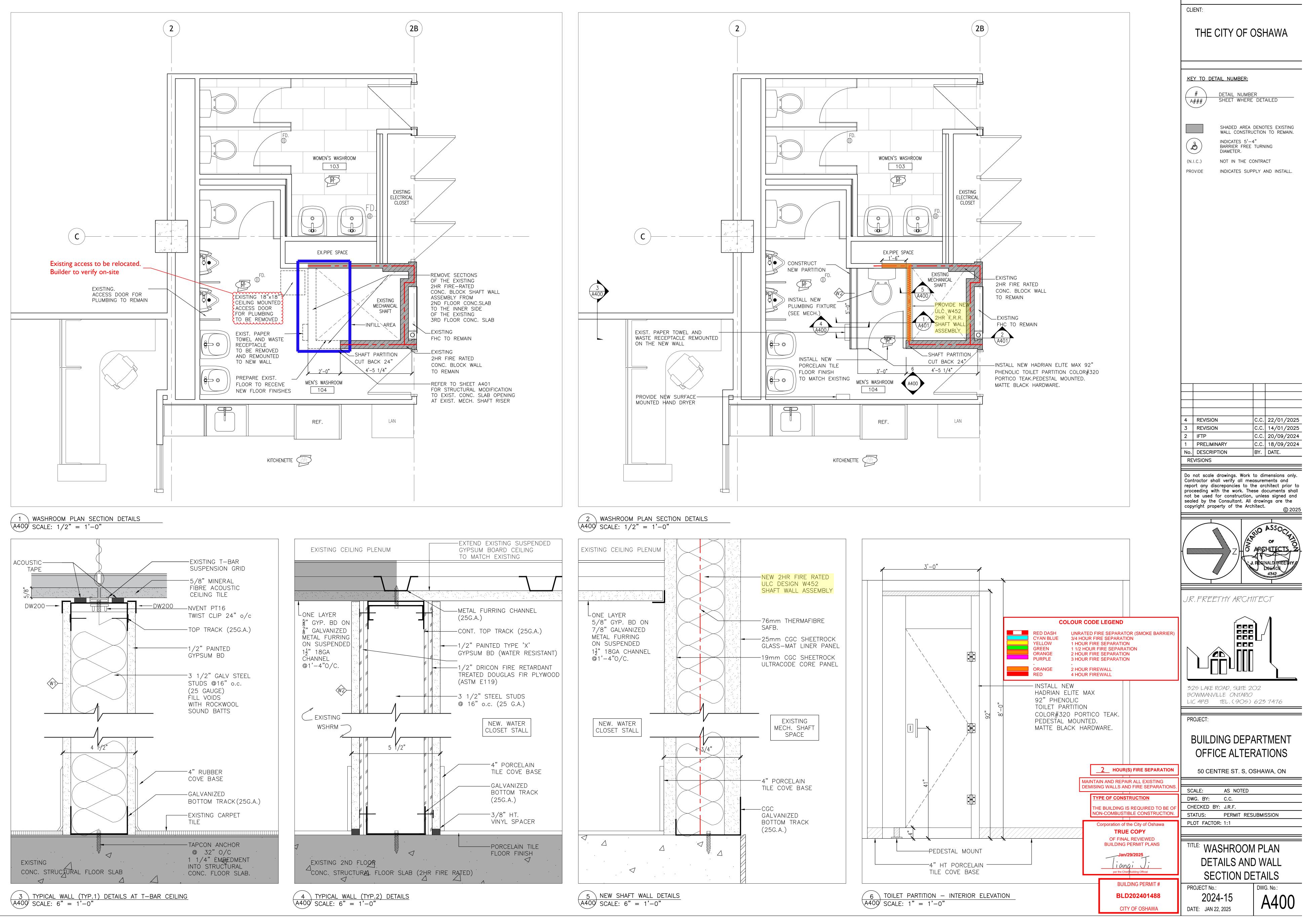
—PLASTIC LAMINATED FINISH WORK SURFACE 36" A.F.F.	
—6" HT. PLAM FINISH KICK	

C	Corporation of the City of Oshawa
	TRUE COPY
	OF FINAL REVIEWED BUILDING PERMIT PLANS
	BUILDING PERMIT FLANS
	Jan/29/2025
	liangi Ji
	per the Chief Building Official
	BUILDING PERMIT #
	BLD202401488
	CITY OF OSHAWA
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DATE: SEPTEMBER 20, 2024

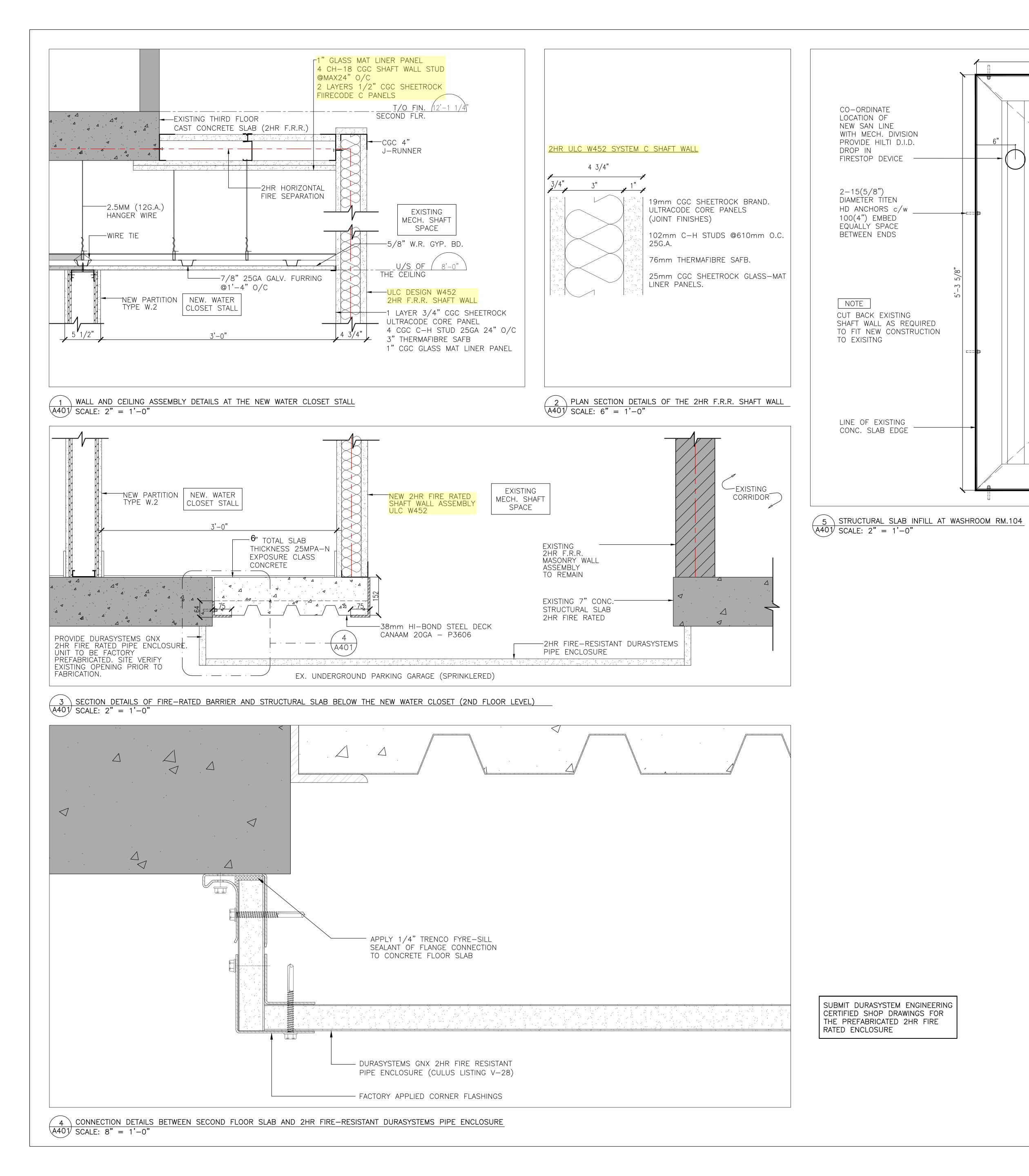
A300

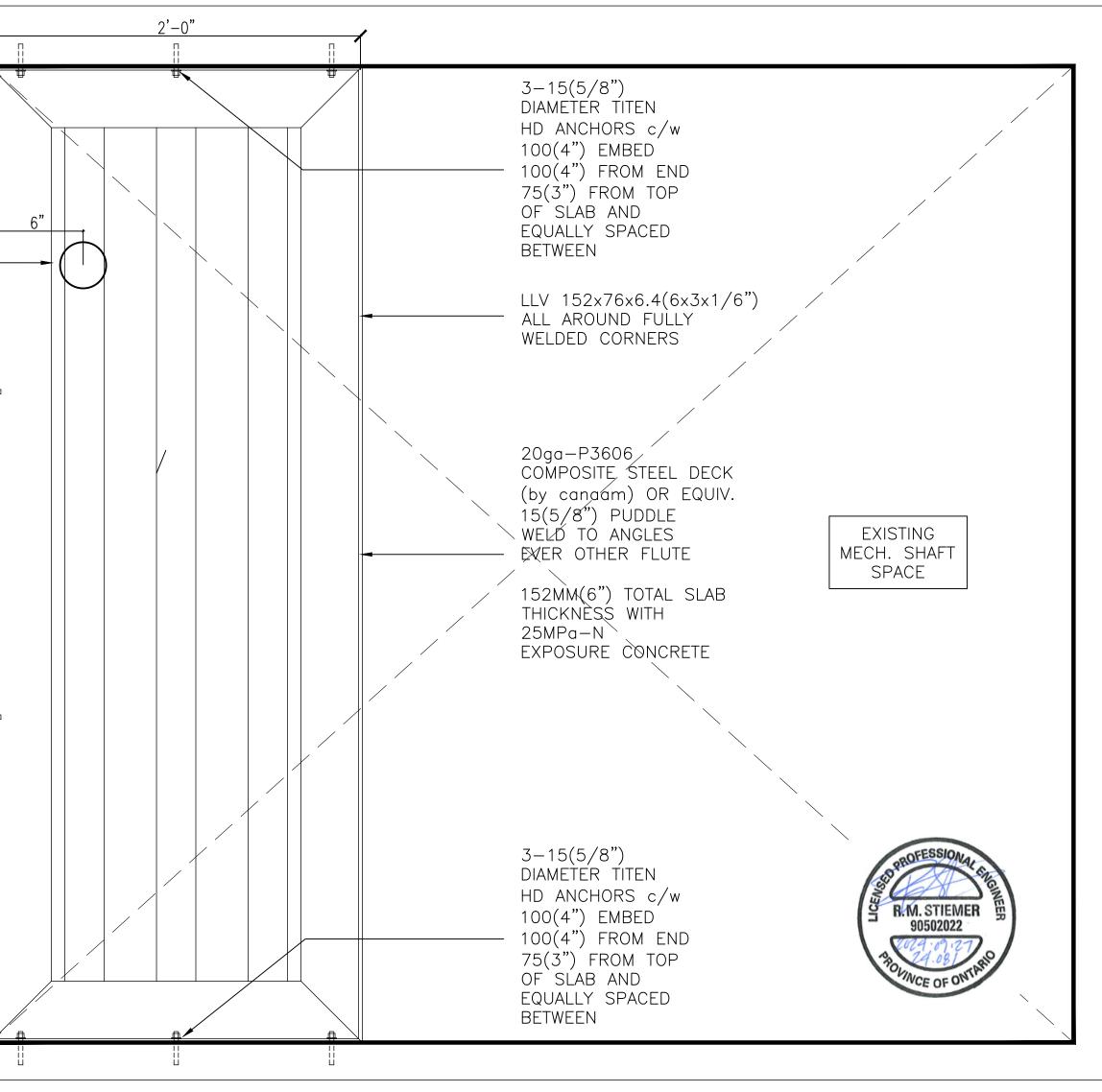


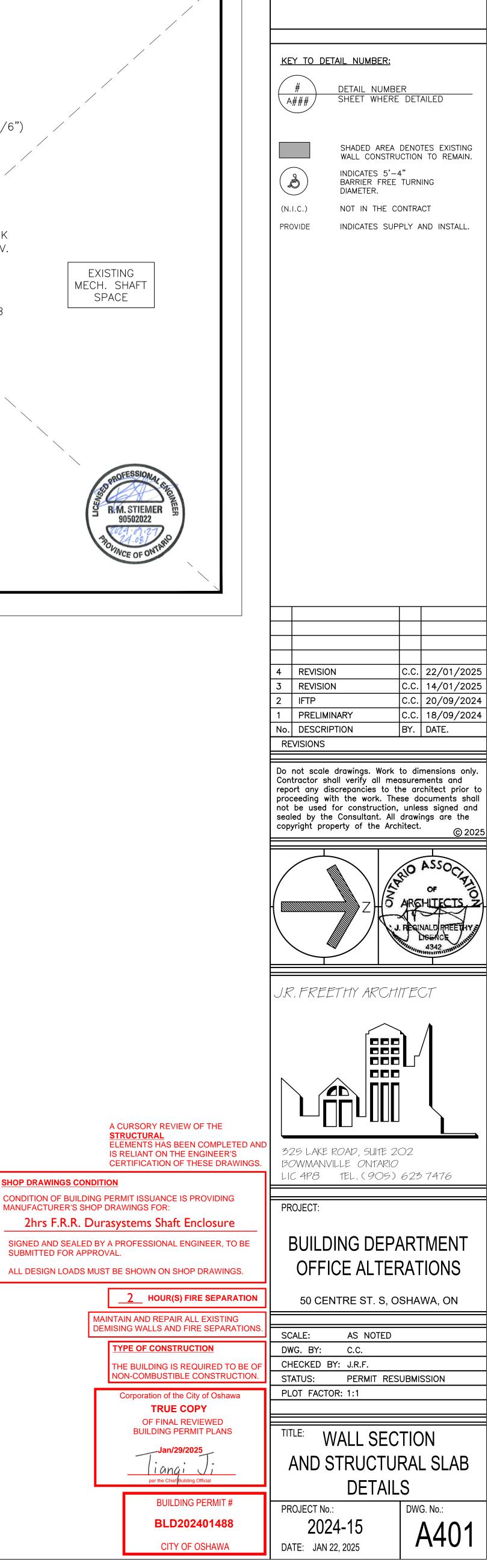


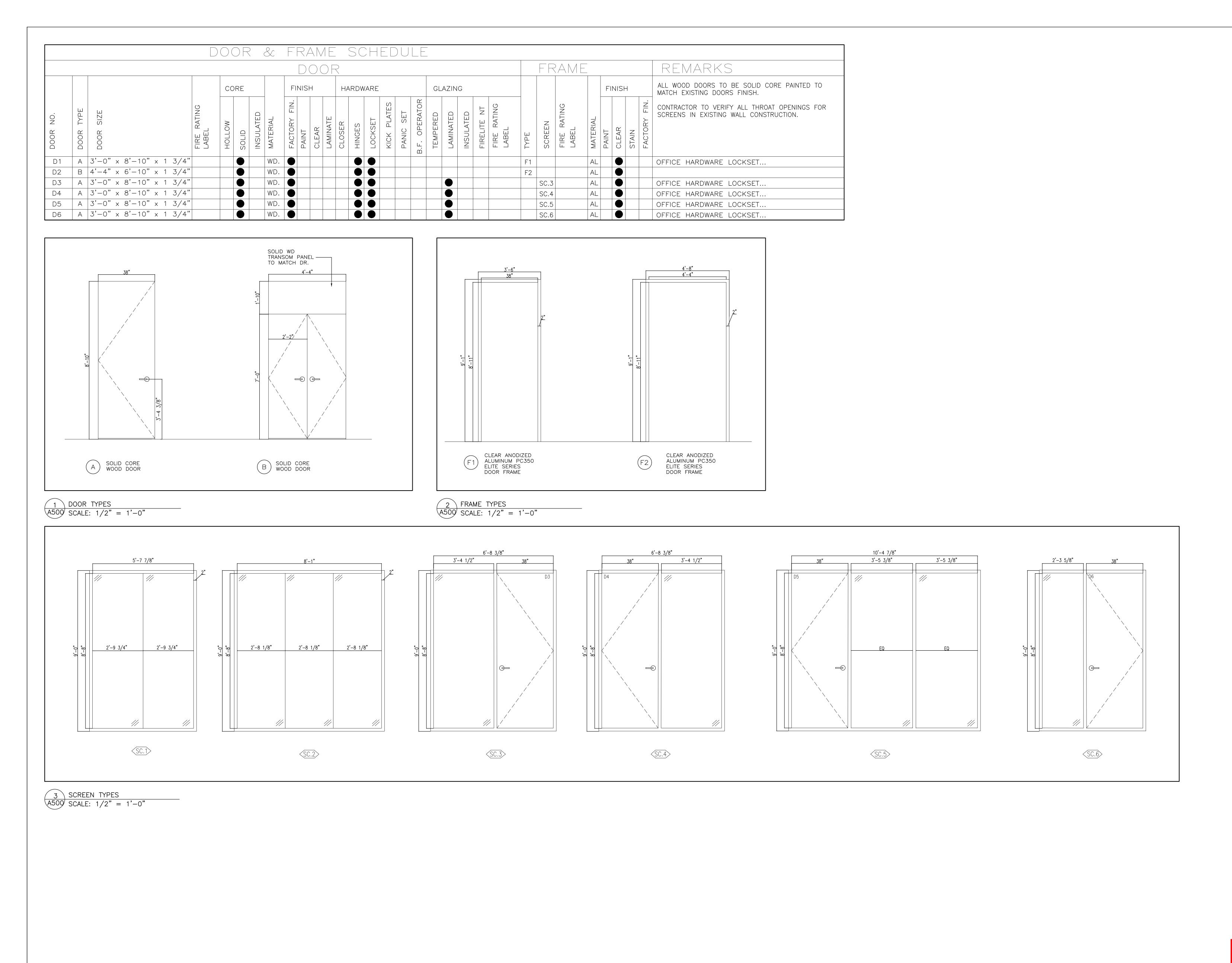
SCALE:	AS NOTED	
DWG. BY:	C.C.	
CHECKED BY:	J.R.F.	
STATUS:	PERMIT RESUBMISSION	
PLOT FACTOR:	1:1	
TITLE: WASHROOM PLAN		

DETAILS AND WALL SECTION DETAILS	
PROJECT No.:	DWG. No.:
2024-15	A400
DATE: JAN 22, 2025	





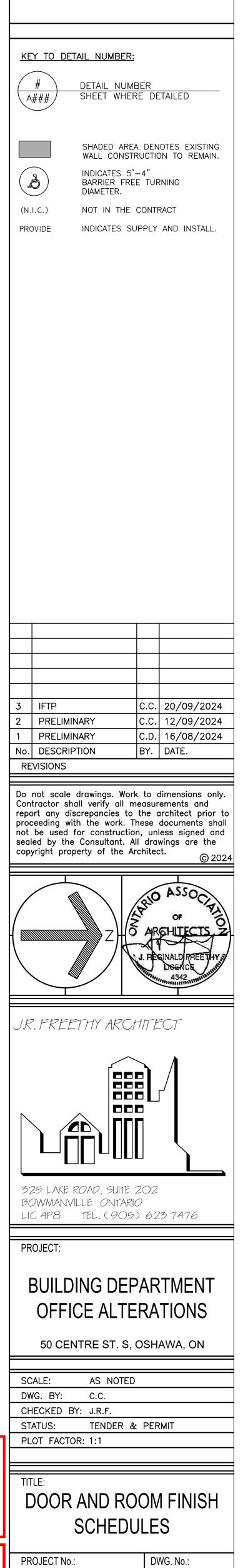


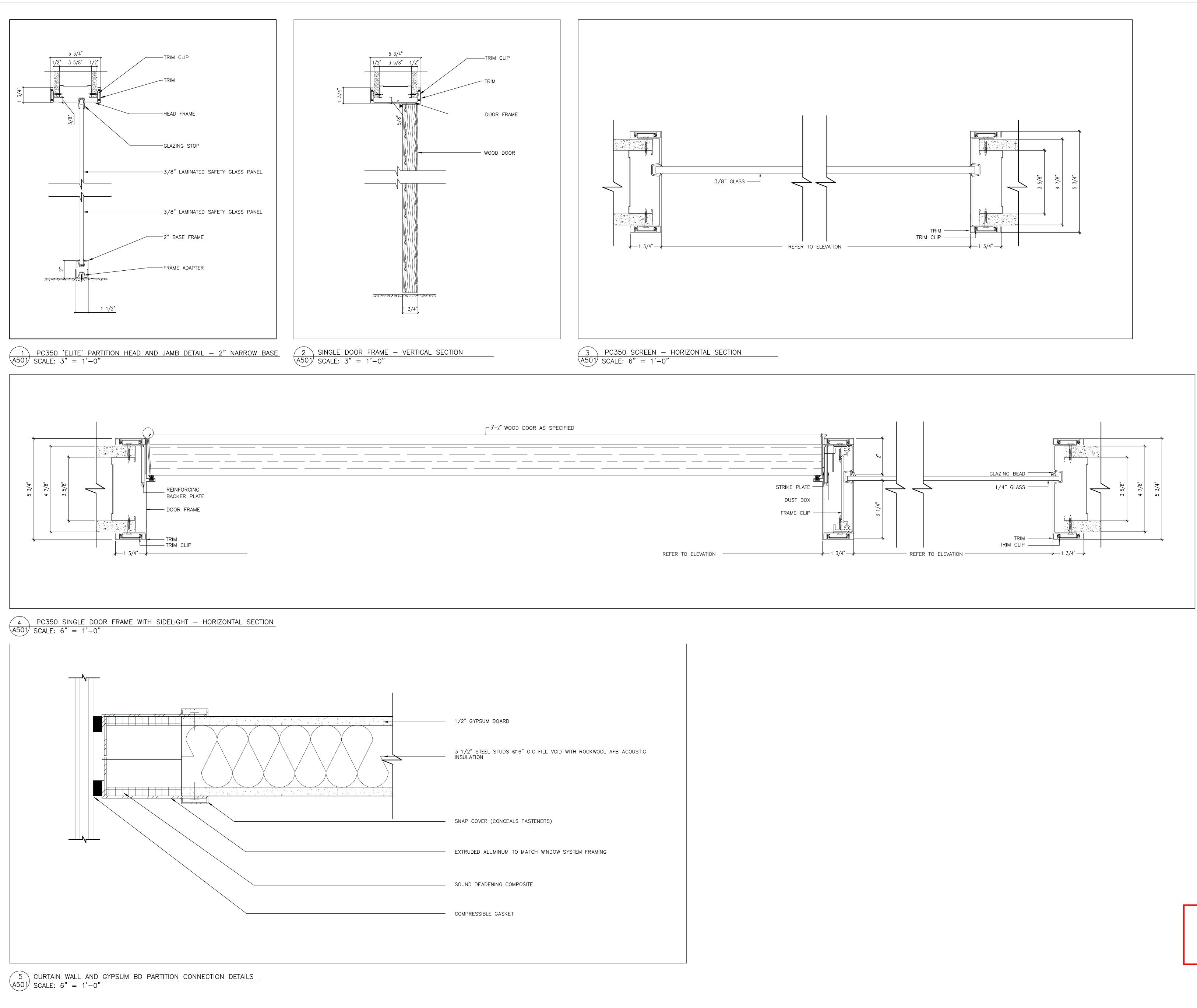


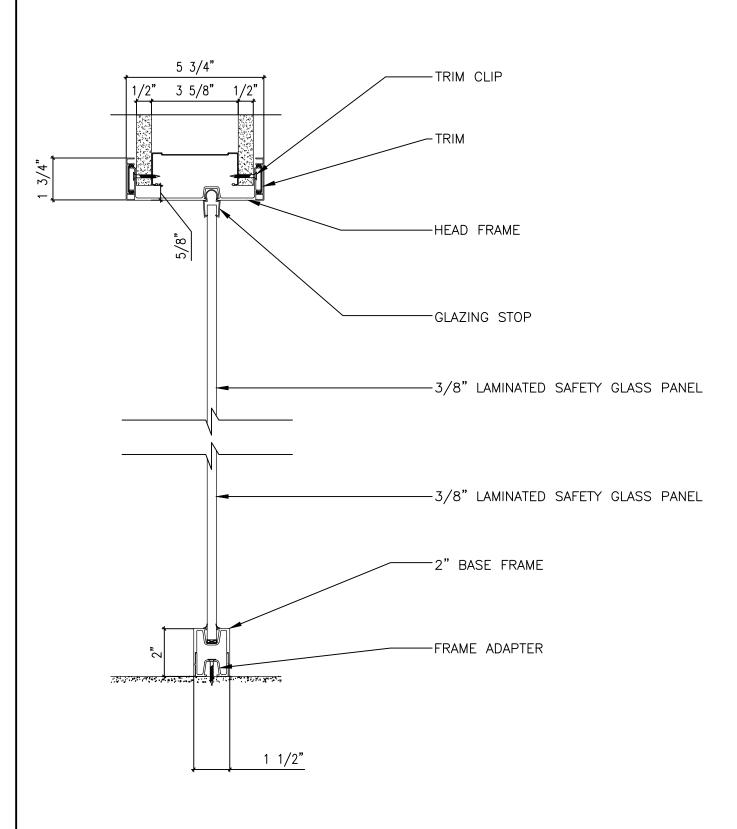


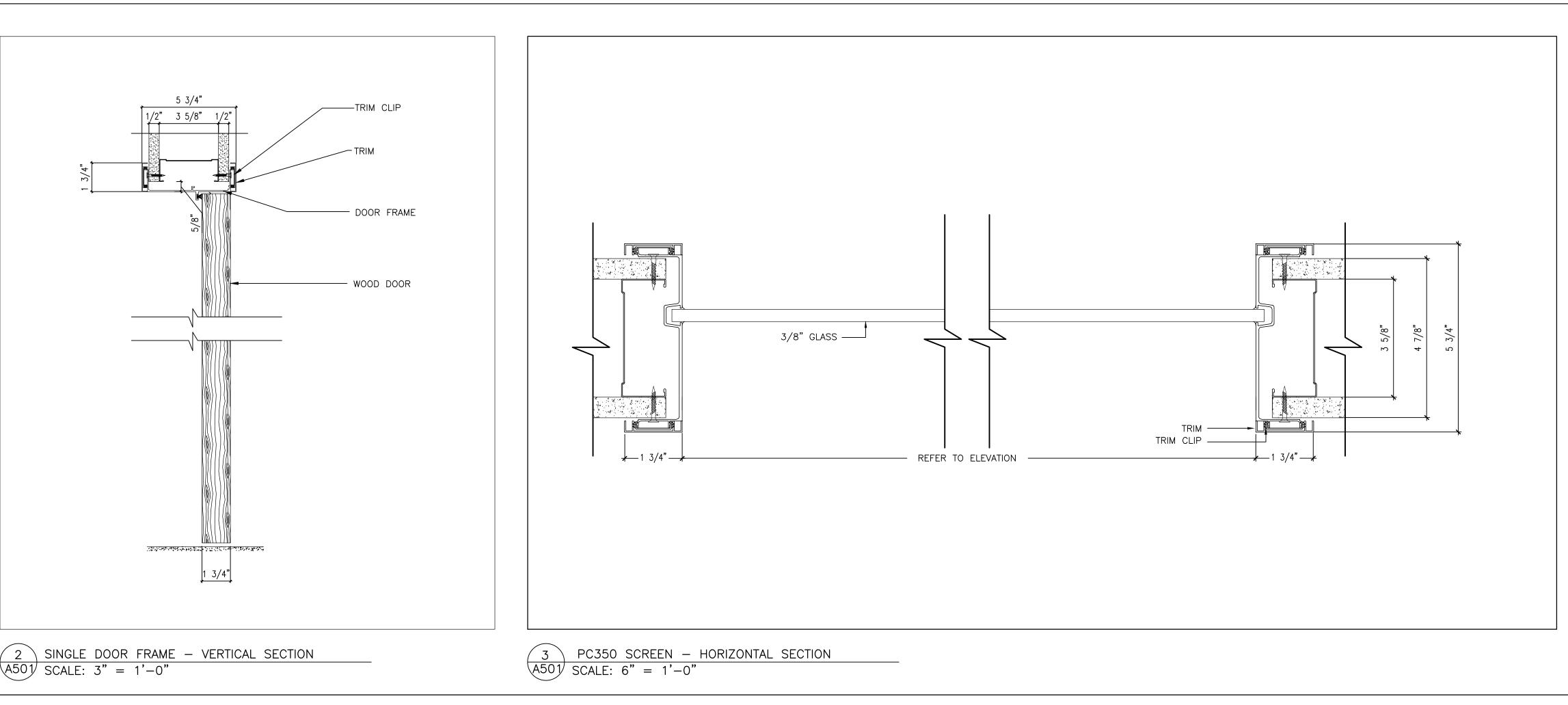
DATE: SEPTEMBER 20, 2024

A500







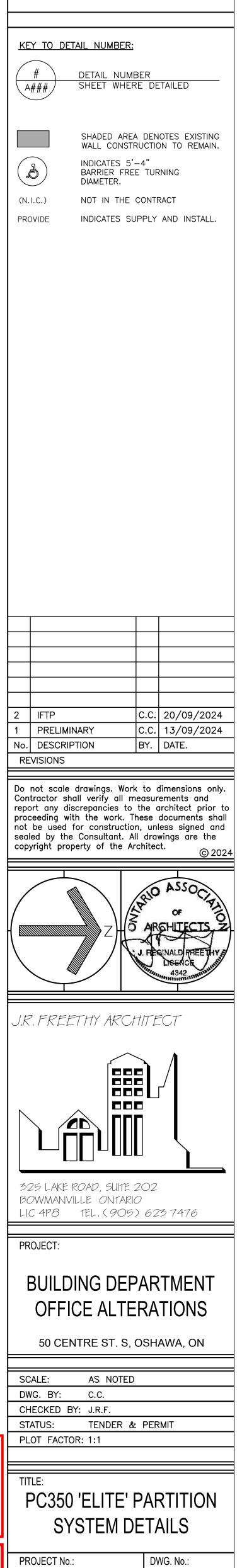


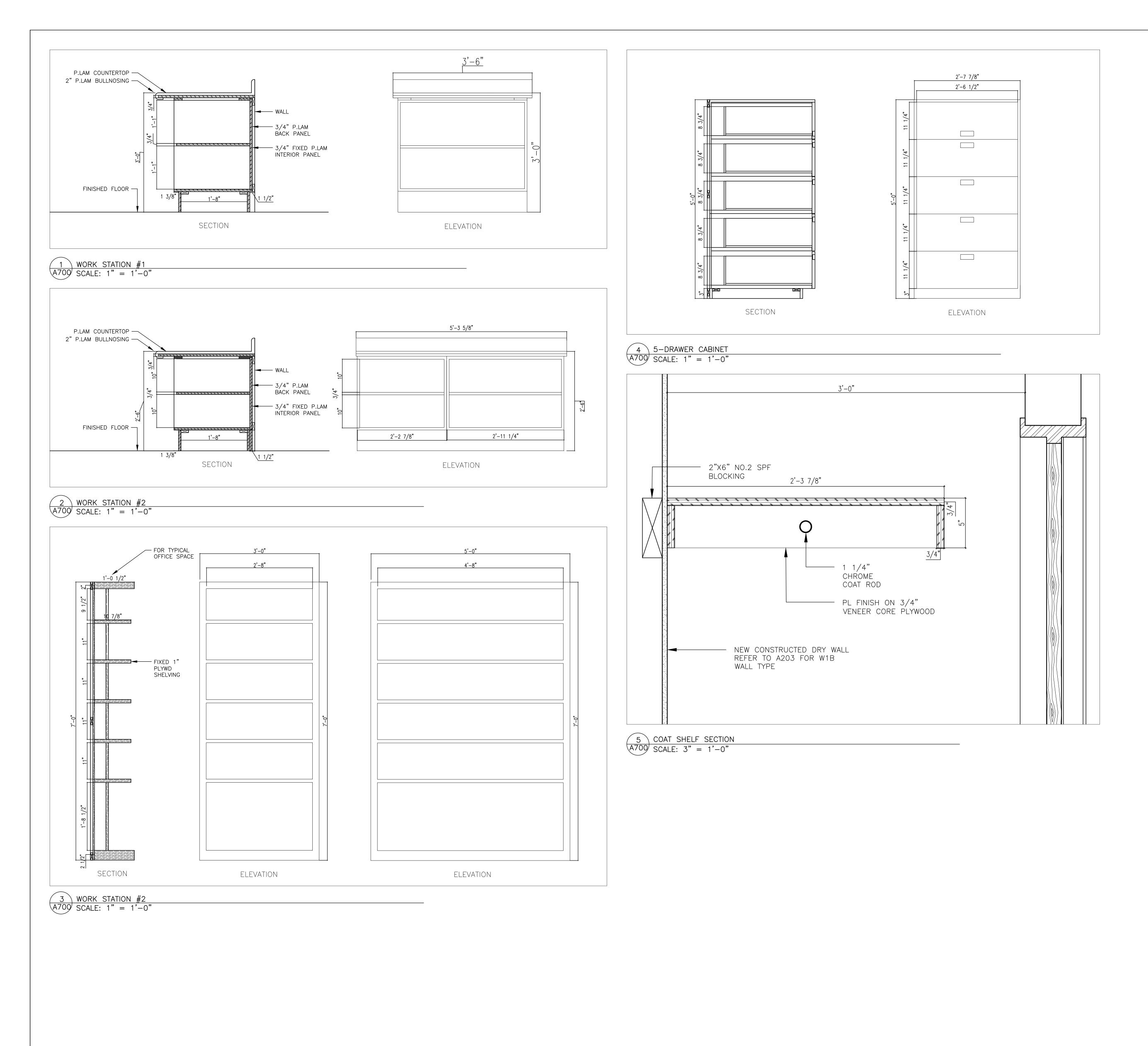
 1/2" GYPSUM BOARD
 3 1/2" STEEL STUDS @16" O.C FILL VOID WITH ROCKWOOL AFB ACOUSTIC INSULATION
 SNAP COVER (CONCEALS FASTENERS)
 EXTRUDED ALUMINUM TO MATCH WINDOW SYSTEM FRAMING
 SOUND DEADENING COMPOSITE
 COMPRESSIBLE GASKET

С	orporation of the City of Oshawa
	TRUE COPY
	OF FINAL REVIEWED BUILDING PERMIT PLANS
	Jan/29/2025
	BUILDING PERMIT #
	BLD202401488
	CITY OF OSHAWA

DATE: SEPTEMBER 20, 2024

A501

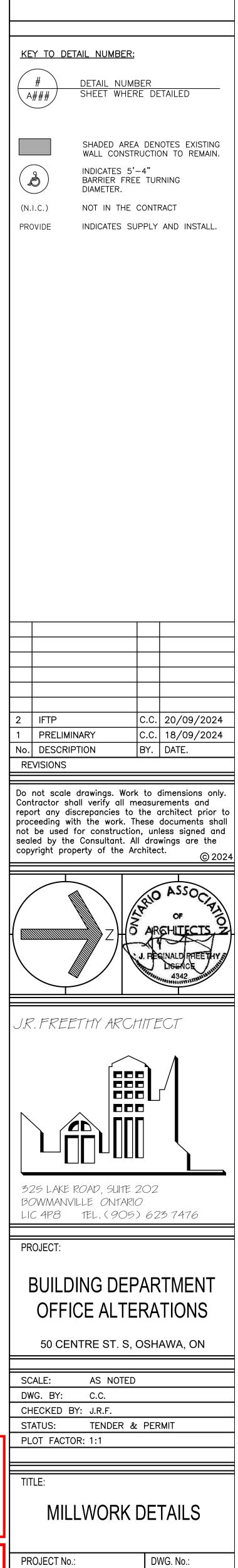






DATE: SEPTEMBER 20, 2024

A700



SPECIFIED PRODUCT. ALL SUBSTITUTE PRODUCTS SHALL BE APPROVED BY CONSULTANTS. ANY ADDITIONAL COSTS INCURRED BY ALL TRADES FOR SUBSTITUTED EQUIPMENT INSTALLATION MUST BE INCURRED BY THIS CONTRACT. BASE BUILDING STANDARDS SHALL FORM THE BASIS FOR THIS CONSTRUCTION. COMPLY WITH LANDLORD'S REQUIREMENTS FOR SYSTEM SHUTDOWN AND CONNECTION.

CODES AND BYLAWS SHALL BE STRICTLY ADHERED TO. OBTAIN NECESSARY PERMITS, APPROVALS AND INSPECTIONS FROM THE AUTHORITIES HAVING JURISDICTION.

PERMITS AND FEES REQUIRED BY THE AUTHORITIES HAVING JURISDICTION SHALL BE OBTAINED AND PAID FOR BY THIS CONTRACTOR. INCLUDE ALL APPLICABLE TAXES.

EXISTING SITE CONDITIONS AFFECTING THE WORK OF THIS TRADE SHALL BE REVIEWED PRIOR TO TENDER SUBMISSION. FAILURE TO DO SO SHALL NOT RELIEVE CONTRACTOR OF FULL CONTRACT RESPONSIBILITY.

FIRE STOP SHALL BE ULC LISTED FOR THE REQUIRED SEPARATION AND PROVIDED AT ALL PIPE PENETRATIONS THROUGH RATED ASSEMBLIES.

SHOP DRAWINGS SHALL BE COMPLETE WITH CONTRACTORS REVIEWED STAMP. SUBMIT ONE

ELECTRONIC COPY. ALLOW ONE (1) WEEK FOR ENGINEERS REVIEW.

CONTROL WIRING AND DEVICES SHALL BE PROVIDED UNDER THIS CONTRACT. WHEN REQUIRED,

CONTROL WORK SHALL BE COMPLETED BY OWNER'S/LANDLORD'S APPROVED CONTRACTOR AND PAID FOR UNDER THIS CONTRACT.

ELECTRICAL DEVICES SHALL BE PROVIDED FOR ALL LOAD SIDES INCLUDING WIRING, STARTERS, DISCONNECT, ETC. VERIFY AND COORDINATE VOLTAGE AND PHASE WITH THE ELECTRICAL

CONTRACTOR PRIOR TO ORDERING EQUIPMENT. ENGINEERS FINAL INSPECTION IS IMPERATIVE. PRIOR TO INSTALLATION OF ALL CEILINGS, THIS

CONTRACTOR SHALL CONTACT MARGARET EDWARDS (ROMAR) AT MEDWARDS@ROMARENGINEERING.COM TO PERFORM A FINAL INSPECTION. WHEN CEILING TILES HAVE BEEN INSTALLED IT WILL BE NECESSARY FOR THE CONTRACTOR TO REMOVE PORTIONS FOR INSPECTION.

ONE YEAR WRITTEN WARRANTY SHALL BE PROVIDED FOR THE COMPLETE MECHANICAL INSTALLATION FROM DATE OF ACCEPTANCE.

CAD AS-BUILT DRAWINGS SHALL BE COMPLETED UTILIZING AUTOCAD. RECORD ACCURATELY INSTALLED WORK ON WHITE PRINTS TRANSFERRING TO AUTOCAD. SUBMIT BOTH COPIES.

OPERATING AND MAINTENANCE MANUALS CONTAINING APPROVED SHOP DRAWINGS, BALANCING REPORTS, EQUIPMENT DATA SHEETS, WRITTEN WARRANTY, OPERATING INSTRUCTIONS AND MAINTENANCE PROCEDURES SHALL BE SUBMITTED TO CONSULTANT FOR REVIEW. MANUALS SHALL BE SEPARATED WITH DIVIDERS IN APPROPRIATE SECTIONS. MAKE ALL CORRECTIONS REQUESTED BY CONSULTANT AND RESUBMIT FOR REVIEW.

CHANGE NOTICE QUOTATIONS SHALL BE SUBMITTED COMPLETE WITH COST BREAKDOWN OF LABOUR AND MATERIALS. FAILURE TO PROVIDE WILL RESULT IN REJECTION, ALL MECHANICAL CHANGE NOTICES SHALL BE PRICED IN ACCORDANCE WITH "MECHANICAL CONTRACTORS ASSOCIATION" (MCA). LABOUR UNITS STRICTLY FOR LABOUR AND FOR MATERIAL COST USE "ALL PRICER" LESS DISCOUNT, TYPICALLY 20%-30%.

TEMPORARY FILTERS 25MM (1 IN.) SHALL BE PROVIDED AT ALL BASE BUILDING RETURN AIR OPENINGS WHICH REMAIN OPERATIONAL DURING CONSTRUCTION. FILTERS TO BE REPLACED WEEKLY. REMOVE UPON CONSTRUCTION COMPLETION.

MECHANICAL DEMOLITION

DIVISION 15.

<u>DUCTWORK</u>

PROVIDE LABOUR, MATERIALS, PRODUCTS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE THE DEMOLITION WORK SPECIFIED HEREIN. REFER TO DRAWINGS FOR EXTENT OF DEMOLITION WORK. THE DRAWINGS INDICATE THE APPROXIMATE LOCATIONS OF SERVICES AS FAR AS THESE ARE KNOWN. DISPOSE, OFF SITE, OF ALL DEBRIS IN ACCORDANCE WITH THE JURISDICTIONAL AUTHORITIES. REMOVAL AND STORAGE OF SALVAGEABLE ITEMS AS DIRECTED BY THIS SPECIFICATION SECTION UND THE OWNER OF THEIR REPRESENTATIVE.

MEET THE REQUIREMENTS AND RECOMMENDATIONS OF ALL MUNICIPAL, PROVINCIAL AND FEDERAL BYLAWS AND ORDINANCES. EXECUTE THIS WORK IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING CODES AND STANDARDS. CAN/CSA-S350-M1980 CODE OF PRACTICE FOR SAFETY IN DEMOLITION OF STRUCTURES. ONTARIO BUILDING CODE. OCCUPATIONAL HEALTH AND SAFETY ACT. REGULATIONS FOR CONSTRUCTION PROJECTS. ONTARIO FIRE CODE. REGULATIONS UNDER FIRE MARSHALS ACT.

REMOVAL FROM SITE AND DISPOSAL OF DEBRIS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL JURISDICTIONAL AUTHORITIES. ARRANGE AND PAY FOR ALL PERMITS. NOTICES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE DEMOLITION WORK. ALL MATERIALS WHICH HAVE NOT BEEN DESIGNATED FOR SALVAGE FROM THE DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR. REMOVE ALL MATERIAL AND DEBRIS FROM THE SITE AS QUICKLY AS POSSIBLE AND DISPOSE OF LEGALLY. BURNING OF DEBRIS OR SELLING OF MATERIALS ON THE SITE WILL NOT BE PERMITTED. CONFORM TO REQUIREMENTS OF MUNICIPALITY'S WORKS DEPARTMENT REGARDING DISPOSAL OF WASTE MATERIALS. MATERIALS PROHIBITED FROM MUNICIPALITY WASTE MANAGEMENT FACILITIES SHALL BE REMOVED FROM SITE AND DISPOSED OF THROUGH RECYCLING COMPANIES SPECIALIZING IN RECYCLABLE MATERIALS. AT THE END OF EACH WORK SHIFT, LEAVE WORK IN A SAFE CONDITION. PATCH FIRE RATED PARTITIONS AND FLOORS TO MAINTAIN RATING UPON REMOVAL OF MECHANICAL SERVICES ORIGINALLY SPANNING FIRE RATED ASSEMBLIES. DEMOLISH WORK INTO SECTIONS OF PRACTICAL SIZE FOR REMOVAL WITHOUT ALTERATION OR DAMAGE TO EXISTING BUILDING. STORE MATERIALS ONLY IN AREAS DESIGNATED

BY THE OWNER AND AS PERMITTED BY THE LOCAL JURISDICTIONAL AUTHORITIES. MATERIALS AND DEBRIS SHALL NOT BE STACKED IN BUILDING TO THE EXTENT THAT OVERLOADING OF ANY PART OF THE STRUCTURE WILL OCCUR. CONFER WITH THE OWNER CONCERNING SCHEDULE, DUST AND NOISE CONTROL PRIOR TO COMMENCING WORK IN OR ADJACENT TO EXISTING FACILITIES WHERE SUCH WORK MIGHT AFFECT EITHER THOSE FACILITIES OR THEIR OCCUPANTS. EXECUTE WORK WITH LEAST POSSIBLE INTERFERENCE OR DISTURBANCE TO OCCUPANTS. PUBLIC AND NORMAL USE OF PREMISES. PROVIDE TEMPORARY MEANS TO MAINTAIN SECURITY WHEN SECURITY HAS BEEN REDUCED BY

ONLY ELEVATORS, DUMBWAITERS, CONVEYORS OR ESCALATORS ASSIGNED FOR CONTRACTOR'S USE MAY BE USED FOR MOVING MEN AND MATERIAL WITHIN BUILDING. PROTECT WALLS OF PASSENGER ELEVATORS, TO APPROVAL OF OWNER PRIOR TO USE. ACCEPT LIABILITY FOR DAMAGE, SAFETY OF EQUIPMENT AND OVERLOADING OF EXISTING EQUIPMENT. PROVIDE TEMPORARY DUST SCREENS. BARRIERS. WARNING SIGNS IN LOCATIONS WHERE RENOVATIONS AND ALTERNATION WORK IS ADJACENT TO AREAS WHICH WILL BE OPERATIVE DURING WORK.

PROTECT ALL MECHANICAL SYSTEMS, INDICATED TO REMAIN, FROM DAMAGE. PROVIDE AND MAINTAIN READY ACCESS TO FIREFIGHTING EQUIPMENT AT ALL TIMES. PROVIDE AND MAINTAIN PROPER AND SUITABLE FIRE EXTINGUISHERS THROUGHOUT THE DURATION OF THE WORK.

THE DRAWINGS INDICATE THE APPROXIMATE LOCATIONS OF SERVICES AS FAR AS THESE ARE KNOWN. SHOULD ANY MECHANICAL OR ELECTRICAL SERVICE LINE BE BROKEN, OR DISRUPTED BY OPERATIONS SPECIFIED UNDER THIS CONTRACT, REPAIR SERVICE LINES, AND MAKE GOOD ALL DAMAGE DUE TO THE DISRUPTION OR BREAK, AT NO EXPENSE TO THE OWNER. NOTIFY THE OWNER IMMEDIATELY WHENEVER ANY SERVICE LINE IS BROKEN OR DAMAGED.

ACCEPT LIABILITY FOR COSTS INCURRED BY THE OWNER IN REPAIRING AND CLEANING EQUIPMENT, ETC., RESULTING FROM FAILURE TO COMPLY WITH THE ABOVE REQUIREMENTS. CLEAN UP

DURING THE PROCESS OF WORK EACH CONTRACTOR SHALL KEEP HIS WORK TIDY. THE PREMISES SHALL AT ALL TIMES BE FREE FROM RUBBISH AND SURPLUS MATERIALS, CLEAN DAILY. PROTECTING-TRADES

DIVISION 15 IS ENTIRELY FINANCIALLY RESPONSIBILITY FOR ALL DAMAGE TO PROPERTY OR ADJACENT PROPERTY, ARISING OF THE WORK OF THIS CONTRACTOR, WHETHER CAUSED BY HIMSELF OR ANY PERSONS ENGAGED ON HIS WORK.

DIVISION 15 CONTRACTORS ARE RESPONSIBLE TO ENSURE THAT THEIR EMPLOYEES AND SUB-TRADES USE ONLY SAFE PRACTICES AND CONDITIONS, OBSERVE ALL SAFETY REGULATIONS, SECURITY REGULATIONS AND FIRE SAFETY RULES.

NEW MATERIAL AND EQUIPMENT SHALL BE PROVIDED AND INSTALLED IN ACCORDANCE WITH BASE BUILDING STANDARDS.

DUCTWORK AND HANGERS SHALL BE FABRICATED IN ACCORDANCE WITH THE LATEST SMACNA STANDARDS.

FLEXIBLE DUCTWORK SHALL BE FLEXMASTER TRIPLE LOC OR EQUAL, SPIRAL WOUND ALUMINUM. SECURE TO RIGID DUCT USING GEAR CLAMPS. AT THE INLET OF EACH VAV TERMINAL CONTROL UNIT, PROVIDE A MINIMUM OF 3 DIAMETERS OF STRAIGHT FLEX DUCT. MAXIMUM LENGTH 1200 MM [4 FT.-O IN.]. FLEXIBLE DUCTS SERVING DIFFUSERS SHALL BE INSTALLED AS ONE CONTINUOUS PEICE AND SHALL NOT EXCEED 10'-0" LENGTHS.

FIRE DAMPER SHALL BE OUT OF STREAM ULC LABELED. PROVIDE FIRE DAMPERS AS REQUIRED IN NEW AND EXISTING DUCTWORK C/W ACCESS DOORS.

ACOUSTIC DUCT LINING 25MM [1 IN.] SHALL BE PROVIDED WHERE SHOWN ON DRAWINGS. SECURE WITH MECHANICAL FASTENERS AND ADHESIVE. SEAL RAW EDGES. NOTE DUCT DIMENSIONS ARE CLEAR INSIDE.

THERMAL INSULATION WITH VAPOUR BARRIER SHALL BE PROVIDED ON ALL NEW SUPPLY AIR DUCTWORK TO MATCH BASE BUILDING STANDARDS OR REFER TO INSULATION SECTION.

FLEXIBLE DUCT CONNECTIONS SHALL BE DURODYNE NEOPRENE AND INSTALLED BETWEEN ALL AIR HANDLING EQUIPMENT AND SYSTEM DUCTWORK.

AIR TRANSFER OPENINGS INDICATED WITHOUT DUCT SHALL BE THIS CONTRACTOR'S RESPONSIBILITY TO ADVISE AND CONFIRM PROVISION BY GENERAL TRADES.

BALANCING AND VOLUME CONTROL DAMPERS SHALL BE PROVIDED IN NEW OR EXISTING DUCTWORK TO PROVIDE A COMPLETE AND BALANCED SYSTEM. BALANCING CONTRACTOR SHALL BE A MEMBER OF AABC OR NEBC. SUBMIT BALANCING REPORT IN TRIPLICATE TO THE CONSULTANT AND THE LANDLORD INDICATING TERMINAL DESIGN AND MEASURED FLOW RATES. WHEN REQUIRED, BALANCING WORK SHALL BE COMPLETED BY OWNER'S/LANDLORD'S APPROVED CONTRACTOR AND PAID FOR UNDER THIS CONTRACT. PROVIDE SIX (6) ADDITIONAL HOURS OF

BALANCING WORK. THIS WORK SHALL BE PERFORMED AFTER THE TENANT HAS MOVED IN, AS MAY BE REQUIRED FOR COMFORT BALANCING.

FAN SHEAVES SHALL BE ADJUSTED OR REPLACED AS REQUIRED TO OBTAIN DESIGN AIR QUANTITIES. COORDINATE THIS WORK WITH OWNER/LANDLORD.

PLUMBING SYSTEM

PIPING MATERIALS:

EXISTING SANITARY DRAIN LOCATIONS AND INVERT ELEVATIONS SHALL BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK.

.1 DOMESTIC HOT AND COLD WATER PIPING - TYPE "L" COPPER WITH COPPER FITTINGS USE 95/5 TIN/ANTIMONY SOLDER. PROVIDE TYPE "K" SOFT COPPER PIPING WITHOUT JOINTS BELOW GROUND.

.2 DRAINAGE AND VENT PIPING $(2-1/2)^{\circ}$ AND SMALLER):

SANITARY PIPING, ABOVE GROUND – DWV COPPER PIPE WITH DRAINAGE FITTINGS AND 50/50 SOLDER JOINTS.

SANITARY PIPING, BELOW GROUND – TYPE L COPPER WITH 50/50 SOLDER JOINTS.

VENT PIPING, ABOVE GROUND - DWV COPPER PIPE WITH DRAINAGE FITTINGS, 50/50 SOLDER

JOINTS. VENT PIPING, BELOW GROUND - TYPE L COPPER PIPE WITH WROUGHT COPPER FITTINGS AND 50/50 SOLDER JOINTS.

.3 DRAINAGE AND VENT PIPING (3"Ø AND LARGER):

SANITARY PIPING, ABOVE GROUND - CSA CLASS 4000 CAST IRON SOIL PIPE AND FITTINGS, WITH MECHANICAL JOINTS.

SANITARY PIPING, BELOW GROUND - CSA CLASS 4000 CAST IRON SOIL PIPE AND FITTINGS, WITH MECHANICAL JOINTS.

VENT PIPING, ABOVE GROUND - CSA CLASS 4000 CAST IRON SOIL PIPE AND FITTINGS, WITH MECHANICAL JOINTS.

VENT PIPING, BELOW GROUND - CSA CLASS 4000 CAST IRON SOIL PIPE AND FITTINGS, WITH MECHANICAL JOINTS.

VALVES SHALL BE KITZ FIGURES BELOW OR EQUAL:

.1 GATE VALVES: 50 MM [2"] AND SMALLER - SOLDERED 1400 KPA [200 PSI] W.O.G. FIG. 44.

65 MM [2-1/2"] AND LARGER - FLANGED 1400 KPA [200 PSI] W.O.G. FIG. 75.

.2 GLOBE VALVES:

50 MM [2"] AND SMALLER – SOLDERED 2070 KPA [300 PSI] W.O.G. FIG. 10 WITH SUITABLE COMPOSITION DISC. 65 MM [2-1/2"] AND LARGER - FLANGED 1400 KPA [200 PSI] W.O.G. FIG. 76.

.3 STANDARD CHECK VALVES:

50 MM [2"] AND SMALLER – SOLDERED 2070 KPA [300 PSI] W.O.G. FIG. 23. 65 MM [2-1/2"] AND LARGER - FLANGED 1400 KPA [200 PSI] W.O.G. FIG. 78.

.4 PROVIDE ALL BRONZE BALL TYPE SHUT OFF VALVES ON MAIN AND BRANCH LINES AND ISOLATING VALVES FOR EACH INDIVIDUAL PLUMBING FIXTURE SERVED.

PLUMBING FIXTURES INCLUDING DOMESTIC HOT WATER HEATERS SHALL BE NEW, OF FIRST QUALITY, IN PERFECT CONDITION AND INSTALLED IN BEST WORKMANLIKE MANNER. VERIFY PLUMBING FIXTURE QUANTITIES AND LOCATIONS WITH ARCHITECT'S/DESIGNER'S DRAWINGS. REUSE OF DOMESTIC WATER HEATER IS NOT PERMITTED.

TRAP SEAL PRIMER MUST BE PROVIDED ON ALL NEW FLOOR DRAINS, FUNNEL FLOOR DRAINS AND HUB DRAINS.

EXPOSED PIPING AND FITTINGS WITHIN WASHROOMS SHALL BE CHROME PLATED. PROVIDE CHROME PLATED ESCUTCHEONS ON ALL PIPING PASSING THROUGH FINISHED SURFACES AND MILLWORK.

STAINLESS STEEL WATER HAMMER ARRESTORS EQUAL TO ZURN SHOKTROL SHALL BE PROVIDED ON ALL LINES SERVING GROUPS OF FIXTURES, QUICK CLOSING VALVES AND FLUSH VALVES.

INSULATION

PIPING INSULATION

MANUFACTURERS.

RECOMMENDATIONS.

REQUIREMENTS.

INSULATION.

BELOW.

PROVIDE ALL LABOUR, MATERIALS, PRODUCTS, EQUIPMENT AND SERVICES TO SUPPLY AND INSTALL THERMAL INSULATION, VAPOUR BARRIERS AND FINISHES FOR MECHANICAL WORK AS INDICATED ON THE DRAWINGS AND SPECIFIED IN THIS SECTION OF THESE SPECIFICATIONS. MAINTAIN AMBIENT TEMPERATURES AND CONDITIONS REQUIRED BY MANUFACTURERS OF

ADHESIVES, MASTICS AND INSULATING CEMENTS. INSULATION MATERIALS MUST BE MANUFACTURED AT FACILITIES CERTIFIED AND REGISTERED WITH

ALL INSULATION PERTAINING TO DIVISION 15 SHALL BE CARRIED OUT BY ONE FIRM SPECIALIZING IN INSULATION WORK. DO NOT MIX SIMILAR PRODUCTS OF MULTIPLE

AN APPROVED REGISTRAR TO CONFORM TO ISO 9000 QUALITY STANDARD.

ACCEPTABLE INSULATION MANUFACTURERS ARE OWENS CORNING CANADA, JOHNS MANVILLE, MANSON INSULATION INC. KNAUF FIBER GLASS AND CERTAINTEED.

PROVIDE INSULATION AND COVERS IN STRICT ACCORDANCE WITH AUTHORITIES GOVERNING COMBUSTIBILITY AND FIREPROOFING OF MATERIALS AND IN ACCORDANCE WITH MANUFACTURER'S

PROVIDE NON-COMBUSTIBLE INSULATION, JACKETS AND FINISHES HAVING A FLAME SPREAD/SMOKE DEVELOPED RATING OF 25/50 OR LESS, MEETING CAN/ULC S-102

ATTAIN A COMPLETE AND CONTINUOUS VAPOUR BARRIER OVER INSULATION APPLIED TO COLD AND DUAL TEMPERATURE PIPING, SHEET METAL AND EQUIPMENT. USE EITHER FACTORY APPLIED VAPOUR BARRIER JACKET OF FIELD APPLIED REINFORCED FOIL FLAME RESISTANT KRAFT VAPOUR BARRIER JACKET. APPLY TO PIPING, FITTINGS, VALVES AND INLINE COMPONENTS, SHEET METAL AND FITTINGS AND EQUIPMENT. SEAL LONGITUDINAL AND CIRCUMFERENTIAL LAPS WITH CHILDERS CP82 OR BAKOR 230-39 ADHESIVE. IF VAPOUR BARRIER JACKET IS NOT LAPPED, SEAL JOINTS WITH SELE-ADHERING 4" WIDE PLAIN ALUMINUM FOIL TAPE, OR ADHERE 4" WIDE ALUMINUM FOIL TAPE WITH CHILDERS CP82 OR BAKOR 230-39 ADHESIVE. JACKETING WITH SELF-ADHESIVE LAPS AND SELF-ADHESIVE BARRIER TAPE WILL BE AN ACCEPTABLE ALTERNATIVE CLOSURE SYSTEM.

PROVIDE INSULATION MATERIALS WITH A MINIMUM THERMAL CONDUCTIVITY OF 0.24BTU.IN/(HR. SQ.FT'F) AT 100'F MEAN TEMPERATURE.

ON HOT PIPING APPLICATIONS, HOLD INSULATION IN PLACE WITH FLARE TYPE STAPLES (OUTWARD CLINCH).

ON COLD PIPING APPLICATIONS. APPLY VAPOUR BARRIER JACKET OVER INSULATION AND SEAL LONGITUDINAL AND CIRCUMFERENTIAL LAPS WITH CHILDERS CP82 OR BAKELITE 230-39 ADHESIVE. SEAL ALL PIPE TERMINATIONS, INCLUDING FITTINGS, WALL PENETRATIONS AND PIPE SUPPORTS WITH VAPOUR BARRIER MASTIC. FOR CHILLED WATER SYSTEMS PROVIDE VAPOUR SEAL PIPE TERMINATIONS EVERY FOUR PIPE SECTIONS.

APPLY PIPE INSULATION OVER 1-1/2" THICKNESS IN TWO LAYERS WITH JOINTS STAGGERED. INSULATE FITTINGS WITH FABRICATED MITERED OR PREFORMED SECTIONS OF SPECIFIED

INSULATE OVER FLANGES AND MECHANICAL COUPLINGS WITH SPECIFIED INSULATION AND THICKNESS, SIZED TO SUIT FLANGE DIAMETERS. FILL SPACES BETWEEN INSULATION AND

ADJOINING PIPE INSULATION WITH SIMILAR MATERIAL.

INSULATE VALVES AND INLINE COMPONENTS WITH FLEXIBLE INSULATION DENSITY (3/4 LBS./CU.FT.) COMPRESSED NOT MORE THAN 50% OF ORIGINAL THICKNESS. BUILD UP TO

SPECIFIED THICKNESS WITH APPROVED ASBESTOS FREE FINISHING CEMENT.

DO NOT INSULATE TERMINAL UNIT AUTOMATIC CONTROL VALVES INSTALLED IN HOT PIPING. DO NOT INSULATE TERMINAL UNIT AUTOMATIC CONTROL VALVES WHICH ARE INSTALLED IN COLD

PIPING AND WHICH ARE LOCATED OVER CONDENSATE DRAIN PANS. UNDER ALL HANGERS USED ON CHILLED WATER AND DOMESTIC COLD WATER, PROVIDE AN

INSERT BETWEEN SUPPORT SHIELD AND PIPING FOR PIPING 1-1/2" or larger. PROVIDE THE FOLLOWING PIPE INSULATION TYPE AS INDICATED IN THE PIPE INSULATION TABLE

'TYPE P1' OWENS CORNING 850 PIPE INSULATION, JOHNS MANVILLE MICRO-LOK AP-T PLUS FIBERGLAS PIPE INSULATION. MANSON FIBERGLAS PIPE INSULATION OR KNAUF PIPE INSULATION WITH FACTORY APPLIED ALL PURPOSE VAPOUR BARRIER JACKET WHERE SCHEDULED.

DUTY	INSULATION TYPE	THICKNESS	VAPOUR BARRIER
DOMESTIC COLD WATER 4" AND LESS	P-1	1/2"	YES
DOMESTIC HOT WATER LESS THAN $1-1/2$ " 1-1/2" AND LARGER	P-1 P-1	1" 1-1/2"	NO NO

<u>CONTROLS</u>

MANUFACTURE AND INSTALLATION WHEN REQUIRED SHALL BE BY OWNER'S APPROVED CONTRACTOR.

THERMOSTATS TO BE RELOCATED AS SHOWN.

MOUNTING HEIGHT SHALL MATCH BASE BUILDING. COORDINATE LOCATION WITH ARCHITECT/DESIGNER. DO NOT INSTALL IN VISCINITY OF ELECTRICAL LIGHTING DIMMERS.

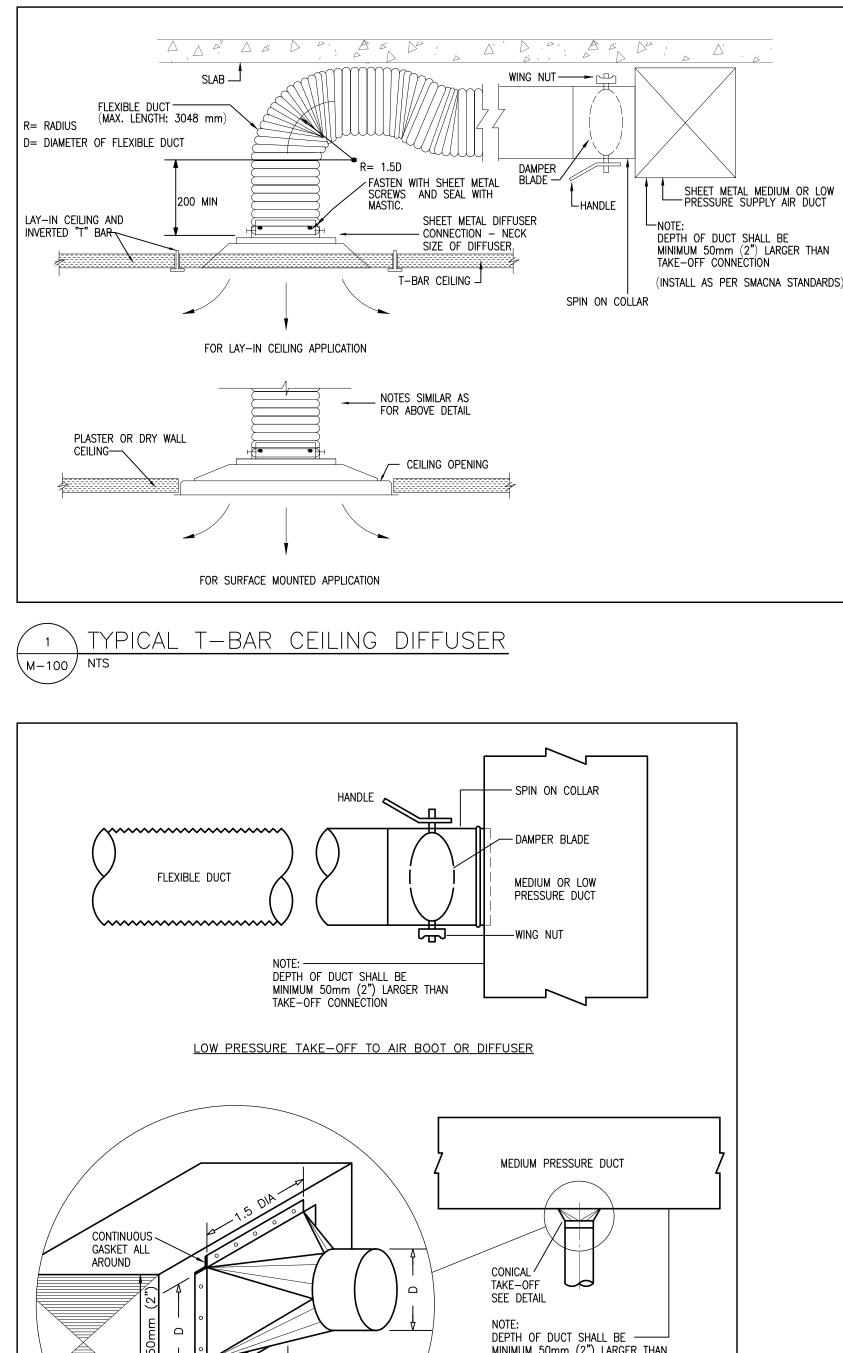
COORDINATE FINAL LOCATION OF THERMOSTATS WITH THE INTERIOR DESIGNER WITHIN 1000MM (40 IN) OF LOCATION SHOWN. ALL RELOCATIONS OUTSIDE OF THIS RANGE SHALL BE REVIEWED WITH THE CONSULTANT.

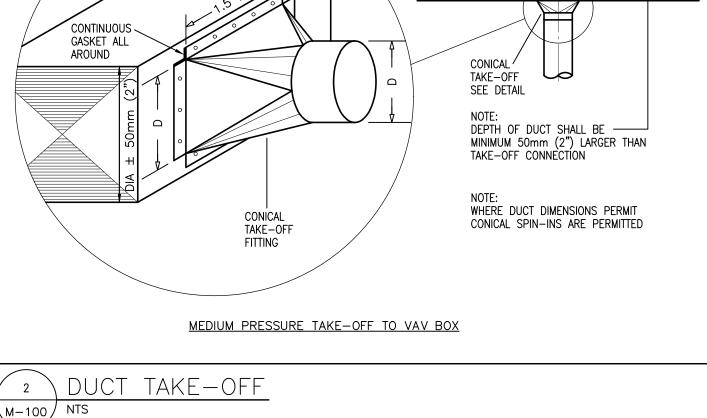
CLEAN AND RECALIBRATE ALL EXISTING THERMOSTATS ASSOCIATED WITH ANY HP BEING BALANCED OR PART OF THIS RENOVATION. UPON COMPLETION OF CONSTRUCTION. SUBMIT REPORT THAT THIS WORK WAS COMPLETED.

PLUMBING FIXTURES:

WC-1 AMERICAN STANDARD TANK TYPE TOILET

215AA154.020 TANK TYPE TOILET, FLOOR MOUNTED WITH FLOOR OUTLET, HIGH EFFICIENCY HET 4.8 LPF (1.28 GPF), WHITE FINISH VITREOUS CHINA, EVERCLEAN® ANTIMICROBIAL SURFACE, ELONGATED BOWL, RIGHT HEIGHT RIM AT 419 MM (16–1/2"), MINIMUM 305 MM (12") ROUGH-IN FROM WALL TO THE CENTER OF WASTE OUTLET, SIPHON JET FLUSH ACTION, MANUAL, WHITE LEFT-HAND TRIP LEVER (7381231-200.0200A), WITHOUT TANK COVER LOCKING DEVICE, GRAVITY-ASSISTED FLUSH, CADET FLUSHING SYSTEM, 76 MM (3") FLUSH VALVE, METAL SHANK FILL VALVE, TANK COUPLING COMPONENTS, FULLY-GLAZED 54 MM (2-1/8") TRAPWAY, POWERWASH™ RIM SCRUBS BOWL WITH PRESSURIZED WATER EVERY FLUSH, INCLUDES EZ-INSTALL TOOLS, TRADE EXCLUSIVE TANK. TOILET SEAT NOT INCLUDED. COLOURMATCHED BOLT CAPS, CONSISTING OF: 3517A101 BOWL, 4188A154 TANK COMPLETE WITH AQUAGUARD LINER TANK





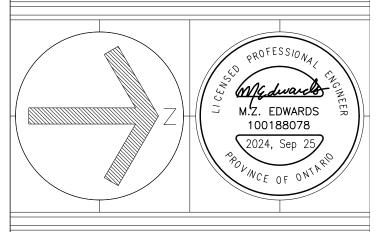
	MECHAN	ICAL LEGE	IND
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EXISTING DUCTS, PIPES & EQUIPMENT TO REMAIN		RESERVED
R	DUCTS, PIPES & EQUIPMENT TO BE REMOVED	H	EXISTING HUMIDISTAT TO REMAIN
	NEW DUCT OR PIPE	H	NEW HUMIDISTAT
	NEW DUCT OR EQUIPMENT	🖨 FD-	NEW FLOOR DRAIN
/~_/	NEW FLEXIBLE DUCT	🖨 RD-	NEW ROOF DRAIN
SB	SOUND BAFFLE	\bowtie	NEW ISOLATION VALVE
	DUCTWORK W/ 2HR. FIRE RATED ENCLOSURE. ENCLOSURE TO BE PROVIDED BY ARCH. DIV.	ıбı	EXISTING BALL VALVE TO REMAIN
{}	DUCT WITH 25mm(1") ACOUSTIC LINING	ю	NEW BALL VALVE
	DUCT WITH 25mm(1") ACOUSTIC LINING	X	EXISTING CONTROL VALVE TO REMAIN
J	NEW CAP ON EXISTING DUCT OR PIPE		NEW CONTROL VALVE
	NEW CAP ON EXISTING DUCT	<u></u> <u></u> <u></u> <u></u> <u></u> <u></u> <u></u> <u></u> <u></u> <u></u> <u></u> <u></u> <u></u> <u></u>	NEW PRESSURE REDUCING VALVE
	EXISTING VAV BOX TO REMAIN	8	NEW CIRCUIT BALANCING VALVE
 R	REMOVE OR RELOCATE	₩ ₩	NEW THREE WAY AUTOMATIC CONTROL VALVE
	NEW VAV BOX	VTR	VENT THROUGH ROOF
	EXISTING AIR BOOT TO REMAIN	DTF	DOWN THROUGH FLOOR
R	REMOVE OR RELOCATE	to	PIPE UP
	NEW AIR BOOT	c+	PIPE DOWN
	EXISTING LIGHT TROFFER TO REMAIN	(M)	NEW METER
	REMOVE OR RE-USE EXISTING LIGHT TROFFER		NEW UNION
	NEW LIGHT TROFFER	— 	NEW STRAINER
	EXISTING LIGHT TROFFER TO REMAIN	BFP	NEW BACKFLOW PREVENTER
R	REMOVE OR RE-USE EXISTING LIGHT TROFFER	AP	ACCESS PANEL
_	NEW LIGHT TROFFER		EXISTING SANITARY DRAIN TO REMAIN
	NEW SUPPLY AIR DIFFUSER		EXISTING SANITARY DRAIN UNDER FLOOR TO REMAIN
Ν	NEW RETURN GRILLE	ST	EXISTING STORM DRAIN TO REMAIN
	EXISTING RETURN GRILLE TO REMAIN		EXISTING STORM DRAIN UNDER FLOOR TO REMAIN
Ū	EXISTING THERMOSTAT TO REMAIN		NEW SANITARY DRAIN
٢DR	REMOVE OR RE-USE WHERE SHOWN AS NEW		NEW SANITARY DRAIN UNDER FLOOR
Ū	NEW THERMOSTAT	ST	NEW STORM DRAIN
\$	FAN SWITCH		NEW STORM DRAIN UNDER FLOOR
	DIFF NECK SIZE DIFF TYPE		P-TRAP
	SUPPLY AIR CFM		EXISTING DOMESTIC COLD WATER TO REMAIN
<u>12/12</u> Π	GRILLE OR REGISTER SIZE TYPE		EXISTING DOMESTIC HOT WATER TO REMAIN
2 X 12/12 D 300 -	SUPPLY AIR CFM		EXISTING DOMESTIC HOT WATER RECIRCULATION TO REMAIN
5	GRILLE OR REGISTER SIZE TYPE		NEW DOMESTIC COLD WATER
$2^{\frac{12/12}{300}}$	EXHAUST OR RETURN AIR CFM		NEW DOMESTIC HOT WATER
12/12 D 300	GRILLE OR REGISTER SIZE TYPE		NEW DOMESTIC HOT WATER RECIRCULATION
1 300	SUPPLY AIR CFM	V	NEW SANITARY VENT PIPE
<u>12/12 E</u> 300	GRILLE OR REGISTER SIZE TYPE EXHAUST OR RETURN AIR CFM	V	EXISTING SANITARY VENT PIPE TO REMAIN
	- VAV BOX SETTING (COOLING) DESIGN (CFM)		
4 250 10	VAV BOX SETTING (COOLING) MINIMUM (CFM) VAV BOX SIZE		
	-VAV BOX SIZE -VAV BOX SETTING (COOLING)		
	DESIGN (CFM)		
	VAV BOX MINIMUM SETTING (COOLING): 0 CFM FOR INTERIOR ZONES & 20% OF DESIGN FOR PERIMETER ZONES		
	-VAV BOX SIZE		

DRAWING SCHEDULE		
DWG NO	DRAWING TITLE	
M-100	MECHANICAL LEGEND, SPECIFICATIONS, DETAILS & DWG. LIST	
M-200	BASEMENT & GROUND FLOOR WASHROOM – PD	
M-300	GROUND FLOOR HVAC - DEMO/NEWW	

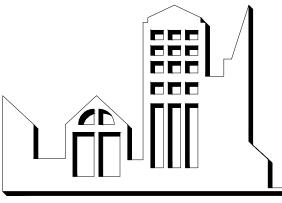


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REVISIONS				

Do not scale drawings. Work to dimensions only. Contractor shall verify all measurements and report any discrepancies to the architect prior to proceeding with the work. These documents shall not be used for construction, unless signed and sealed by the Consultant. All drawings are the copyright property of the Architect.



J.R. FREETHY ARCHITECT



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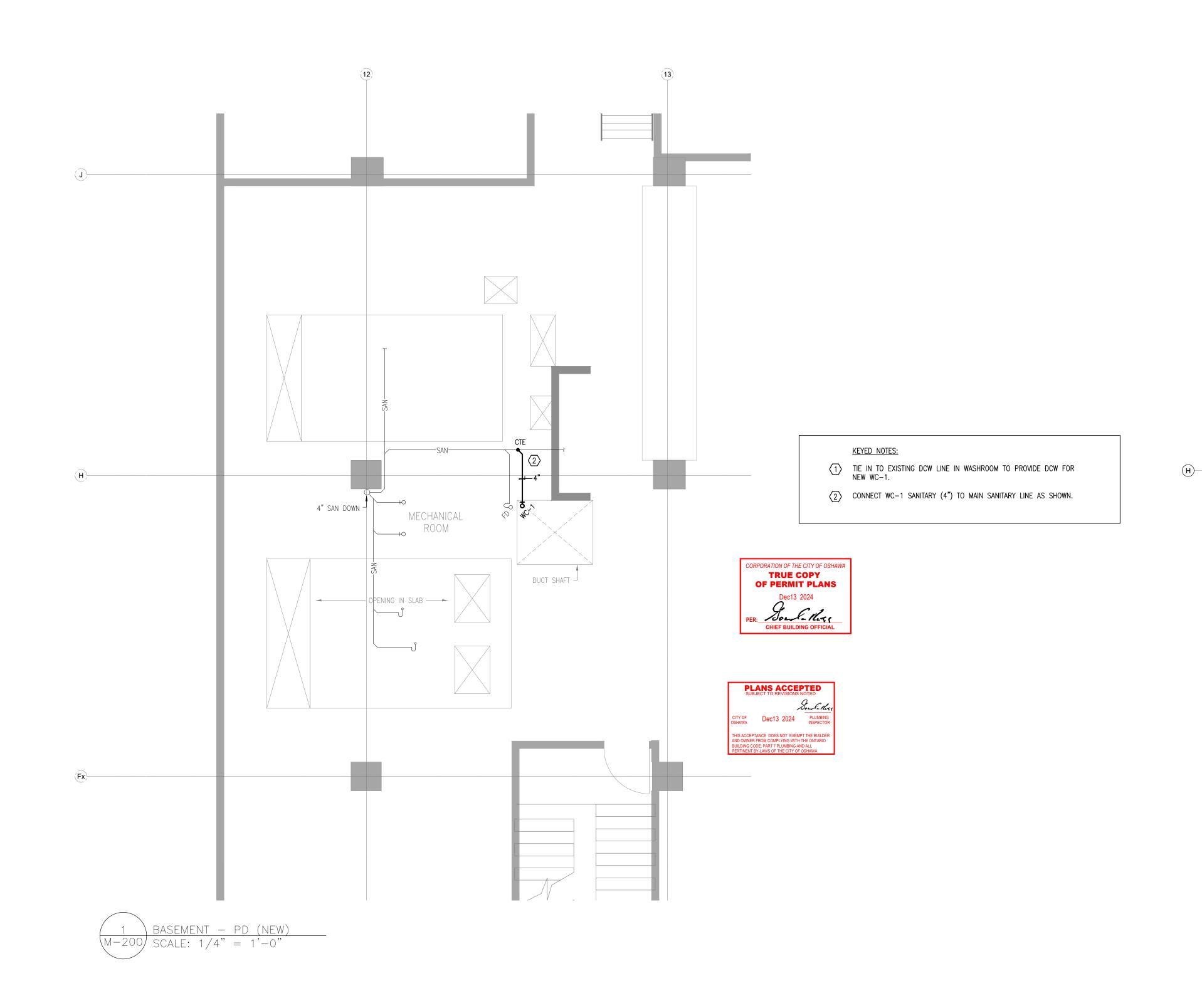
PROJECT:

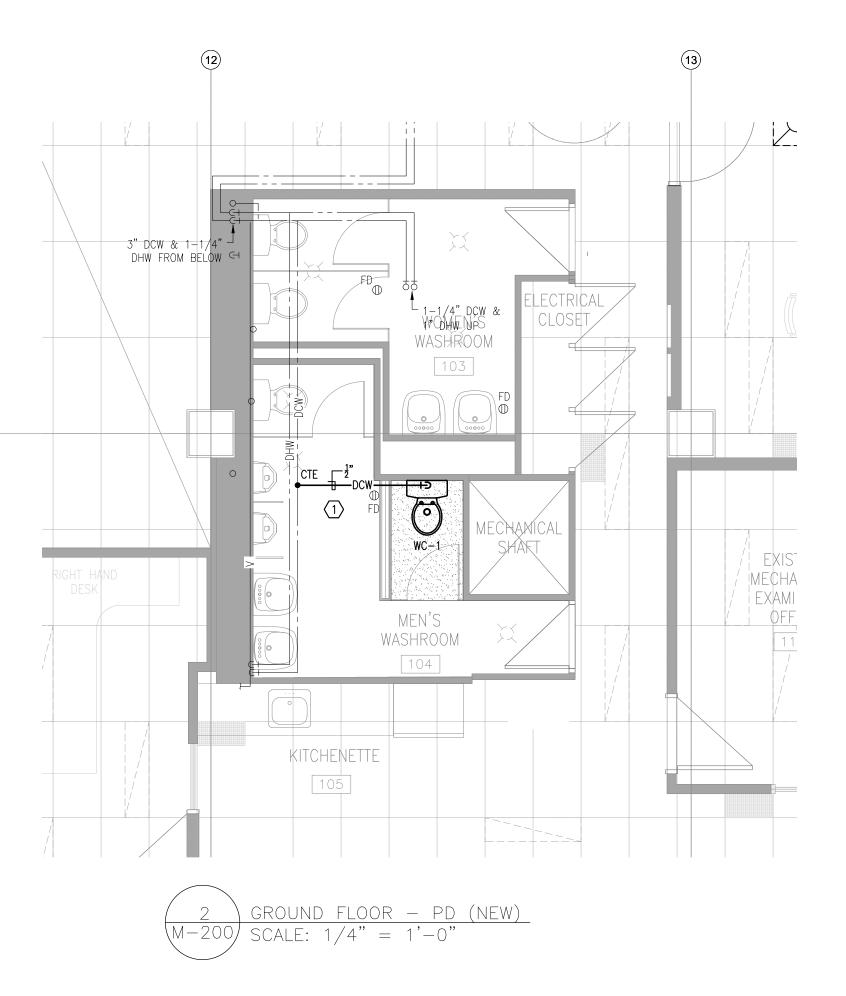
BUILDING DEPARTMENT **OFFICE ALTERATIONS**

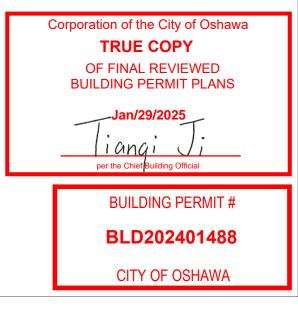
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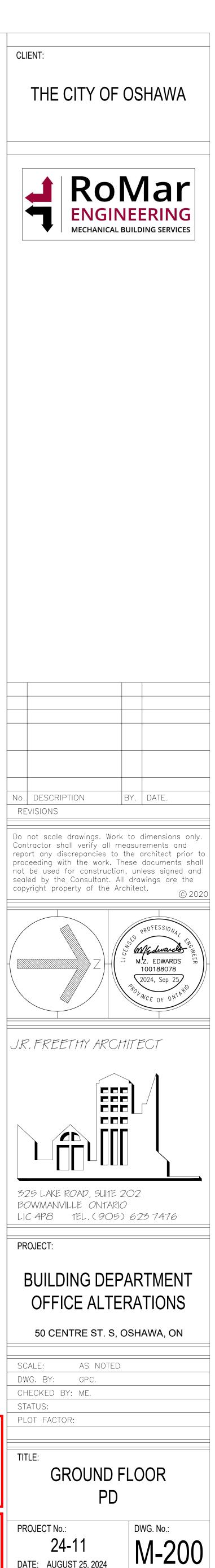
TITLE: MECHANICAL LEGEND, SPECIFICATIONS, DETAILS & DRAWING LIST PROJECT No.: DWG. No.: 24-11 DATE: AUGUST 25, 2024

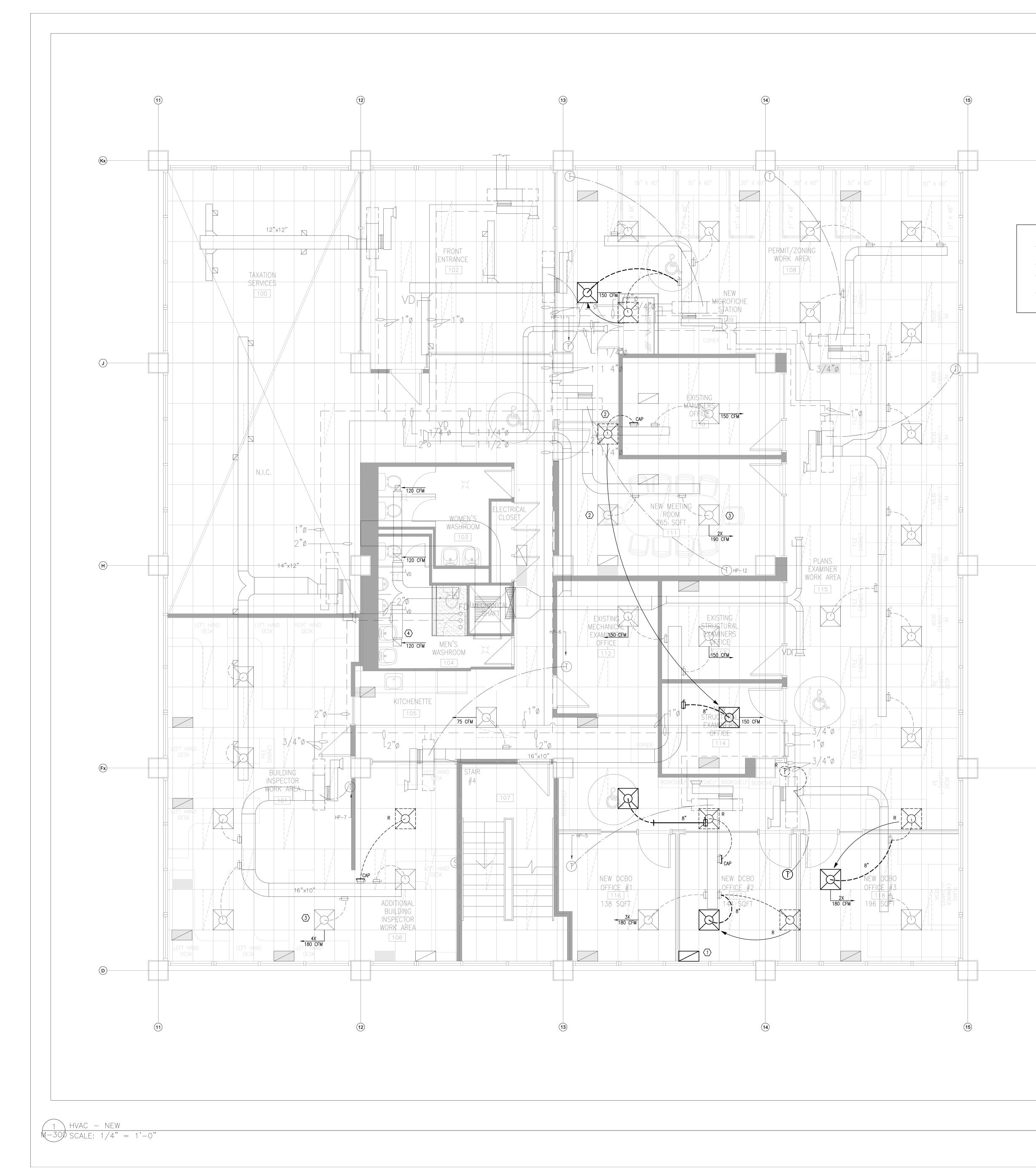




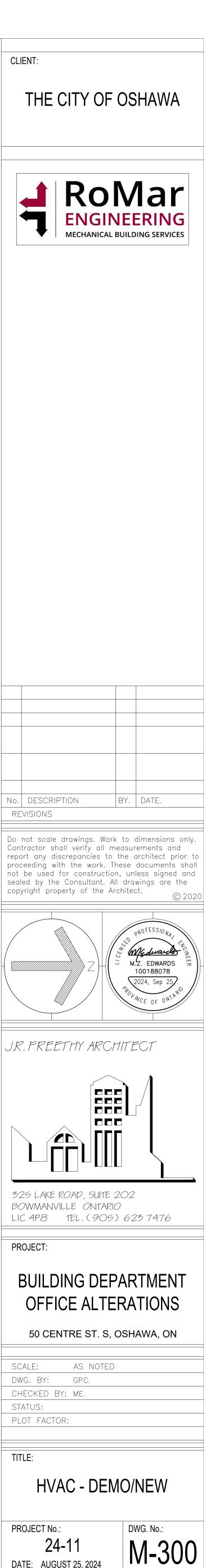


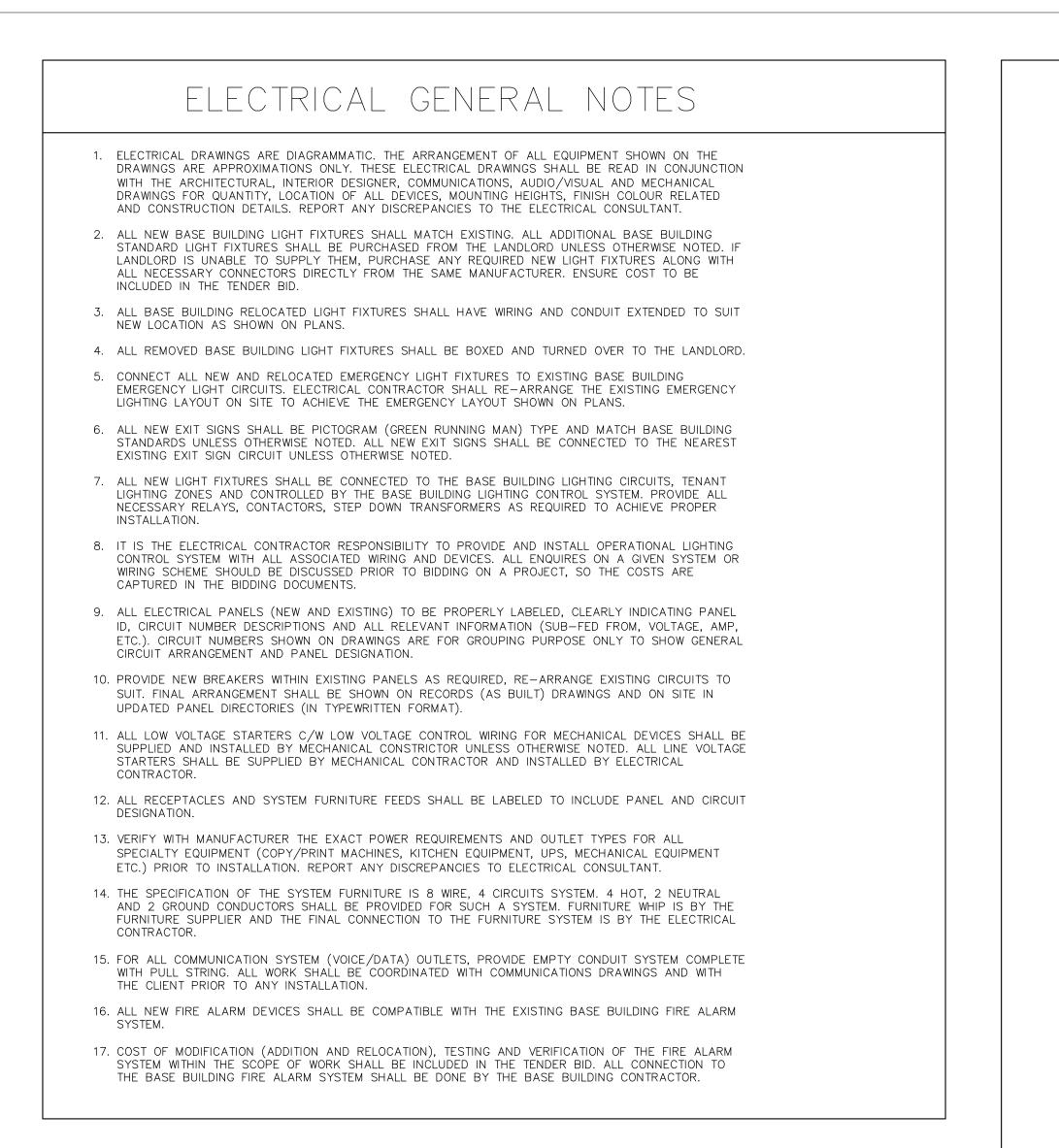
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- Kx			
KEYED NOTES: (1) R/A GRILLE TO MATCH EXISTING SIZE ON SITE (24"x6") UNLESS NOTED OTHERWISE.			
OTHERWISE. 2 DIFFUSERS TO BE RELOCATED AS SHOWN. (TYP). 3 ALL DIFFUSERS ATTACHED TO ANY HEAT PUMP BEING ADJUSTED ARE TO			
 BE REBALANCED AS INDICATED. (TYP). EXISTING WASHROOM EXHAUST GRILLES TO BE RE-BALANCED AS SHOWN. 			
PLENUM IF THE CEILING OR ROOF SPACE IS USED AS A PLENUM FOR SUPPLY OR RETUN AIR, ALL			
-J COMBUSTIBLE MATERIALS WITHIN SUCH SPACE INCLUDING ANY PIPES AND JACKETS ON ELECTRICAL WIRING MUST HAVE A FLAME SPREAD RATING OF NOT MORE THAN 25 AND A SMOKE DEVELOPED			
CLASSIFICATION OF NOT MORE THAN 50.			
-(H)			No. DESCRIPTION
			REVISIONS
			Do not scale drawings. V Contractor shall verify al report any discrepancies proceeding with the work
			report any discrepancies proceeding with the work not be used for construct sealed by the Consultant copyright property of the
—(Fx)			J.R. FREETHY AR
			325 LAKE ROAD, SUI BOWMANVILLE ONT, LIC 4P8 TEL. (90
			PROJECT:
			BUILDING DE
			OFFICE ALT
		Corporation of the City of Oshawa TRUE COPY	50 CENTRE ST.
		OF FINAL REVIEWED BUILDING PERMIT PLANS	SCALE: AS NOT DWG. BY: GPC.
		per the Chief Building Official	CHECKED BY: ME. STATUS: PLOT FACTOR:
		BUILDING PERMIT # BLD202401488	TITLE:
		CITY OF OSHAWA	HVAC - DE
		TRUE COPY OF PERMIT PLANS Nov22 2024	PROJECT No.:
		PER:CHIEF BUILDING OFFICIAL	24-11 DATE: AUGUST 25, 2024





LUMINAIRE SCHEDULE TYPE LAMP DESCRIPTION PRESCOLITE LITEBOX PRO - 4" DOWNLIGHT; SWITCHABLE LUMENS 800/1200/1600; SWITCHABLE CCT SET TO 3500K; 90 CRI; A LED 14W DIFFUSE CLEAR ANODIZED REFLECTOR; C/W MOUNTING PAN & HANGER BARS AND 120V (0-10V) DIMMING. 3500K PRESCOLITE-CAT# LBRP-M-LS-SL-CS9-LBRP-4RD-T-D-LB-4R-F-TG SURFACE MOUNT EDGELIT GREEN RUNNING MAN EXIT SIGN, 120V SELF POWERED. 120MIN DISCHARGE. 2W LED X STANPRO-CAT# RMES-0-WH-IB1

LIGHTING CONTROL SCHEDULE

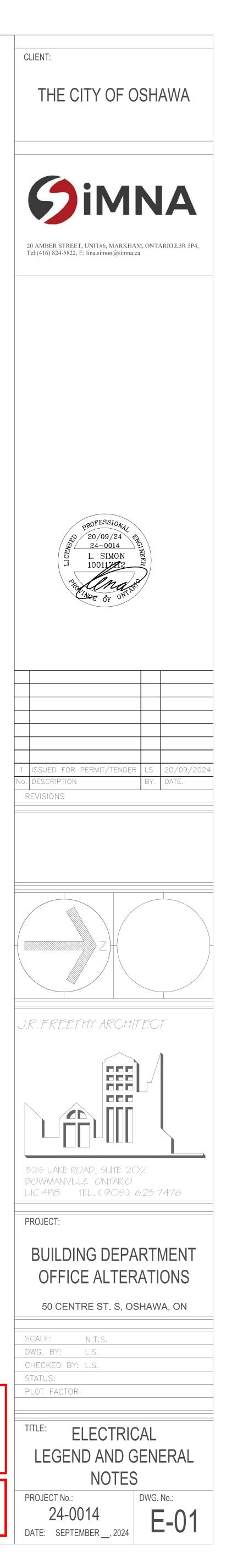
SYMBOL	DESCRIPTION
⊈os	WALL MOUNTED 120V DUAL TECHNOLOGY SWITCH OCCUPANCY SENSOR. FINISH COLOUR SHALL BE WHITE. WATTSTOPPER-CAT# DSW-301-120V
⊈ _D	WALL MOUNTED (0-10V) DIMMING WALL SWITCH. FINISH COLOUR SHALL BE WHITE. WATTSTOPPER-CAT# RH4FBL3PW
65	LINE VOLTAGE CEILING MOUNTED DUAL TECHNOLOGY OCCUPANCY SENSOR 120V. FINISH COLOUR SHALL BE WHITE. WATTSTOPPER-CAT# DT-355-120V

DRAWING NUMBER	DESCRIPTION
E-01 E-02 E-03 E-04 E-05 E-06 E-07 E-08 E-09 E-10	ELECTRICAL LEGEND AND GENERAL NOTES ELECTRICAL SPECIFICATION ELECTRICAL SPECIFICATION ELECTRICAL SPECIFICATION PLAN ELECTRICAL LIGHTING DEMOLITION PLAN ELECTRICAL POWER AND SYSTEMS DEMOLITION PLAN ELECTRICAL DOWER AND SYSTEMS PLAN ELECTRICAL DETAILS ELECTRICAL DETAILS

	ELECTRICAL LEGE	END OF	SYMBOLS
	PTION OF LIGHTING SYMBOLS		PTION OF POWER SYMBOLS
			WALL MOUNTED 15A,1P,120V (NEMA 5–15R) OR AS NOTED DUPLEX RECEPTACLE. ('C' DENOTES CEILING
	RECESSED/SURFACE LIGHT FIXTURE - EXISTING TO REMAIN.	Ф Ф	MOUNTED) WALL MOUNTED 15A,1P,120V (NEMA 5–15R) OR AS NOTED QUAD RECEPTACLE. ('C' DENOTES CEILING
	RECESSED/SURFACE LIGHT FIXTURE - EXISTING TO BE REMOVED OR REMOVED AND RELOCATED.	́	MOUNTED) OUTLETS MOUNTED ON A RACEWAY
\diamond	RECESSED/SURFACE LIGHT FIXTURE - NEW OR EXISTING LUMINAIRE SHOWN IN RELOCATED LOCATION. RECESSED DOWNLIGHT LIGHT FIXTURE - EXISTING, NEW, REMOVED OR RELOCATED (REFER TO ABBREVIATIONS	 ©	HARDWIRE DIRECT CONNECTION OUTLET
-, ∽,	NOTED BELOW). LETTER DESIGNATION SYMBOL "X" ETC. DENOTES LUMINAIRE TYPE. REFER TO LUMINAIRE SCHEDULE FOR	• •	SURFACE AND RECESSED MOUNTED POWER OR LIGHTING PANELBOARD. REFER TO PANEL SCHEDULES FOR
Ƴx ≨	SPECIFICATIONS. WALL MOUNTED SINGLE POLE LIGHT SWITCH. COORDINATE MOUNTING HEIGHTS WITH DESIGNER'S DRAWINGS. VOLTAGE RATING SHALL BE COMPATIBLE TO LIGHT FIXTURES VOLTAGE.	11	SPECIFICATIONS
± ⊈∰∰	WALL MOUNTED GANGED LIGHT SWITCHES. REFER TO DRAWINGS FOR QUANTITY OF SWITCHES. COORDINATE MOUNTING HEIGHTS WITH DESIGNER'S DRAWINGS. VOLTAGE RATING SHALL BE COMPATIBLE TO LIGHT FIXTURES		
⊈ _D	VOLTAGE. WALL MOUNTED DIMMER SWITCH. REFER TO LIGHTING CONTROL SCHEDULE FOR SPECIFICATIONS. COORDINATE		
⊈us	MOUNTING HEIGHTS WITH DESIGNER'S DRAWINGS. WALL MOUNTED LIGHT SWITCH C/W OCCUPANCY SENSOR. REFER TO LIGHTING CONTROL SCHEDULE FOR SPECIFICATION. COORDINATE MOUNTING HEIGHTS WITH DESIGNER'S DRAWINGS.	DESCRI	PTION OF COMMUNICATION SYMBOLS
ම ම	CEILING AND WALL MOUNTED OCCUPANCY MOTION SENSOR DEVICE. REFER TO LIGHTING CONTROL SCHEDULE FOR SPECIFICATIONS.	V	WALL MOUNTED COMBINATION VOICE/DATA OUTLET, ALL ASSOCIATED ROUGH-IN, JUNCTION BOXES AND CONDUITS TO BE PROVIDED AND INSTALLED BY DIV.16. ('C' DENOTES CEILING MOUNTED).
DESCRIF	PTION OF EMERGENCY SYMBOLS	DESCRI	PTION OF FIRE ALARM SYMBOLS
হেইইই	CEILING MOUNTED EXIT LIGHT. HATCHING (S) DENOTE (S) ILUMINATED FACE(S) ONLY AND ARROW (S) DENOTES DIRECTION.		WALL MOUNTED FIRE ALARM PULLSTATION DEVICE.
r <u>i</u> 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	WALL MOUNTED EXIT LIGHT. HATCHING (S) DENOTE (S) ILUMINATED FACE (S) ONLY AND ARROW (S) DENOTES DIRECTION.		WALL MOUNTED FIRE ALARM BELL DEVICE ('C' DENOTES CEILING MOUNTED).
-	LIGHT FIXTURES CONNECTED TO EMERGENCY POWER. REFER TO SPECIFICATIONS FOR TYPE.	※ 挙	CEILING AND WALL MOUNTED FIRE ALARM STROBE LIGHT DEVICE.
		•	FIRE ALARM SMOKE DETECTOR DEVICE. FIRE ALARM HEAT DETECTOR. ('C' DENOTES CEILING MOUNTED).
		•	TIKE ALARM TIEAT DETECTOR. (C DENOTES CEIEING MOONTED).
DESCRIF	PTION OF ABBREVIATIONS	DESCRI	PTION OF ABBREVIATIONS
IG	ISOLATED GROUND	TL	TWIST LOCK
JB	JUNCTION BOX	С	CEILING MOUNTED
NL	NIGHT LIGHT	AFF	ABOVE FINISHED FLOOR
E	EXISTING EQUIPMENT TO REMAIN	NTS	NOT TO SCALE
R	EXISTING EQUIPMENT TO BE REMOVED	C/W	COMPLETE WITH
ER	EXISTING EQUIPMENT IN NEW RELOCATED POSITION	EC	EMPTY CONDUIT
R/R	EQUIPMENT TO BE REMOVED AND REINSTALLED-LOCATION AS SOWN ON THE DRAWINGS	ССТ	CIRCUIT
WP	WEATHER-PROOF DEVICE	GRD	GROUND
GFI	GROUND FAULT INTERRUPTER		
			Corporation of the City of Oshawa TRUE COPY OF FINAL REVIEWED
			BUILDING PERMIT PLANS
			per the Chief Building Official
			BUILDING PERMIT #
	ı		BLD202401488 CITY OF OSHAWA

	CEILING MOUNTED EXIT LIGHT. HATCHING (S) DENOTE (S) ILU ARROW (S) DENOTES DIRECTION.
× 1 × × ×	WALL MOUNTED EXIT LIGHT. HATCHING (S) DENOTE (S) ILUMII DENOTES DIRECTION.
-\$- ***	LIGHT FIXTURES CONNECTED TO EMERGENCY POWER. REFER

IG	ISOLATED GROUND
JB	JUNCTION BOX
NL	NIGHT LIGHT
E	EXISTING EQUIPMENT TO REMAIN
R	EXISTING EQUIPMENT TO BE REMOVED
ER	EXISTING EQUIPMENT IN NEW RELOCATED POSITION
R/R	EQUIPMENT TO BE REMOVED AND REINSTALLED-LOCATION AS
WP	WEATHER-PROOF DEVICE
GFI	GROUND FAULT INTERRUPTER



1.1.	DEFINITIONS	1.10.	<u>CODES & S</u>
	WHEN WORDS SUCH AS "PROVIDE", "SUPPLY" OR "SUPPLY AND INSTALL" ARE USED, IT IS INTERPRETED TO MEAN SUPPLY AND INSTALL COMPLETE WITH ALL MATERIALS, LABOUR, INSTALLATION AND COMMISSIONING FOR THE SCOPE REFERENCED ON THE PLANS.	1.10.1.	
1.2. 1.2.1.	<u>CONTRACT DOCUMENTS</u> DRAWINGS ARE PROVIDED BY THE CONSULTANT AND ARE INTENDED TO CONVEY THE SCOPE OF THE WORK AS WELL AS THE GENERAL DISTRIBUTION AND LOCATION OF EQUIPMENT.	1.10.2.	UP TO AND LANDLORD'S THROUGH TH
1.2.2.	DRAWINGS ARE NOT INTENDED TO CONVEY DESIGN REQUIREMENTS FOR OTHER DISCIPLINES OR FOR THE EXISTING BASE BUILDING SYSTEMS.		SUBMITTED
1.2.3.	THE CONTRACTOR IS REQUIRED TO HAVE A THOROUGH UNDERSTANDING OF ALL ELEMENTS OF THE WORK BEFORE PROCEEDING.	2. <u>OPER</u> , 2.1.	ATION AND MA
	CONTRACTOR SHALL SUPPLY AND INSTALL A FULLY OPERATIONAL AND FUNCTIONAL SYSTEM, INCLUDING ALL ACCESSORIES REQUIREMENT IN THE BID SUBMISSION. ANY SIGNIFICANT CHANGES REQUESTED BY THE CONTRACTOR TO THE DESIGN INTENT OR SPECIFICATIONS SHALL BE SUBMITTED	2.1. 2.1.1. 2.1.2.	<u>GENERAL</u> PROVIDE TH OPERATION
	TO THE CONSULTANT IN WRITING FOR CONSIDERATION BEFORE ANY WORK IS UNDERTAKEN. ALL MATERIALS AND EQUIPMENT USED SHALL BE NEW, CSA CERTIFIED AND MANUFACTURED TO THE STANDARDS SPECIFIED. SALVAGED EQUIPMENT SHALL NOT BE USED UNLESS WITH PRIOR APPROVAL	2.1.3.	SYSTEMS DE THE FOLLOW
1.2.6.	FROM CONSULTANT/OWNER. ANY CHANGES OR ADDITIONS TO DESIGN, MATERIALS OR EQUIPMENT NECESSARY TO ACCOMMODATE OTHER DISCIPLINES DESIGN REQUIREMENTS SHALL BE MADE BY THE CONTRACTOR AT NO COST.	2.1.3 2.1.3	
.3.	TENANT'S EQUIPMENT	2.1.3	
1.3.1.	ALL EQUIPMENT PROVIDED BY THE OWNER OR TENANT SHALL BE RECEIVED, STORED AND INSTALLED AS PER SPECIFICATIONS FROM THE MANUFACTURER. THE CONTRACTOR WILL BE RESPONSIBLE FOR	2.1.3 2.1.3	
	ALL EQUIPMENT AS WELL AS ALL ACCESSORIES REQUIRED TO INSTALL AND OPERATE CORRECTLY.	2.1.3 2.1.3	
.4. 1.4.1.	INSURANCE CONTRACTOR SHALL AT THE TIME OF BID SUBMISSION PROVIDE COPIES OF WSIB CLEARANCE	2.1.3	
	CERTIFICATE AS WELL AS INSURANCE CERTIFICATE IN GOOD STANDING THAT NAMES THE OWNER AS AN ADDITIONAL INSURED.	2.1.3 2.1.3	
1.4.2.	INSURANCE AMOUNT SHALL BE APPROVED BY CONSULTANT, OWNER AND TENANT BEFORE APPROVAL OF THE BID SUBMISSION.	2.1.3	15. MEGGER
1.4.3.	CONTRACTOR SHALL MAINTAIN THROUGHOUT THE PROJECT ALL INSURANCE REQUIREMENTS AS PER THE BID DOCUMENTS.		16. COORDIN FLUSH I 17. LIST OF
.5. 1.5.1.	PERMITS AND FEES THE CONTRACTOR SHALL BE REQUIRED, AT THEIR OWN EXPENSE TO OBTAIN ALL REQUIRED PERMITS,	2.1.3	CONTAC 12. ADVERTI
1.5.2.	INSPECTIONS AND REGULATORY APPROVALS REQUIRED TO COMPLETE THE WORK. COPIES OF THESE DOCUMENTS INCLUDING DEFICIENCY REPORTS, INSPECTIONS AND CERTIFICATES	3 0000	ON WORK RES
	SHALL BE SENT TO ALL PARTIES INCLUDING THE CONSULTANT AND OWNER WITHIN THREE DAYS OF RECEIPT.	3.1.	<u>general se</u>
.6.	EXISTING CONDITIONS	3.1.1.	TYPE, ETC
1.6.1.	THE CONTRACTOR WILL BE REQUIRED TO VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF THE WORK AND SUBMISSION OF BID.	3.1.2.	APPROVED I CUTLER-HA
	NO CLAIMS WILL BE ENTERTAINED FOR EXTRA WORK AS A DIRECT RESULT OF NONATTENDANCE AT THE WORK SITE, THIS INCLUDES ALL SERVICES AT ARE REASONABLY ACCESSIBLE THROUGH A VISUAL INSPECTION (INCLUDING EXISTING SERVICES ABOVE THE CEILING) OR REASONABLE INFERENCE DURING THE SITE EXAMINATION PRIOR TO BID SUBMISSION.	3.1.3.	ALL NEW SE
	IN ANY INSTANCE WHERE IT IS SUSPECTED THAT ASBESTOS IS PRESENT CONSULTANT MUST BE INFORMED AS SOON AS POSSIBLE. ANY REMEDIATION WORK REQUIRED WILL BE INCLUDED IN BID	3.1.4.	ALL NEW SE
	PRICE.	3.1.5. 3.1.6.	ALL AUTOM FOR ALL FL WITH 50MM
1.7. 1.7.1.	WORK IN NEW AND RENOVATED AREAS	3.2.	NAMEPLATES
1.7.2.	DISCONNECTED WIRING AND CUT BACK TO SOURCE (ELECTRICAL PANEL OR MAIN DISTRIBUTION). ALL REDUNDANT CONDUITS SHALL BE CUT BACK TO THE NEAREST JUNCTION BOX.	3.2.1.	PROVIDE LA
	FOR ALL EXISTING OUTLET BOXES ARE TO BE REMOVED FROM EXISTING UNDER FLOOR DUCTS, ENSURE THAT ALL EXISTING HOLES ARE CAPPED AND FLUSH WITH THE FLOOR. PROVIDE ALL NECESSARY AND APPROVED FITTINGS.	3.2.2. 3.2.2	EACH NAME .1. DESIGNA
1.7.4.	WORK SHALL BE DONE WITH MINIMAL DISRUPTION TO OCCUPANTS AND SPACE.	3.2.2 3.2.2	
1.7.5.	THE LANDLORD MUST GIVE WRITTEN APPROVAL FOR THE USE OF ANY POWER EQUIPMENT, ELEVATORS, WASHROOMS OR ANY OCCUPIED SPACE THAT MAY BE REQUIRED TO COMPLETE THE WORK.	3.2.2	
1.7.6.	ALL EXPOSED EXISTING CONDUITS INSTALLED IN FINISHED AREAS THAT ARE REQUIRED TO REMAIN, SHALL BE REROUTED AND OR REMOVED.	3.2.2 3.2.3.	.5. FEED LC ALL NAMEPI
1.7.7.	THE SITE SHALL BE MAINTAINED IN A CLEAN AND ORGANIZED SITE. EACH DAY CONTRACTOR SHALL CLEAN THE AREA AND CORRECTLY DISPOSE OF ALL WASTE MATERIALS. WHERE APPLICABLE	3.2.4.	ALL NAMEPI EQUIPMENT.
	RECYCLING SERVICES WILL BE UTILIZED. PROVIDE ALL THE TOOLS AND CLEANING EQUIPMENT. ANY ELECTRICAL EQUIPMENT THAT ARE IN GOOD WORKING ORDER AND WILL NO LONGER BE REQUIRED SHALL BE PACKAGED UP, LABELLED AND RETURN TO OWNER OR LANDLORD.	3.2.5. 3.2.6.	MARK ALL I All NEW AI
1.7.9.	ANY EQUIPMENT TO BE REUSED WILL BE REFURBISHED ACCORDINGLY, THE CONTRACTOR IS REQUIRED TO PROVIDE CERTIFICATES TO SHOW REFURBISHED EQUIPMENT MEET ALL REGULATORY BODIES REQUIREMENTS.	3.3.	PANELBOAR
1.7.10.	REMOVE ALL REDUNDANT DEVICES, CABLE, CONDUIT AND COMMUNICATIONS CABLES. CUT BACK ALL CABLES TO SOURCE.	3.3.1.	ALL NEW P
	ALL DAMAGED EQUIPMENT IS TO BE DISPOSED OF AND REPLACED AT NO COST TO THE OWNER.	3.3.2. 3.3.3.	MOULDED C. ALL BUS BA
	ANY DAMAGED INCURRED TO THE BASE BUILDING SYSTEMS WHILE WORK IS BEING PERFORMED IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR ANY SUBCONTRACTOR CARRIED BY THE CONTRACTOR. CONTRACTOR SHALL BE REQUIRED TO SHOULDER ANY ASSOCIATED COST WITH ANY DAMAGES.	3.3.4.	ALL MAIN B CABLE ENTR
	ALL DUST, DEBRIS, DIRT OR OTHER MATERIALS LEFT AS A RESULT OF THE WORK ARE TO BE CLEANED BY THE CONTRACTOR.	3.3.5.	THE INTERR
1.8.	VALUATION OF CHANGES	3.4. 3.4.1.	<u>breakers</u> All new an
1.8.1.	ALL QUOTES FOR CHANGE NOTICES SHALL:	3.4.2.	COMPLETE N TANDEM BR
1.8.1.1. 1.8.1.2	A BREAKDOWN OF MATERIAL, LABOUR OVERHEAD AND ANY OTHER RELEVANT COSTS ASSOCIATED	3.4.3.	ALL NEW BE TYPE ON SI
1.8.1.3	WITH THE WORK. HOURLY LABOUR COSTS, THIS COSTS SHALL BE INCLUSIVE OF ALL ASSOCIATED LABOUR COSTS NOT LIMITED TO INSURANCE, OVERHEAD EXPENSE, WARRANTIES ETC.	3.4.4.	ALL SPLIT F
1.8.1.4 1.8.1.5		3.5. 3.5.1.	<u>transform</u> All Small
1.8.1.6	. ALL QUOTES SHALL NOT SURPASS THE RATES AND COSTS AS PER NECA & NPS AS OF THE DATE THE QUOTE WAS ISSUED.	3.5.1	1. INDOOR
1.9.	WARRANTY	3.5.1 3.5.1	
1.9.1.	WARRANTY	3.5.1	
1.9.1.1	OWNER PRIOR TO SUBSTANTIAL COMPLETION CERTIFICATE ISSUE.	3.5.1 3.5.1	
1.9.1.2 1.9.1.3	THE WORK DONE BY THE CONTRACTOR OR THEIR SUBCONTRACTORS WARRANTY SHALL BE VALID ON ALL ITEMS, WITHOUT EXCLUSION FOR A PERIOD OF (1) ONE		ALL CEILING
1.9.1.4	CONTRACTOR OR FROM PERCEIVED PERFORMANCE DEFICIENCIES SHALL BE REPAIRED OR		ALL TRANSP
1.9.1.5	REPLACED BY THE CONTRACTOR AT NO COST. THE WARRANTY PERIOD WILL START WHEN THE CONTRACTOR HAS GIVEN ALL RELEVANT TESTING,	3.6. 3.6.1.	DISCONNEC
1.9.1.6	COMMISSIONING, OPERATIONS AND MAINTENANCE MANUAL DOCUMENTATION. REPLACE AT NO COST WITHIN (90) DAYS OF ISSUE OF SUBSTANTIAL COMPLETION CERTIFICATE THE FOLLOWING:	3.6.2. 3.6.3.	FUSIBLE DIS NOTED AND DISCONNECT
	1.6.1. ANY LIGHTING DEVICES, 1.6.2. LAMPS	3.6.4.	AMP RATING
1.9	1.6.3. TRANSFORMERS	3.7.	RECEPTACLE
	1.6.4.BALLASTS1.6.5.DEFECTIVE OR BURNT OUT BULBS	3.7.1.	ALL DUPLEX MATCHING (
	ALL WARRANTY REPAIR WORK SHALL BE CARRIED OUT AT A TIME ACCEPTABLE BY THE TENANT		

1.9.1.7. ALL WARRANTY REPAIR WORK SHALL BE CARRIED OUT AT A TIME ACCEPTABLE BY THE TENANT AND OWNERS REPRESENTATIVE.

3.7.3. ALL RECEPTACLES TO HAVE CIRCUIT NUMBER IDENTIFIED ON THE WALL PLATE. 3.7.4. ALL RECEPTACLES LOCATED WITHIN 1.5 METERS OF THE SINK, SHOWER, ETC. SHALL BE GFI TYPE.

ANDARDS
ATION OF THE WORK SHALL BE IN ACCORDANCE WITH THE MOST STRINGENT STANDARDS AND CODES TO THE WORK. ALL WORK SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE ILDING CODE, CSA, ELECTRICAL SAFETY AUTHORITY, ULC, OHSA, AND ALL OTHER APPLICABLE CODES, IND UPDATES THAT GOVERN THE WORK. THESE CODES MUST BE REFLECTED IN THE BID SUBMISSION, INCLUDING THE DATE OF SUBMISSION.
REQUIREMENTS, CONSULTANT'S DRAWINGS AND BASE BUILDING STANDARDS SHALL BE ADHERED TO IE PROJECT AND TENDER PERIOD. ANY SIGNIFICANT CHANGES TO THE REQUIREMENTS MUST BE TO THE CONSULTANT IN WRITING BEFORE ANY CHANGES ARE COMPLETED.
INTENANCE OF ELECTRICAL SYSTEMS
REE HARD COPY SETS OF OPERATION AND MAINTENANCE MANUALS, BOUNDED AND ORGANIZED. AND MAINTENANCE MANUAL SHALL INCLUDE COMPLETE DOCUMENTATION OF ALL THE ELECTRICAL VICES AND INSULATION AND SHALL NOT BE LIMITED TO LINE VOLTAGE POWER DEVICES. ING INFORMATION SHALL BE INCLUDED IN THE OPERATIONS AND MAINTENANCE MANUALS: AND ADDRESS OF THE NEAREST SUPPLIERS FOR THE ITEMS INCLUDED IN THE MAINTENANCE MANUAL. AL AND PRODUCT DATA TO BE IN A FORM OF APPROVED SHOP DRAWINGS SUPPLEMENTED BY IS AND COMPONENT ILLUSTRATIONS. CAL SAFETY INSPECTION REPORT.
ATE(S) OF ACCEPTANCE FROM THE AUTHORITIES INSPECTION DEPARTMENT. ANCE SCHEDULE, INCLUDING RECOMMENDED PROVIDERS. ENT ILLUSTRATIONS, TECHNICAL DESCRIPTIONS AND PARTS LIST.
INING DOCUMENTATION FOR MAINTENANCE STAFF. RIFICATION REPORTS AND CERTIFICATE(S) INCLUDING FIRE ALARM VERIFICATION REPORT. ALANCE REPORT AND WIRING. GUARANTEE LETTER.
TEST REPORT IN GIGA OHM (Ω) VALUES. ATION STUDY FOR EQUIPMENT INCLUDING RELAY PROTECTION EQUIPMENT, SHORT CIRCUIT AND ARC APPLICABLE.
EACH LIGHT FIXTURES TYPE IDENTIFYING THE TYPE OF LAMP, WATTAGE AND MANUFACTURER'S I INFORMATION.
SING OR SALES LITERATURE IS NOT ACCEPTABLE.
<u>ULTS FOR ELECTRICAL</u> RVICE EQUIPMENT
ECTRICAL SERVICE EQUIPMENT TO EXISTING BASE BUILDING EQUIPMENT IN MANUFACTURE NAME, RATING, UNLESS OTHERWISE DIRECTED.
QUAL SERVICE EQUIPMENT MANUFACTURERS ARE 'SIMENS, SCHNEIDER ELECTRIC, EATON IMER'.
RVICE EQUIPMENT MUST BE SUBMITTED FOR APPROVAL TO THE CONSULTANT. SUBMITTALS SHALL DDUCTS DATA SHEETS AS WELL AS SHOP DRAWINGS. RVICE EQUIPMENT (PANELBOARDS, DISCONNECT SWITCHES, METERS, TRANSFORMERS, ETC) TO BE
DINGS/BUS-BARS. TIC TRANSFER SWITCHES AND SURFACE MOUNTED PANELBOARDS MUST BE SPRINKLER PROOF. DOR MOUNTED DISTRIBUTION EQUIPMENT INCLUDING UPS, PROVIDE 100MM (4") HIGH CONCRETE BASE (2") EXTENSION ON ALL SIDES AND CHAMFERED CORNERS.
AACOID NAMEPLATES ON ALL DISCONNECT SWITCHES, PANELS, SPLITTERS ETC. PLATE WILL HAVE THE FOLLOWING: TION
OF WIRES
CATION ATES FOR NEW EQUIPMENT TO MATCH EXISTING BASE BUILDING NAMEPLATES. ATES SHALL BE MECHANICALLY FIXED TO LOCATIONS AND AFFIXED BEFORE ENERGIZATION OF
XPOSED CONDUIT, PULL BOXES, JUNCTION BOXES ETC. D EXISTING PANEL BOARDS SHALL BE COMPLETE WITH PANEL DIRECTORY.
NELBOARDS SHALL BE COMPLETE WITH 200% RATED NEUTRAL BUS. ASE CIRCUIT BREAKERS SHALL BE BOLT-ON TO THE PANEL. RS, LUGS AND BREAKER TERMINAL SHALL BE COPPER AND SILVER PLATED AT THE CONNECTION POINT. REAKERS SHALL BE INDIVIDUALLY MOUNTED ON TOP OR BOTTOM OF THE PANEL TO ACCOMMODATE
Y. JPTING RATING SHOULD BE MINIMUM 10KA FOR 208V PANELS AND 14KA FOR 347/600V PANELS.
D EXISTING BREAKERS FOR EMERGENCY LIGHTING, EXIT SIGN AND BACKUP POWER BATTERIES SHALL BE /ITH REQUIRED BREAKER LOCKS. EAKERS ARE NOT ACCEPTABLE. EAKERS IN EXISTING PANELS SHALL MATCH EXISTING BREAKERS TYPE AND MANUFACTURE. CONFIRM
ECEPTACLES SHALL BE COMPLETE WITH 15A,2P GFI BREAKER.
<u>IRS</u>
TRANSFORMERS SHALL BE DRY TYPE AND SHALL HAVE THE FOLLOWING SPECIFICATIONS: AIR—COOLED TYPE RATED THREE PHASE, 60 CYCLE. IR OF 13 AND WITH ELECTROSTATICALLY SHIELDED. WINDINGS.
DRMERS SHALL NOT BE "T-TAP" TYPE. D WITH CLASS B' OR H INSULATION SYSTEM.
LUGS ON TRANSFORMER NEUTRALS.
MOUNTED TRANSFORMERS UP TO 45KVA SHALL BE SUSPENDED BY A SUSPENSION RODS AND SPRING WHILE TRANSFORMERS 60KVA AND LARGER SHOULD BE FLOOR MOUNTED ON KORFUND ISOLATION PADS. ORMERS SHALL BE SPRINKLER PROOF AS REQUIRED TO MEET LOCAL CODES.

<u> SWITCHES</u>

INECT SWITCHES SHALL BE HEAVY DUTY, CSA APPROVED, FRONT OPERATED TYPE. SCONNECT SWITCHES TO BE COMPLETE WITH FUSE CLIPS SUITABLE FOR ARC FUSES, UNLESS OTHERWISE COMPLETE WITH SHORT CIRCUIT CURRENT RATING OF 200KA. SWITCH ENCLOSURE TO BE SPRINKLER-PROOF.

, NUMBER OF POLES AND FUSE REQUIREMENTS ARE AS INDICATED ON DRAWINGS.

BREAKERS.

X RECEPTACLES SHALL BE SPECIFICATION GRADE 15A. 120 VOLT, "U" GROUND COMPLETE WITH ATCHING COVER PLATES UNLESS OTHERWISE NOTED.

3.7.2. ALL DUPLEX RECEPTACLES SHALL BE 'DESIGNER' RECTILINEAR STYLE.

3.7.5. ALL OUTDOOR RECEPTACLES SHALL BE COMPLETE WITH WEATHER PROOF COVERS AND COMPLETE WITH GFI

3.8. 3.8.1.	DRYWALL CEILINGS ALL EXISTING JUNCTION BOXES LOCATED IN NEW DRYWALL CEILING AREAS SHALI
3.8.2.	ALL NEW AND EXISTING JUNCTION BOXES SHALL BE ACCESSIBLE. PROVIDE ACCE WORK WITH GENERAL CONTRACTOR ON SITE.
3.9.	INTERRUPTION OF SERVICES
3.9.1.	INTERRUPTION OF ELECTRICAL SERVICE TO ANY PART OF THE BUILDING SHALL CONSULTANT AND OWNERS REPRESENTATIVE.
3.9.2.	PLANNED INTERRUPTIONS OF SERVICE MUST BE GIVEN AT LEAST (36) THIRTY-S CONSULTANT, TENANTS AND ANY OCCUPANTS THAT MAY BE AFFECTED.
3.9.3.	ANY UNPLANNED INTERRUPTION TO SERVICE THAT RESULTS IN A SIGNIFICANT LOSHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3.9.4.	ALL INTERRUPTIONS IN SERVICE SHALL BE ACCOUNTED FOR IN THE BID PRICE.
3.10. 3.10.1.	CUTTING AND PATCHING OBTAIN WRITTEN APPROVAL FROM CONSULTANT OR LANDLORD BEFORE ANY CUT
3.10.2. 3.10.3. 3.10.4.	ALL CUTTING AND PATCHING REQUIREMENTS SHALL BE INCLUDED IN THE BID SU WHERE CONDUITS PASS THROUGH FIRE RATED WALLS OR FLOORS, PROVIDE FIRE FIRE STOPPING MUST MEET MOST CURRENT REQUIREMENTS OF CSA AND ULC.
.11. 3.11.1.	<u>CORE DRILLING</u> OBTAIN OWNER'S AND IF REQUIRED STRUCTURAL CONSULTANT'S APPROVAL OF C ANY WORK.
3.11.2. 3.11.3.	ENSURE TO X-RAY FLOOR SLAB OR STRUCTURAL WALLS REQUIRE CORE DRILLIN ANY DAMAGES TO THE EXISTING BUILDING SERVICES DUE TO THE CORE DRILLING WITHOUT ANY ADDITIONAL COST TO OWNER OR TENANT.
3.11.4. 3.11.5.	ALL CORING AND DRILLING DUE TO THE CONTRACTOR'S MISS COORDINATING WITH DONE WITHOUT ANY ADDITIONAL COST TO OWNER OR TENANT. FLOOR DRILLING TO BE CARRIED OUT AFTER NORMAL WORKING HOURS IF POSSIE OWNER PRIOR TO DRILLING.
.12. 3.12.1.	ACCESS DOORS PROVIDE ACCESS DOORS FOR ANY EQUIPMENT REQUIRES ACCESSIBILITY AND MA CONSULTANT APPROVAL PRIOR TO ANY WORK.
3.13. 3.13.1.	PLYWOOD INSTALL ALL SURFACE MOUNTED ELECTRICAL DISTRIBUTION EQUIPMENT ON CONS
3.13.2.	PLYWOOD BACKBOARD SHALL BE 19MM THICK, FLAME RETARDANT PRIME COAT F ACCORDANCE WITH OBC REQUIREMENTS.
3.14. 3.14.1.	OUTLET LOCATION AND MOUTING HEIGHT REFER TO ARCHITECTURAL/INTERIOR DESIGNER'S DRAWINGS AND ELEVATIONS FO
3.14.2.	FIXTURES LOCATION AND MOUNTING HEIGHT. THERE SHOULD NOT BE ANY ADDITIONAL COST FOR REVISING OUTLET BOXES AN DISTANCE DOSE NOT EXCEED 3M (10'-0").
<u>SELEC</u>	TIVE DEMOLITION FOR ELECTRICAL
4.1. 4.1.1.	DEMOLITION REQUIREMENTS IT IS REQUIRED TO FIRST VISITS THE SITE TO ASSESS RISK, COST SAVINGS AND
4.1.2.	DISTURBANCES TO OCCUPANTS. SUBMIT DEMOLITION PLAN TO THE CONSULTANT FOR REVIEW AND COMMENTS BE CONSULTANT AND ARCHITECT TO REVIEW DEMOLITION PLAN TO MAINTAIN CONST.
4.1.3. 4.1.4.	INCLUDE SAFETY PLAN FOR DEMOLITION AND SHALL SUBMIT WITH DEMOLITION PLENSURE NO DISRUPTION TO LIFE SAFETY EQUIPMENT OR SYSTEMS WITHOUT PRICE WHERE DISRUPTION IS NECESSARY, ENSURE BACKUP SYSTEMS IS IN PLACE IN COCCUPANTS IN CASE OF AN EMERGENCY.
4.1.5.	ALL DEMOLISHED EQUIPMENT, CONDUIT, DEVICES AND WIRING ETC. SHALL BE MA BE COMPLETELY REMOVED AND DISPOSED OF RESPONSIBLY.
4.1.6. 4.1.7.	ANY DAMAGES INCURRED WHILE CONDUCTING THE DEMOLITION WILL BE THE RESP ANY UNPLANNED DISRUPTION OF SERVICES DURING DEMOLITION THAT LEAD TO I LOSS OF INCOME IMPACTING THE TENANT OR OWNER SHALL BE REIMBURSED BY
4.1.8.	DISCONNECT ELECTRICAL CIRCUITS AND PANEL FEEDERS; MAINTAIN ELECTRICAL SIS, READY FOR SUBSEQUENT WORK.
4.1.9.	REMOVE EXISTING LUMINAIRES, ELECTRICAL DEVICES AND EQUIPMENT INCLUDING SIMILAR ITEMS UNLESS SPECIFICALLY NOTED OTHERWISE.
4.1.10.	DISCONNECT AND REMOVE EXISTING FIRE ALARM SYSTEM INCLUDING ASSOCIATED ITEMS UNLESS SPECIFICALLY NOTED OTHERWISE
4.1.11.	DISCONNECT AND REMOVE COMMUNICATION SYSTEMS INCLUDING ASSOCIATED COUUNLESS SPECIFICALLY NOTED OTHERWISE.
4.1.12.	DISCONNECT AND REMOVE TELEPHONE OUTLETS, ASSOCIATED CONDUIT, CABLING RELATED ACCESSORIES; MAINTAIN TELEPHONE SERVICE AND MAIN TERMINAL BAC
4.1.13. 4.1.14.	PERFORM DEMOLITION WORK IN A NEAT AND WORKMANLIKE MANNER. REMOVE TOOLS OR EQUIPMENT AFTER COMPLETION OF WORK, AND LEAVE SITE (
4.1.15.	RENOVATION WORK. REPAIR AND RESTORE DAMAGES CAUSED AS A RESULT OF WORK OF THIS SECTION
4.1.16.	FINISHES. DISCONNECT PANEL FEEDERS BACK TO MAIN DISTRIBUTION PANEL AND RE LABE
4.1.17.	PLACE WEATHERPROOF BLANK COVER PLATES ON EXTERIOR OUTLET BOXES REM ACTIVITIES.
4.1.18.	REMOVE EXISTING CONDUITS, BOXES, CABLING AND WIRING ASSOCIATED WITH REEQUIPMENT.
4.1.19.	GRIND OFF CONDUITS AND MAKE FLUSH WITH SURFACE OF CONCRETE WHERE CO
4.1.20.	SEAL OPEN ENDS OF CONDUIT WITH SILICONE SEALANT AND LEAVE IN PLACE WE BE REMOVED WITHOUT DAMAGING ADJACENT CONSTRUCTION.
<u>LOW-V</u> 5.1.	OLTAGE ELECTRICAL POWER CONDUCTORS AND CABLES WIRE & CABLE
5.1.1. 5.1.2.	PROVIDE SEPARATE INSULATED BONDING WIRE IN CONDUIT. MINIMUM WIRE SIZES, BASED ON USE OF COPPER CONDUCTORS:
5.1.2.1 5.1.2.2	 POWER AND LIGHTING: NO.12 AWG, COLOUR CODED CONDUCTORS. RW90 FOR INTERIOR AND RWU90 FOR EXTERIOR WIRING.
5.1.2.3 5.1.2.4	
5.1.2.5 5.1.2.6	
5.1.2.7	7. INSTALL TERMINATION FITTINGS APPROVED FOR LOCATION ON CABLE.
5.1.3. 5.1.4.	ALL WIRE SHALL BE SIZED FOR MAXIMUM 2% VOLTAGE DROP. USE TYPE AC90 ARMOURED CABLE (BX) FOR:
5.1.4.1	I. CONNECTIONS FROM CONDUIT TO LUMINAIRES IN ACCESSIBLE CEILINGS AND S
5.1.4.2 5.1.4.3	 SERVICING DEVICES IN STUD PARTITION WALLS FROM OUTLET BOX IN CEILING DO NOT LOOP BETWEEN WIRING DEVICES.
5.1.5.	DO NOT USE TYPE AC90 CABLES FOR ANY OTHER APPLICATION.
5.1.6.	INSTALL CABLE DROPS FOR LUMINAIRES OF SUFFICIENT LENGTH TO ALLOW LUMIN

WITHIN [3000] MM RADIUS.

5.1.10. ALL HOME RUN CABLES SHALL BE IN CONDUIT.

CEILING AREAS SHALL BE DISCONNECTED AND RELOCATE TO THE SIBLE. PROVIDE ACCESS PANELS AS REQUIRED. COORDINATE ALL

HE BUILDING SHALL OCCUR ONLY BY PRE-ARRANGEMENT WITH LEAST (36) THIRTY-SIX HOURS' NOTICE, IN WRITING, TO THE E AFFECTED. S IN A SIGNIFICANT LOSS OF THE OWNER, TENANTS OR OCCUPANTS R IN THE BID PRICE.

DRD BEFORE ANY CUTTING IS CARRIED OUT. LUDED IN THE BID SUBMISSION. LOORS, PROVIDE FIRE-STOPPING MATERIAL.

ANT'S APPROVAL OF CORE DRILLING PRIOR TO COMMENCEMENT OF EQUIRE CORE DRILLING PRIOR TO ANY WORK.

O THE CORE DRILLING MUST BE REPAIRED BY THIS CONTRACTOR S COORDINATING WITH DESIGNERS OR OTHER TRADES SHALL BE NT

KING HOURS IF POSSIBLE. ALL TIMES SHALL BE APPROVED BY THE

CCESSIBILITY AND MAINTENANCE. OBTAIN OWNER'S AND DESIGN

EQUIPMENT ON CONSTRUCTION GRADE FIRE PLYWOOD. ARDANT PRIME COAT PAINTED WITH FLAME SPREAD RATING IN

AND ELEVATIONS FOR EXACT OUTLETS BOXES AND LIGHT

NG OUTLET BOXES AND LIGHT FIXTURES LOCATION WITHIN

, COST SAVINGS AND REASONABLE PLAN TO MINIMIZE

AND COMMENTS BEFORE UNDERSTATING MAJOR DEMOLITIONS. TO MAINTAIN CONSTANCY WITH DESIGN INTENT.

F WITH DEMOLITION PLAN. YSTEMS WITHOUT PRIOR NOTICE TO TENANTS AND CONSULTANTS. MS IS IN PLACE IN ORDER TO ENSURE THE SAFETY OF THE

G ETC. SHALL BE MADE SAFE. ALL REDUNDANT MATERIALS WILL

ON WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. TION THAT LEAD TO INCURRED COST, LOSS OF PRODUCTIVITY OR BE REIMBURSED BY THE CONTRACTOR AT COST. IAINTAIN ELECTRICAL SERVICE AND MAIN DISTRIBUTION PANEL AS

QUIPMENT INCLUDING ASSOCIATED CONDUITS, BOXES, WIRING, AND NCLUDING ASSOCIATED CONDUITS, BOXES, WIRING, AND SIMILAR

DING ASSOCIATED CONDUITS, BOXES, CABLING, AND SIMILAR ITEMS

ED CONDUIT, CABLING AND SUB TERMINAL BACKBOARDS AND D MAIN TERMINAL BACKBOARD AS IS. MANNER.

, AND LEAVE SITE CLEAN AND READY FOR SUBSEQUENT WORK OF THIS SECTION TO MATCH EXISTING MATERIALS AND

PANEL AND RE LABEL RESPECTIVE CIRCUIT BREAKER AS "SPARE".

OUTLET BOXES REMAINING AFTER DEMOLITION AND REMOVAL ASSOCIATED WITH REMOVED LUMINAIRES, ELECTRICAL DEVICES AND CONCRETE WHERE CONDUITS ARE CAST INTO CONCRETE; SEAL VE IN PLACE. D LEAVE IN PLACE WHERE THEY ARE INACCESSIBLE OR CANNOT

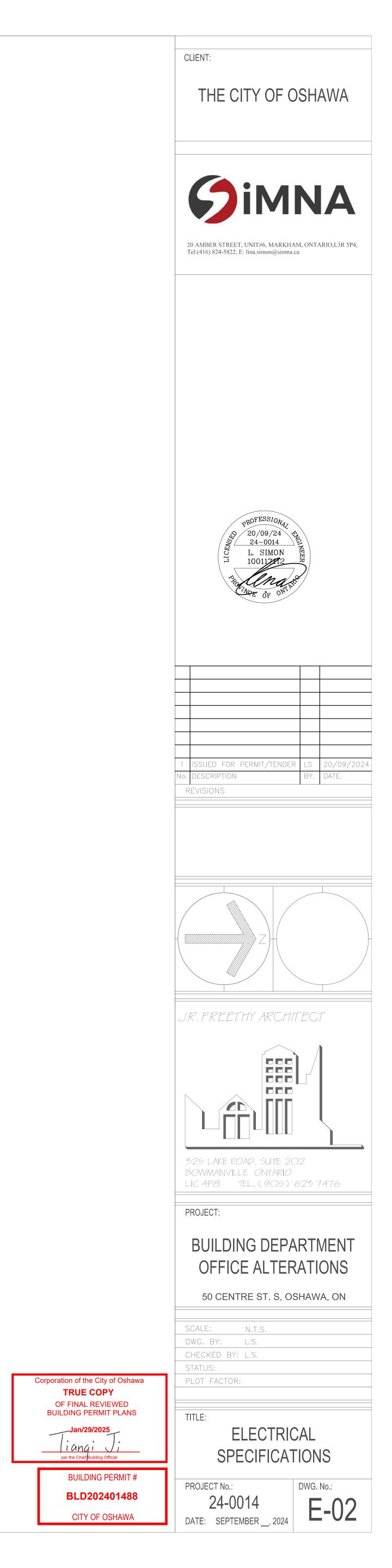
SIBLE CEILINGS AND STUD PARTITIONS. UTLET BOX IN CEILING TO DEVICE LOCATION.

5.1.6. INSTALL CABLE DROPS FOR LUMINAIRES OF SUFFICIENT LENGTH TO ALLOW LUMINAIRE TO BE RELOCATED TO ANY LOCATION

5.1.7. CLAMP CABLE BEFORE ENTERING LUMINAIRE AND CLIP CABLE BEFORE ENTERING CONDUIT SYSTEM JUNCTION BOX. 5.1.8. ALL WALL MOUNTED DEVICES SHALL BE FED VERTICALLY.

5.1.9. HORIZONTAL RUNS THROUGH PARTITIONS SHALL NOT BE PERMITTED UNLESS OTHERWISE NOTED.

5.1.11. CHANG OF LOCATION OF WIRING DEVICES WITH IN 5M OF THE LOCATION SHOWN ON THE PLANS SHALL BE AT NO COST TO THE CLIENT ASSUMING THE LOCATION HAS BEEN CLARIFIED PRIOR TO INSTALLATION.



5.2. 5.2.1.	WIRE TESTING MEGGER ALL LIGHTING AND POWER CIRCUITS TO MEET CODES AND LATEST NETA MANUAL.	10. <u>POWER SYSTEM STUDIES</u> 10.1. <u>COORDINATION AND ARC FLASH STUDY</u>
5.2.2.	ALL FEEDERS SHALL BE MEGGER TESTED WITH 1000VDC APPROVED MEGGER TEST.	10.1.1. A COORDINATION STUDY SHALL BE PERFOR MAINTAINS ECONOMICAL OPERATION. COOR
	FOR CABLES RATED 300V AND LESS MEGGER TEST IS 500VDC. ADJUST BRANCH CIRCUITS CONNECTIONS TO ENSURE OBTAINING THE BEST BALANCE OF CURRENT BETWEEN PHASES.	ARE PROTECTED BY ESTABLISHING PROPER COURSE OF CONSTRUCTION WILL WORK AS
	INCLUDE TEST REPORT IN OPERATION AND MAINTENANCE MANUAL.	10.1.2. OBTAIN THE SERVICES OF INDEPENDENT CO TESTING SERVICES WHEN ALL NEW ELECTR
	<u>DING AND BONDING FOR ELECTRICAL SYSTEMS</u> GROUND ALL ELECTRICAL EQUIPMENT IN ACCORDANCE WITH THE LATEST EDITION OF ESA.	400A, 120/208V 3PH. 10.1.3. THE REPORT SHALL BE CONDUCTED BY IN
	PROVIDE GROUND WIRES WITH ALL FEEDERS, SEPARATE GREEN INSULATED GROUND CONDUCTOR (GREEN STANDARD	ENGINEER. REPORT SHALL BE SUBMITTED . FOR REVIEW BY THE CONSULTANT.
6.0.3.	#6AWG) MINIM SHALL BE INSTALLED IN EVERY CONDUIT TO ALL DEVICES, UNLESS OTHERWISE DIRECTED. PROVIDE ALL REQUIRED BONDING AS REQUIRED BY CODE.	10.1.4. All CIRCUIT PROTECTIVE DEVICES SUCH AS SHALL BE INSTALLED IN A WAY SUCH AS THRU OUT THE ELECTRICAL DISTRIBUTION
RACEW	AY AND BOXES FOR ELECTRICAL SYSTEMS	FAULT POINT. 10.1.5. STUDY TO INCLUDE THE FOLLOWING:
'.1.	CONDUIT FOR ELECTRICAL SYSTEMS	10.1.5.1. DATA FOR ALL EQUIPMENT USED IN TH
7.1.1.	INSTALL CONDUITS TO CONSERVE HEADROOM IN EXPOSED LOCATIONS AND CAUSE MINIMUM INTERFERENCE IN SPACES THROUGH WHICH THEY PASS.	10.1.5.1.1. TRANSFORMER TYPES, SIZES AND 10.1.5.1.2. FUSE TYPES AND SETTINGS
	USE ELECTRICAL METALLIC TUBING (EMT) CONDUIT EXCEPT WHERE SPECIFIED OTHERWISE. USE RIGID GALVANIZED STEEL THREADED CONDUIT WHERE CONDUIT IS SUBJECT TO MECHANICAL INJURY AND UP TO	10.1.5.1.3. CIRCUIT BREAKERS AND SETTINGS
	2.4 M ABOVE FINISHED FLOOR WHERE EXPOSED IN ALL OUTDOOR AND INDOOR LOCATIONS. USE RIGID PVC CONDUIT IN CORROSIVE AREAS AND UNDERGROUND.	10.1.5.1.4. RELAYS TYPES AND SETTINGS 10.1.5.1.5. CABLE SIZES
	USE FLEXIBLE METAL CONDUIT FOR CONNECTION TO SURFACE OR RECESSED FLUORESCENT FIXTURES, [WORK IN	10.1.5.1.6. MOTORS 10.1.5.1.7. ANY OTHER EQUIPMENT AND DEVIC
	MOVABLE METAL PARTITIONS, CONNECTION TO RECESSED INCANDESCENT FIXTURES WITHOUT PREWIRED OUTLET BOX AND CONNECTION TO MOTORS IN DRY AREAS.	10.1.5.2. STUDY TO INCLUDE AVAILABLE SHORT PROVIDER AND INCORPORATED IN THE
	USE LIQUID TIGHT FLEXIBLE METAL CONDUIT FOR CONNECTION TO MOTORS OR VIBRATING EQUIPMENT IN DAMP, WET OR CORROSIVE LOCATIONS.	10.1.5.3. THE SHORT CIRCUIT STUDY SHALL CLE POINTS IN THE DISTRIBUTION SYSTEM.
	INSTALL FISH CORD IN EMPTY CONDUITS. RUN TWO (2) 25MM (1") SPARE CONDUITS UP TO CEILING SPACE AND TWO (2) 25MM (1") SPARE CONDUITS DOWN TO	
	CEILING SPACE FROM EACH FLUSH PANELBOARD. TERMINATE THESE CONDUITS IN 152 X 152 X 102 MM JUNCTION BOXES IN CEILING SPACE OR IN CASE OF AN EXPOSED CONCRETE SLAB, TERMINATE EACH CONDUIT IN FLUSH	10.1.6. AN ARC FLASH STUDY WILL BE PERFORME THE CONTRACTOR WILL COMPILE A REPOR CHANGES TO MAKE IN ORDER TO KEEP YO
7.1.9.	CONCRETE OR SURFACE TYPE BOX. ALL SURFACE CONDUITS SHALL RUN PARALLEL OR PERPENDICULAR TO BUILDING LINES, LOCATED BEHIND INFRARED OR	SYSTEM. 10.1.7. PROVIDE ARC FLASH WARNING LABELS AS
_	GAS FIRED HEATERS WITH 1.5M CLEARANCE, RUN IN FLANGED PORTION OF STRUCTURAL STEEL AND GROUPED WHEREVER POSSIBLE ON SURFACE CHANNELS.	SHALL BE PROVIDE ON ALL ELECTRICAL D
	DO NOT PASS SURFACE CONDUIT THROUGH STRUCTURAL MEMBERS EXCEPT AS INDICATED. DO NOT LOCATE SURFACE CONDUITS LESS THAN 75MM PARALLEL TO STEAM OR HOT WATER LINES WITH MINIMUM OF	11. COMMISSIONING OF ELECTRICAL SYSTEMS
	25MM (1") AT CROSSOVERS. ALL CONCEALED CONDUITS SHALL RUN PARALLEL OR PERPENDICULAR TO BUILDING LINES.	11.1.SYSTEM COMMISSIONING11.1.1.INCLUDE IN THE BID THE COST FOR INDEP
	FOR CONCEALED CONDUITS, DO NOT INSTALL HORIZONTAL RUNS IN MASONRY WALL AND DO NOT INSTALL CONDUITS IN TERRAZZO OR CONCRETE TOPPINGS.	ULC-S537. 11.1.2. CONTRACTOR SHALL SUBMIT COMMISSIONIN
'.1.14.	MINIMUM CONDUIT SIZE FOR LIGHTING AND POWER CIRCUITS SHOULD BE 19MM (3/4").	COMMISSIONING AUTHORITY FOR REVIEW AI 11.1.3. FINAL COMMISSIONING REPORT TO BE SUB
7.1.15.	AT ALL SLEEVE LOCATIONS AND CONDUITS PENETRATING THE FLOOR SLAB, PROVIDE A CONCRETE BASE 100MM (4") HIGH AND 100MM (4") EXTENDED BEYOND THE EDGE OF THE SLEEVE OR CONDUIT.	PDF FORMAT. 11.1.4. THE REPORT SHALL INCLUDE THE FOLLOW
2.	JUNCTION BOXES & SPLITTERS	11.1.4. THE REPORT SHALL INCLUDE THE FOLLOWI 11.1.4.1. ALL REVIEW SHOP DRAWINGS
	PROVIDE CSA APPROVED SPLITTER, COMPLETE WITH FORMED PRIMED AND PAINTED STEEL BOX WITH KNOCKOUTS,	11.1.4.2. DATA SHEETS AND TESTING REPORTS. 11.1.4.3. CONTRACTOR'S INSTALLATION LETTER F
1 0 0	TERMINAL BLOCKS COMPLETE WITH PRESSURE TYPE LUGS, HINGED FRONT COVERPLATE, SUITABLE MOUNTING PROVISIONS AND ALUMINUM I.D. NAMEPLATE.	11.1.4.3. CONTRACTOR'S INSTALLATION LETTER I SYSTEMS. 11.1.5. THE REPORT SHALL INCLUDE THE FOLLOWI
	ALL FLUSH MOUNTED PULL AND JUNCTION BOXES SHALL BE COMPLETE WITH 25MM MINIMUM EXTENSION COVER ALL AROUND.	11.1.5.1. FIRE ALARM
	PROVIDE JUNCTION BOXES AND PULL-BOXES SIZED IN ACCORDANCE WITH CODE TO SUIT NUMBER AND SIZE OF CONDUITS AND CONDUCTORS.	11.1.5.1.1. DECIBEL LEVEL (DBA) 11.1.5.1.2. INTELLIGIBILITY LEVEL (CIS)
.2.4.	WHEREVER IS NECESSARY TO FACILITATE CONDUCTOR/CONDUIT INSTALLATIONS, PROVIDE PULL-BOXES AND JUNCTION BOXES. FOR EVERY 130M OF CONDUIT A MINIMUM OF ONE PULL BOX SHALL BE INCLUDED.	11.1.5.1.2. INTELLIGIBILITY LEVEL (CIS) 11.1.5.1.3. AUDIBILITY RESULTS THROUGHOUT
	DO NOT INSTALL MORE THAN TWO (2) - 90 DEG. BENDS BETWEEN ANY TWO ADJACENT PULL BOXES.	11.1.5.2. CABLES & ELECTRICAL SYSTEMS 11.1.5.2.1. MEGGER TESTING
	ALL JUNCTION AND PULL BOXES SHALL BE INSTALLED AT CONVENIENT AND SUITABLE INTERMEDIATE ACCESSIBLE LOCATION.	11.1.5.2.2. VOLTAGE DROP TESTING
7.2.7.	PROVIDE JUNCTION BOXES, OUTLET BOXES, WIRING, PLATES, ETC., AS NECESSARY FOR COMPLETE RELOCATION OF EXISTING DEVICES.	11.1.5.2.3. BREAKER SWITCH TESTING 11.1.5.2.4. EMERGENCY POWER SYSTEMS
3.	OUTLET BOXES	11.1.5.2.5. PHASE BALANCING
'.3.1.	PROVIDE CSA APPROVED STAMPED GALVANIZED STEEL OUTLET BOX FOR EACH LIGHT SWITCH, RECEPTACLE, COMMUNICATION, FIRE ALARM, ETC	11.1.5.3. LIGHTING 11.1.5.3.1. LIGHT LEVELS FOR INTERIOR AND E
.3.2.	PROVIDE "FS" OR "FD" TYPE BOXES FOR RIGID STEEL CONDUITS AND ALL SURFACE MOUNTED DEVICES, INCLUDING FIRE ALARM, SECURITY AND AUXILIARY SYSTEMS.	11.1.5.4. EMERGENCY LIGHTING 11.1.5.4.1. BATTERIES
	SIZE, ARRANGEMENT AND TYPE OF THE BOXES MUST BE SUITABLE FOR APPLICATION AND AS REQUIRED BY CODE.	11.1.5.4.2. EXIT SIGNS
	PROVIDE 76MM (3") DEEP 1004 BOXES FOR DIMMING SWITCHES. GANGE TOGETHER IN THE SAME COVER PLATE EVERY TWO OR MORE OUTLET BOXES THAT OCCUR AT THE SAME	11.1.5.4.3. EMERGENCY LIGHT LEVELS TESTING 11.1.5.5. INDEPENDENT 3RD PARTY VERIFICATION
	LOCATION UNLESS OTHERWISE NOTED. PROVIDE BLANK COVER PLATES ON OBSOLETE BOXES WITHOUT WIRING AND WHICH ARE TO REMAIN.	11.1.5.5.1. LIFE SAFETY SYSTEMS
	DO NOT INSTALL OUTLET BOXES BACK TO BACK IN WALL PARTITIONS.	11.1.5.5.2. EXIT LIGHTING 11.1.5.5.3. EMERGENCY LIGHTING
<u>sle</u> ve	S AND SLEEVE SEALS FOR ELECTRICAL RACEWAYS AND CABLING	12. ENGINEERS FINAL INSPECTION
1.	HANGERS & SUPPORTS	12.0.1. FINAL INSPECTIONS WILL BE PERFORMED E REPRESENTATIVE. PRIOR TO THE CLOSING
3.1.1. 3.1.2.	SECURE EQUIPMENT TO MASONRY, TILE AND PLASTER SURFACES WITH LEAD ANCHORS. SECURE EQUIPMENT TO POURED CONCRETE WITH EXPANDABLE INSERTS.	NOTICE THAT A FINAL INSPECTION IS REQUE ANY MODIFICATIONS OR ACCOMMODATIONS
3.1.3.	SUPPORT EQUIPMENT, CONDUIT OR CABLES USING CLIPS, SPRING LOADED BOLTS, CABLE CLAMPS DESIGNED AS ACCESSORIES TO BASIC CHANNEL MEMBERS.	BY THE CONTRACTOR AT NO COST.
	FASTEN EXPOSED CONDUIT OR CABLES TO BUILDING CONSTRUCTION OR SUPPORT SYSTEM USING STRAPS.	13. <u>RECORD DRAWINGS</u>
	PROVIDE METAL BRACKETS, FRAMES, HANGERS, CLAMPS AND RELATED TYPES OF SUPPORT STRUCTURES WHERE INDICATED OR AS REQUIRED TO SUPPORT CONDUIT AND CABLE RUNS.	13.0.1. PROVIDE ALL RECORD DRAWINGS IN AUTOO CONSULTANT OR OWNER. DRAWINGS WILL F CONSTRUCTION AND SITE CHANGES MADE.
3.1.6.	ENSURE ADEQUATE SUPPORT FOR RACEWAYS AND CABLES DROPPED VERTICALLY TO EQUIPMENT WHERE THERE IS NO WALL SUPPORT.	13.0.2. DRAWINGS SHALL NOT HAVE ENGINEERING INCLUDE DATE AND KEEP 'SIMNA ENGINEER
	DO NOT USE WIRE LASHING OR PERFORATED STRAP TO SUPPORT OR SECURE RACEWAYS OR CABLES. DO NOT USE SUPPORTS OR EQUIPMENT INSTALLED FOR OTHER TRADES FOR CONDUIT OR CABLE SUPPORT .	13.0.3. DRAWINGS SHALL INCORPORATE ALL SYSTE
	INSTALL FASTENINGS AND SUPPORTS AS REQUIRED FOR EACH TYPE OF EQUIPMENT CABLES AND CONDUITS, AND IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION RECOMMENDATIONS.	BOXES, CONDUIT REROUTING, FLOOR OUTLE 13.0.4. DRAWINGS WILL ALSO BE SUPPLEMENTED
3.1.10.	DON NOT WELD SUPPORTS TO BUILDING STRUCTURAL STEELS MEMBERS.	WITH EXISTING BUILDING OR BASE BUILDIN 13.0.5. CONSULTANT SHALL BE GIVEN RECORD DR
8.1.11.	DO NOT BURN HOLES IN O BUILDING STRUCTURAL STEELS MEMBERS.	13.0.6. WHEN FOUND TO BE COMPLIANT, SUBMIT CAD-DISK.
2.	SLEEVES	13.0.7. RECORD DRAWINGS SHALL INCLUDE ALL SF
	NO BASE BUILDING INFRASTRUCTURE SHALL BE USED. ALL SLEEVES MUST BE APPROPRIATE FOR THE INTENDED USE.	13.0.8. IF REQUIRED CONSULTANT WILL PROVIDE A 13.0.8.1. \$45.00 PER DRAWING FOR TEN OR LES
8.2.3.	MUST BE WATERTIGHT AND FULLY SEALED.	13.0.8.2. \$50.00 PER DRAWING FOR TEN OR MC
	PROVIDE ADEQUATE BRACING FOR SUPPORT OF SLEEVES DURING CONCRETE AND MASONRY WORK. ANY SLEEVES GOING THROUGH CONCRETE SHALL BE SCHEDULE 40 STEEL PIPE, FLUSH WITH THE UNDERSIDE OF THE	14. <u>SHOP DRAWINGS:</u>
	CONCRETE SLAB AND MUST BE EXTENDED 100 MM ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.	14.0.1. SUBMIT SHOP DRAWINGS FOR ALL NEW SP CONSULTANT'S REVIEW AND APPROVAL.
	ION CONTROLS FOR ELECTRICAL SYSTEMS	
.1.1.	VIBRATION ALL ELECTRICAL EQUIPMENT SHALL OPERATE WITHIN REASONABLE LEVELS OF NOISE AND VIBRATION. IF IN THE OPINION	15. <u>ELECTRICITY METERING</u> 15.1. <u>METERING SYSTEM</u>
4.5	OF THE TENANT OR CONSULTANT THESE LEVELS ARE FOUND TO BE UNACCEPTABLE THE CONTRACTOR IS OBLIGATED TO RECTIFY VIBRATION OR NOISE ISSUES AT NO COST.	15.1.1. ALL NEW METERING SYSTEMS SHALL MATC 15.1.2. INCLUDE IN THE BID DOCUMENTS COST OF
9.1.2.	MINIMUM 1.5M OF LIQUID TIGHT FLEXIBLE CONDUIT SHALL BE USED FOR CONNECTIONS TO NOISE AND VIBRATION GENERATING EQUIPMENT.	15.1.2. INCLUDE IN THE BID DOCUMENTS COST OF

- 9.1.2. MINIMUM 1.5M OF LIQUID TIGHT FLEXIBLE CONDUIT SHALL BE USED FOR CONNECTIONS TO NOISE AND VIBRATION GENERATING EQUIPMENT.
- 9.1.3. PROVIDE ALL NECESSARY VIBRATION ISOLATION HANGERS FOR WALL AND CEILING MOUNTED TRANSFORMERS AND ISOLATION PADS FOR FLOOR MOUNTED TRANSFORMERS.

SYSTEM STUDIES

COORDINATION STUDY SHALL BE PERFORMED TO ENSURE THAT THE SYSTEM IS SAFE, EFFICIENT, AND MAINTAINS ECONOMICAL OPERATION. COORDINATION STUDY WILL ENSURE THAT PERSONNEL AND EQUIPMENT ARE PROTECTED BY ESTABLISHING PROPER INTERRUPTING RATINGS AND THAT ALL DESIGN CHANGES OVER THE COURSE OF CONSTRUCTION WILL WORK AS PER THE DESIGN INTENT.

OBTAIN THE SERVICES OF INDEPENDENT COORDINATION CONSULTANT FOR THE PURPOSE OF COORDINATION AND TESTING SERVICES WHEN ALL NEW ELECTRICAL SERVICES GREATER THAN AND EQUAL TO 200A, 600V 3PH OR 400A, 120/208V 3PH. THE REPORT SHALL BE CONDUCTED BY INDEPENDENT TESTING CONTRACTOR AND SIGNED BY PROFESSIONAL

ENGINEER. REPORT SHALL BE SUBMITTED AS PART OF THE ELECTRICAL DISTRIBUTION SYSTEM SHOP DRAWINGS FOR REVIEW BY THE CONSULTANT. All CIRCUIT PROTECTIVE DEVICES SUCH AS FUSES, CIRCUIT BREAKERS, OVERCURRENT TRIPS AND RELAYS

SHALL BE INSTALLED IN A WAY SUCH AS THEIR TRIP VALUES AND SETTINGS SHALL PROVIDE PROTECTION THRU OUT THE ELECTRICAL DISTRIBUTION SYSTEM BY MEANS OF OPENING THE NEAREST DEVICE TO THE FAULT POINT. STUDY TO INCLUDE THE FOLLOWING:

DATA FOR ALL EQUIPMENT USED IN THE STUDY, INCLUDING BUT NOT LIMITED TO:

1.5.1.1. TRANSFORMER TYPES, SIZES AND IMPEDANCES

1.5.1.7. ANY OTHER EQUIPMENT AND DEVICES REQUIRED IN THE STUDY.

STUDY TO INCLUDE AVAILABLE SHORT CIRCUIT CURRENT PROVIDED BY THE THE LOCAL ELECTRICAL UTILITY PROVIDER AND INCORPORATED IN THE STUDY. THE SHORT CIRCUIT STUDY SHALL CLEARLY INDICATE SHORT CIRCUIT CURRENT LEVELS AT ALL MAJOR POINTS IN THE DISTRIBUTION SYSTEM.

AN ARC FLASH STUDY WILL BE PERFORMED TO CALCULATE THE DEGREE OF RISK OF AN ARC FLASH HAZARD. THE CONTRACTOR WILL COMPILE A REPORT CONTAINING AREAS OF POTENTIAL RISK AND THE NECESSARY CHANGES TO MAKE IN ORDER TO KEEP YOUR WORKERS SAFE AND TO IMPROVE AND MAINTAIN ELECTRICAL

SYSTEM. PROVIDE ARC FLASH WARNING LABELS AS PER CSA STANDARDS. LABELS SHALL INDICATE RATING LEVELS AND SHALL BE PROVIDE ON ALL ELECTRICAL DISTRIBUTION EQUIPMENT AND PANELS.

SSIONING OF ELECTRICAL SYSTEMS

SYSTEM COMMISSIONING INCLUDE IN THE BID THE COST FOR INDEPENDENT 3RD PARTY FIRE ALARM VERIFICATION IN ACCORDANCE WITH ULC-S537. CONTRACTOR SHALL SUBMIT COMMISSIONING PLAN IN PDF FORMAT TO CONSULTANT, OWNER AND

COMMISSIONING AUTHORITY FOR REVIEW AND APPROVAL. FINAL COMMISSIONING REPORT TO BE SUBMITTED TO CONSULTANT, OWNER AND COMMISSIONING AUTHORITY IN PDF FORMAT.

THE REPORT SHALL INCLUDE THE FOLLOWING:

CONTRACTOR'S INSTALLATION LETTER FOR FIRE ALARM, EMERGENCY LIGHTING, AND EXIT LIGHTING

THE REPORT SHALL INCLUDE THE FOLLOWING TESTING REPORT DATA: FIRE ALARM

1.5.1.1. DECIBEL LEVEL (DBA)

1.5.1.2. INTELLIGIBILITY LEVEL (CIS) 1.5.1.3. AUDIBILITY RESULTS THROUGHOUT THE RENOVATED AREAS

1.5.3.1. LIGHT LEVELS FOR INTERIOR AND EXTERIOR LIGHTING

INDEPENDENT 3RD PARTY VERIFICATION SHALL BE REQUIRED ON THE FOLLOWING:

FINAL INSPECTIONS WILL BE PERFORMED BY THE ENGINEERING CONSULTANT AND THE OWNERS REPRESENTATIVE. PRIOR TO THE CLOSING OF WALLS OR CEILINGS CONSULTANT MUST BE GIVEN 48 HOURS' NOTICE THAT A FINAL INSPECTION IS REQUIRED. CONTACT SIMNA ENGINEERING INC. AT (416) 824-5822. ANY MODIFICATIONS OR ACCOMMODATIONS TO THE WORK REQUIRED TO DO THE INSPECTIONS WILL BE DONE BY THE CONTRACTOR AT NO COST.

<u>d drawings</u>

PROVIDE ALL RECORD DRAWINGS IN AUTOCAD (V. 2010 OR LATER) AND PDF FORMAT AT NO COST TO THE CONSULTANT OR OWNER. DRAWINGS WILL REFLECT ALL BUT NOT LIMITED TO ADDENDUM, TENDER, CONSTRUCTION AND SITE CHANGES MADE.

DRAWINGS SHALL NOT HAVE ENGINEERING STAMP AND SHALL BE CLEARLY LABELLED RECORD DRAWINGS, INCLUDE DATE AND KEEP 'SIMNA ENGINEERING INC.' LOGO ...

DRAWINGS SHALL INCORPORATE ALL SYSTEMS, INCLUDING BUT NOT LIMITED TO BRANCH WIRING, JUNCTION BOXES, CONDUIT REROUTING, FLOOR OUTLETS, AS WELL AS DETAILED PANEL SCHEDULES. DRAWINGS WILL ALSO BE SUPPLEMENTED WITH ANY DOCUMENTATION TO RECORD SYSTEM INTEGRATION DONE WITH EXISTING BUILDING OR BASE BUILDING SYSTEMS.

CONSULTANT SHALL BE GIVEN RECORD DRAWINGS FOR REVIEW IN PDF AND CAD FORMAT FOR REVIEW. WHEN FOUND TO BE COMPLIANT, SUBMIT TO OWNER AND TENANT (3) FULL SETS OF HARD COPIES AND (1) CAD-DISK.

RECORD DRAWINGS SHALL INCLUDE ALL SPEAKER TAP SETTINGS ON RECORD DRAWINGS.

F REQUIRED CONSULTANT WILL PROVIDE ADDITIONAL DRAWINGS AT THE FOLLOWING COSTS:

\$45.00 PER DRAWING FOR TEN OR LESS. \$50.00 PER DRAWING FOR TEN OR MORE.

RAWINGS:

SUBMIT SHOP DRAWINGS FOR ALL NEW SPECIFIED ELECTRICAL DEVICES OUTLINED ON THE DRAWINGS FOR CONSULTANT'S REVIEW AND APPROVAL.

RICITY METERING <u>METERING SYSTEM</u>

ALL NEW METERING SYSTEMS SHALL MATCH EXISTING BASE BUILDING SYSTEMS UNLESS OTHERWISE NOTED. INCLUDE IN THE BID DOCUMENTS COST OF METERING INSTALLATION BY BASE BUILDING METERING CONTRACTOR. 15.1.3. METERS MUST BE CERTIFIED BY CSA.

15.1.4. ALL METERING COMPONENTS SHALL BE CAPTURED IN THE BID PRICE. INCLUDING BUT NOT LIMITED TO TRANSFORMERS, LABOUR, BREAKERS AND ASSOCIATED ACCESSORIES.

16. <u>SURGE PROTECTIVE DEVICES</u>

16.1. <u>STANDARDS</u> 16.1.1. THE SPD SHALL COMPLY WITH THE LATEST ADDITION OF THE FOLLOWING STANDARDS 16.1.1.1. ANSI/IEEE C62.41.1-2002, C62.41.2-2002, C62.45-2002 16.1.1.2. NATIONAL ELECTRIC CODE: ARTICLE 285, ARTICLE 810.6 16.1.1.3. UNDERWRITERS LABORATORIES:

16.1.1.3.1. UL 1449 (4TH EDITION): STANDARD FOR SURGE PROTECTIVE DEVICES 16.1.1.3.2. UL 1283 (6TH EDITION): STANDARD FOR ELECTROMAGNETIC INTERFERENCE FILTERS 16.1.2. SPD SHALL BE MARKED WITH THE OFFICIAL STANDARD HOLOGRAPHIC LABEL, WHICH DISPLAYS THE FILE NUMBER UNDER WHICH THE SPD IS CERTIFIED.

16.2. <u>SUBMITTAL REQUIREMENTS</u>

- 16.2.1. SUBMITTAL PACKAGE SHALL INCLUDE VERIFICATION OF UL LISTING TO UL 1449 AND UL 1283 (WHEN APPLICABLE). 16.2.1.1. NOMINAL NETWORK VOLTAGE (UN) AND OPERATING VOLTAGE OF THE SPD. 16.2.1.2. MAXIMUM CONTINUOUS OPERATING VOLTAGE (MCOV).
- 16.2.1.3. VOLTAGE PROTECTION RATING (VPR).
- 16.2.1.4. SHORT CIRCUIT CURRENT RATING (SCCR).
- 16.2.1.5. NOMINAL DISCHARGE CURRENT OF THE SPD (IN).
- AND PROTECTION CIRCUITS SHALL BE ACCESSIBLE FOR VISUAL INSPECTION.

16.3. <u>PRODUCTS</u>

- 16.3.1. MANUFACTURERS AND PART NUMBERS.
- 16.3.1.1. APPROVED MANUFACTURES ARE:
- 16.3.1.1.1. CIETEL-POWER ESSENTIAL, 16.3.1.1.1.1. MDS750E SERIES FOR SERVICE ENTRANCE AND TRANSFER SWITCHES
- 16.3.1.1.1.2. MS200 SERIES FOR DISTRIBUTION AND MOTOR CONTROL CENTRE 16.3.1.1.1.3. MS100 SERIES FOR BRANCH PANELS 16.3.1.1.2. SQUARE D-SCHNEIDER ELECTRIC

16.3.2. AC POWER.

16.3.2.1. STANDARDS LABELED ACCORDINGLY.

TYPE 2 SPD AND LABELED ACCORDINGLY. THE SPD SHALL ALSO BE UL 1283 LISTED IF IT IS A UL 1449 TYPE 2 DEVICE.

16.3.2.2. PERFORMANCE.

10.J.Z.Z. FLI	I ORMANCE.
16.3.2.2.1.	SPD UL NOMINAL DISCHARGE CURRENT (IN - 8/20M
16.3.2.2.2.	SPD MAXIMUM DISCHARGE CURRENT PER PHASE (IMA
16.3.2.2.2.1.	300KA OR ABOVE FOR SERVICE ENTRANCE OR TH
16.3.2.2.2.2	. 220KA OR ABOVE FOR DISTRIBUTION PANEL AND
16.3.2.2.2.3	. 132KA OR ABOVE FOR BRANCH PANEL.
16.3.2.2.3.	SPD MAXIMUM DISCHARGE CURRENT TOTAL (ITOTAL -
16.3.2.2.4.	SPD UL 1449 SHORT CIRCUIT CURRENT RATING (SCCF
16.3.2.2.5.	SERVICE ENTRANCE OR TRANSFER SWITCH SPD SHALL MODULES TO RESTORE FULL CAPACITY TO THE SPD VOLTAGE KEY SAFETY SYSTEM, IN ORDER TO AVOID
16.3.2.2.6.	SERVICE ENTRANCE OR TRANSFER SWITCH SPD SHALL
16.3.2.2.7.	SPD SHALL INCLUDE VISUAL STATUS INDICATION PER REMAINING TO ALLOW PREVENTIVE MAINTENANCE.
16.3.2.2.8.	SPD SHALL PROVIDE AN AUDIBLE ALARM TO SIGNAL
16.3.2.2.9.	REMOTE INDICATION (DRY CONTACT) SHALL BE INCLU
16.3.2.2.10.	EACH SINGLE INTERNAL METAL OXIDE VARISTOR (MOV DISCONNECTION.
16.3.2.2.11.	SPD LEAKAGE CURRENT TO GROUND SHALL BE LIMITE
16.3.2.2.12.	SPD ENCLOSURE MUST BE PROPERLY RATED, OUTDOO ENCLOSURE SHALL BE USED FOR HIGH SALINITY APP
16.3.2.2.13.	PD MAXIMUM CONTINUOUS OPERATING VOLTAGE (MCO PROVIDED IN THE TABLES BELOW FOR FACH MODE

PROVIDED IN THE TABLES BELOW FOR EACH MODE. 16.3.2.2.13.1. SERVICE ENTRANCE OR TRANSFER SWITCH:

Ν	ETWORK	WIRES	MCOV(L-N)VAC	MCOV(L-G)VAC	MCOV(L-L)VAC	CMCOV(N-G)VAC	VPR(L-N)	VPR(L-G)	VPR(L-L) VPR(N-G)
		714 - 0	010	010	100	450	1000	1000	1000	000
	20/240 (SPLIT PHASE)	3W+G	210	210	420	150	1200	1200	1800	900
12	20/208 (WYE)	4W+G	150	150	300	150	1200	1200	1500	1000
3	47/600 (WYE)	4W+G	460	460	920	420	1800	1800	3000	1800
	16.3.2.2.13.2.	DISTRIBU	TION PANEL OR MOT	OR CONTROL CENTER	R:					
Ν	ETWORK	WIRES	MCOV(L-N)VAC	MCOV(L-G)VAC	MCOV(L-L)VAC	C MCOV(N-G)VAC	VPR(L-N)	VPR(L-G)	VPR(L-L) VPR(N-G)
12	20/240 (SPLIT PHASE)	3W+G	150	150	300	150	700	700	1000	700
12	20/208 (WYE)	4W+G	150	150	300	150	700	700	1000	700
3	47/600 (WYE)	4W+G	550	550	1100	550	1800	1800	3000	1800
	16.3.2.2.13.3.	BRANCH	PANEL:							
N	ETWORK	WIRES	MCOV(L-N)VAC	MCOV(L-G)VAC	MCOV(L-L)VAC	MCOV(N-G)VAC	VPR(L-N)	VPR(L-G)	VPR(L-L) VPR(N-G)
12	20/240 (SPLIT PHASE)	3W+G	150	150	300	150	700	700	1000	700
12	20/208 (WYE)	4W+G	150	150	300	150	700	700	1000	700
3	47/600 (WYE)	4W+G	550	550	1100	550	1800	1800	3000	1800

NETWORK	WIRES	MCOV(L-N)VAC	MCOV(L-G)VAC	MCOV(L-L)VAC	C MCOV(N-G)VAC	VPR(L-N)	VPR(L-G)	VPR(L-L) VPR(N-G)
120/240 (SPLIT PHASE	E) 3W+G	210	210	420	150	1200	1200	1800	900
120/208 (WYE)	4W+G	150	150	300	150	1200	1200	1500	1000
347/600 (WYE)	4W+G	460	460	920	420	1800	1800	3000	1800
16.3.2.2.13.2.	DISTRIBU	TION PANEL OR MOT	OR CONTROL CENTER	?:					
NETWORK	WIRES	MCOV(L-N)VAC	MCOV(L-G)VAC	MCOV(L-L)VAC	C MCOV(N-G)VAC	VPR(L-N)	VPR(L-G)	VPR(L-L) VPR(N-G)
120/240 (SPLIT PHASE	E) 3W+G	150	150	300	150	700	700	1000	700
120/208 (WYE)	4W+G	150	150	300	150	700	700	1000	700
347/600 (WYE)	4W+G	550	550	1100	550	1800	1800	3000	1800
16.3.2.2.13.3.	BRANCH	PANEL:							
NETWORK	WIRES	MCOV(L-N)VAC	MCOV(L-G)VAC	MCOV(L-L)VAC	C MCOV(N-G)VAC	VPR(L-N)	VPR(L-G)	VPR(L-L	.) VPR(N-G)
120/240 (SPLIT PHASE	E) 3W+G	150	150	300	150	700	700	1000	700
120/208 (WYE)	4W+G	150	150	300	150	700	700	1000	700
347/600 (WYE)	4W+G	550	550	1100	550	1800	1800	3000	1800

NETWORK	WIRES	MCOV(L-N)VAC	MCOV(L-G)VAC	MCOV(L-L)VAC	MCOV(N-G)VAC	VPR(L-N)	VPR(L-G)	VPR(L-L)	VPR(N-G)
120/240 (SPLIT PHASE)	3W+G	210	210	420	150	1200	1200	1800	900
120/208 (WYE)	4W+G	150	150	300	150	1200	1200	1500	1000
347/600 (WYE)	4W+G	460	460	920	420	1800	1800	3000	1800
16.3.2.2.13.2.	DISTRIBUT	TION PANEL OR MOTO	OR CONTROL CENTER	::					
NETWORK	WIRES	MCOV(L-N)VAC	MCOV(L-G)VAC	MCOV(L-L)VAC	MCOV(N-G)VAC	VPR(L-N)	VPR(L-G)	VPR(L-L)	VPR(N-G)
120/240 (SPLIT PHASE)	3W+G	150	150	300	150	700	700	1000	700
120/208 (WYE)	4W+G	150	150	300	150	700	700	1000	700
347/600 (WYE)	4W+G	550	550	1100	550	1800	1800	3000	1800
16.3.2.2.13.3.	BRANCH	PANEL:							
NETWORK	WIRES	MCOV(L-N)VAC	MCOV(L-G)VAC	MCOV(L-L)VAC	MCOV(N-G)VAC	VPR(L-N)	VPR(L-G)	VPR(L-L)	VPR(N-G)
120/240 (SPLIT PHASE)	3W+G	150	150	300	150	700	700	1000	700
120/208 (WYE)	4W+G	150	150	300	150	700	700	1000	700
347/600 (WYE)	4W+G	550	550	1100	550	1800	1800	3000	1800

16.3.2.3. INSTALLATION.

10.0.2.0.	STALLATION.
16.3.2.3.1.	SPD SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTION
16.3.2.3.2.	THE SPD SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE PANEL OR EQUIPMENT IT INTEND
16.3.2.3.3.	PROVIDE AN UPSTREAM, DEDICATED OVERCURRENT PROTECTION DEVICE FOR EACH SPD WITH SUI PROTECTION DEVISE SHALL PROTECT EACH INCOMING PHASE. NO OVERCURRENT PROTECTION SH/ WIRE.
16.3.2.3.4.	THE SPD SHALL BE GROUNDED TO THE SAME GROUND REFERENCE AS THE EQUIPMENT IT IS INTI WIRE DOES NOT EXIST, THE SPD GROUND CAN BE BONDED TO EQUIPMENT CHASSIS.
16.3.2.3.5.	THE MINIMUM GAUGE FOR A GROUND WIRE IS 10AWG.
16.3.2.3.6.	THE TOTAL CONDUCTOR LENGTH (CONNECTED LEADS), BETWEEN THE SPD AND THE INCOMING PH THE GROUND NETWORK, SHALL NOT EXCEED 3 FEET.
16.3.2.3.7.	ALL CONNECTED LEADS OF THE SPD SHALL AVOID SHARP ANGLES AND LOOPS CREATED BY THE
16.3.2.3.8.	THE CONDUCTORS BETWEEN THE SPD AND THE PROTECTED EQUIPMENT (INCLUDING GROUND CON AVOID A PHYSICAL LOOP.
16.3.2.3.9.	THE DISTANCE BETWEEN THE SPD AND THE PROTECTED EQUIPMENT SHOULD NOT EXCEED 30FT.

16.2.2. SUBMITTAL PACKAGE SHALL INCLUDE, MANUFACTURER'S DATASHEET AND INSTALLATION SHEET. THESE DOCUMENTS MUST DETAIL DEVICE DIMENSIONS, WEIGHT, WIRING INSTRUCTIONS FOR FIELD INSTALLATION, RECOMMENDED WIRE GAUGE AND UPSTREAM OVERCURRENT PROTECTION, IF APPLICABLE. 16.2.3. THE CONTRACTOR SHALL SUBMIT, UPON REQUEST FROM CONSULTANT, A PHYSICAL SAMPLE OF THE SPD, ALLOWING END USER TO VALIDATE THAT THE SPD MAXIMUM SURGE CAPACITY AND VOLTAGE PROTECTION RATINGS MATCH THE DECLARED VALUES FROM THE DATASHEET. SPD MONITORING 16.2.4. MANUFACTURER'S WARRANTY SHALL BE 10-YEARS WITH FREE REPLACEMENT OF PLUGGABLE PROTECTION MODULES DURING THAT TIME PERIOD.

16.3.2.1.1. FOR SPD'S INSTALLED ON THE LINE SIDE OF THE MAIN DISCONNECT, SPD SHALL BE UL 1449 4^{1H} EDITION LISTED AS A TYPE 1 SPD AND 16.3.2.1.2. FOR SPD'S INSTALLED ON THE LOAD SIDE OF THE MAIN DISCONNECT, THE SPD SHALL BE LISTED AS A UL 1449 4TH EDITION TYPE 1 OR

> MS) SHALL BE OF 20KA FOR EACH MODE OF PROTECTION. /AX – 8/20MS) SHALL BE:

TRANSFER SWITCH. MOTOR CONTROL CENTER.

- 8/20MS) SHALL BE OF 265KA OR ABOVE REGARDLESS OF THE INSTALLATION.

CR) SHALL BE 200KA MINIMUM. IL OFFER A MODULAR DESIGN, ALLOWING REPLACEMENT OF INDIVIDUAL PROTECTION WITHOUT INTERRUPTING SERVICE.EACH SUB-COMPONENT REPLACEMENT SHALL INCLUDE A VOLTAGE MISMATCH, CAUSING SAFETY CONCERNS. ILL INCLUDE AN INTEGRAL DISCONNECT SWITCH FOR EASE OF MAINTENANCE. R MODE OF PROTECTION. IT SHALL PROVIDE INDICATION OF THE LEVEL OF PROTECTION

_ END OF LIFE OR DIMINISHED SURGE CAPACITY.

UDED TO MONITOR SPD STATUS.)V), SHALL BE INDIVIDUALLY THERMALLY PROTECTED TO PROVIDE SAFE END OF LIFE

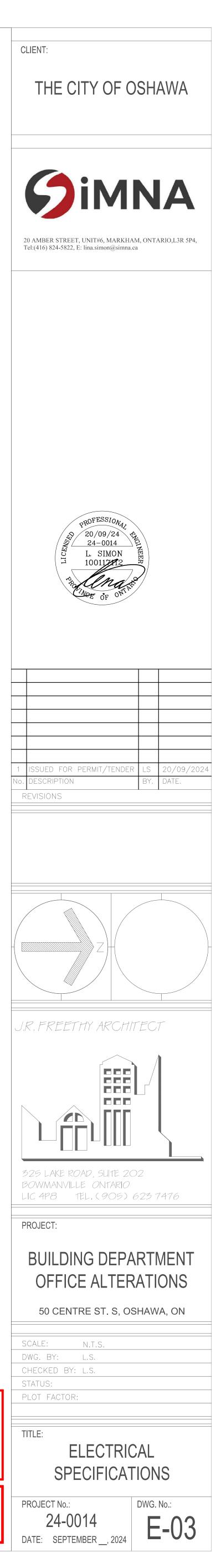
ITED AT 1MA MAXIMUM. DOR (NEMA 4 OR BETTER) OR INDOOR (NEMA 12 OR BETTER). A STAINLESS STEEL PLICATIONS. COV) AND VOLTAGE PROTECTION RATING (VPR) SHALL NOT BE LOWER THAN VALUES

HE MANUFACTURER'S INSTALLATION INSTRUCTIONS, AND ALL LOCAL AND NATIONAL CODES. BLE TO THE PANEL OR EQUIPMENT IT INTENDS TO PROTECT. PROTECTION DEVICE FOR EACH SPD WITH SUITABLE TRIP RATING. OVERCURRENT G PHASE. NO OVERCURRENT PROTECTION SHALL BE PLACED ON THE NEUTRAL OR GROUND IND REFERENCE AS THE EQUIPMENT IT IS INTENDED TO PROTECT. WHEN PHYSICAL GROUND BONDED TO EQUIPMENT CHASSIS.

DS), BETWEEN THE SPD AND THE INCOMING PHASE CONNECTIONS AND FROM THE SPD TO SHARP ANGLES AND LOOPS CREATED BY THE WIRING.

DTECTED EQUIPMENT (INCLUDING GROUND CONDUCTOR) SHALL FOLLOW THE SAME PATH TO

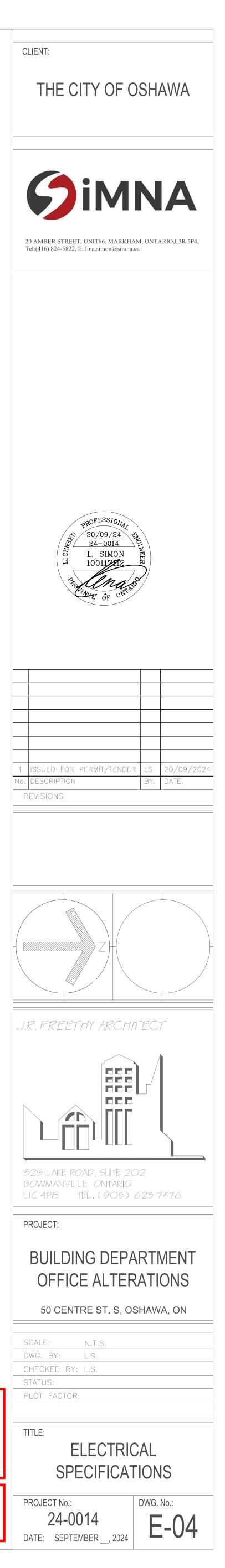
Corporation of the City of Oshawa TRUE COPY OF FINAL REVIEWED BUILDING PERMIT PLANS angi per the Chief Building Officia BUILDING PERMIT # BLD202401488 CITY OF OSHAWA



17. LIGHTING AND CONTROLS

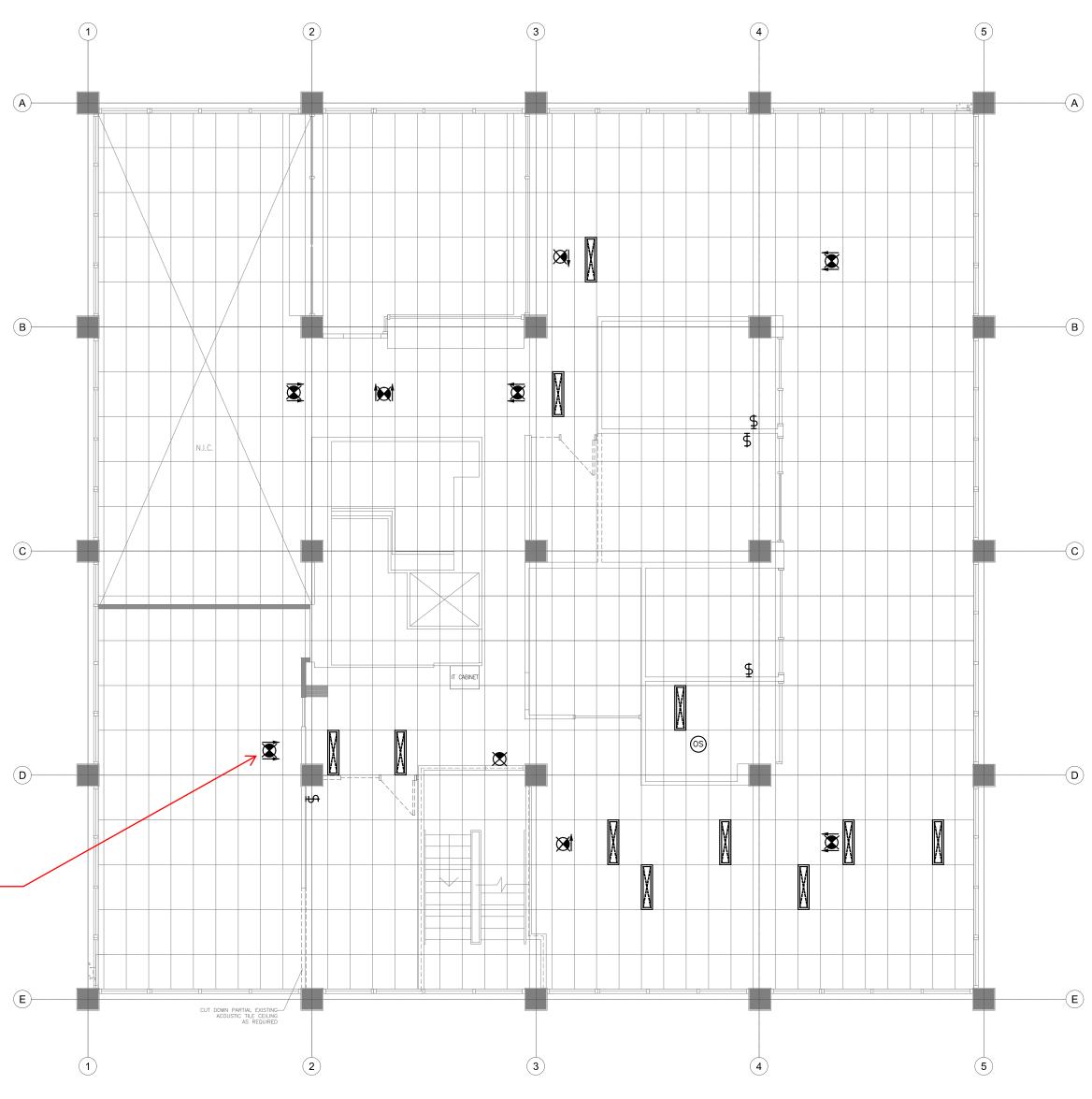
- 17.1. <u>INDOOR LIGHTING</u> 17.1.1. PROVIDE ALL LUMINAIRES AS SHOWN ON THE LIGHTING PLANS AND AS SPECIFIED IN THE LUMINAIRE SCHEDULE.
- 17.1.2. ALL LUMINAIRES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- 17.1.3. ALL LUMINAIRES TO BE APPROVED BY CSA, ULC AND LOCAL CODES.
- 17.1.4. FOR LUMINARIES MOUNTING HEIGHT AND EXACT LOCATION REFER TO ARCHITECTURAL/INTERIOR DESIGNER'S DRAWINGS.
 17.1.5. ALL LUMINAIRES SHALL BE COMPLETE WITH NEW LAMPS, MOUNTING BRACKETS, TRANSFORMERS, DRIVERS, SUPPORTS, TRIMS, LOUVERS, LENSES AND ALL NECESSARY ACCESSORIES TO MAKE LUMINAIRES OPERATIONAL AND INSTALLED IN THE LOCATIONS SHOWN ON LIGHTING PLANS.
- 17.1.8. ACCEPTABLE LAMP MANUFACTURES ARE OSRAM SYLVANI, PHILIPS AND GE. 17.1.9. UNLESS OTHERWISE NOTED, BALLASTS AND LAMPS MUST BE BY THE SAME MANUFACTURER.
- 17.1.10. LUMINAIRES SHALL NOT TO BE SUSPENDED FROM MECHANICAL PIPES, DUCTWORK OR OTHER BUILDING SERVICES.
- 17.1.11. FOR SUSPENDED LUMINAIRES, SUPPORT FIXTURES FROM STRUCTURAL SLAB IN ACCORDANCE WITH LOCAL INSPECTION REQUIREMENTS.
- 17.1.12. ALIGN LUMINAIRES MOUNTED IN CONTINUOUS ROWS TO FORM STRAIGHT UNINTERRUPTED LINE. 17.1.13. ALIGN LUMINAIRES MOUNTED INDIVIDUALLY PARALLEL OR PERPENDICULAR TO BUILDING GRID LINES.
- 17.2. <u>OUTDOOR LIGHTING</u>
- 17.2.1. ALL LUMINARIES SHALL BE SUITABLE FOR OUTDOOR APPLICATION.17.2.2. POLES AND BOLLARDS SHALL BE INSTALLED ON INDEPENDENT CONCRETE BASES UNLESS OTHERWISE. CONCRETE BASE SHALL BE BY OTHERS.
- 17.3. LIGHT SWITCHES, DIMMERS & OCCUPANCY SENSORS
- 17.3.1. LIGHT SWITCHS (120V AND 347V) SHALL BE BRYANT QUIET TYPE WITH WHITE SPECIFICATION GRADE, DECORA STYLE COMPLETE WITH COVERPLATE. ACCEPTABLE MANUFACTURES ARE P&S, HUBBELL, LEGRAND, LEVETON OR EQUAL.
- 17.3.2. PROVIDE INDIVIDUAL TIME AND SENSOR ADJUSTMENT TO CLIENT'S REQUIREMENTS. 17.3.3. SENSOR SHALL BE COMPLETE WITH POWER PACK AND ALL NECESSARY WIRING ACCESSORIES.
- 17.3.4. FOR DIMMERS AND SENSORS TYPE AND SPECIFICATION REFER TO LIGHTING CONTROL SCHEDULE AND DETAILS.
- 18. <u>FIRE DETECTION AND ALARM</u>
- 18.1. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL WORK IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS AND SHALL NOTIFY THE CONSULTANT OF ANY DISCREPANCIES ON SITE AND DRAWINGS PRIOR TO COMMENCEMENT OF ANY WORK.
 18.2. THE FIRE ALARM SYSTEM INSTALLATION AND VERIFICATION SHALL COMPLY TO THE LATEST REQUIREMENTS OF ULC STANDARDS CAN-S524-06 AND CAN-S537-04.
 18.3. ALL FIRE ALARM DEVICES SHALL BE CSA AND/OR ULC & FM APPROVED.
- 18.4. ALL FIRE ALARM WIRING SHALL BE FAS RATED, CSA APPROVED AND MEET MANUFACTURER REQUIREMENTS.
- 18.5. FIRE ALARM WIRING SHALL BE INSTALLED IN A MINIMUM OF 19MM (3/4") EMT CONDUIT.18.6. ALL BACK MOUNTING AND JUNCTION BOXES SHALL BE PAINTED IN RED OR IDENTIFIED APPROPRIATELY AS
- PERTAINING TO THE FIRE ALARM SYSTEM.
- 18.7. FIRE ALARM PULL STATIONS MUST BE MOUNTED AT 1200MM AFF. FROM CENTER OF THE DEVICE AND NOT MORE THAN 600MM FROM THE DOOR LATCH.
 18.8. BASE BUILDING FIRE ALARM SYSTEM IS EXISTING TO REMAIN. ALL NEW FIRE ALARM DEVICES MUST BE COMPATIBLE
- WITH THE EXISTING FIRE ALARM SYSTEM. 18.9. EXISTING FIRE ALARM SYSTEM SHALL REMAIN OPERATIONAL DURING CONSTRUCTION.
- 18.10. WHERE FIRE ALARM DEVICES ARE BEING REMOVED AND RELOCATED THEY MUST BE REINSTALLED AS PER LATEST ULC STANDARDS CAN-S524-06.
- 18.11. PROTECT ALL EXISTING FIRE ALARM DEVICES WITHIN THE AREA OF CONSTRUCTION.18.12. ALL SMOKE DAMPERS SHALL BE CONNECTED TO THE NEAREST 120V EMERGENCY CIRCUIT. COORDINATE ALL WORK WITH
- MECHANICAL CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK AND PROVIDE ALL NECESSARY DEVICES FOR A COMPLETE INSTALLATION. 18.13. PROVIDE TIE-IN BETWEEN NEW MAGLOCKS AND BASE BUILDING FIRE ALARM SYSTEM SUCH THAT ALL MAGLOCKS
- RELEASE UPON ACTIVATION OF THE FIRE ALARM SYSTEM. 18.14. MAGLOCKS TO BE RELEASED UPON ACTIVATION OF THE FIRE ALARM PULL STATION THROUGH DIRECT CONNECTION.
- 18.15. PROVIDE TIE-IN OF NEW MAGLOCKS TO EXISTING RELEASE/RESET KEYSWITCH LOCATED NEAR THE MAIN FIRE ALARM PANEL. LOCATION TO BE CONFIRMED ON SITE.
 18.16. FOR ALL VISUAL & AUDITORY DEVICES, INITIATING, SIGNALING AND NOTIFICATION CIRCUITS LINE SHALL BE CLASS "A".
- 18.17. VERIFICATION IS REQUIRED OF ALL EXISTING FIRE ALARM DEVICES LEFT FOR RE INSTALLATION BY THIS CONTRACTOR.
 18.18. FCAA CERTIFIED THIRD PARTY MUST BE CONDUCTING ALL FIRE ALARM DEVICES AND SYSTEM VERIFICATION. SUBMIT A COPY OF THE VERIFICATION REPORT TO THE CONSULTANT PRIOR ISSUING FINAL ACCEPTANCE LETTER TO THE CITY AS PER N.S.B.C REQUIREMENTS.
- 18.19. INCLUDE IN THE TENDER DOCUMENTS COST OF ADDITION, RELOCATION, ADJUSTMENT TO AUDIBLE DEVISES TAP SETTING, VERIFICATION AND TESTING OF THE FIRE ALARM SYSTEM DEVICES WITHIN THE TENANT SPACE.
- 18.20. ALL TIE-IN TO THE BASE BUILDING FIRE ALARM SYSTEM SHALL BE DONE BY LANDLORD'S ELECTRICAL CONTRACTOR. INCLUDE COST IN THE TENDER DOCUMENTS.
 18.21. PROVIDE AS BUILT DRAWINGS SHOWING LOCATION OF FIRE ALARM DEVICES WITH ZONE NUMBERS.

C	Corporation of the City of Oshawa
	TRUE COPY
	OF FINAL REVIEWED BUILDING PERMIT PLANS
	Jan/29/2025
	per the Chief Building Official
	BUILDING PERMIT #
	BLD202401488
	CITY OF OSHAWA



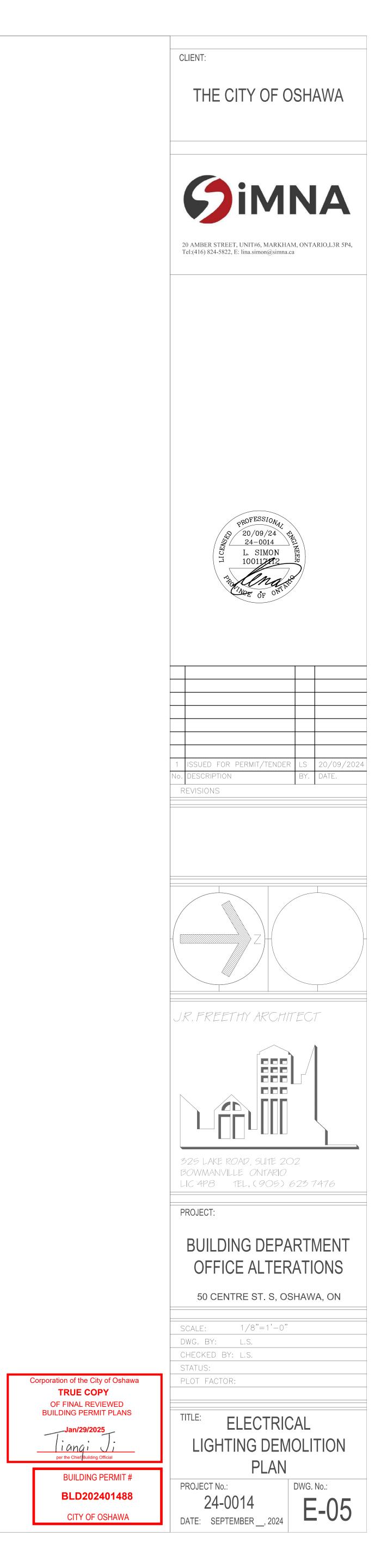
Existing exit sign to be reinstalled —

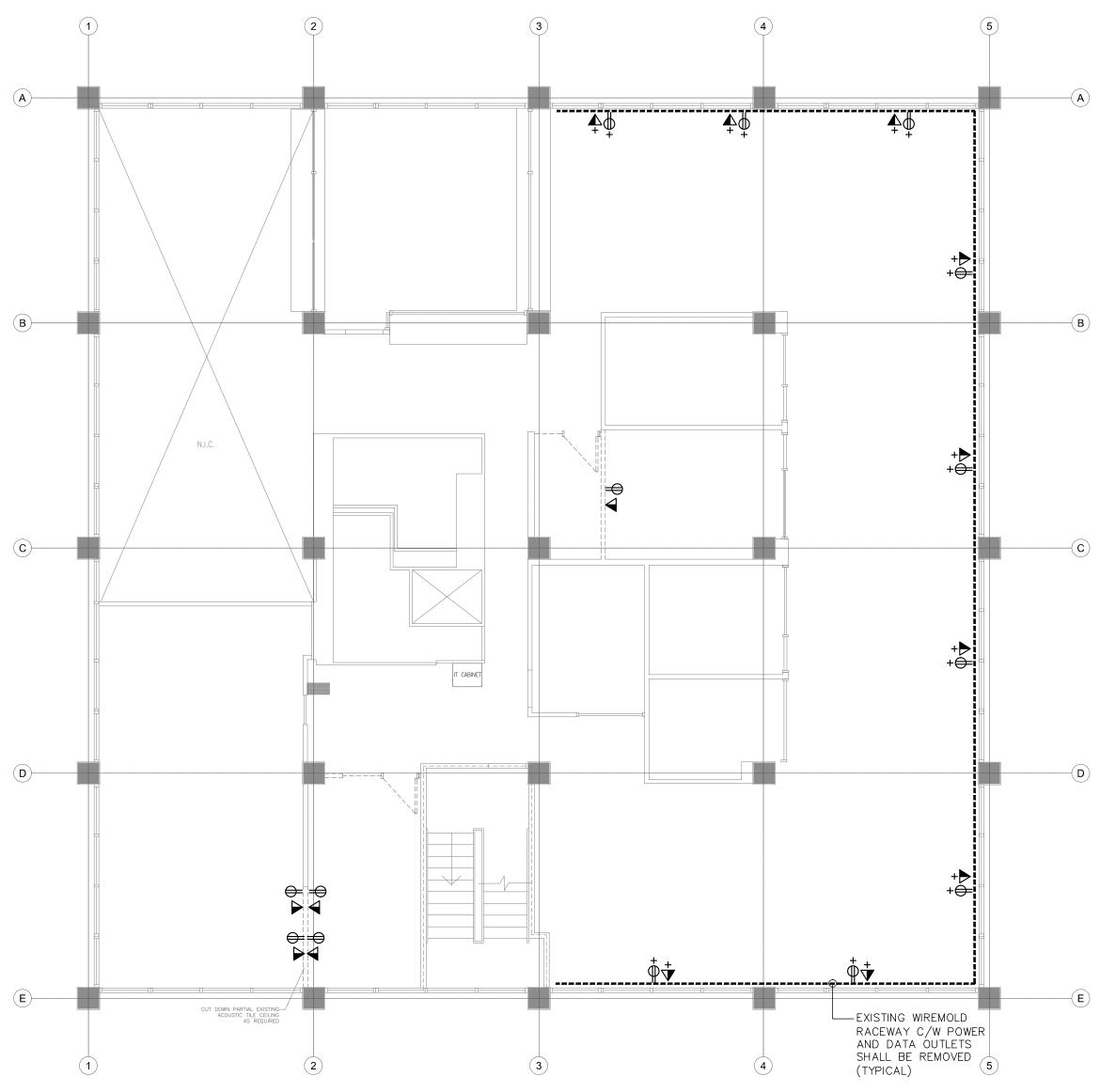
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NOTES:

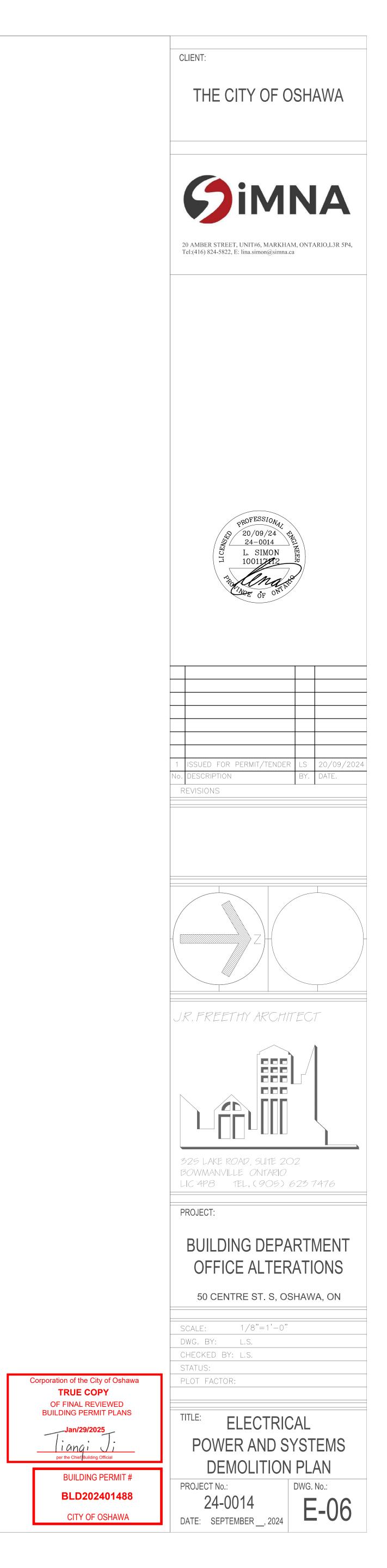
1. ALL DEVICES SHOWN ON THIS DRAWING SHALL BE REMOVED COMPLETE WITH WIRING AND CONDUIT UNLESS OTHERWISE NOTED.

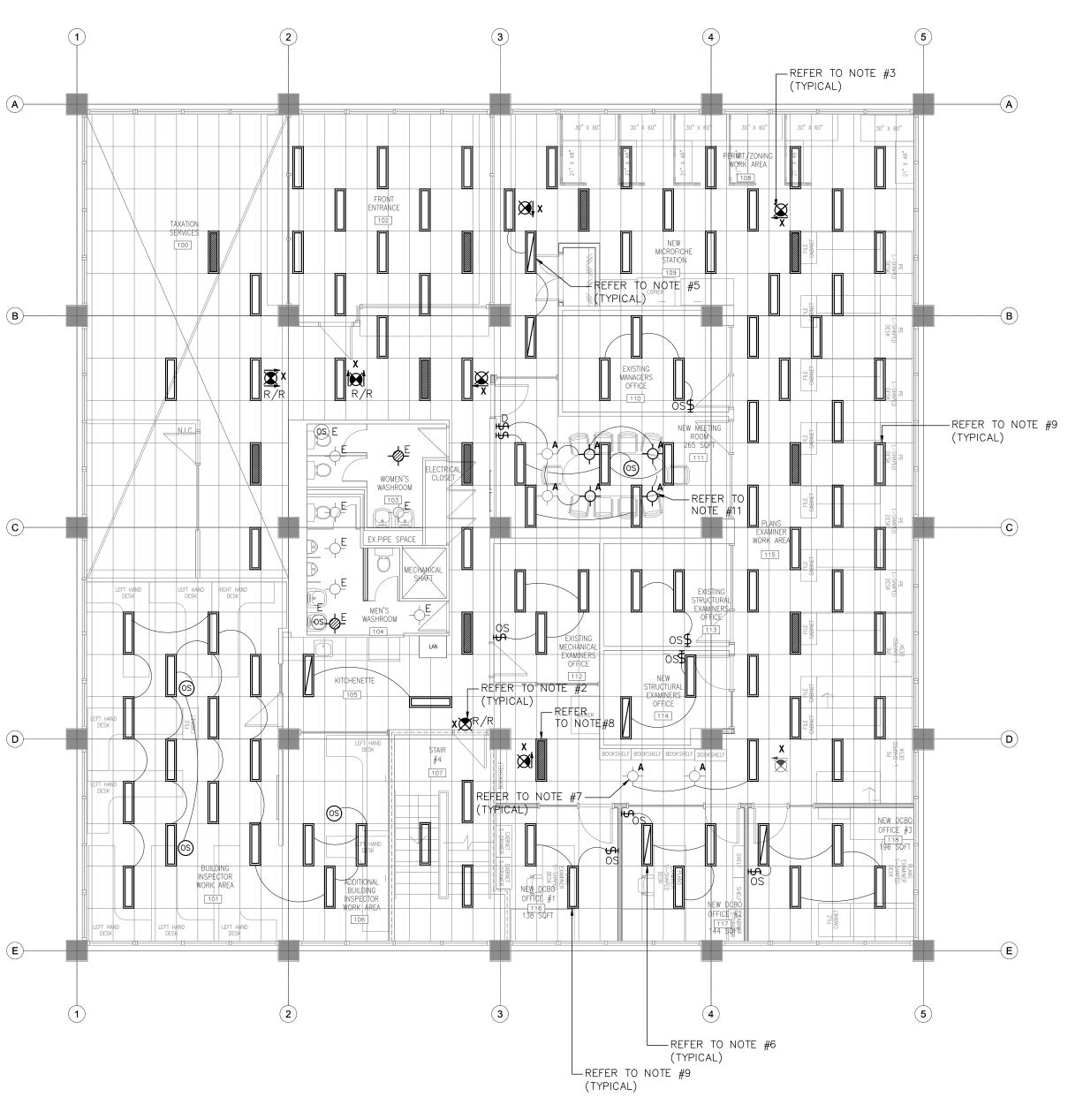




NOTES:

1. ALL DEVICES SHOWN ON THIS DRAWING SHALL BE REMOVED COMPLETE WITH WIRING AND CONDUIT UNLESS OTHERWISE NOTED.

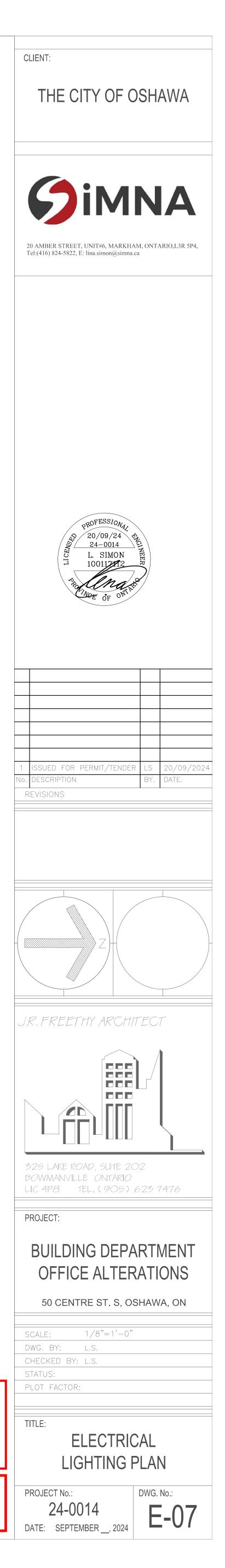


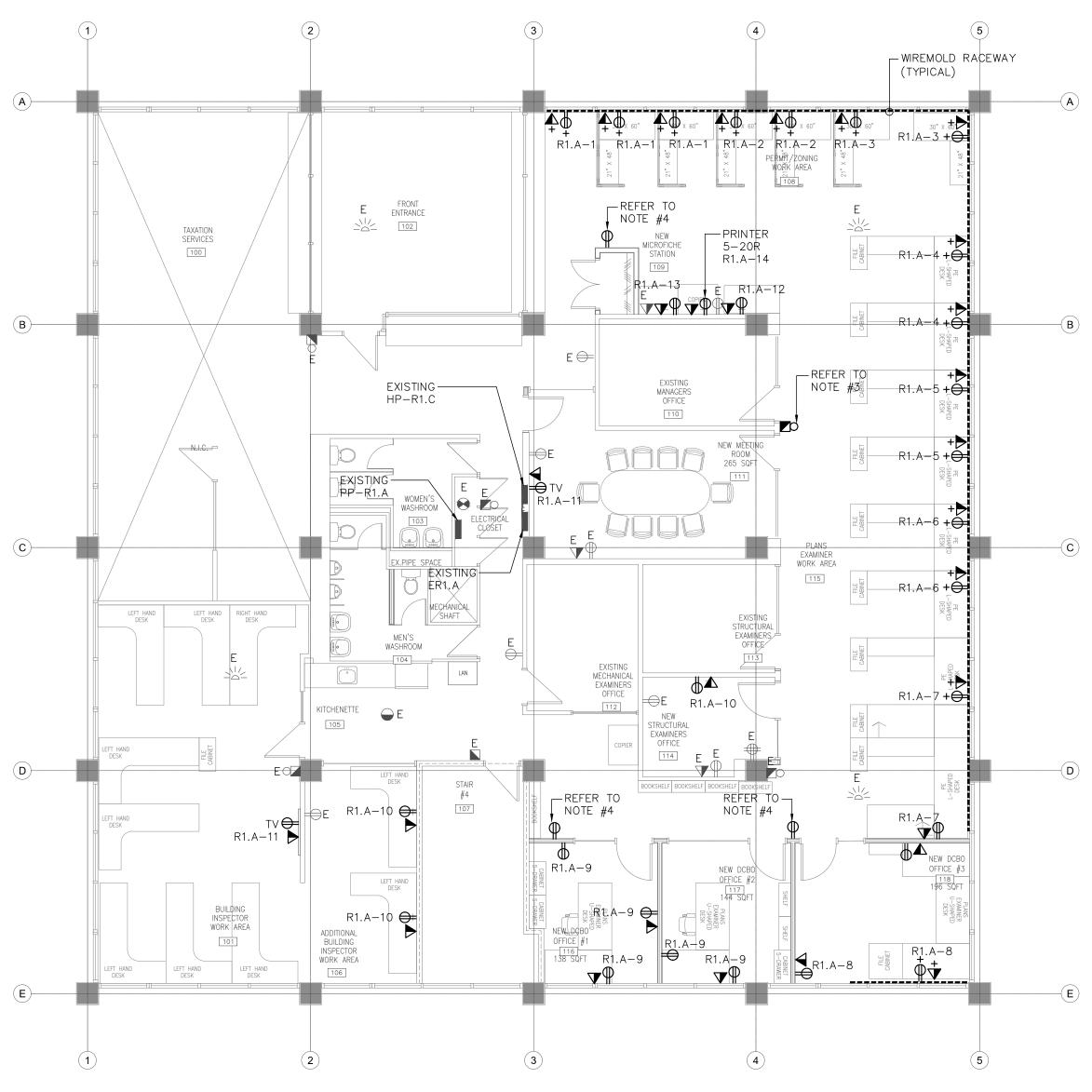


TRUE COPY OF FINAL REVIEWED BUILDING PERMIT PLANS MINIMUM LIGHTING REQUIREMENTS OBC DIV. B 3.2.7.1., 9.9.12.2. AND 9.34.2.7. PROVIDE AND MAINTAIN EMERGENCY LIGHTING AS REQUIRED BY OBC DIV. B 3.2.7. EVERY EXIT, PUBLIC CORRIDOR OR CORRIDOR PROVIDING liangi Ji ACCESS TO EXIT FOR THE PUBLIC SHALL BE EQUIPPED TO PROVIDE ILLUMANATION TO AN AVERAGE LEVELOF NOT LESS per the Chief Building Official THAN 50LX (4.6 FT-CANDLE) AT FLOOR OR TREAD LEVEL AND MINIMUM EMERGENCY LIGHTING REQUIREMENTS AT ALL POINTS SUCH AS ANGLES AND INTERSECTIONS AT BUILDING PERMIT # OBC DIV. B 3.2.7.3. AND 9.9.12.3. CHANGES OF LEVEL WHERE THERE ARE STAIRS OR RAMPS. BLD202401488 THE REQUIRED EMERGENCY LIGHTING SHALL HAVE AN AVERAGE LEVEL NOT LESS THAN 10 LX (0.9 FT. -ILLUMANTION OF PUBLIC AND SERVICE AREAS SHALL CONFORM TO TABLE 9.34.2.7. (MINIMUM LIGHTING RANGE CANDLES) AT FLOOR OR TREAD LEVEL. BETWEEN 50 AND 500 LX) CITY OF OSHAWA

- 11. NEW LIGHT FIXTURE. CONNECT TO NEAREST EXISTING NORMAL LIGHT CIRCUIT AND NEW LIGHTING CONTROL AS SHOWN.
- Corporation of the City of Oshawa
- 10. ALL EXISTING LIGHT FIXTURES IN THE OFFICE/PRIVATE ROOMS SHALL REMAIN AND CONNECTED TO NEW LIGHTING CONTROLS AS SHOWN.
- 9. EXISTING LIGHT FIXTURE TO REMAIN.
- 8. CONNECT TO NEAREST EXISTING EMERGENCY LIGHT CIRCUIT.
- 7. NEW LIGHT FIXTURE. CONNECT TO NEAREST EXISTING NORMAL LIGHT CIRCUIT AND CONTROL.
- 6. RELOCATED EXISTING LIGHT FIXTURE. CONNECT TO NEAREST EXISTING LIGHT CIRCUIT AND NEW CONTROL. FOR EXISTING LOCATION REEFER TO DEMOLITION PLAN.
- 5. RELOCATED EXISTING LIGHT FIXTURE. CONNECT TO NEAREST EXISTING LIGHT CIRCUIT AND CONTROL. FOR EXISTING LOCATION REEFER TO DEMOLITION PLAN.
- 3. CONNECT NEW EXIT SIGN TO NEAREST EXISTING EXIT SIGN CIRCUIT. EMERGENCY LIGHTING LAYOUT IS EXISTING. CONFIRM EMERGENCY LAYOUT ON SITE.
- 2. EXIT SIGN WITH (R/R) DENOTES NEW GREEN RUNNING MAN EXIT SIGN AT EXISTING LOCATION. EXISTING RED EXIT SIGN SHALL BE REMOVED AND REPLACED WITH NEW GREEN RUNNING MAN EXIT SIGN AS SHOWN. CONNECT NEW EXIT SIGN TO EXISTING EXIT SIGN CIRCUIT.
- FOR EXACT MOUNTING HEIGHT AND LOCATION REFER TO ARCHITECTURAL DRAWINGS AND ELEVATIONS.

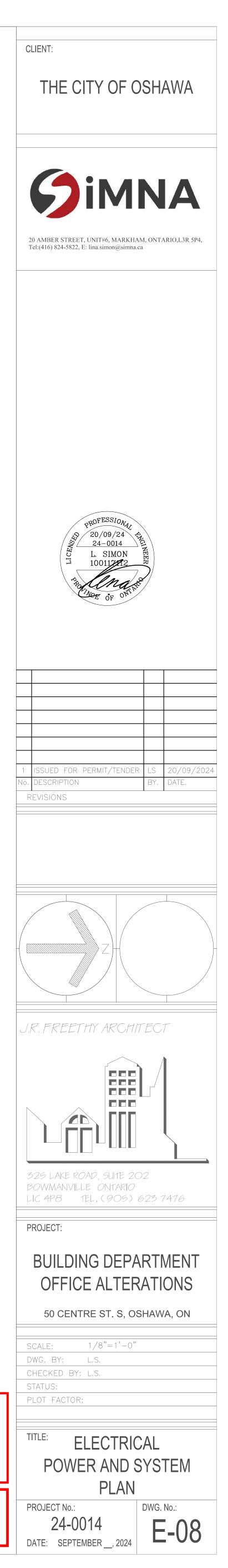
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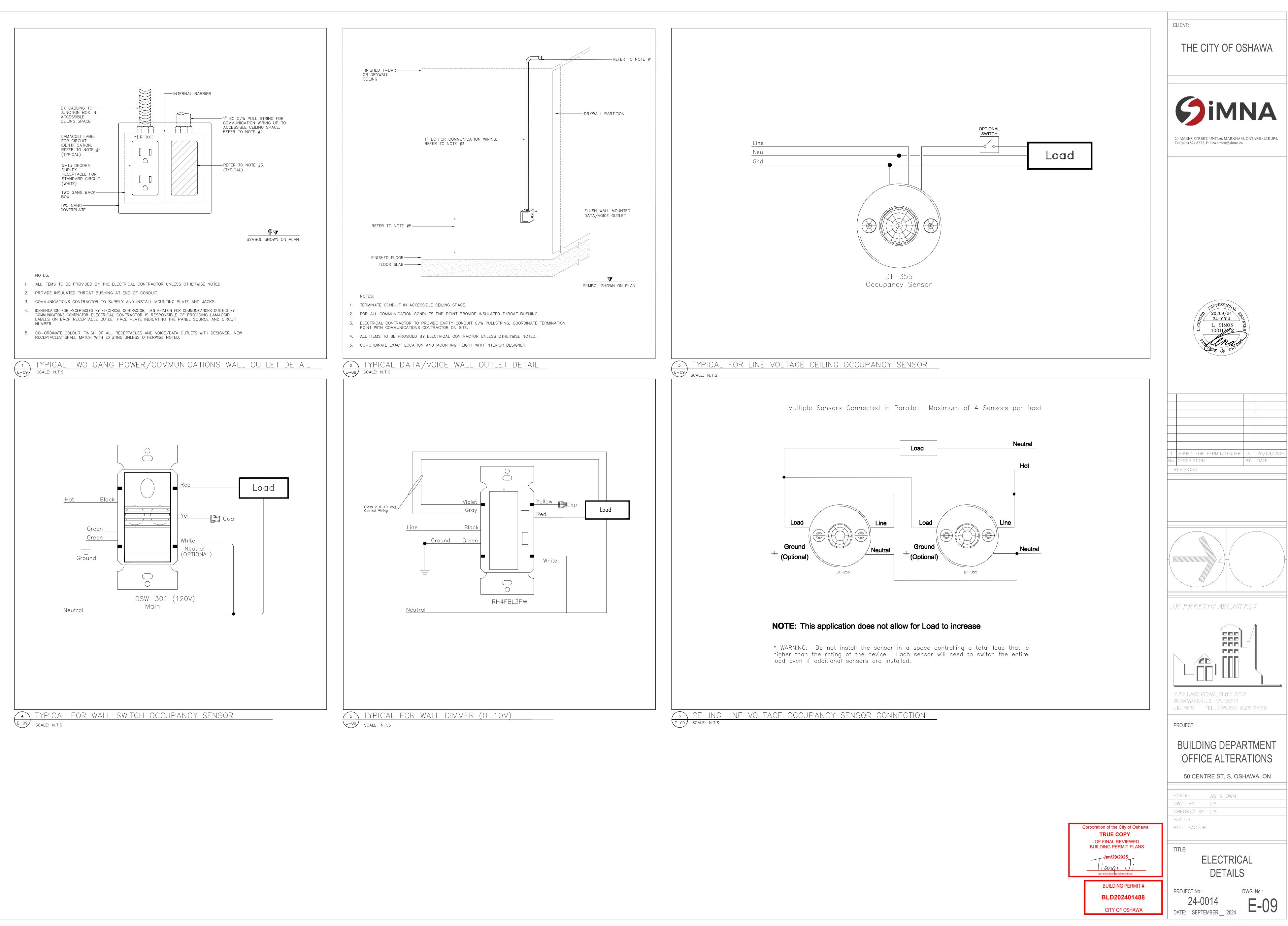


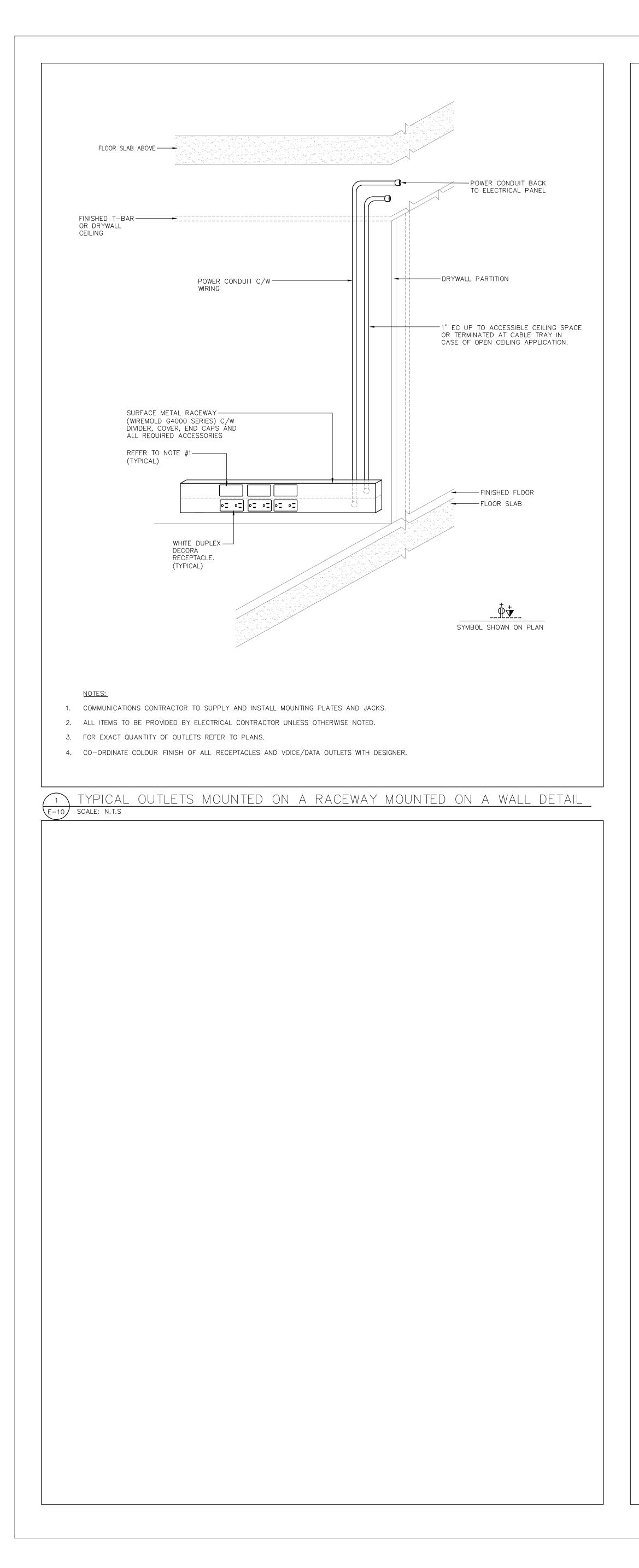


С	orporation of the City of Oshawa							
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	Jan/29/2025							
	BUILDING PERMIT #							
	BLD202401488							
	CITY OF OSHAWA							

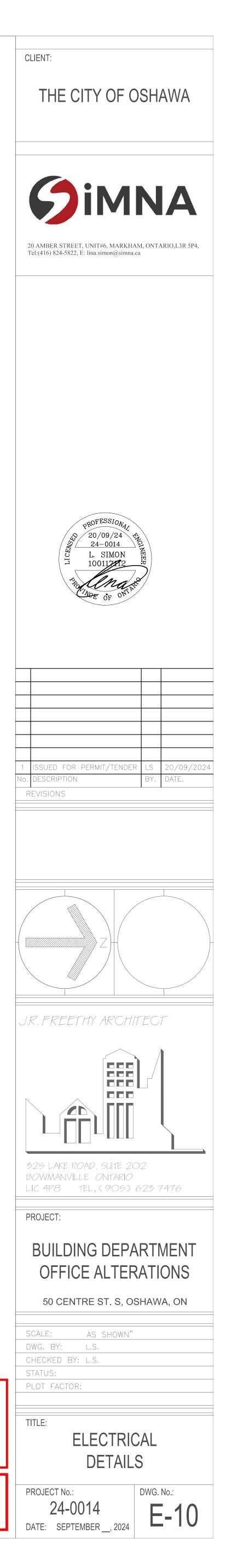
- 8. EXISTING EMERGENCY PANEL 'ER1.A', 120/208V,30,4W,225A,42CCT, SQUARE 'D'.
- 7. EXISTING LIGHTING PANEL 'HP-R1.C', 120/208V,30,4W,225A,42CCT, SQUARE 'D'.
- 5. PROVIDE 13X15A,1P CIRCUIT BREAKERS IN EXISTING PANEL 'PP-R1.A' 120/208V,3Ø,4W,225A,42CCT, SQUARE 'D' FOR CCT# R1.A-1,2,3,4,5,6,7,8,9,10,11,12,13. CIRCUIT NUMBERS ARE FOR GROUPING PURPOSE ONLY.
 6. PROVIDE 1X20A,1P CIRCUIT BREAKER IN EXISTING PANEL 'PP-R1.A' 120/208V,3Ø,4W,225A,42CCT, SQUARE 'D' FOR CCT# R1.A-14. CIRCUIT NUMBERS ARE FOR GROUPING PURPOSE ONLY.
- 4. CONNECT TO NEAREST CORRIDOR EXISTING CONVENIENCE RECEPTACLE CIRCUIT.
- 3. NEW FIRE ALARM BELL TO MATCH EXISTING. CONNECT TO NEAREST FIRE ALARM BELL CIRCUIT.
- FOR EXACT OUTLETS MOUNTING HEIGHT AND LOCATION REFER TO ARCHITECTURAL DRAWINGS AND ELEVATIONS.
 COORDINATE EXACT LOCATION OF ELECTRICAL SERVICES FOR MECHANICAL EQUIPMENTS WITH DIV. 15 PRIOR TO ROUGH-IN.
- NOTES:







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	CITY OF OSHAWA								





Dricon.com

Dricon[®] FS has an ICC-ES Evaluation Report 4584. For design professionals that are responsible for ensuring that both safety and structural elements have been addressed, reference ESR 4584.

- Approved application to building codes from 2006 to 2018 for both the IBC and IRC codes.
- ESR 4584 CBC & CRC Supplemental listed approvals:
 - California (Commercial & Residential)
 - Florida (Commercial & Residential)
- Dricon[®] FS treated wood has been evaluated in accordance with AC66 requirements.
- Dricon[®] FS treated wood qualifies as an Interior Type A (HT) fire-retardant wood in accordance with the American Wood Protection Association (AWPA) Standard U1, Commodity Specification H, Use Category UCFA.
- Dricon FS fire retardant is a proven successful formulation based on the American Wood Protection Association P50 Standard for Fire Retardants.
- For detailed design and installation instructions, visit dricon.com or see our Dricon[®] FS Application Guide.

Fire retardant pressure-treated wood offers value to your commercial projects

Fire retardant (FR) pressure-treated wood has been tested for strength, corrosion, fire retardancy, smoke reduction, and for use in high temperature attic space environments.

Benefit of pressure treatment versus coating

- Pressure treatment penetrates into the cell structure of wood while surface treatments may remain on top of the wood.
- Pressure treatment will not chip, peel, flake, or crack; surface treatments may have some or all of these issues.
- Fire retardant treated wood provides fire protection to all 4 sides of the lumber and plywood. Coatings may only cover one side of the lumber or plywood.
- Pressure treatment has been used in constructing FR trusses for many years. Coatings may impede truss plate connections.

Update 2018 International Building Code – Section 2303.2.2

required in this section.

Rigorous testing of Dricon® FS FRT Wood gives you peace of mind.

Dricon[®] FS FRT Wood has been tested in accordance with the following procedures:

- ASTM D 3201
- AWPA U1, UCFA • AWPA E 12
- ASTM D 5516 • ASTM D 5664
- ASTM D 6305
- ASTM E 2768
- ASTM E84 (30-minute test)

REATED WOO

• LARR 26119

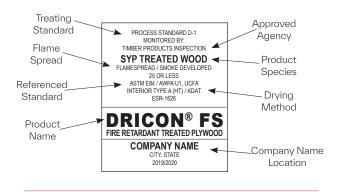
• UL 723

• ASTM E 119

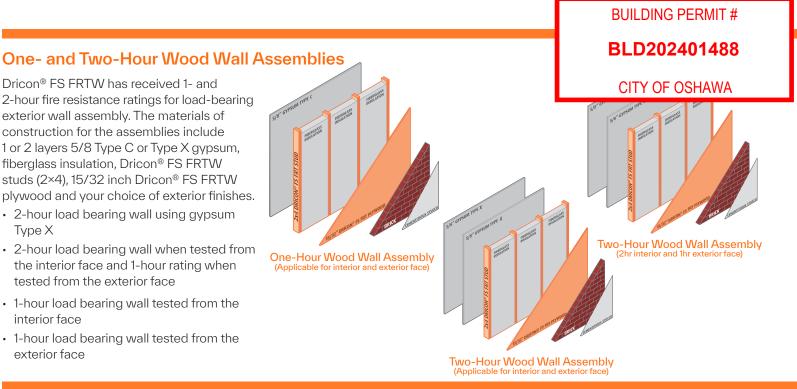
For a full list of accreditations, visit dricon.com

Look for the stamp!

It signifies a code compliant FRT product. Dricon® FRTW producers stamp each piece of wood so there's no doubt that your lumber and plywood are treated properly and to the highest standard.



Dricon.com



Strength Testing

Maximum Loads and Spans for Dricon[®] FS Fire Retardant Treated Plywood at Service Temperatures up to 170°F (77°C)

		Dricon [®] FS Roof Sheathing							
	Span Rating for Untreated		Total Allowable Loads (psf)						
Panel/ Sheathing Thickness	Roof/ Sub-Floor Sheathing	Max Span (In)	Cli 1A	mate Zo 1B	FS Wall or Subfloor Span (In)				
15/32, 1/2	32/16	24	29	42	60	16			
19/32, 5/8	40/20	24 32	49 28	72 41	103 58	20 20			
23/32, 3/4	48/24	32 48	40 18	59 26	84 37	24 24			

- 1 All loads are based on two-span condition with strength axis perpendicular to supports.
- 2 Panel edge supports shall be required for roof sheathing. Panel edge clips when used shall be installed as follows: One midway between supports for 24-inch and 32-inch spans, two at 1/3-points between supports for 48-inch spans. Clips must be manufactured for the plywood thickness.
- 3 Fastener size and spacing shall be as required in accordance with the IBC or IRC for untreated plywood of the same thickness.
- 4 For low-sloped or flat roofs with membrane or built-up roofing having a perm rating of less than 0.2; use rigid insulation having a minimum R-value of 4.0 between the sheathing and the roofing, or use the next thicker panel than the tabulated for the span and load (example; 19/32 for 24; 23/32 for 32); and use a continuous ceiling air barrier and vapor retarder with a perm rating of less than 0.2 on the bottom of the roof framing above the ceiling.
- 5 Dricon® FS fire retardant treated plywood must not be used as roof sheathing if a radiant shield is used beneath the roof sheathing.
- 6 The total allowable load is the sum of the live load and dead loads at maximum span. For allowable live loads, subtract dead (assumed to be 8 psf) from the total loads listed.
- 7 The 15/32 and ½-inch plywood is limited to 4-ply. 19/32 and 5/8-inch plywood is limited to performance rated 4-ply and 5-ply. 23/32 and 3/4-inch plywood is limited to performance rated 5-ply and 7-ply.
- 8 Uniform load deflection limitations 1/180 of span under live load plus dead load and 1/240 under live load only.
- 9 Subfloor is limited to 100 psf Maximum Load.
- 11 Climate Zone definitions:

Zone 1 – Minimum design roof live load or maximum ground snow load \leq 20 psf (960 Pa)

Zone 1A — Southwest Arizona, Southeast Nevada (Area Bounded by Las Vegas-Yuma-Phoenix-Tucson)

Zone 1B – All other qualifying areas of the United States

Zone 2 – Maximum ground snow load > 20 psi (960 Pa)

12 For other load conditions, contact manufacturer.

Strength Design Factors for Dricon® FS FRT Lumber Compared to Untreated Lumber Applicable at Service Temperatures up to 100°F (38°C)

Strength Design Factors	Southern Pine	Douglas Fir	Spruce-Pine-Fir
Bending MOR	0.82	1.00	0.96
Bending MOE	0.87	0.99	0.93
Tension Parallel to Grain	0.98	1.00	0.99
Shear Parallel to Grain	0.95	1.00	1.00
Compression Parallel to Grain	0.96	0.96	0.99
Compression Perpendicular to Grain	0.95	0.95	0.95
Fasteners/Connectors	0.90	0.90	0.90

Strength Design Factors for Dricon® FS FRT Lumber Compared to Untreated Lumber Applicable at Service Temperatures up to 150°F (66°C)

	Southern Pine		D	Douglas Fir			Spruce-Pine-Fir		
				Clim	nate Zon	e			
Strength Design Factors	1A	1B	2	1A	1B	2	1A	1B	2
Bending MOR	0.82	0.82	0.82	1.00	1.00	1.00	0.91	0.93	0.95
Bending MOE	0.88	0.88	0.88	1.00	1.00	1.00	0.96	0.96	0.96
Tension Parallel to Grain	0.89	0.93	0.98	1.00	1.00	1.00	0.95	0.97	0.99
Shear Parallel to Grain	0.89	0.93	0.98	1.00	1.00	1.00	0.95	0.97	0.99
Compression Parallel to Grain	0.87	0.91	0.96	0.98	0.98	0.98	0.92	0.94	0.96
Fasteners/ Connectors	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90

1 Climate Zone definition:

- Zone 1 Minimum design roof live load or maximum ground snow load \leq 20 psf (960 Pa)
- Zone 1A Southwest Arizona, Southeast Nevada (area Bounded by Las Vegas-Yuma-Phoenix-Tucson) Zone 1B — All other qualifying areas of the United States
- Zone 2 Maximum ground snow load > 20 psf (960 Pa)
- 2 Duration of load adjustments for snow load, 7-day (construction) loads, and wind loads as given in the National Design Specification for Wood Construction[®] (NOS) also apply.

FLAME-SPREAD RATING

FRTW products are used in many interior applications, such as millwork and panelling, where the code requirements for flame spread are most restrictive. The Canadian building codes also permit the use of fire-retardant treated lumber and plywood for roof and floor trusses, beams, interior roof decks, and for interior load-bearing and non-load bearing partitions.

FRTW is suitable for indoor applications where the humidity is not expected to exceed 60 percent for long periods of time. FRTW should be protected from excessive moisture and weather during transit, storage, and erection. While some wetting might be expected during installation, frequent wetting or ponding is unacceptable. In general, FRTW requires more care in installation than would normally be considered sufficient good practice for non-FRTW products.

FRTW, as defined and specified in the NBC, must have a flame-spread rating of not more than 25. It therefore qualifies as an interior finish for any application since the most restrictive flame-spread rating is 25. FRTW must be identified by a label (Figure 1, below) from an independent testing laboratory or certification organization which indicates that the necessary tests were performed and production controls maintained. This performance test can be carried out only by an accredited third-party testing agency.

For many wood species, and particularly plywood and lumber in sizes common to light-frame construction, FRTW treatment results in chemical retentions high enough to obtain a flame-spread rating of 25 or less. It should be noted that the chemicals will not usually penetrate the entire wood member, as refusal will usually occur when the chemicals have penetrated approximately 13 mm from the outer surface of the product.

The actual flame-spread rating of treated lumber or plywood depends on the fire-retardant chemicals used and the amount of chemicals retained in the wood, which depends on several factors, including wood species.

Commonly used chemicals are proprietary mixtures which are free of halogens, sulphates, ammonium phosphate and formaldehyde. These provide superior performance characteristics over previous formulations and lower corrosivity to metal fasteners. These water-soluble chemicals are effective in reducing flame spread, and through careful proportioning succeed in reducing smoke development and afterglow.

To dispel any myths that may still exist, it should be understood that the fire-retardant treatment does not make the wood noncombustible. This idea stems from certain earlier versions of building codes which equated a 25 surface flame-spread rating to noncombustibility. The NBC uses a different method to determine "noncombustibility" (CAN/ULC-S135, *Standard Method of Test for Determination of Degrees of Combustibility of Building Materials Using an Oxygen Consumption Calorimeter (Cone Calorimeter)*), and FRTW does not meet the noncombustibility criteria under that method.

The use of a fire-retardant treatment does not prevent ignition or charring. The rate of burn through fire-retardant treated wood is approximately the same as that for untreated wood, even though ignition is more difficult and the rate at which flame travels across its surface (flame-spread rating) has been reduced.

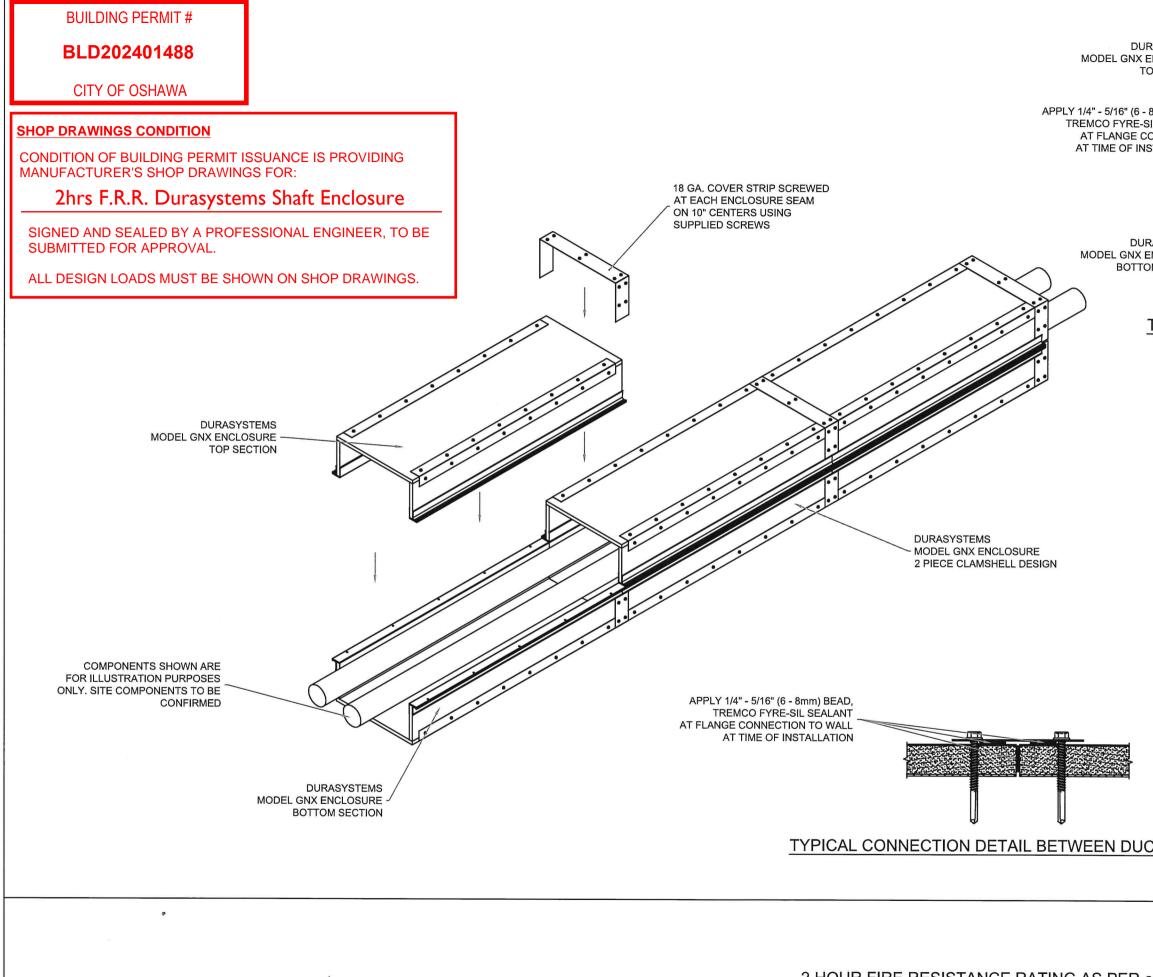
BUILDING PERMIT #

BLD202401488

CITY OF OSHAWA

CLASSIFIED AS TO ACCORDANCE WITH					CLASSIFIED AS T ACCORDANCE W				
FOR COMMENTARY ON METHOD OF REPORTING FLAME SPREAD RATING SEE ULC LIST OF EQUIPMENT AND MATERIALS, VOL II, UNDER GUIDE NO. 40 US. CLASSIFICATION OR RATING					FOR COMMENTARY ON METHOD OF REPORTING FLAME SPREAD RATING SEE ULC LIST OF EQUIPMENT AND MATERIALS, VOL. II, UNDER GUIDE NO. 40 U8.				
MATERIAL DETAILS	FLAM	E SPREAD	SMOKE	FUEL		FLAM	E SPREAD	OR RATI	NG FUEL
SOUTHERN YELLOW	-				DETAILS	FSC7	S(GWL)	DEVELOPED	CONTRIBUTED
INC OUGLAS FIR*		(15)	10	5					
EDWOOD"	100	(5)	5	0	SOUTHERN YELLOW PINE	20	(15)	10	0
HITE PINE"		1 51	20	0	1				
EMLOCK/FIR*		1 5)	20	0	DOUGLAS FIR '	15	(15)	15	5
ESTERN RED CEDAR"		(10)	5-35	15	REDWOOD .	10	(5)	10	5
APLE	10000	(30-40)	100-130	20-35					
ED DAX		(20-30)	35-80	15-25	* IN TEST OF 30 MIN. DURATION, FLAME SPREAD NOT OVER EQUIVAL			ER FOUIVALEN	
PRUCE PINE FIR NCISED		(15)	15	10-25	OF 25 AND NO EVID				
"IN TEST OF 30 MIN. DURATION, FLAME SPREAD NOT OVER EQUIVALENT OF 25 AND NO EVIDENCE OF SIGNIFICANT PROGRESSIVE COMBUSTION ALL SPECIES MAY BE SURFACED 1/32 INCH FOR COSMETIC PURPOSES.						I	Interior	Гуре	
	•				Fire-R	etarda	ant Tr	eated W	ood
						/			

Figure 1. Sample labels/markings from one independent certification organization for fire-retardant-treated lumber and plywood.



RASYSTEMS ENCLOSURE DP SECTION 8mm) BEAD, SIL SEALANT ONNECTION STALLATION RASYSTEMS ENCLOSURE DM SECTION										
TYPICAL CONNECTION DETAIL BETWEEN ENCLOSURE SECTIONS										
	0 03/28/2011 NO. DATE	ISSUED FOR APP	111							
	Dura 199 Court L4K 4T2 (905	REVISION RESIST RESISTERNS Barrie and Ave, Vaughan, () 660-4455 www.du	ers Inc. ON. Canada							
	PROJECT: CLIENT:									
CT SECTIONS		NX PIP								
	SCALE: NTS									
	DRAWN BY: R. V	<u>د</u> ۱	DATE: Mar 25, 2011							
	CHECKED BY: S		DATE: Mar 25, 2011							
	APPROVED BY: DRWG, No,	REV. No.	DATE: PROJECT No.							
ULus LISTING V-28	D100	0								