



Development Services Department
 Building Permit Services
Ontario Building Code Design Information

Proposed:	Interior office alterations to 1st floor Bldg Dept. Rundle Tower		Location: 50 Centre St. South , Oshawa, ON			
Oshawa Snow Load Map Received: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			Site Plan Application No.:			
Major Occupancy:			Permit Application No.:			
<input type="checkbox"/> A-___ <input type="checkbox"/> B-___ <input type="checkbox"/> C <input checked="" type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F-___ <input type="checkbox"/> F-3 Combustible content of <input type="checkbox"/> kg/ m ² (lb./sq.ft.) <input type="checkbox"/> MJ/m ² (BTU/sq.ft.)						
Building Area:	Existing	800 m ²	Proposed	0 m ²	Total	800 m ²
Gross Area:	Existing	m ²	Proposed	m ²	Total	m ²
Building Height:	Storeys	10	Height	42.6 m	Level(s) of bsmt.	1

Building Divided by Firewalls	<input type="checkbox"/> Yes <input type="checkbox"/> No	Building "A" _____ m ²	Building "B" _____ m ²	Building "C" _____ m ²		
Firewall Construction	Concrete <input type="checkbox"/> Masonry <input type="checkbox"/>	_____ Hours FRR, extended _____ mm above roof.				
Proposed Mezzanines	<input type="checkbox"/> Yes <input type="checkbox"/> No	Open mezzanine _____ m ² , located in _____ Enclosed mezzanine _____ m ² , located in _____				
Building is required to face	<input type="checkbox"/> 2 OBC defined public street(s)	<input type="checkbox"/> access route(s) for Fire Department vehicles.				
Fire Hydrant located within	15 metres	<input type="checkbox"/> from building entrance	<input checked="" type="checkbox"/> from Fire Department connection			
Fire Sprinkler System Proposed:	<input type="checkbox"/> Entire Building <input type="checkbox"/> Addition Only	<input checked="" type="checkbox"/> Basement Only existing parking garage is sprinklered	<input type="checkbox"/> In Lieu of Roof Rating	<input checked="" type="checkbox"/> Not Proposed		
Governing OBC Article:	<input type="checkbox"/> 3.2.2.	<input type="checkbox"/> 3.2.2.32obc925/75	<input checked="" type="checkbox"/> High Building 3.2.6.	<input type="checkbox"/> Table 9.10.8.1.		
Permitted Construction:	<input type="checkbox"/> Combustible	<input checked="" type="checkbox"/> Noncombustible	<input type="checkbox"/> Both			
Actual Construction:	<input type="checkbox"/> Combustible	<input checked="" type="checkbox"/> Noncombustible	<input type="checkbox"/> Both			
Energy Efficient Design Standard:		<input type="checkbox"/> To Be Determined at Building Permit Application				
<input type="checkbox"/> Performance: MNECB+25%		<input type="checkbox"/> Prescriptive or Tradeoff: ASHRAE 90.1+SB10		<input type="checkbox"/> Cost Budget		
<input type="checkbox"/> Performance: ASHRAE90.1+5%		<input type="checkbox"/> SB-12 (Part 9 Residential)		<input type="checkbox"/> EnerGuide 80 (Part 9 Residential)		
<input type="checkbox"/> Div. 4 of SB10 (Part 9 Non- Residential)						
Exempt from Energy Efficiency: <input checked="" type="checkbox"/> Explanation Basic Renovation Part 11 Interior Office Alterations						
Design & Review By:	<input checked="" type="checkbox"/> OAA	<input type="checkbox"/> P.Eng.	<input type="checkbox"/> CET	<input type="checkbox"/> MAATO	<input type="checkbox"/> BCIN	<input type="checkbox"/> Other
Total Occupant Load:	<input type="checkbox"/> 40 Persons	based on:	<input type="checkbox"/> design m ² /person	<input type="checkbox"/> not found in OBC T.3.1.17.1.		
Fire Alarm System:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	If No, Explain:			
Standpipe and Hose System:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	If No, Explain:			
Barrier-Free Design:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	If No, Explain:			

Required Fire Resistance Rating (FRR) <small>(Note: Optional for Site Plan Application)</small>	Horizontal Assemblies		Listed Design No. or Description	FRR of Supporting Members	ULC Design No. or Description	
	FRR Hours					
	Floors	Hours				
	Roof	Hours				
	2	Hours	305 mm thk conc slab	2	Hours	cast conc frame
	n/a	Hours			Hours	
	n/a	Hours			Hours	

Spatial Separation - Construction of Exterior Walls (submit calculations if required)										
Wall	Area of EBF (m ²)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb. Const.	Comb.Constr. Noncomb. Cladding	Noncomb. Constr.
North										
South			NOT APPLICABLE	INTERIOR RENOVATION						
East										
West										

Prepared by: Name: J. Reginald Freethy B.Arch,OAA,MRAIC Firm: J.R.Freethy Architect

Date: Sept 26, 2024 Signature:  Phone: 905 623 7476

OAA P.Eng. CET MAATO BCIN

NOTE: Every building or part thereof described in OBC Division C, Table 1.2.1.1. shall be designed and reviewed by an engineer or both.
 Reference: 2012 Ontario Building Code, as amended
 Note: A full text version of this document will be made available upon request (905-436-5658)

BUILDING PERMIT #
BLD202401488
CITY OF OSHAWA

THE CITY OF OSHAWA BUILDING DEPARTMENT OFFICE ALTERATIONS

50 CENTRE ST. S. OSHAWA, ONTARIO.

DESIGN TEAM:

ARCHITECTURAL:

J.R. FREETHY ARCHITECT
325 LAKE ROAD, SUITE 202
BOWMANVILLE, ON L1C 4P8
TEL: (905) 623-7476

STRUCTURAL:

STIEMER ENGINEERING INC.
25 SAUNDERS RD., UNIT 1
BARRIE, ON L4N 9A7
TEL: (705) 797-0042

MECHANICAL:

ROMAR ENGINEERING INC.
4828 LIVINGSTON ST.
CLAREMONT, ON L17 1A5
TEL: (647) 406-8602

ELECTRICAL:

SIMNA ENGINEERING
20 AMBER STREET, UNIT 6
MARKHAM, ON L3R 95P4
TEL: (416) 824-5822

DWG #	TITLE	LATEST REVISION #	DATE ISSUED
ARCHITECTURAL:			
A001	COVER SHEET - DRAWING LIST	2	JANUARY 14, 2025
A104	OBC MATRIX, KEY PLANS, TRAVEL DISTANCE PLAN	3	JANUARY 14, 2025
A201	EXISTING FLOOR PLAN	6	SEPTEMBER 20, 2024
A202	DEMOLITION FLOOR PLAN	4	SEPTEMBER 20, 2024
A203	NEW CONSTRUCTION FLOOR PLAN	7	SEPTEMBER 20, 2024
A204	DEMOLITION CEILING PLAN	4	SEPTEMBER 20, 2024
A205	NEW CONSTRUCTION REFLECTED CEILING PLAN	5	SEPTEMBER 20, 2024
A206	FURNITURE PLAN	6	SEPTEMBER 20, 2024
A300	NEW CONSTRUCTION INTERIOR ELEVATIONS	2	SEPTEMBER 20, 2024
A400	WASHROOM PLAN DETAILS AND WALL SECTION DETAILS	3	JANUARY 14, 2025
A401	WALL SECTION AND STRUCTURAL SLAB DETAILS	3	JANUARY 14, 2025
A500	DOOR AND ROOM FINISH SCHEDULE	3	SEPTEMBER 20, 2024
A501	SCREEN SECTION DETAILS	2	SEPTEMBER 20, 2024
A700	MILLWORK DETAILS	2	SEPTEMBER 20, 2024
A701	3D MODEL VIEWS	3	SEPTEMBER 20, 2024
A702	3D MODEL VIEWS 2	3	SEPTEMBER 20, 2024
A703	3D MODEL VIEWS 3	3	SEPTEMBER 20, 2024
A704	3D MODEL VIEWS 4	3	SEPTEMBER 20, 2024
MECHANICAL:			
M-100	MECHANICAL LEGENDS & SCHEDULES	1	SEPTEMBER 20, 2024
M-200	GROUND FLOOR PD	1	SEPTEMBER 20, 2024
M-300	HVAC - DEMO/NEW	2	SEPTEMBER 20, 2024
ELECTRICAL:			
E-01	ELECTRICAL LEGEND AND GENERAL NOTES	1	SEPTEMBER 20, 2024
E-02	ELECTRICAL SPECIFICATIONS	1	SEPTEMBER 20, 2024
E-03	ELECTRICAL SPECIFICATIONS	1	SEPTEMBER 20, 2024
E-04	ELECTRICAL SPECIFICATIONS	1	SEPTEMBER 20, 2024
E-05	ELECTRICAL LIGHTING DEMOLITION PLAN	1	SEPTEMBER 20, 2024
E-06	ELECTRICAL POWER AND SYSTEMS DEMOLITION PLAN	1	SEPTEMBER 20, 2024
E-07	ELECTRICAL LIGHTING PLAN	1	SEPTEMBER 20, 2024
E-08	ELECTRICAL POWER AND SYSTEM PLAN	1	SEPTEMBER 20, 2024
E-09	ELECTRICAL DETAILS	1	SEPTEMBER 20, 2024
E-10	ELECTRICAL DETAILS	1	SEPTEMBER 20, 2024

GENERAL NOTES

- NOTE.1 CONTRACTOR SHALL PROVIDE AND MAINTAIN DUST PROTECTION AT ACTIVE WORK ZONES THROUGHOUT THE DURATION OF CONSTRUCTION.
- NOTE.2 EXISTING BUILDING FIRE ALARM SYSTEM MUST BE MAINTAINED OPERATIONAL THROUGHOUT CONSTRUCTION
- NOTE.3 FINANCE DEPARTMENT OFFICE AREA IS NOT IN THIS CONTRACT. CONTRACTOR'S FORCES ARE NOT PERMITTED IN THIS AREA.
- NOTE.4 DISPOSAL BINS SHALL BE LOCATED IN THE DESIGNATED LOCATION WITH MIN. 10'-0" DISTANCE FROM THE BLDG. DISPOSAL BINS SHALL BE WITHIN AN 8'-0" HT TEMPORARY IOMEGA OR FAST FENCE ENCLOSURE.
- NOTE.5 THE EXISTING PARTITIONS ARE CONSTRUCTED OF 5/8" GYPSUM BOARD ON 3 1 / 2 " STEEL STUDS @ 16" ON CENTRE ANCHORED TO THE EXISTING MAIN TEES OF THE SUSPENDED ACOUSTIC CEILING SYSTEM. CONTRACTOR SHALL EXERCISE CAUTION TO NOT DAMAGE THE CEILING GRID DURING SELECTIVE DEMOLITION AND NEW CONSTRUCTION OPERATIONS. REPAIR ANY RESULTANT DAMAGE TO MATCH EXISTING CONSTRUCTION.
- NOTE.6 THE EXISTING BUILDING STRUCTURE IS CAST CONCRETE. STRUCTURE PROVIDES THE FIRE RESISTANCE RATING.
- NOTE.7 REFER TO THE MECHANICAL AND ELECTRICAL DRAWINGS FOR THE RESPECTIVE DIVISIONS ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS. THE ARCHITECTURAL DRAWINGS OUTLINE THE MODIFICATIONS TO THE EXISTING PA SPEAKER RELOCATES AND NEW SPEAKER LOCATIONS.
- NOTE.8 THE OWNER'S FORCES ARE RESPONSIBLE FOR THE DISMOUNTING AND RELOCATION OF THE EXISTING WORKSTATION FURNITURE, COMPUTERS, LATERAL FILES, BOOKS, PHOTOCOPIER, SCANNER, MICROFICHE EQUIPMENT, TELEPHONES.
- NOTE.9 THE NEW WORKSTATIONS IN THE ZONING EXAMINERS AREA ARE NOT IN CONTRACT. SUPPLIED BY OWNER.
- NOTE.10 CONTRACTOR'S FORCES WILL BE SUPPLIED WITH A SECURITY ID BADGE. CONTRACTOR SHALL MAINTAIN A WRITTEN SIGN IN LOG FOR ALL PERSONNEL ACCESSING THE WORK ZONE.
- NOTE.11 ALTERATIONS TO THE PLUMBING FOR THE NEW WATER CLOSET SHALL OCCUR OFF HOURS TO MITIGATE INTERFERENCE WITH THE OPERATIONS OF THE OFFICE TOWER.
- NOTE.12 THE EXISTING GLAZED SCREENS ARE PC350 ELITE SERIES CLEAR ANODIZED ALUMINUM FINISH. NEW SCREENS SHALL BE THE SAME MANF AND PROFILES. ALL GLAZING SHALL BE LAMINATED SAFETY GLASS 10 MM THK.
- NOTE.13 CONSTRUCTION DEBRIS MUST BE REMOVED FROM THE ALTERATION AREAS ON A DAILY BASIS TO THE DISPOSAL BINS. DISPOSAL BINS SHALL BE EMPTIED ON A WEEKLY BASIS.
- NOTE.14 CONTRACTOR SHALL MAINTAIN FULL TIME SITE SUPERVISION THROUGHOUT THE DURATION OF CONSTRUCTION.
- NOTE.15 ALL OPERATIONS SHALL COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT LATEST EDITION. CONTRACTOR SHALL OBTAIN AND POST THE MINISTRY OF LABOUR NOTICE OF PROJECT.

ALL ELECTRICAL WIRING MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS (PERMITS) MUST BE FILED. WE RECOMMEND YOU USE A QUALIFIED ELECTRICAL CONTRACTOR. FOR MORE INFORMATION PLEASE CALL:

ELECTRICAL SAFETY AUTHORITY: 416-291-3434 OR VISIT WWW.ESA-SAFE.COM

COPY OF BUILDING PERMIT PLANS

COPY OF THE STAMPED/REVIEWED DRAWINGS MUST REMAIN ON SITE DURING CONSTRUCTION.

IMPORTANT NOTE

NEITHER THE ISSUANCE OF A PERMIT NOR THE CARRYING OUT OF INSPECTIONS BY THE CITY RELIEVE THE APPLICANT FROM THE FULL RESPONSIBILITY FOR COMPLIANCE WITH THE PROVISIONS OF THE BUILDING CODE ACT AND THE ONTARIO BUILDING CODE, BOTH AS AMENDED, AS WELL AS OTHER APPLICABLE STATUTES AND REGULATIONS OF THE PROVINCE OF ONTARIO AND ALL RELEVANT BY-LAWS OF THE CITY OF OSHAWA AND THE REGIONAL MUNICIPALITY OF DURHAM.

FUTURE ALTERATIONS

A SEPARATE BUILDING PERMIT IS REQUIRED FOR ANY PROPOSED INTERIOR PARTITIONS AND/OR ALTERATIONS.

STRUCTURAL ALTERATIONS

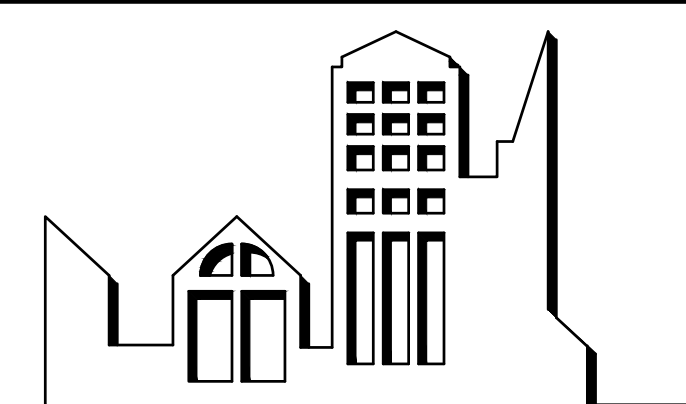
ALL STRUCTURAL ALTERATIONS MUST BE FIELD REVIEWED BY A PROFESSIONAL ENGINEER IF REQUIRED BY THE BUILDING INSPECTOR.

Corporation of the City of Oshawa
TRUE COPY
OF FINAL REVIEWED
BUILDING PERMIT PLANS

Jan/29/2025
Tianqi Ji
per the Chief Building Official

BUILDING PERMIT #
BLD202401488

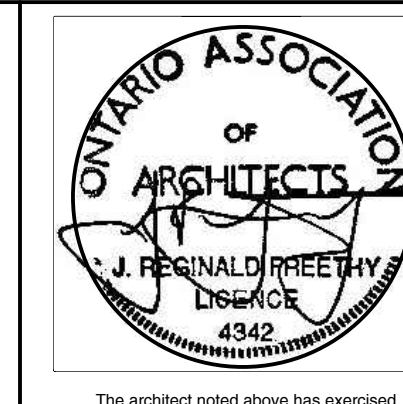
CITY OF OSHAWA



J.R. FREETHY ARCHITECT

J.R. FREETHY ARCHITECT

Certificate of Practice Number: 1928
325 LAKE ROAD, BOWMANVILLE ONTARIO, L1C 4P8
(905) 623-7476
reg@jrfreethy.com



TITLE:

COVER SHEET

PROJECT No.:

2024-15

DATE: JANUARY 14, 2025

DWG. No.:

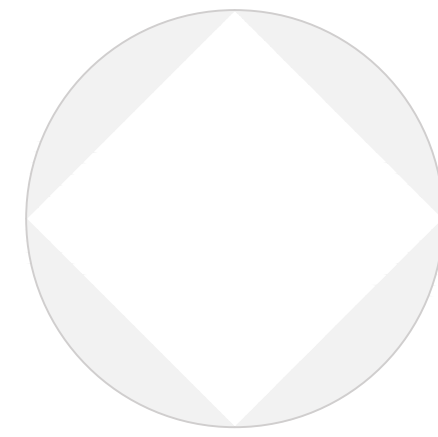
A001

Name of Practice:
J.R. Freethy Architect
325 Lake Rd. Suite 202, Bowmanville, ON. L1C 4P8

Name of Project:
Oshawa Building Dept. Office and Washroom Alterations
Ground Floor Rundle Tower

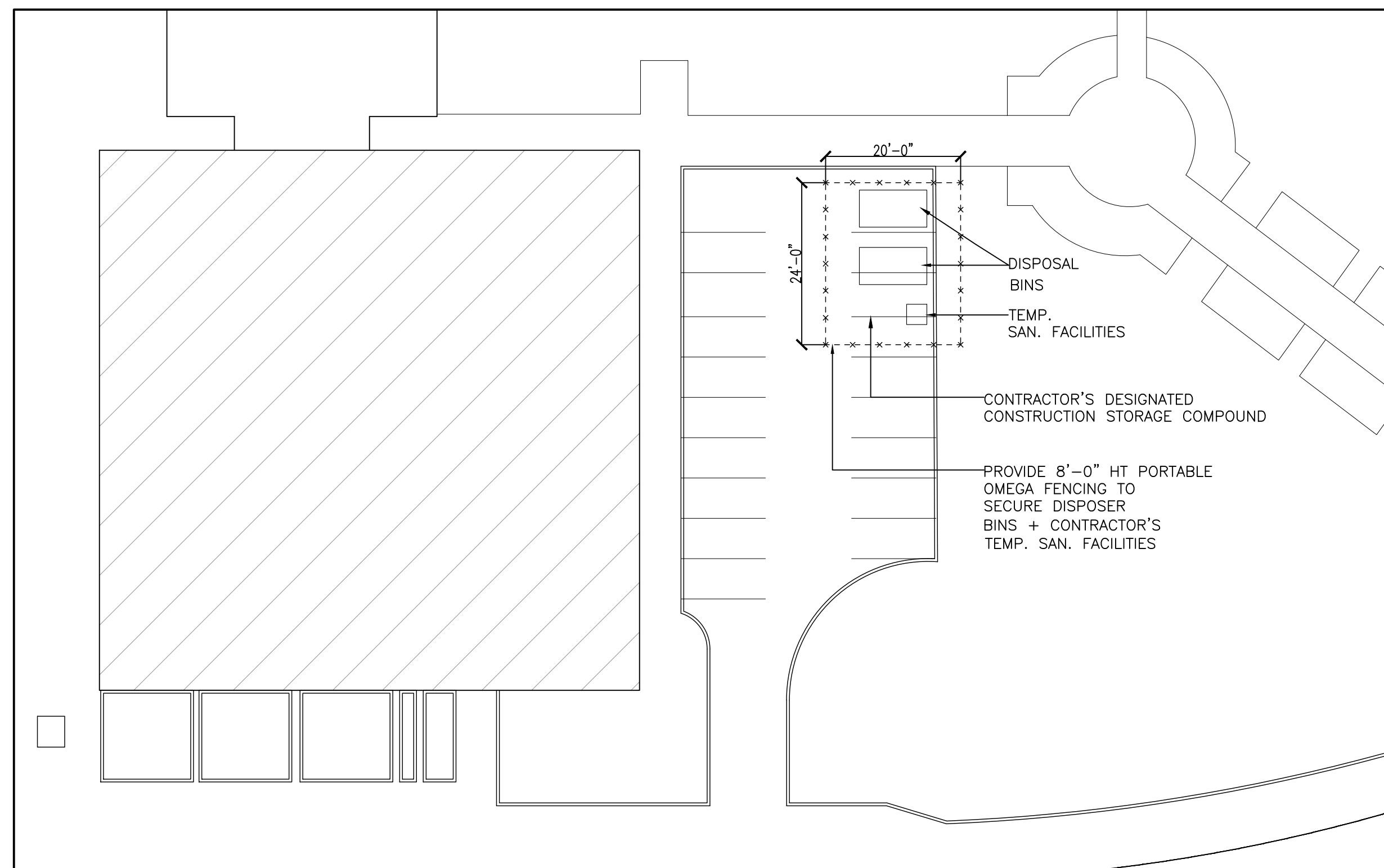
Location:
50 Centre Street South,
Oshawa, ON.

Date:
September 20, 2024



Ontario Building Code Data Matrix Part 11 – Renovation				Building Code Reference		
11.00	Building Code Version:	O_Reg_332/12	Last Amendment	O_Reg_89/23		
11.01	Project Type:	<input type="checkbox"/> Addition <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition and renovation <input type="checkbox"/> Change of use	Description: Interior Office and Washroom Alterations		[A] 11.2.6.	
11.02	Major Occupancy Classification:	Occupancy Use Group D Municipal Bldg Dept Offices OBC 925/75 3.2.2.32(1) Any Height, Any Area, Non combustible constr. Nonsprinklered on areas above grade, parking garage sprinklered, existing FHC standpipe system Bldg was retrofitted in 2009 with EVAC communication system and fire alarm strobes	Description: Interior Office and Washroom Alterations		3.1.2.1.(1), and 11.2.1.	
11.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Description:			11.2 and 3.2.2.5. to 3.2.2.8.	
11.04	Building Area (m2)	Description: Rundle Tower 1st Floor	Existing	New	Total	[A] 14.1.2, 11.2, and 11.3
			800	0	800	
11.05	Building Height	10 Stores above grade 1 Stores below grade	42.6 (m) Above grade			[A] 14.1.2. & 3.2.1.1, and 11.3
11.06	Number of Streets/Firefighter access	2 street(s)				3.2.2.10, 3.2.5., and 11.3
11.07	Building Size	<input type="checkbox"/> Small <input type="checkbox"/> Medium <input checked="" type="checkbox"/> Large <input type="checkbox"/> > Large				T.11.2.1.1.B-N.
11.08	Existing Building Classification: Building Construction 1968 Concrete superstructure	Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy) Construction Index: Not applicable Hazard Index: Not applicable Importance Category: <input type="checkbox"/> Low <input type="checkbox"/> Normal <input checked="" type="checkbox"/> High <input type="checkbox"/> Post-disaster				11.2.1.1. T 11.2.1.1.A T 11.2.1.1.B to N 4.2.1.(3), and 5.2.2.1.(2)
11.09	Renovation type:	<input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation				11.3.3.1, 11.3.3.2.
11.10	Occupant Load	Floor Level/Area	Occupancy Type	Based On	Occupant Load (Persons)	3.1.1.7, 11.4.2.2.
		1st floor	D	Design	40	

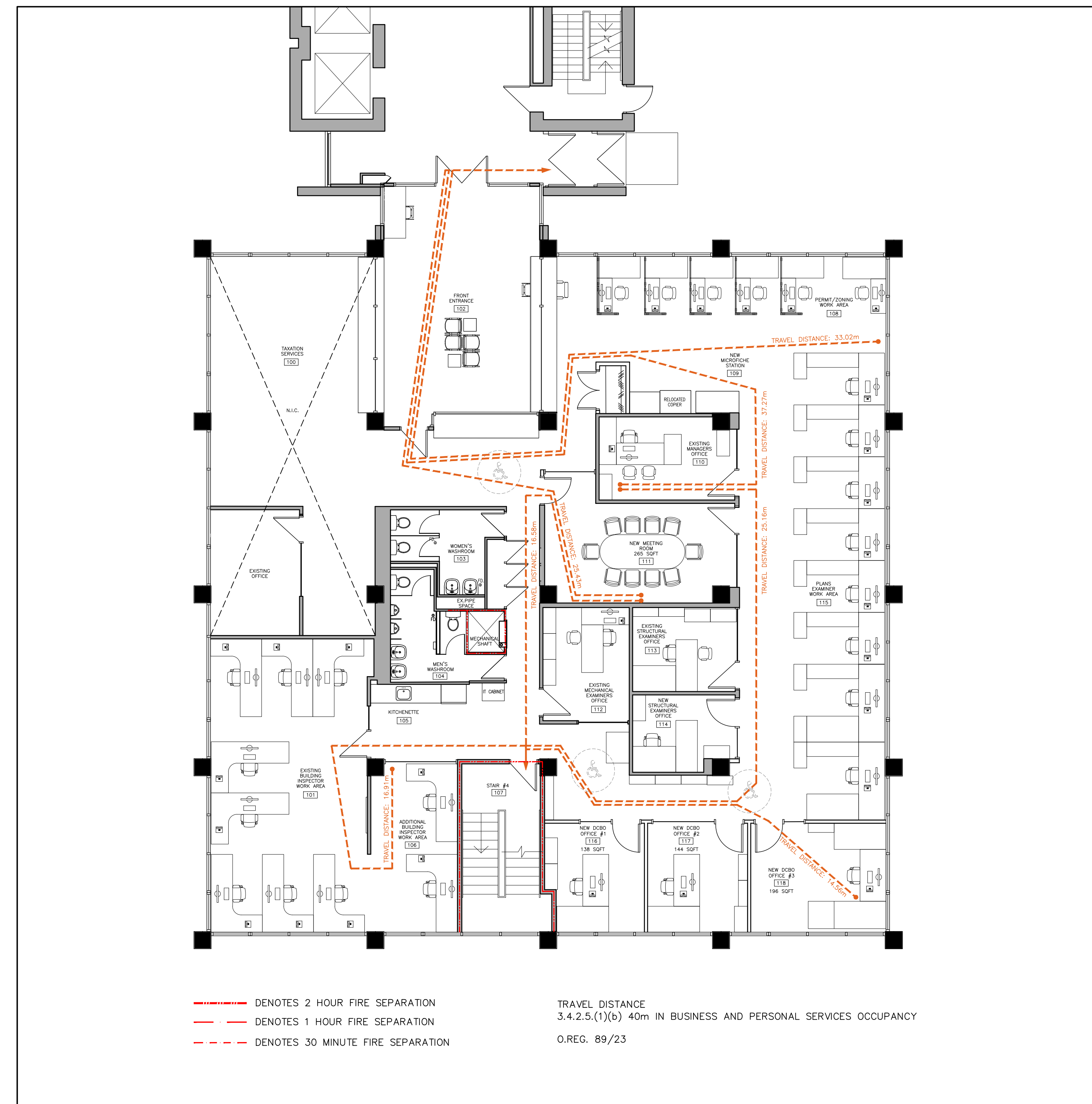
1 OBC MATRIX
SCALE: N.T.S.



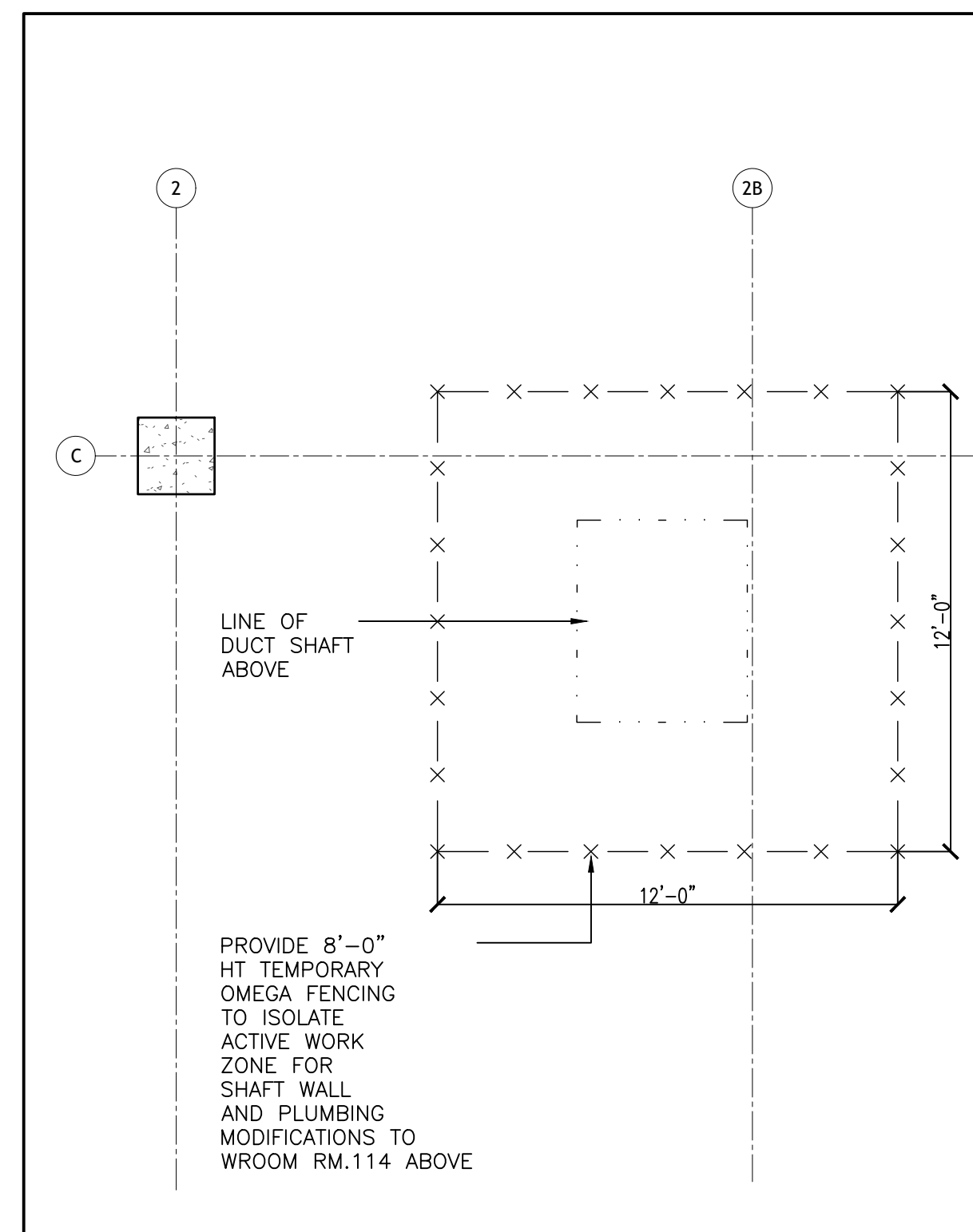
3 CONTRACTOR'S STORAGE COMPOUND
SCALE: 1/16"=1'-0"

11.11 a	Plumbing Fixture Requirements	Ratio: M:F =60/40	3.7.4., 11.3.4., 11.3.5., 11.4.2.4., and 11.4.2.5.				
	Adding 1 water closet to exist. Male washroom.	Floor Level/Area	Occupant Load	OBC Reference	WCs Required	WCs Provided	
		Ground Floor Suite	25M	Table 3.7.4.7.(1)	3	4	
			15F		2	2	
	Insert additional lines as needed						
11.11 b	Plumbing Fixture Requirements continued:	Floor Level/Area (repeated)	Barrier-free WCs Required	Barrier-free WCs Provided	Universal Washrooms Required	Universal Washrooms Provided	Tables 3.8.2.3.A and 3.8.2.3.B
	Existing main lobby and service area has universal wshrm and bf facilities.	1	N/A	Existing lobby	1ex	Existing lobby	
	Insert additional lines as needed						
11.12	Barrier-free Design:	X Yes <input type="checkbox"/> No	11.3.3.2.(2)				
	Barrier-free Entrances:	Number 1	Existing Suite entrance from Elev Lobby				
11.13	Reduction in Performance Level:	Structural:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.1.			
		By increase in occupant load:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.2.			
		By change of major occupancy:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.3.			
		Plumbing:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.4.			
		Sewage-systems:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.5.			
		Extension of buildings of combustible construction:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.6.			
11.14	Compensating Construction:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.3.1.				
		Structural:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.3.2.			
		Increase in occupant load:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.3.3.			
		Change of major occupancy:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.3.4.			
		Plumbing:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.3.5.			
		Sewage systems:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.3.6.			
		Extension of buildings of combustible construction:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.3.7.			
11.15	Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.5.1.				
11.16	Notes:	Is an alternative solution used?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	11.5.1.		

1 All references are to Division B of the OBC, unless preceded by [A] for Division A and [C] for Division C.



2 TRAVEL DISTANCE PLAN
SCALE: 1/8"=1'-0"



4 PARKING LEVEL P.1 TEMPORARY BARRIER
SCALE: 1/4"=1'-0"

CLIENT:

THE CITY OF OSHAWA

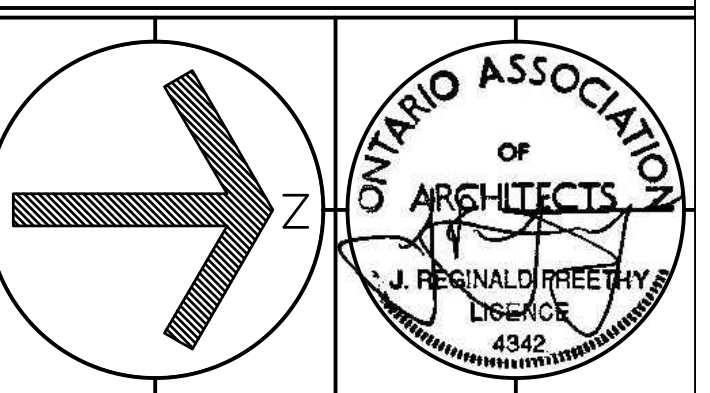
KEY TO DETAIL NUMBER:

- # A### DETAIL NUMBER SHEET WHERE DETAILED
- SHADED AREA DENOTES EXISTING WALL CONSTRUCTION TO REMAIN.
- INDICATES 8'-4" BARRIER FREE TURNING DIAMETER.
- (N.I.C.) NOT IN THE CONTRACT
- PROVIDE INDICATES SUPPLY AND INSTALL.

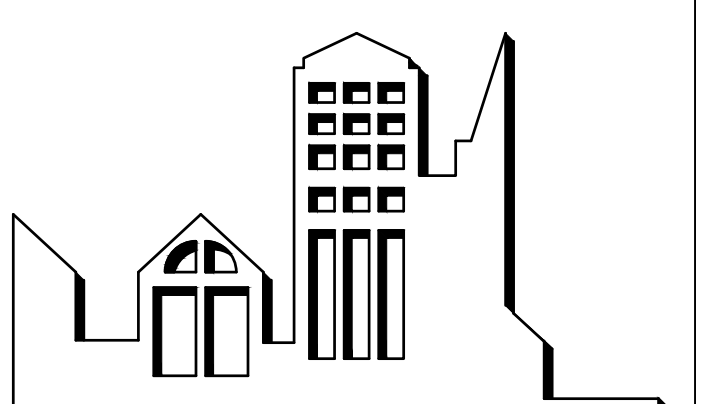
3	PERMIT RESUBMISSION	C.C.	15/01/2025
2	PRELIMINARY	C.C.	18/09/2024
1	PRELIMINARY	C.N.	01/08/2024
No.	DESCRIPTION	BY.	DATE.

REVISIONS

Do not scale drawings. Work to dimensions only. Contractor shall verify all measurements and report any discrepancies to the architect prior to proceeding with the work. These documents shall not be used for construction, unless signed and sealed by the Consultant. All drawings are the copyright property of the Architect. © 2025



J.R. FREETHY ARCHITECT



325 LAKE ROAD, SUITE 202
BOWMANVILLE ONTARIO
L1C 4P8 TEL: (905) 625 7476

PROJECT:
**BUILDING DEPARTMENT
OFFICE ALTERATIONS**
50 CENTRE ST. S, OSHAWA, ON

SCALE: AS NOTED
DWG. BY: C.C.
CHECKED BY: J.R.F.
STATUS: PERMIT RESUBMISSION
PLOT FACTOR: 1:1

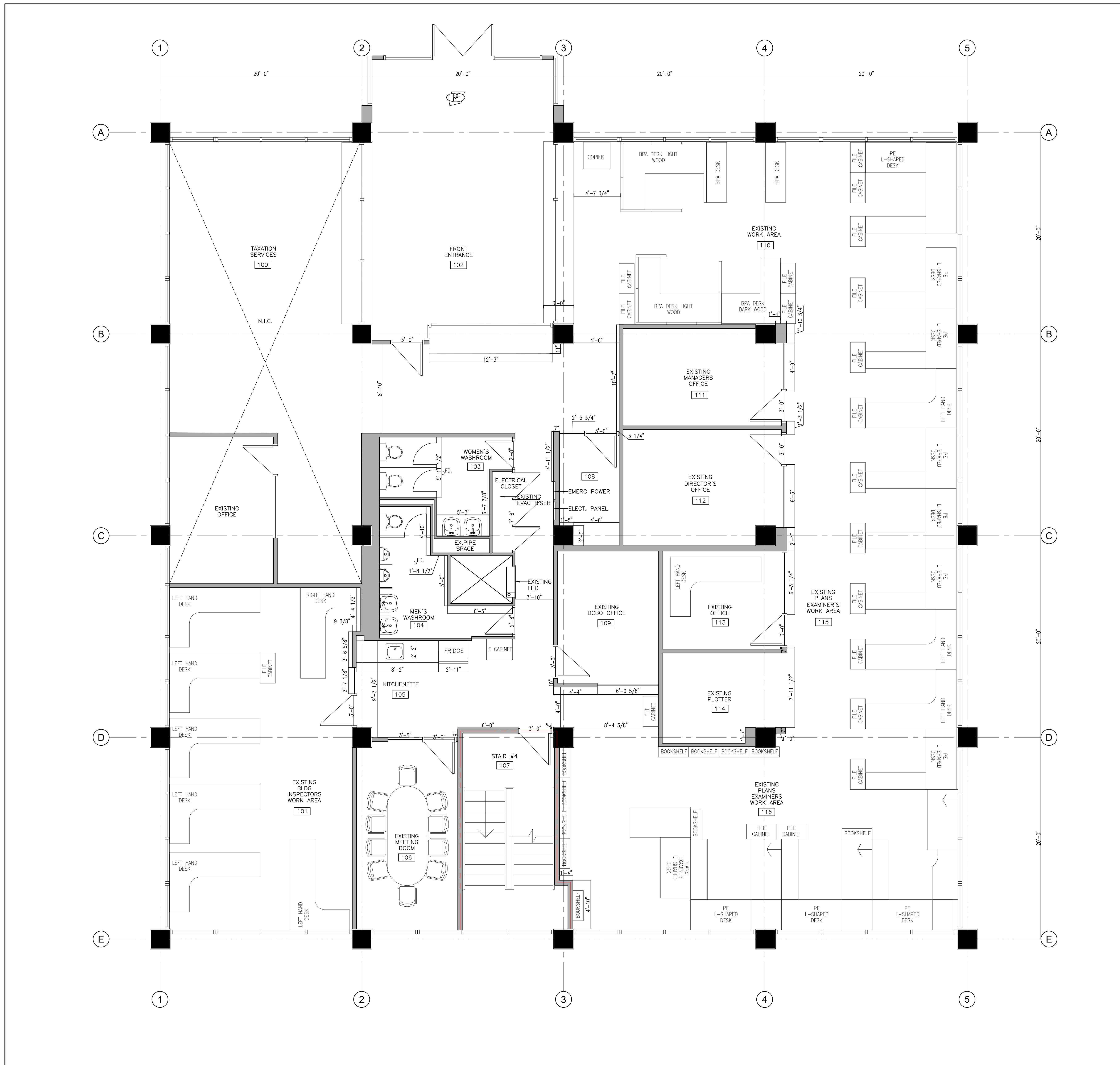
TITLE: **OBC MATRIX,
KEY PLANS, TRAVEL
DISTANCE PLAN**

PROJECT No.: **2024-15**
DATE: JAN14, 2025

DWG. No.: **A104**

Corporation of the City of Oshawa
TRUE COPY
OF FINAL REVIEWED
BUILDING PERMIT PLANS
Jan29/2025
Tiana Ji
City of Oshawa Building Official

BUILDING PERMIT #
BLD202401488
CITY OF OSHAWA



SYMBOL LEGENDS - DRAWING REFERENCES & LABELS

ELEVATION NUMBER	FIRE EXTINGUISHER C/W WALL BRACKET (SLB UNLESS NOTED) MOUNTED 1200mm (MAX.) A.F.F.
SHEET NUMBER	SEMI RECESSED FIRE EXTINGUISHER MOUNTED 1200mm (MAX.) A.F.F. TO TOP OF CABINET.
SECTION NUMBER	EXISTING DOOR TO BE REMOVED
DIRECTION OF SECTION	EXISTING DOOR TO REMAIN
SHEET NUMBER	NEW DOOR & FRAME
LOCATION OF DRAWING	EXISTING WALL TO BE DEMOLISHED
DENOTES 2 HOUR FIRE SEPARATION	FLOOR DRAIN
DENOTES 1 HOUR FIRE SEPARATION	MASONRY CONTROL JOINT
DENOTES 30 MINUTE FIRE SEPARATION	SPRINKLER HEAD
DENOTES EX./NEW ROOM NAME & NUMBER (ROOM AREA OPTIONAL/AS REQUIRE)	FORCE FLOW HEATER
DENOTES 1500mm ² BARRIER-FREE TURNING CIRCLE.	MILLWORK UNIT (N.I.C.)
DENOTES WALL TYPES	MICRO WAVE (N.I.C.)
DENOTES SCREEN FRAME TYPES	FRIDGE (N.I.C.)
DENOTES GENERAL NOTE	P.T.D. PAPER TOWEL DISPENSER
DENOTES DOOR NUMBER	WB WHITE BOARD
	TB TACK BOARD
	GWSB GYPSUM WALL BOARD
	N.I.C. NOT IN CONTRACT

CLIENT:

THE CITY OF OSHAWA

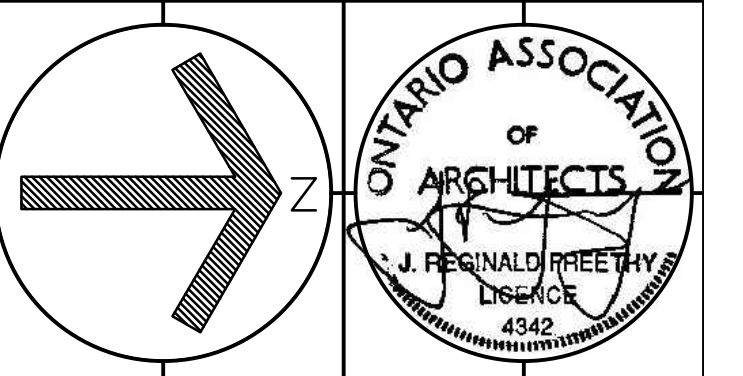
KEY TO DETAIL NUMBER:

#	DETAIL NUMBER
A###	SHEET WHERE DETAILED
	SHADED AREA DENOTES EXISTING WALL CONSTRUCTION TO REMAIN.
	INDICATES 5'-0" BARRIER FREE TURNING DIAMETER.
(N.I.C.)	NOT IN THE CONTRACT
PROVIDE	INDICATES SUPPLY AND INSTALL.

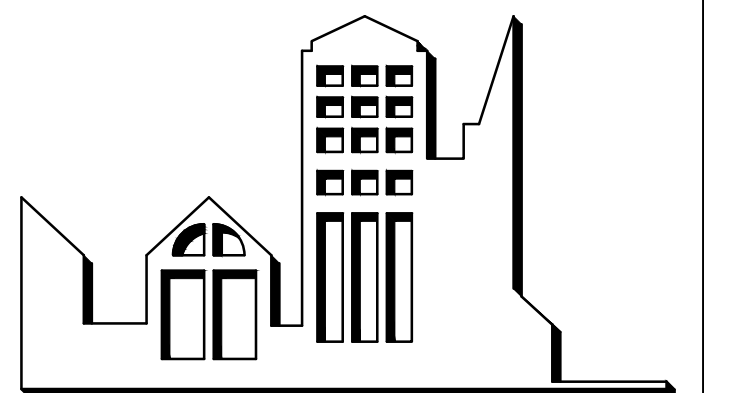
No.	DESCRIPTION	BY.	DATE.
6	IFTP	C.C.	20/09/2024
5	CLIENT REVIEW	C.C.	18/09/2024
4	PRELIMINARY	C.C.	17/09/2024
3	PRELIMINARY	C.C.	10/09/2024
2	PRELIMINARY	C.N.	16/08/2024
1	PRELIMINARY	C.N.	01/08/2024

REVISIONS

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J.R. FREETHY ARCHITECT



325 LAKE ROAD, SUITE 202
BOWMANVILLE ONTARIO
LIC # 4842 TEL. (905) 625 7476

PROJECT:

**BUILDING DEPARTMENT
OFFICE ALTERATIONS**

50 CENTRE ST. S. OSHAWA, ON

SCALE:	AS NOTED
DWG. BY:	C.C.
CHECKED BY:	J.R.F.
STATUS:	TENDER & PERMIT
PLOT FACTOR:	1:1

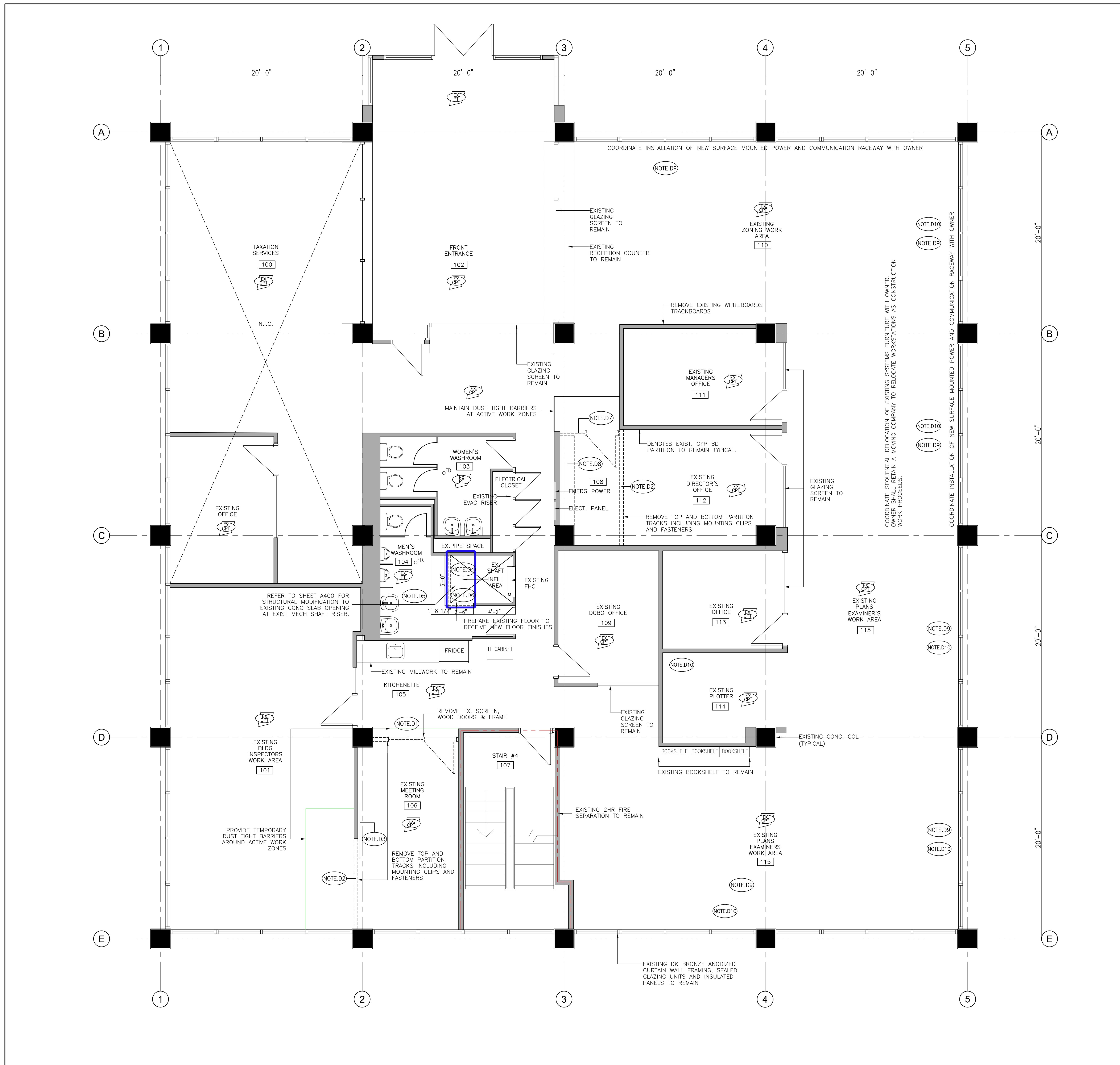
TITLE:
EXISTING FLOOR PLAN

PROJECT No.:	2024-15	DWG. No.:	A201
DATE:	SEPTEMBER 20, 2024		

1 EXISTING FLOOR PLAN
A201 SCALE: 1/4" = 1'-0"

Corporation of the City of Oshawa
TRUE COPY
OF FINAL REVIEWED
BUILDING PERMIT PLANS
Jan 29/2025
Tiana Ji
City of Oshawa Building Official

BUILDING PERMIT #
BLD202401488
CITY OF OSHAWA



SYMBOL LEGENDS - DRAWING REFERENCES & LABELS

	ELEVATION NUMBER		FIRE EXTINGUISHER C/W WALL BRACKET (SLB UNLESS NOTED)
	SHEET NUMBER		MOUNTED 1200mm (MAX.) A.F.F.
	SECTION NUMBER		SEMI RECESSED FIRE EXTINGUISHER MOUNTED 1200mm (MAX.) A.F.F. TO TOP OF CABINET.
	DIRECTION OF SECTION		EXISTING DOOR TO BE REMOVED
	SHEET NUMBER		EXISTING WALL TO BE DEMOLISHED
	DENOTES 2 HOUR FIRE SEPARATION		NEW DOOR & FRAME
	DENOTES 1 HOUR FIRE SEPARATION		FLOOR DRAIN
	DENOTES 30 MINUTE FIRE SEPARATION		MASONRY CONTROL JOINT
	DENOTES EX./NEW ROOM NAME & NUMBER (ROOM AREA OPTIONAL/AS REQUIRE)		SPRINKLER HEAD
	DENOTES 1500mmø BARRIER-FREE TURNING CIRCLE.		F.F.H. FORCE FLOW HEATER
	DENOTES WALL TYPES		M.W.U. MILLWORK UNIT (N.I.C.)
	DENOTES SCREEN FRAME TYPES		M.W. MICRO WAVE (N.I.C.)
	DENOTES GENERAL NOTE		F. FRIDGE (N.I.C.)
	DENOTES DOOR NUMBER		P.T.D. PAPER TOWEL DISPENSER
			WB WHITE BOARD
			TB TACK BOARD
			GWB GYPSUM WALL BOARD
			N.I.C. NOT IN CONTRACT

SELECTIVE DEMOLITION NOTES

(NOTE.D1) DISMOUNT THE EXISTING WOOD DOOR AND HARDWARE. TURN OVER TO OWNER FOR MAINTENANCE PURPOSES.

(NOTE.D2) DISMOUNT THE EXISTING GLAZED WALL PANELS AND PC350 FRAMING COMPONENTS. CUT BACK EXISTING GYPSUM BD. STEEL STUD PARTITION AS REQUIRED TO SUIT NEW CONSTRUCTION. REPAIR ANY RESULTANT DAMAGE TO EXISTING ADJACENT FLOOR, WALL AND CEILING FINISHES.

(NOTE.D3) PROVIDE TEMPORARY DUST TIGHT BARRIERS. REMOVE SECTION OF EXISTING GYPSUM BOARD AND STEEL STUD PARTITION, RUBBER COVE BASE AND CONCEALED ANCHOR CLIPS. REPAIR ANY RESULTANT DAMAGE TO EXISTING ACOUSTIC CEILING ASSEMBLY, CARPET TILE FLOOR FINISH, ADJACENT WALL FINISHES.

(NOTE.D4) TEMPORARILY DISMOUNT THE EXISTING LED WALL MONITOR AND MOUNTING BRACKET. TURN OVER TO DIV.06 FOR REINSTALLATION.

(NOTE.D5) PROVIDE TEMPORARY DUST PROTECTION. REMOVE SECTION OF THE EXISTING FIRE RATED SHAFT WALL CONSTRUCTION FROM FINISH FLOOR TO THE UNDERSIDE OF THE 2ND FLOOR STRUCTURE INCLUDING PORCELAIN TILE FLOOR BASE. NOTE THAT THE PARKING GARAGE IS DIRECTLY BELOW. CONTRACTOR SHALL FENCE OFF THE AREA UNDER THE SHAFT TO ENSURE VEHICLES ARE NOT PARKED UNDER THE ACTIVE CONSTRUCTION ZONE. MAINTAIN SAFETY GUARD TO PREVENT PERSONNEL FROM FALLING THRU THE EXPOSED SHAFT AREA.

(NOTE.D6) REMOVE THE EXISTING STAINLESS STEEL PAPER TOWER WASTE DISPOSAL UNIT.

(NOTE.D7) PREPARE THE STRUCTURAL CONCRETE SLAB EDGE FOR THE SCHEDULED STRUCTURAL INFILL PANEL AND CONCRETE.

(NOTE.D8) DISMOUNT THE EXISTING WOOD DOOR AND HARDWARE. TURN OVER TO OWNER FOR MAINTENANCE PURPOSES.

(NOTE.D9) DISMOUNT THE EXISTING GLAZED WALL PANELS AND PC350 FRAMING COMPONENTS. CUT BACK EXISTING GYPSUM BD. STEEL STUD PARTITION AS REQUIRED TO SUIT NEW CONSTRUCTION. REPAIR ANY RESULTANT DAMAGE TO EXISTING ADJACENT FLOOR, WALL AND CEILING FINISHES.

(NOTE.D10) REMOVE EXISTING MILLWORK BASE CABINET AND RELATED ANCHORS.

(NOTE.D11) COORDINATE TEMPORARY REMOVAL OF EXISTING WORKSTATIONS WITH FACILITY SERVICES AND DIVISION 16 FOR INSTALLATION OF NEW POWER, DATA SYSTEMS.

(NOTE.D12) COORDINATE MECHANICAL AND ELECTRICAL SERVICE MODIFICATIONS WITH DIVISION 15 AND 16.

(NOTE.D13) CONTRACTOR SHALL REMOVE ALL RESULTANT DEBRIS FROM SELECTIVE DEMOLITION OPERATIONS ON A DAILY BASIS FROM THE INTERIOR ALTERATION AREA.

(NOTE.D14) STRUCTURAL MODIFICATIONS TO THE WASHROOM SHALL OCCUR OFF HOURS DUE TO NOISE GENERATION, PLUMBING SANITARY AND WATER MODIFICATIONS WITHIN THE WASHROOM SHALL OCCUR OFF HOURS AND ALL PLUMBING SERVICES FOR WASHROOMS ABOVE AND ADJACENT MUST BE OPERATIONAL DURING CITY STAFF NORMAL WORKING HOURS. ALL SHUT DOWNS TO BE COORDINATED WITH THE DESIGNATED PROJECT MANAGER, CITY OF OSHTAWA.

CLIENT:
THE CITY OF OSHTAWA

KEY TO DETAIL NUMBER:
A### DETAIL NUMBER
A### SHEET WHERE DETAILED

SHADED AREA DENOTES EXISTING WALL CONSTRUCTION TO REMAIN.

INDICATES 5'-0" BARRIER FREE TURNING DIAMETER.

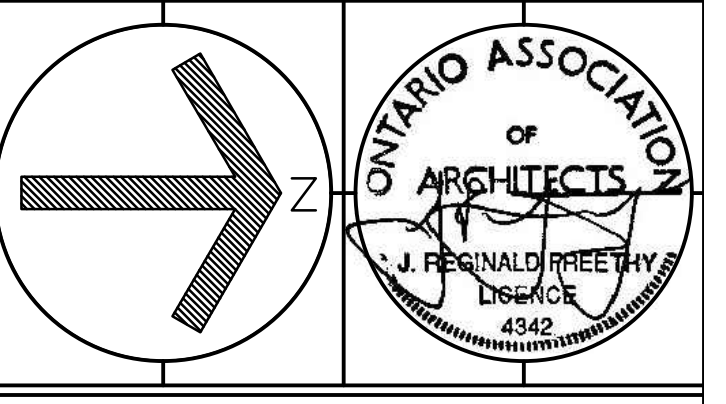
(N.I.C.) NOT IN THE CONTRACT

PROVIDE INDICATES SUPPLY AND INSTALL.

4	IFTP	C.C.	20/09/2024
3	CLIENT REVIEW	C.C.	18/09/2024
2	PRELIMINARY	C.C.	10/09/2024
1	PRELIMINARY	C.N.	01/08/2024
No.	DESCRIPTION	BY.	DATE.

REVISIONS

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J.R. FREETHY ARCHITECT

325 LAKE ROAD, SUITE 202
BOWMANVILLE ONTARIO
L1C 4P8 TEL. (905) 625 7476

PROJECT:
**BUILDING DEPARTMENT
OFFICE ALTERATIONS**
50 CENTRE ST. S. OSHTAWA, ON

SCALE: AS NOTED
DWG. BY: C.C.
CHECKED BY: J.R.F.
STATUS: TENDER & PERMIT
PLOT FACTOR: 1:1

TITLE:
**DEMOLITION
FLOOR PLAN**

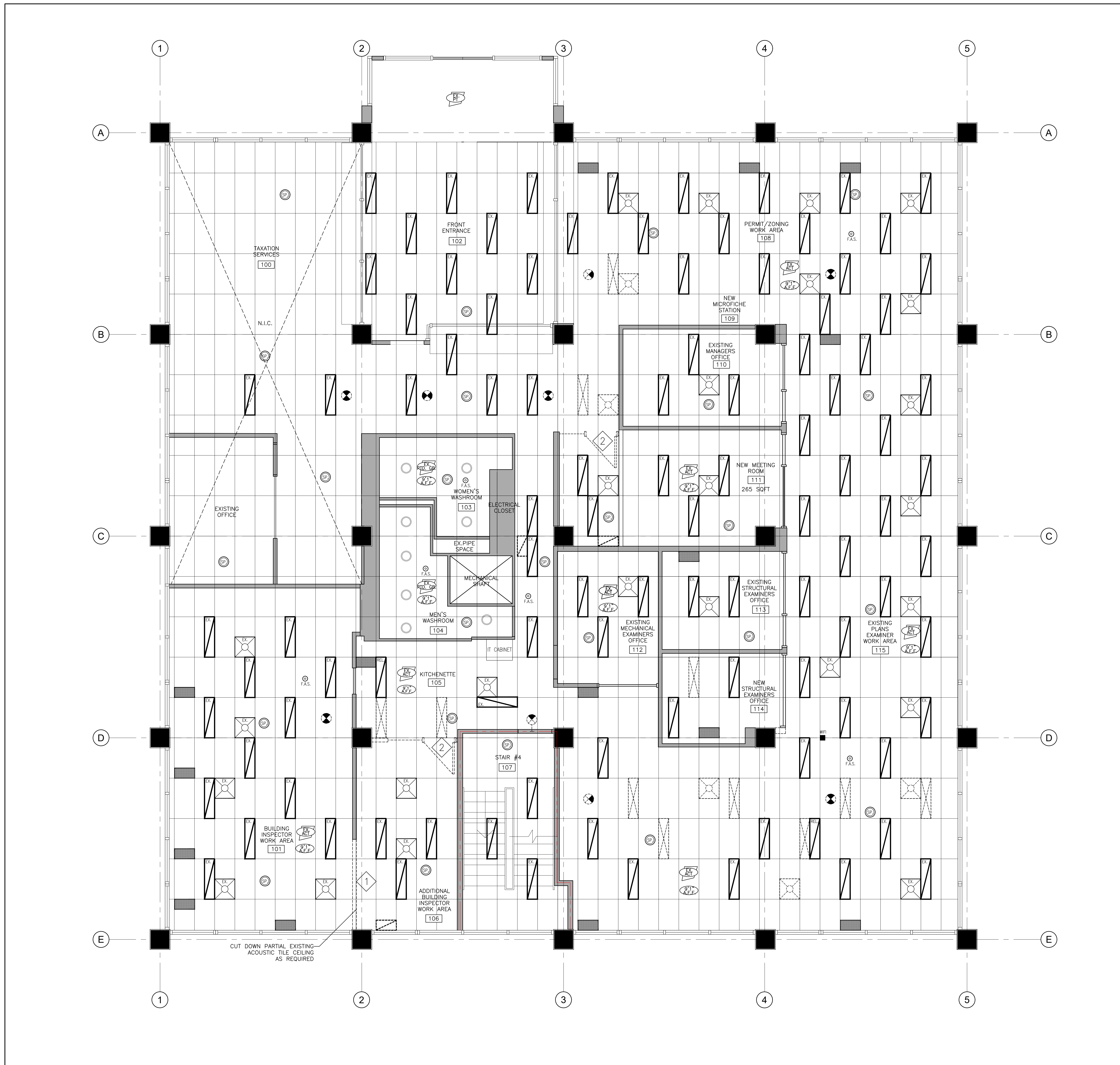
PROJECT No.: **2024-15**
DATE: SEPTEMBER 20, 2024

DWG. No.: **A202**

1 DEMOLITION FLOOR PLAN
A202 SCALE: 1/4" = 1'-0"

Corporation of the City of Oshawa
TRUE COPY
OF FINAL REVIEWED
BUILDING PERMIT PLANS
Jan 29/2025
Tiana Ji
City of Oshawa Building Official

BUILDING PERMIT #
BLD202401488
CITY OF OSHTAWA



DEMOLITION CEILING PLAN LEGEND

- EXISTING 1x4 LED LIGHT FIXTURE TO BE REMOVED
- EXISTING 1x4 LED LIGHT FIXTURE RECESSED MOUNT
- EXISTING 1x4 LED LIGHT FIXTURE RECESSED MOUNT TO BE RELOCATED
- NEW 1x4 LED LIGHT FIXTURE RECESSED MOUNT TO BE ADDED
- EXISTING 2x2 SUPPLY AIR DIFFUSER RECESSED MOUNTED TO BE REMOVED
- EXISTING 2x2 SUPPLY AIR DIFFUSER RECESSED MOUNTED
- EXISTING 2x2 SUPPLY AIR DIFFUSER RECESSED MOUNTED TO BE RELOCATED
- EXISTING RETURN AIR GRILLE RECESSED MOUNTED
- EXISTING RETURN AIR GRILLE RECESSED MOUNTED TO BE RELOCATED
- EXISTING POTLIGHT
- EXISTING OVERHEAD P.A. SPEAKER
- EXISTING FIRE EXIT SIGN
- EXISTING FIRE ALARM STROBE LIGHT
- EXISTING WASHROOM LED POTLIGHTS
- EXISTING SANITARY EXHAUST
- EXISTING WIFI ROUTER

CEILING FINISHES

- DENOTES EXISTING ACOUSTIC CEILING FINISH
- DENOTES EXISTING DRYWALL CEILING

SELECTIVE CEILING DEMOLITION NOTES

- 1 REMOVE EXISTING GYPSUM BOARD 3 1/2" STEEL STUD PARTITION SECTION FROM TILE FLOOR TO U/S EXISTING ACOUSTIC TILE CEILING, INCLUDING RUBBER COVE BASE.
- 2 DISMOUNT EXISTING WOOD DOOR, HARDWARE RETAIN HARDWARE FOR REUSE ON NEW DOOR TURN DOOR OVER TO OWNER'S MAINTENANCE

CLIENT:
THE CITY OF OSHAWA

KEY TO DETAIL NUMBER:
A### DETAIL NUMBER SHEET WHERE DETAILED

SHADED AREA DENOTES EXISTING WALL CONSTRUCTION TO REMAIN.

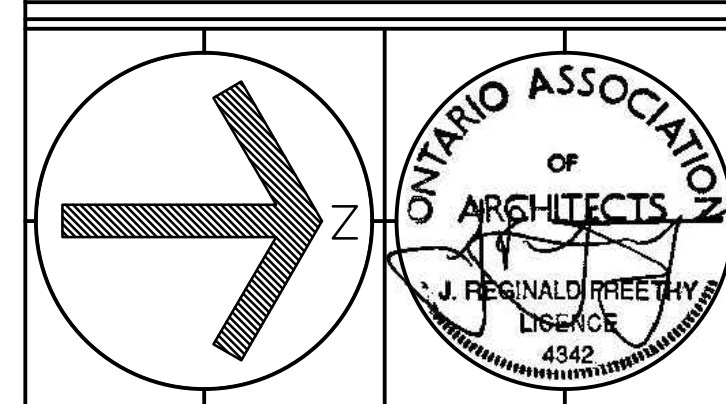
INDICATES 5'-0" BARRIER FREE TURNING DIAMETER.

(N.I.C.) NOT IN THE CONTRACT PROVIDE INDICATES SUPPLY AND INSTALL.

No.	DESCRIPTION	BY.	DATE.
4	IFTP	C.C.	20/09/2024
3	CLIENT REVIEW	C.C.	18/09/2024
2	PRELIMINARY	C.C.	17/09/2024
1	PRELIMINARY	C.N.	16/08/2024

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J.R. FREETHY ARCHITECT

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BOWMANVILLE ONTARIO
L1C 4P8 TEL. (905) 625 7476

PROJECT:
**BUILDING DEPARTMENT
OFFICE ALTERATIONS**

50 CENTRE ST. S. OSHAWA, ON

SCALE: AS NOTED
DWG. BY: C.C.
CHECKED BY: J.R.F.
STATUS: TENDER & PERMIT
PLOT FACTOR: 1:1

TITLE:
**DEMOLITION
CEILING PLAN**

PROJECT No.: 2024-15
DATE: SEPTEMBER 20, 2024

DWG. No.: **A204**

Corporation of the City of Oshawa
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OF FINAL REVIEWED
BUILDING PERMIT PLANS
Jan 29/2025
Tiana Ji
City of Oshawa Building Official

BUILDING PERMIT #
BLD202401488
CITY OF OSHAWA

CLIENT:

THE CITY OF OSHAWA

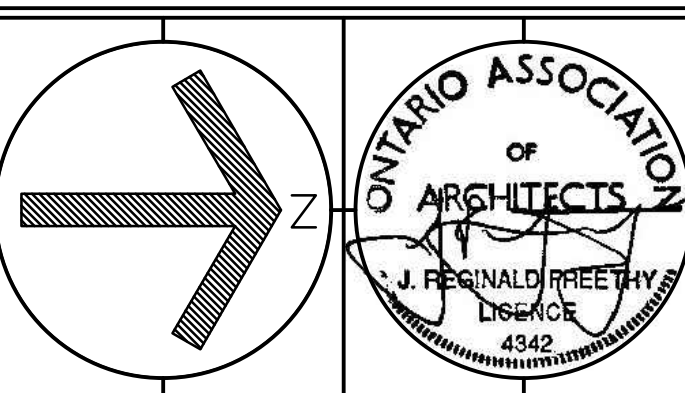
KEY TO DETAIL NUMBER:

- # A### DETAIL NUMBER SHEET WHERE DETAILED
- SHADED AREA DENOTES EXISTING WALL CONSTRUCTION TO REMAIN.
- INDICATES 5'-0" BARRIER FREE TURNING DIAMETER.
- (N.I.C.) NOT IN THE CONTRACT
- PROVIDE INDICATES SUPPLY AND INSTALL.

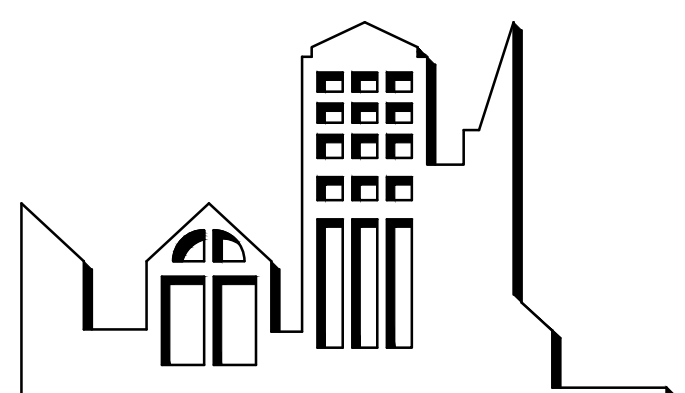
No.	DESCRIPTION	BY.	DATE.
5	IFTP	C.C.	20/09/2024
4	CLIENT REVIEW	C.C.	18/09/2024
3	PRELIMINARY	C.C.	17/09/2024
2	PRELIMINARY	C.C.	10/09/2024
1	PRELIMINARY	C.N.	16/08/2024

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BOWMANVILLE ONTARIO
L1C 4P8 TEL. (905) 625 7476

PROJECT:

**BUILDING DEPARTMENT
OFFICE ALTERATIONS**

50 CENTRE ST. S. OSHAWA, ON

SCALE: AS NOTED
DWG. BY: C.C.
CHECKED BY: J.R.F.
STATUS: TENDER & PERMIT
PLOT FACTOR: 1:1

TITLE:
**REFLECTED
CEILING PLAN**

PROJECT No.: 2024-15
DATE: SEPTEMBER 20, 2024

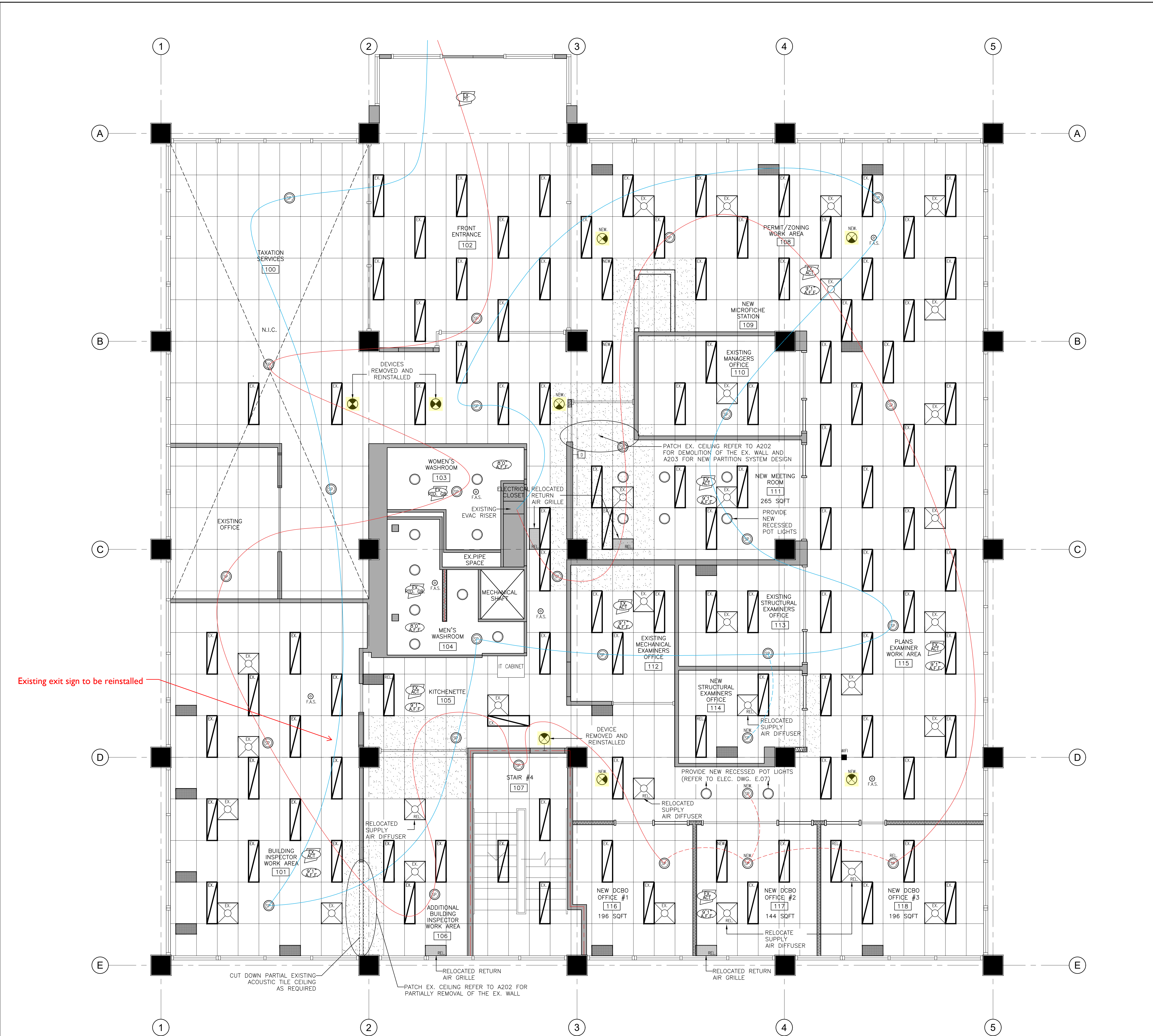
DWG. No.: **A205**

CEILING PLAN LEGEND

- EXISTING 1x4 LED LIGHT FIXTURE RECESSED MOUNT
- EXISTING 1x4 LED LIGHT FIXTURE RECESSED MOUNT TO BE RELOCATED
- NEW 1x4 LED LIGHT FIXTURE RECESSED MOUNT TO BE ADDED
- EXISTING 2X2 SUPPLY AIR DIFFUSER RECESSED MOUNTED
- EXISTING 2X2 SUPPLY AIR DIFFUSER RECESSED MOUNTED TO BE RELOCATED
- EXISTING RETURN AIR GRILLE RECESSED MOUNTED
- RETURN AIR GRILLE RECESSED MOUNTED TO BE RELOCATED
- EX. GYPSUM BD. CEILING TO BE PATCHED
- EXISTING POTLIGHT
- EXISTING FIRE EXIT SIGN
- EXISTING FIRE ALARM STROBE LIGHT
- EXISTING WASHROOM LED POTLIGHTS
- EXISTING SANITARY EXHAUST
- EXISTING WIFI ROUTER
- EXISTING OVERHEAD VOICE EVACUATION SPEAKER
- TOA IP CEILING MOUNTED VOICE EVACUATION SPEAKER MODEL IP-A1PC58580R 324mm DIA. COMPLETE WITH BUILT IN 8WATT AMPLIFIER/BAFFLE STEEL PLATE WHITE RAL 9016 /GRILLE STEEL NET WHITE RAL 9016. CONNECT TO EXISTING VOICE EVACUATION SYSTEM WITH CAT 5 PLENUM RATED CABLE.
- EXISTING COMMUNICATION CIRCUIT
- NEW COMMUNICATION CIRCUIT
- EXISTING EVAC. COMMUNICATION CIRCUIT
- NEW EVAC. COMMUNICATION CIRCUIT

LEGEND

	ABBREV.	DEFINITION
	UF.	UNFINISHED
FLOORING BASE	CPT.	CARPET TILE
	PT.	PORCELAIN TILE
	CPT. CB.	CARPET COVE BASE
WALLS	TB.	TILE BASE
	VB.	VINYL BASE
	CT.	CERAMIC TILE
	GWB.	GYPSUM WALL BOARD
CEILINGS	ACT.	ACOUSTIC TILE CEILING
	PTD. GB.	1 LAYER OF 16mm TYPE 'X' PAINTED GYPSUM BOARD
	BPA	BUILDING PERMIT ASSISTANT
	CBO	CHIEF BUILDING OFFICIAL
	PE	PLANS EXAMINER
	ZE	ZONING EXAMINER



1 REFLECTED CEILING PLAN
A205 SCALE: 1/4" = 1'-0"

Ensure proposed new exit signs comply w/ OBC Div. B 3.5.4.1. as required

Extend or maintain the building fire alarm system as required by Ontario Building Code - Div. B 3.2.4. & CANULC 9524-2014

PROVIDE AND MAINTAIN EMERGENCY LIGHTING AS REQUIRED BY OBC DIV. B 3.2.7.

MINIMUM EMERGENCY LIGHTING REQUIREMENTS OBC DIV. B 3.2.7.3. AND 9.9.12.3.

THE REQUIRED EMERGENCY LIGHTING SHALL HAVE AN AVERAGE LEVEL NOT LESS THAN 10 LX (0.9 FT.-CANDLES) AT FLOOR OR TREAD LEVEL.

MINIMUM LIGHTING REQUIREMENTS OBC DIV. B 3.2.7.1., 9.9.12.2. AND 9.34.2.7.

EVERY EXIT, PUBLIC CORRIDOR OR CORRIDOR PROVIDING ACCESS TO EXIT FOR THE PUBLIC SHALL BE EQUIPPED TO PROVIDE ILLUMINATION TO AN AVERAGE LEVEL OF NOT LESS THAN 50 LX (4.6 FT.-CANDLE) AT FLOOR OR TREAD LEVEL AND AT ALL POINTS SUCH AS ANGLES AND INTERSECTIONS AT CHANGES OF LEVEL WHERE THERE ARE STAIRS OR RAMPS.

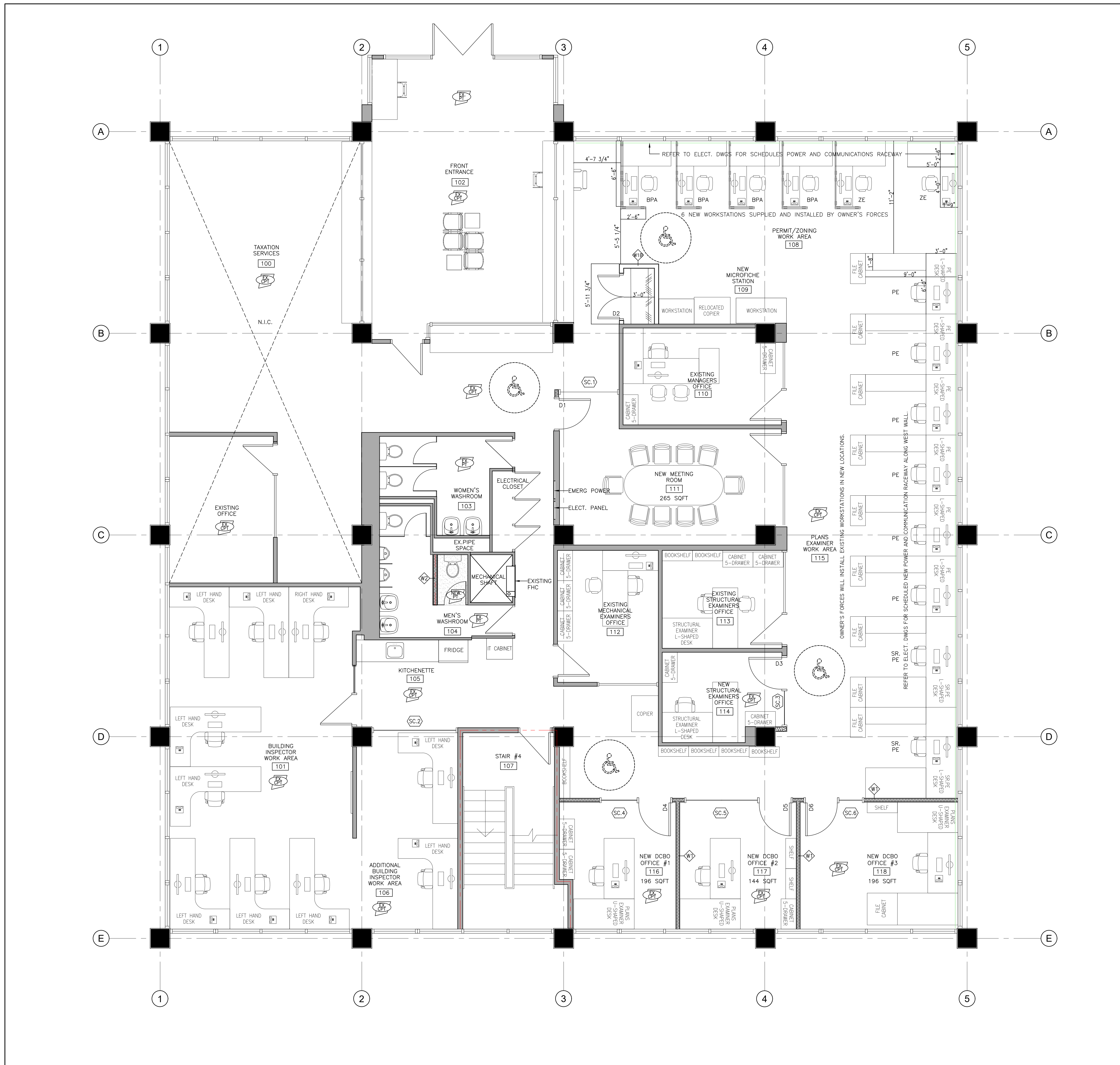
ILLUMINATION OF PUBLIC AND SERVICE AREAS SHALL CONFORM TO TABLE 9.34.2.7. (MINIMUM LIGHTING RANGE BETWEEN 50 AND 500 LX)

SUSPENDED CEILING AND BULKHEAD THE PROPOSED SUSPENDED CEILING, BULKHEAD AND DECORATIVE STRUCTURE SHALL BE SUPPORTED BY STRUCTURAL MEMBERS AND BE CERTIFIED BY A PROFESSIONAL ENGINEER PRIOR TO OCCUPANCY IF REQUIRED BY THE BUILDING INSPECTOR.

SUSPENDED CEILING THE INSTALLATION OF SUSPENDED CEILING, SPRINKLER HANGERS, MECHANICAL EQUIPMENT AND THEIR ANCHORAGE SYSTEMS SHALL BE CERTIFIED BY A PROFESSIONAL ENGINEER PRIOR TO OCCUPANCY IF REQUIRED BY THE BUILDING INSPECTOR.

EXIT SIGNS EXIT SIGNS ARE TO BE INSTALLED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE, SUBSECTION DIV. B 3.4.5. & DIV. B 9.9.11.

Corporation of the City of Oshawa
TRUE COPY
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Jan/29/2025
Tiana Ji
City of Oshawa Building Official
BUILDING PERMIT #
BLD202401488
CITY OF OSHAWA



1 NEW CONSTRUCTION FURNITURE PLAN
A206 SCALE: 1/4" = 1'-0"

SYMBOL LEGENDS - DRAWING REFERENCES & LABELS

	ELEVATION NUMBER		FIRE EXTINGUISHER C/W WALL BRACKET (5LB UNLESS NOTED) MOUNTED 1200mm (MAX.) A.F.F.
	SHEET NUMBER LOCATION OF DRAWING		SEMI RECESSED FIRE EXTINGUISHER MOUNTED 1200mm (MAX.) A.F.F. TO TOP OF CABINET.
	SECTION NUMBER		EXISTING DOOR TO BE REMOVED
	DIRECTION OF SECTION		EXISTING DOOR TO REMAIN
	SHEET NUMBER LOCATION OF DRAWING		NEW DOOR & FRAME
	DENOTES 2 HOUR FIRE SEPARATION		EXISTING WALL TO BE DEMOLISHED
	DENOTES 1 HOUR FIRE SEPARATION		FLOOR DRAIN
	DENOTES 30 MINUTE FIRE SEPARATION		MASONRY CONTROL JOINT
	DENOTES EX./NEW ROOM NAME & NUMBER (ROOM AREA OPTIONAL/AS REQUIRE)		SPRINKLER HEAD
	DENOTES 1500mm Ø BARRIER-FREE TURNING CIRCLE.		FORCE FLOW HEATER
	DENOTES WALL TYPES		MILLWORK UNIT (N.I.C.)
	DENOTES SCREEN FRAME TYPES		MICRO WAVE (N.I.C.)
	DENOTES GENERAL NOTE		FRIDGE (N.I.C.)
	DENOTES DOOR NUMBER		PAPER TOWEL DISPENSER
			WHITE BOARD
			TACK BOARD
			GYPSUM WALL BOARD
			NOT IN CONTRACT

FLOOR FINISHES	WALL TYPES		
	DENOTES EXISTING FLOOR FINISH		1/2" GYPSUM BOARD 3 1/2" STEEL STUDS @ 16" O.C FILL VOID WITH ROCKWOOL AFB ACOUSTIC INSULATION 1/2" GYPSUM BOARD FROM FINISH FLOOR TO 9'-1" A.F.F.
	DENOTES NEW FLOOR FINISH		1/2" GYPSUM BOARD 3 1/2" STEEL STUDS @ 16" O.C 1/2" GYPSUM BOARD FROM FINISH FLOOR TO 9'-1" A.F.F.
	DENOTES CARPET TILE		1/2" DRICON FIRE RETARDANT TREATED DOUGLAS FIR PLYWOOD (ON BOTH SIDES) 3 5/8" 18 GA. STEEL STUDS @ 16" O.C 1/2" GYPSUM BOARD (ON BOTH SIDES) FROM FINISH FLOOR TO 8'-0" A.F.F.
	DENOTES PORCELAIN TILE		

SCREEN TYPES	
	3/8" CLEAR LAMINATED PC350 "ELITE" GLASS WALL SOLUTION

CLIENT:

THE CITY OF OSHAWA

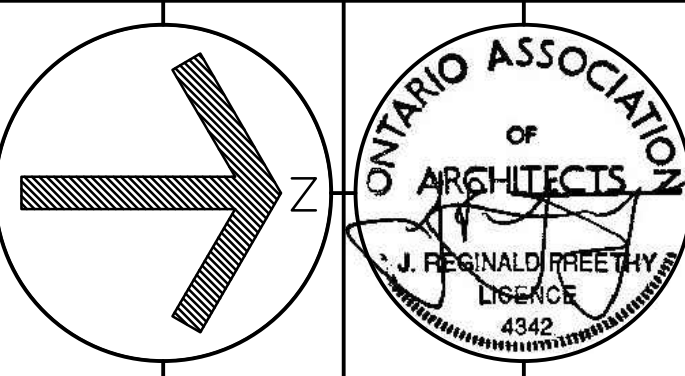
KEY TO DETAIL NUMBER:

	DETAIL NUMBER
	SHEET WHERE DETAILED
	SHADED AREA DENOTES EXISTING WALL CONSTRUCTION TO REMAIN.
	INDICATES 5'-0" BARRIER FREE TURNING DIAMETER.
	(N.I.C.) NOT IN THE CONTRACT
	PROVIDE INDICATES SUPPLY AND INSTALL.

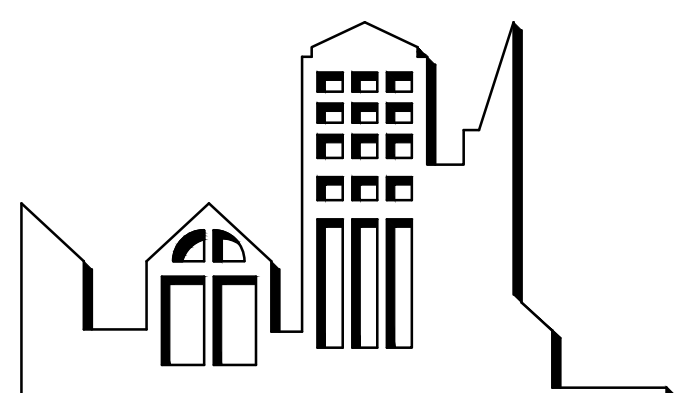
No.	DESCRIPTION	BY.	DATE.
6	IFTP	C.C.	20/09/2024
5	CLIENT REVIEW	C.C.	18/09/2024
4	PRELIMINARY	C.C.	17/09/2024
3	PRELIMINARY	C.C.	10/09/2024
2	PRELIMINARY	C.N.	16/08/2024
1	PRELIMINARY	C.N.	01/08/2024

REVISIONS

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325 LAKE ROAD, SUITE 202
BOWMANVILLE ONTARIO
L1C 4P8 TEL. (905) 625 7476

PROJECT:
**BUILDING DEPARTMENT
OFFICE ALTERATIONS**
50 CENTRE ST. S. OSHAWA, ON

SCALE: AS NOTED
DWG. BY: C.C.
CHECKED BY: J.R.F.
STATUS: TENDER & PERMIT
PLOT FACTOR: 1:1

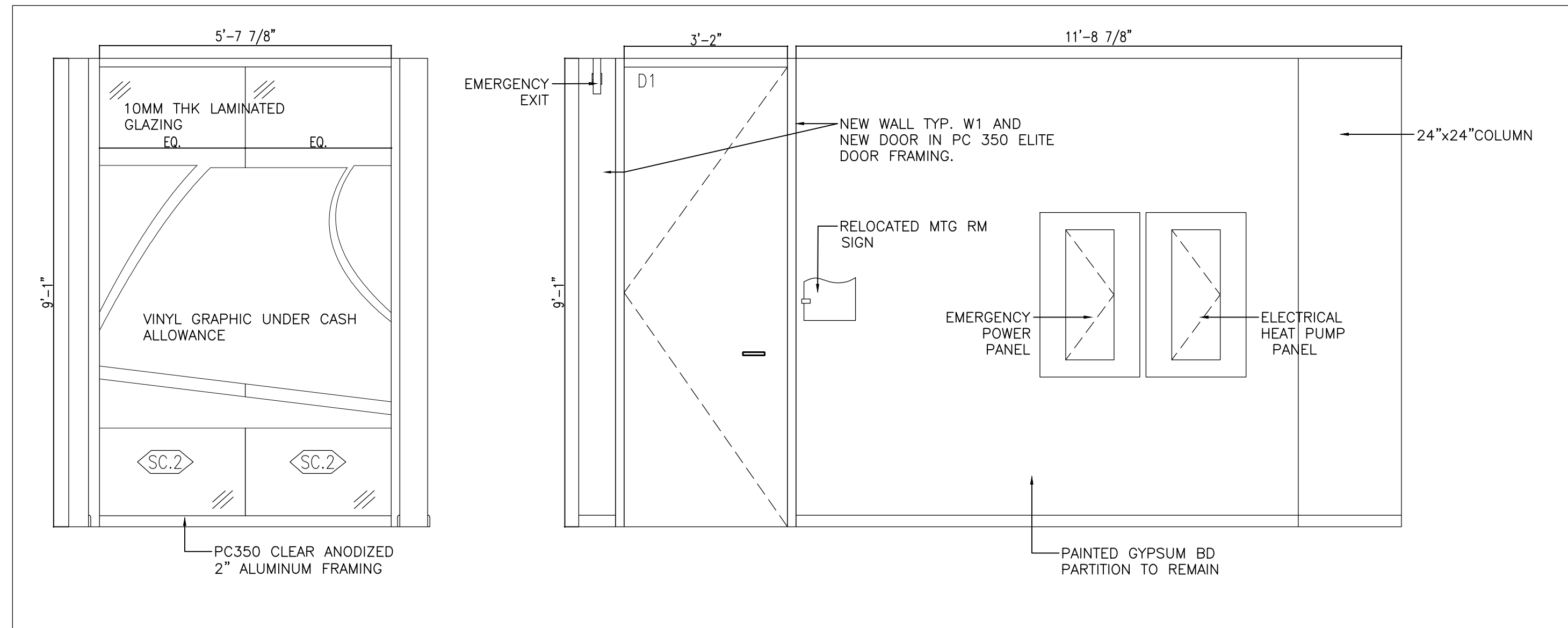
TITLE:
**NEW CONSTRUCTION
FURNITURE PLAN**

PROJECT No.:
2024-15
DATE: SEPTEMBER 20, 2024

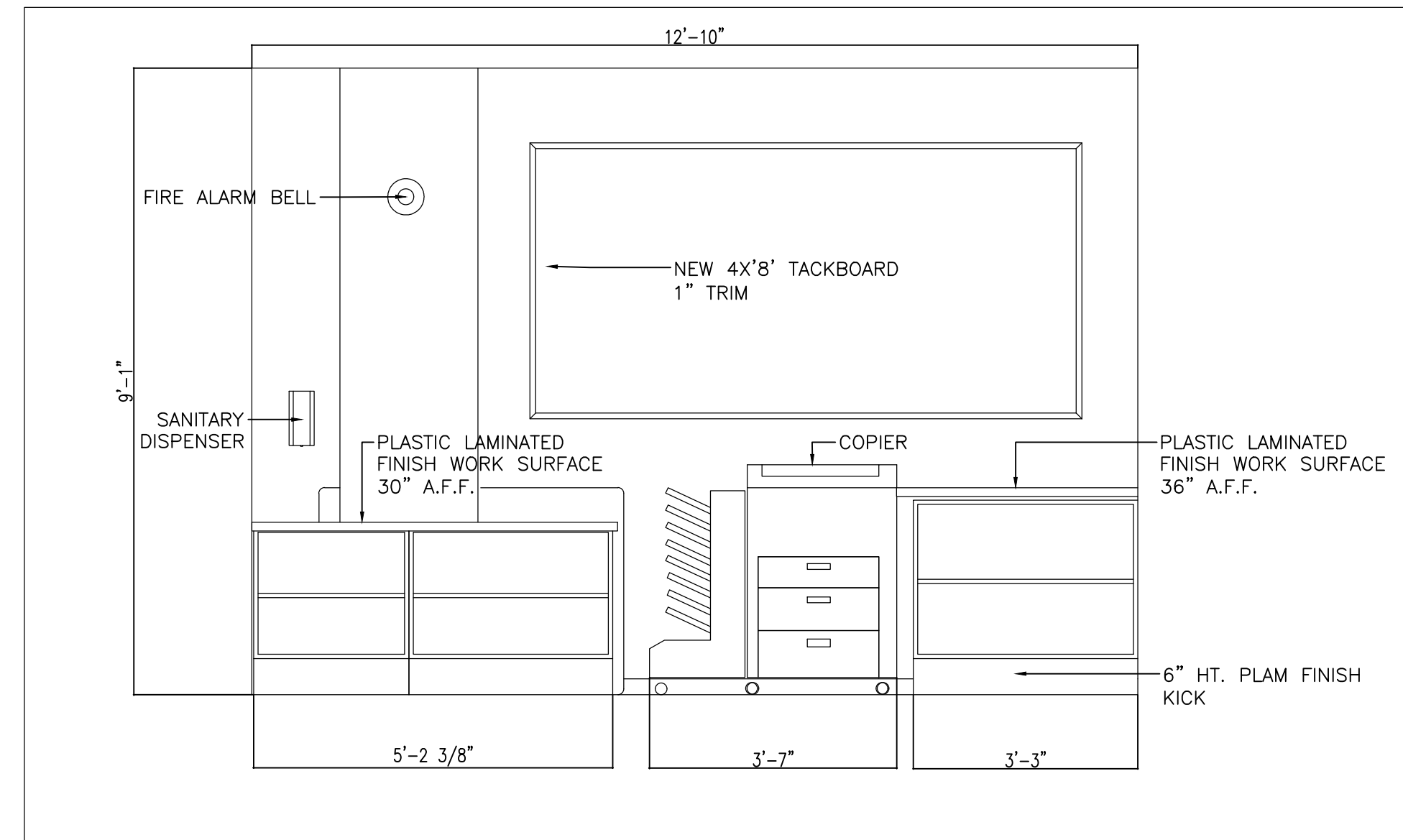
DWG. No.:
A206

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Jan 29/2025
Tiana Ji
City of Oshawa Building Official

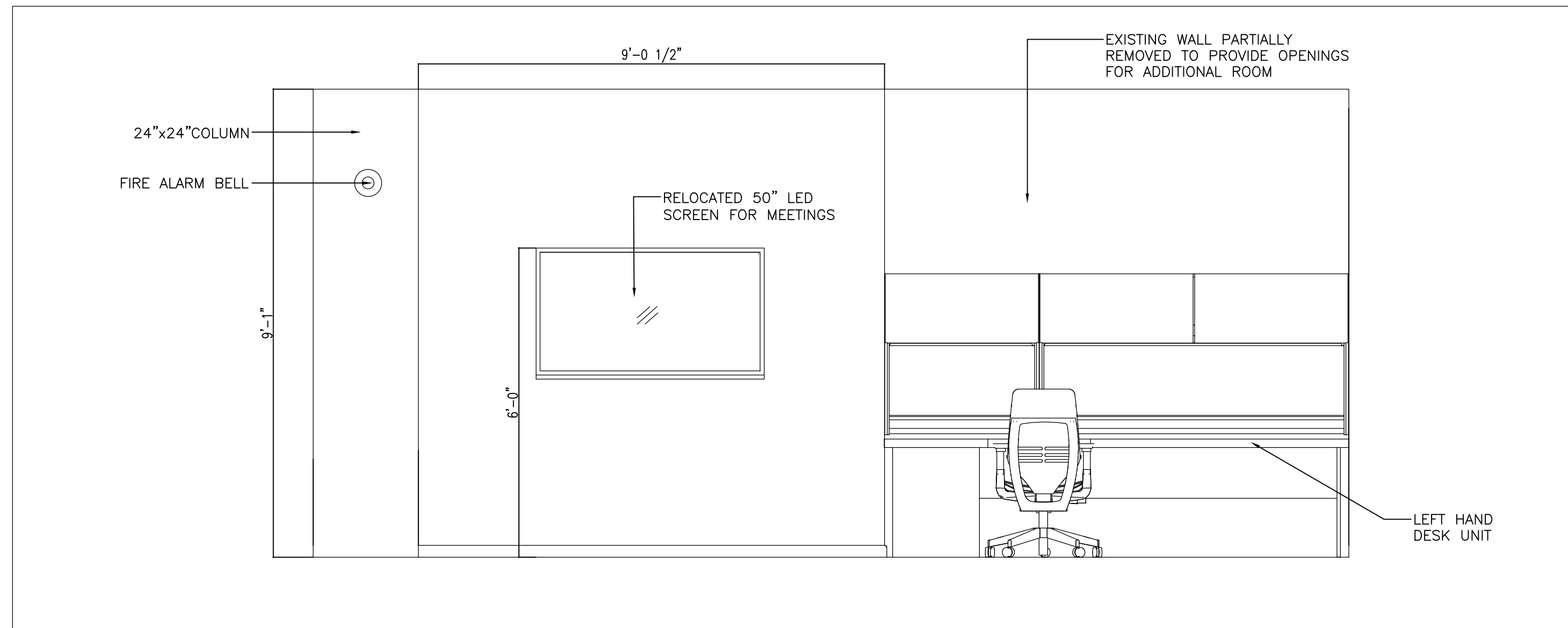
BUILDING PERMIT #
BLD202401488
CITY OF OSHAWA



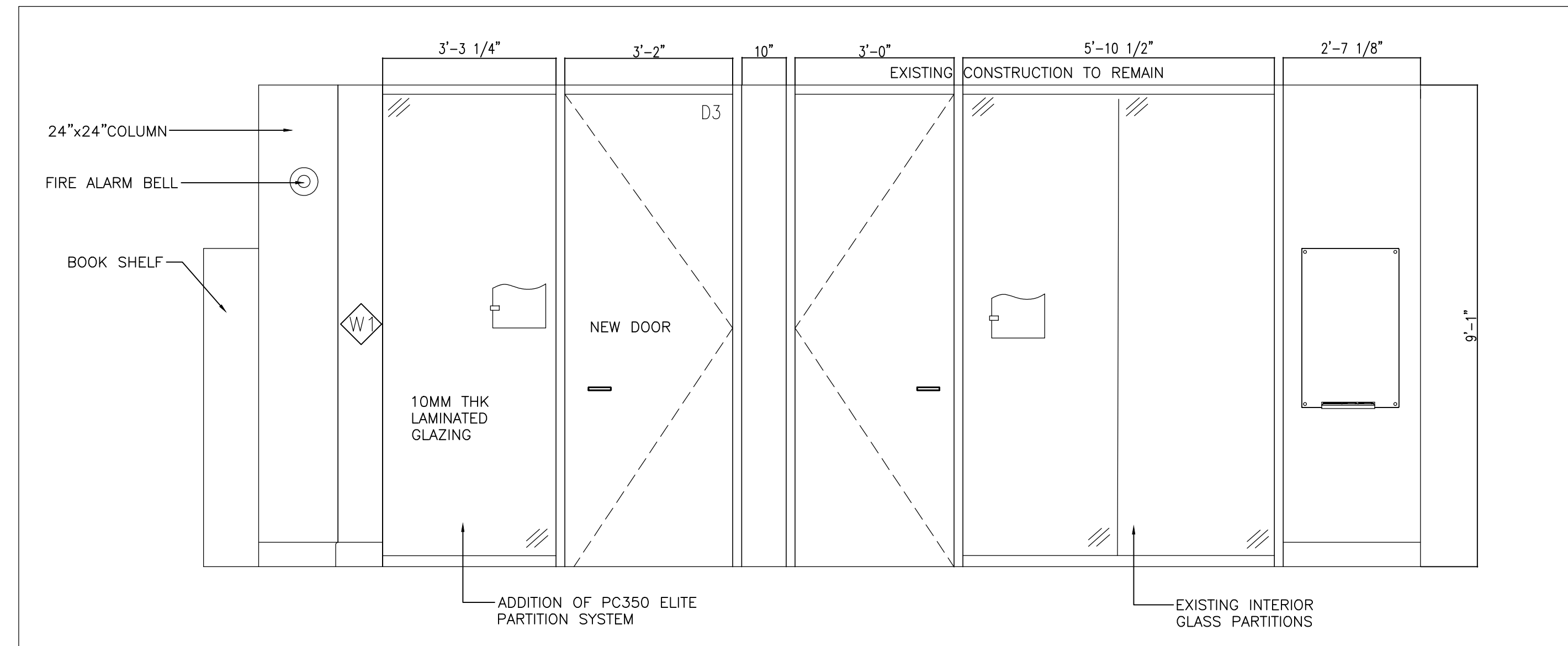
1 NEW MEETING ROOM WITH PC350 SCREEN – INTERIOR ELEVATIONS
SCALE: 1/2" = 1'-0"



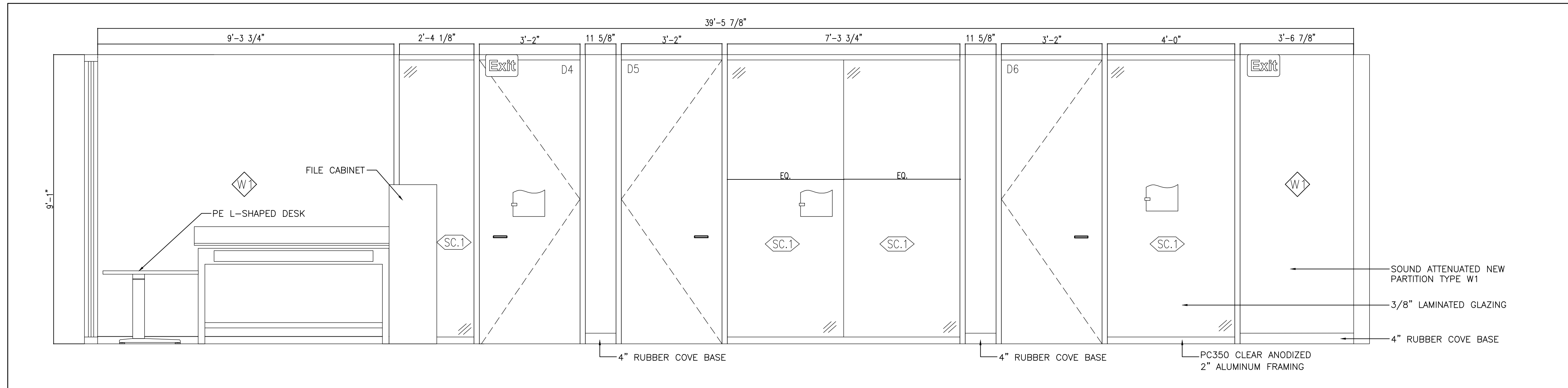
2 NEW MICROFICHE STATION – INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



2 BUILDING INSPECTOR WORK AREA WITH NEW 50" SCREEN – INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



4 NEW STRUCTURAL EXAMINER'S OFFICE WITH PC350 SCREEN – INTERIOR ELEVATION
SCALE: 1-1/2" = 1'-0"



5 NEW DCBO OFFICE – INTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

CLIENT:

THE CITY OF OSHAWA

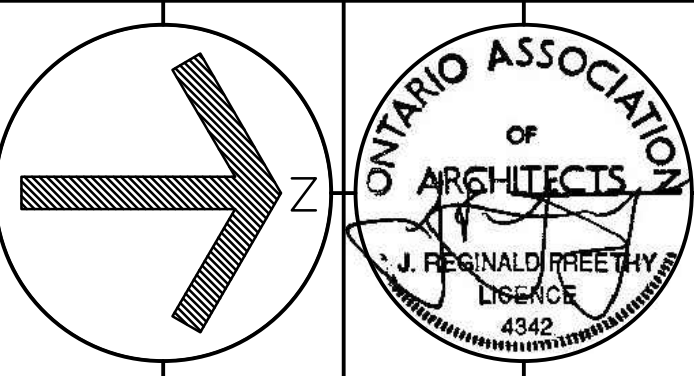
KEY TO DETAIL NUMBER:

- # A### DETAIL NUMBER SHEET WHERE DETAILED
- SHADED AREA DENOTES EXISTING WALL CONSTRUCTION TO REMAIN.
- INDICATES 5'-4" BARRIER FREE TURNING DIAMETER.
- (N.I.C.) NOT IN THE CONTRACT
- PROVIDE INDICATES SUPPLY AND INSTALL.

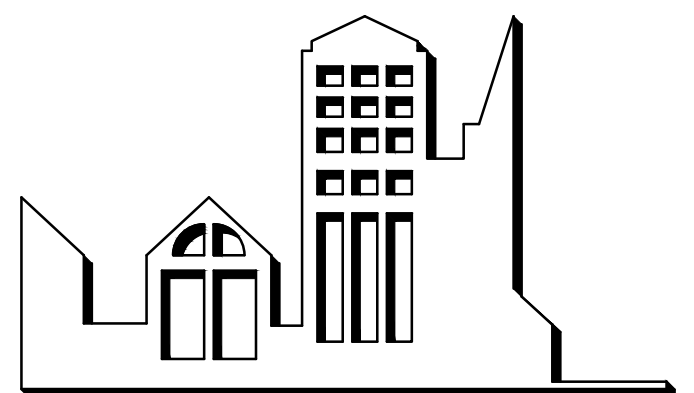
2	IFTP	C.C.	20/09/2024
1	PRELIMINARY	C.C.	10/09/2024
No.	DESCRIPTION	BY.	DATE.

REVISIONS

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J.R. FREETHY ARCHITECT



325 LAKE ROAD, SUITE 202
BOWMANVILLE ONTARIO
L1C 4P8 TEL: (905) 625 7476

PROJECT:

BUILDING DEPARTMENT
OFFICE ALTERATIONS

50 CENTRE ST. S. OSHAWA, ON

SCALE: AS NOTED
DWG. BY: C.C.
CHECKED BY: J.R.F.
STATUS: TENDER & PERMIT
PLOT FACTOR: 1:1

TITLE:
NEW INTERIOR
ELEVATIONS

PROJECT No.:
2024-15
DATE: SEPTEMBER 20, 2024

DWG No.:
A300

Corporation of the City of Oshawa
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OF FINAL REVIEWED
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Jan 29/2025
Tiana Ji
City of Oshawa Building Official

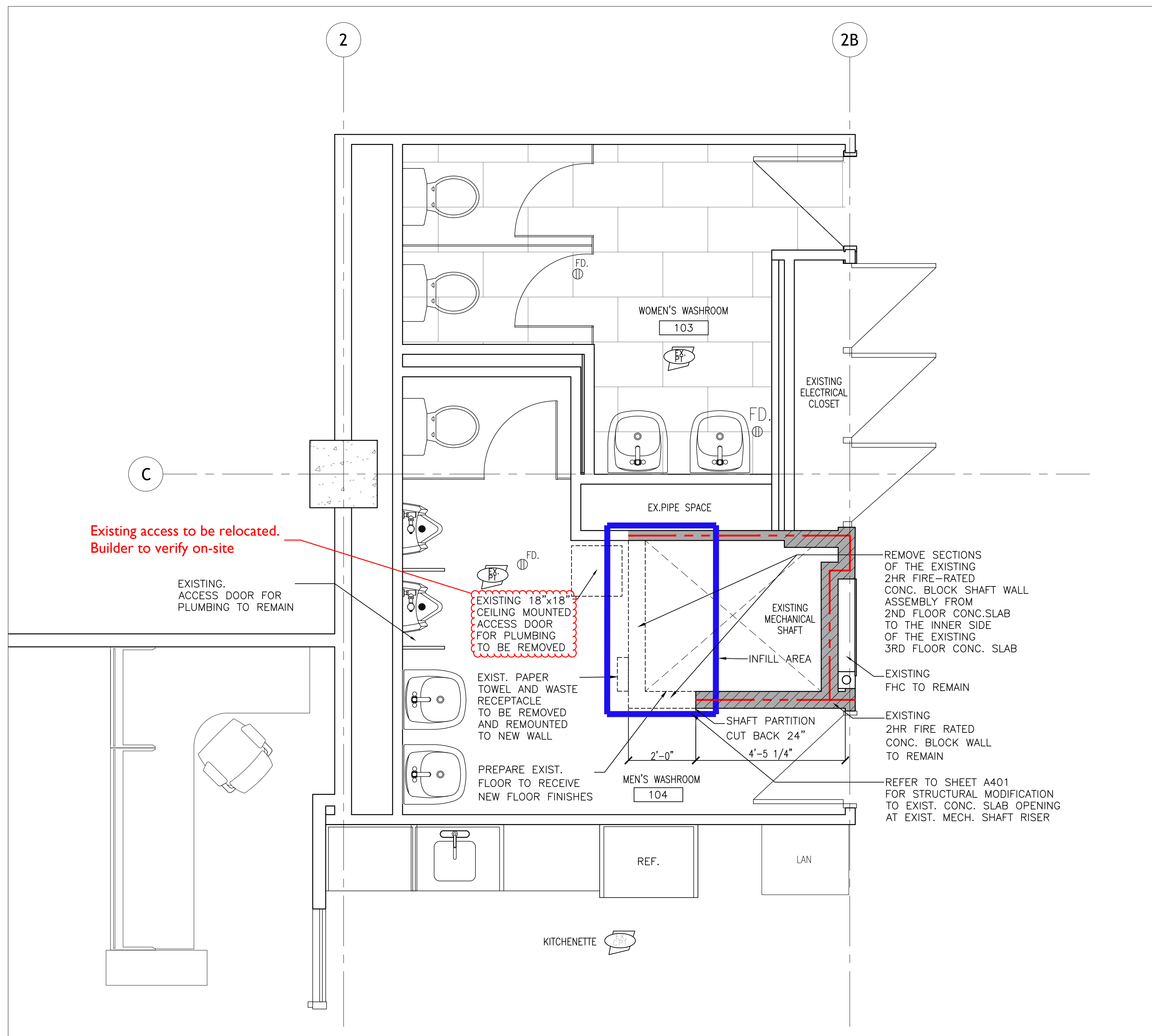
BUILDING PERMIT #
BLD202401488
CITY OF OSHAWA

CLIENT:

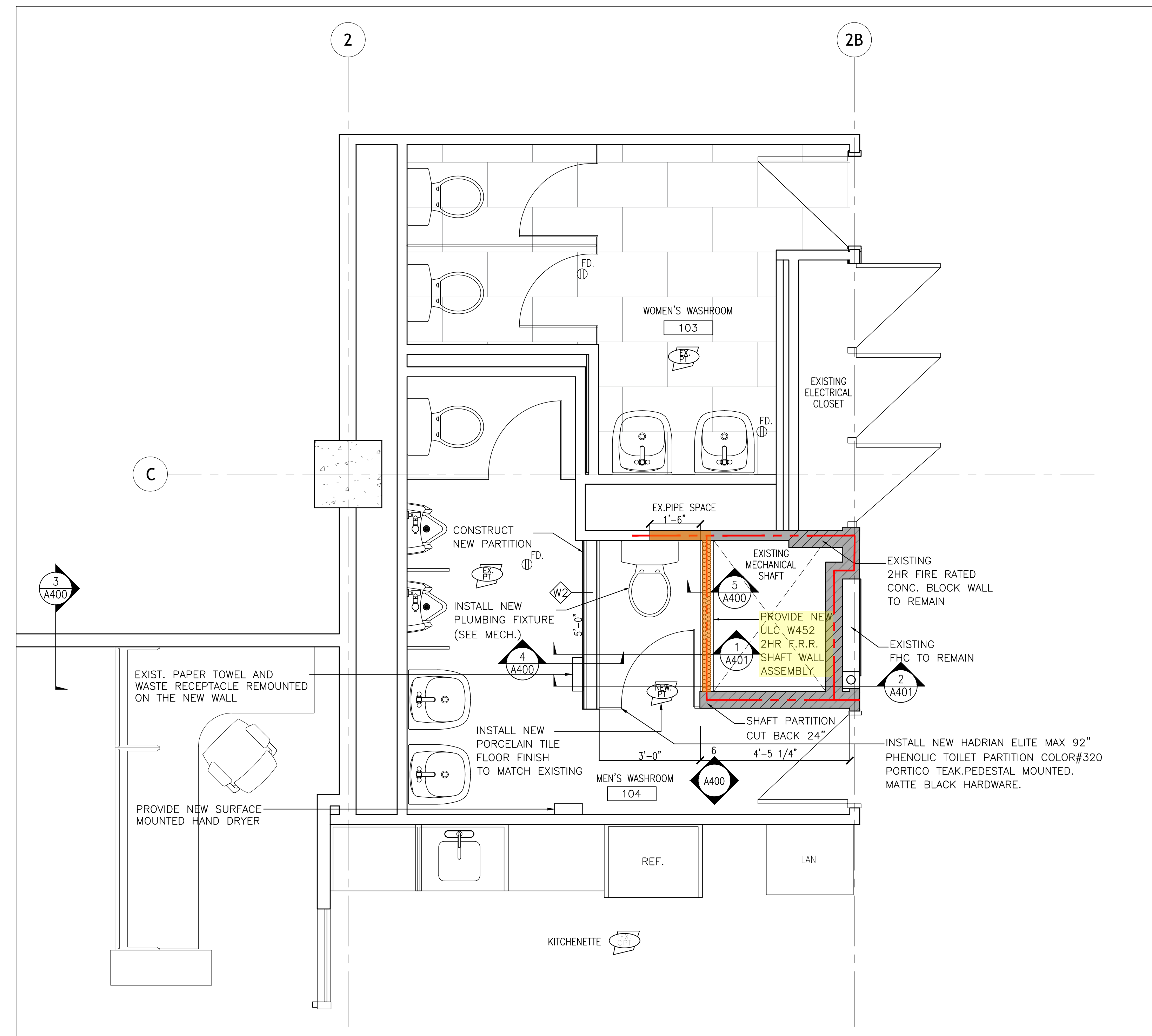
THE CITY OF OSHAWA

KEY TO DETAIL NUMBER:

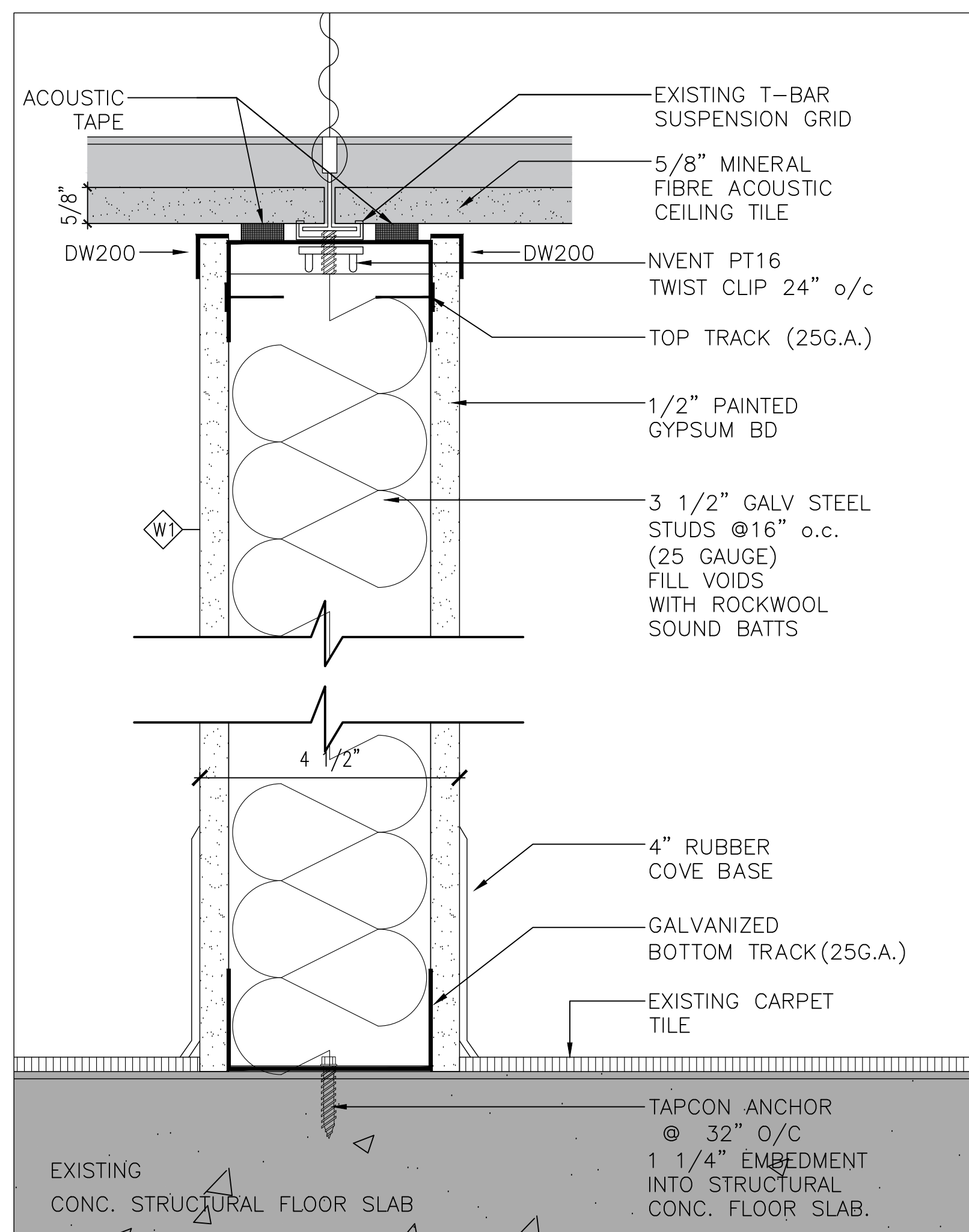
- # A### DETAIL NUMBER SHEET WHERE DETAILED
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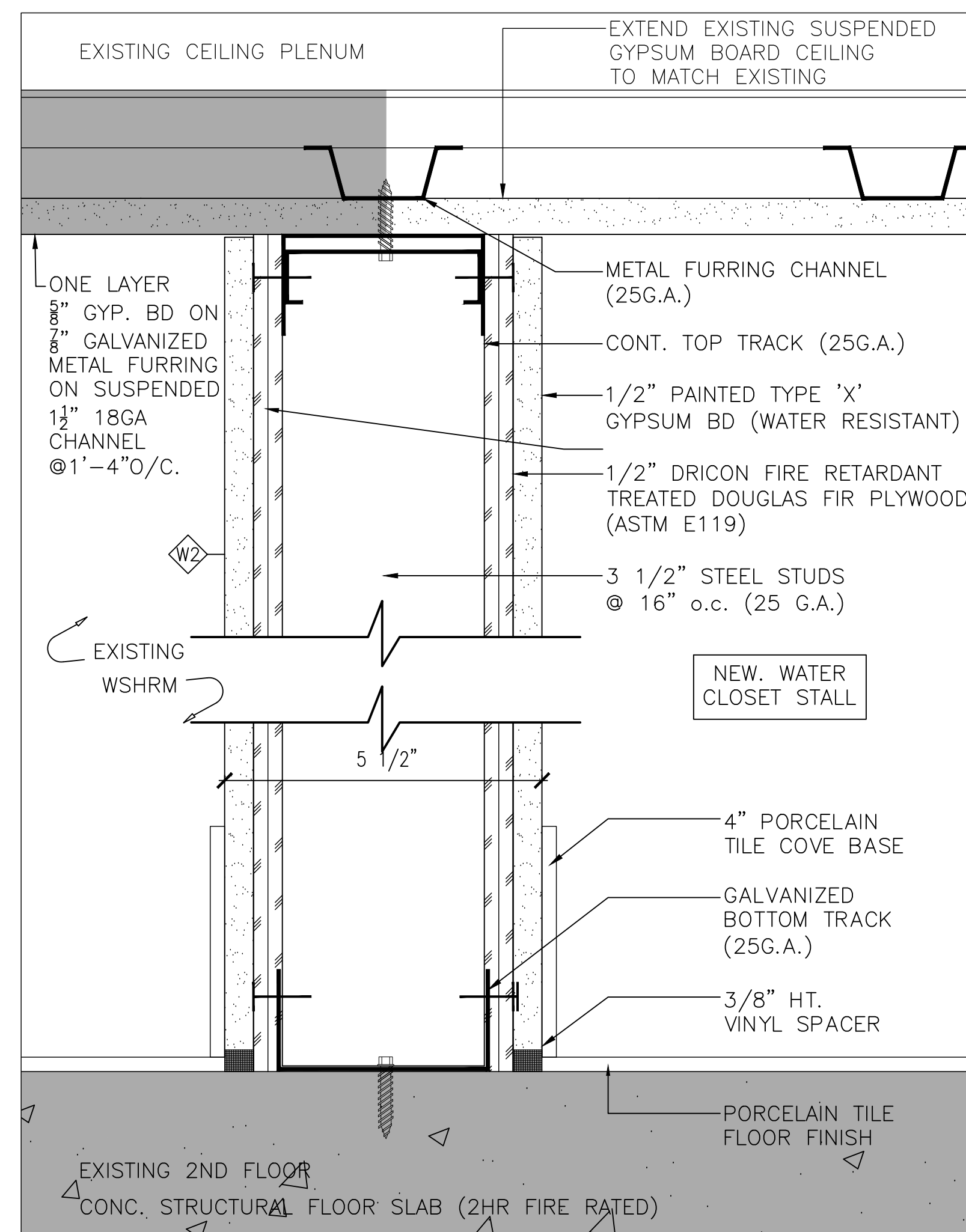
1 WASHROOM PLAN SECTION DETAILS
A400 SCALE: 1/2" = 1'-0"



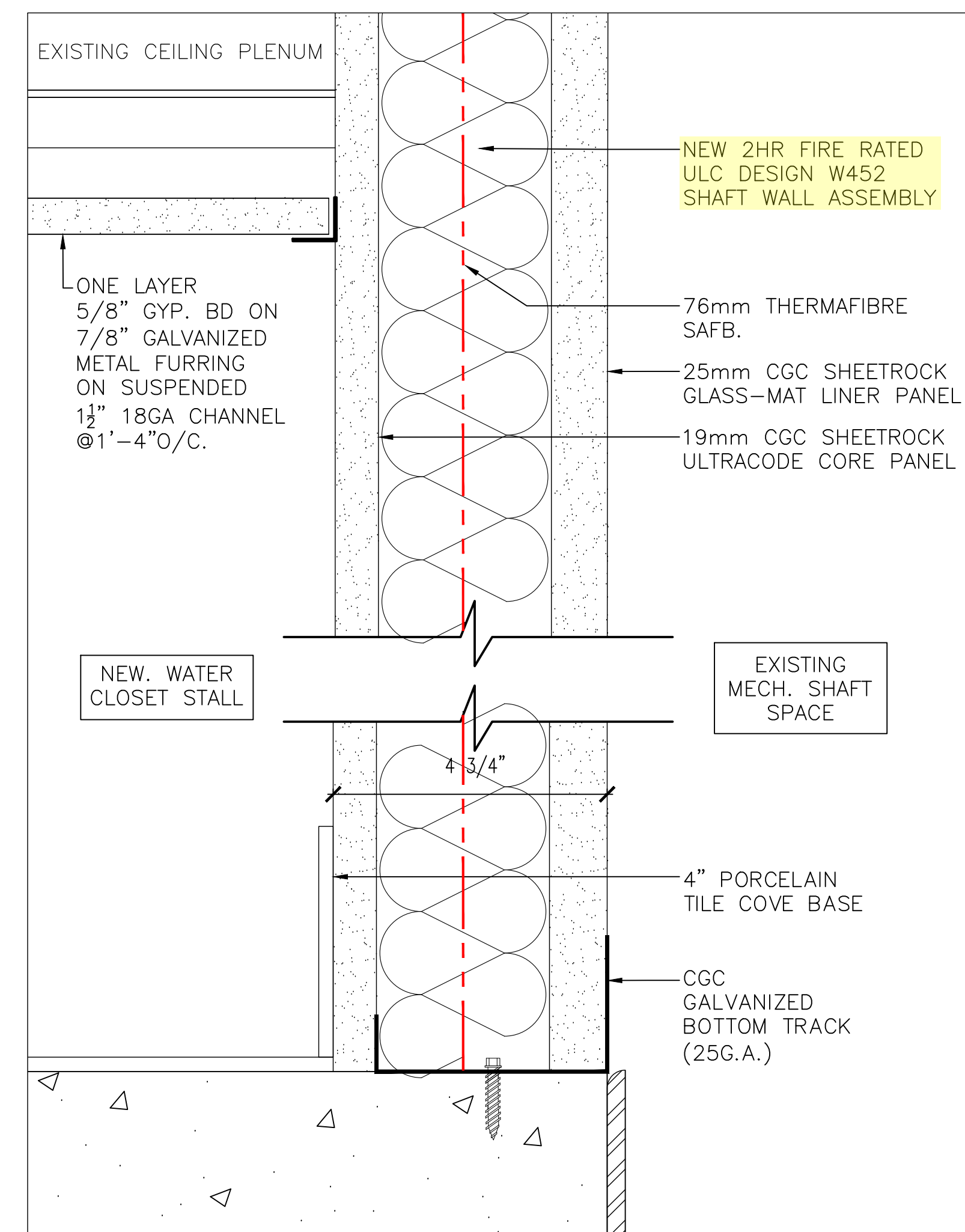
2 WASHROOM PLAN SECTION DETAILS
A400 SCALE: 1/2" = 1'-0"



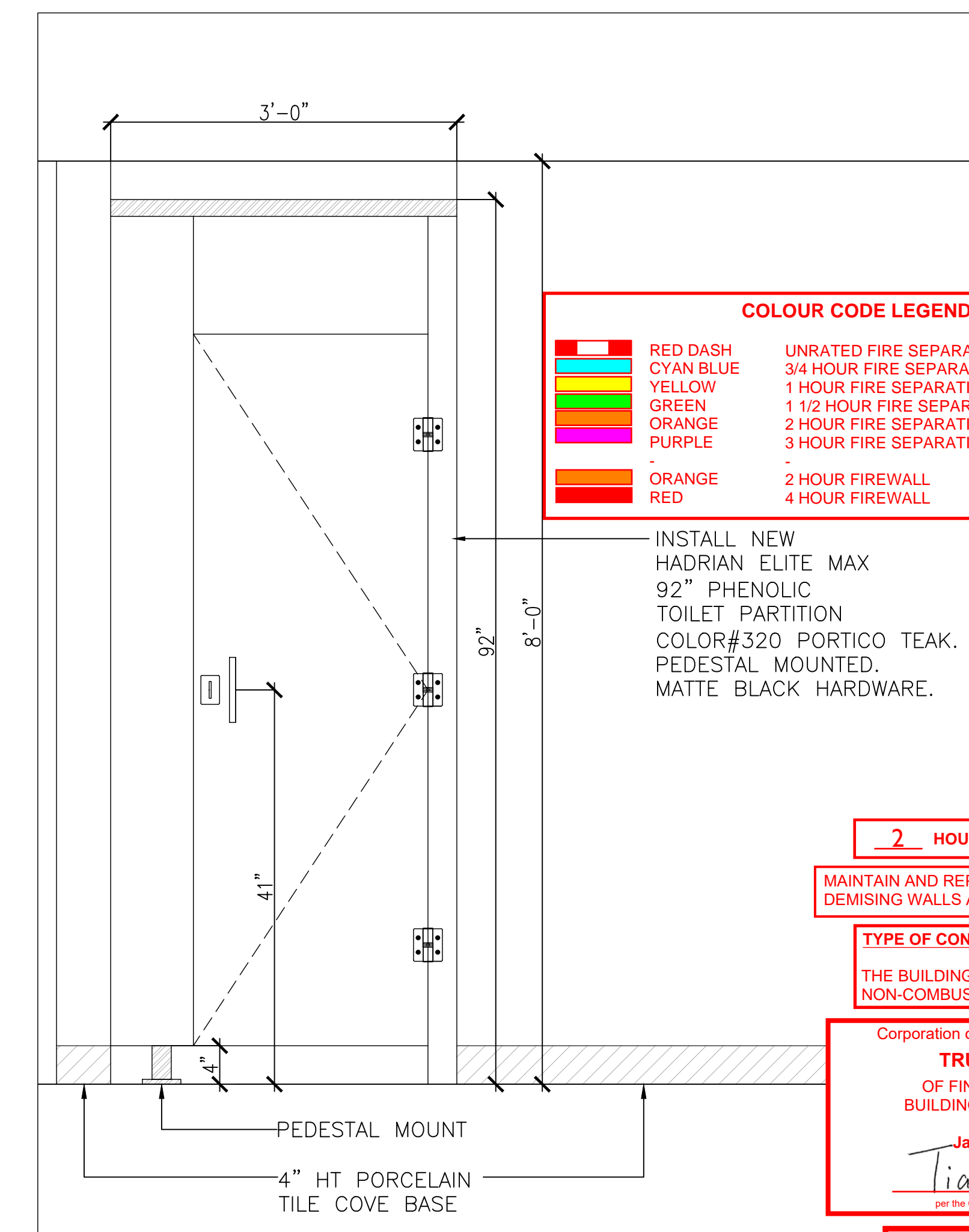
3 TYPICAL WALL (TYP.1) DETAILS AT T-BAR CEILING
A400 SCALE: 6" = 1'-0"



4 TYPICAL WALL (TYP.2) DETAILS
A400 SCALE: 6" = 1'-0"



5 NEW SHAFT WALL DETAILS
A400 SCALE: 6" = 1'-0"



6 TOILET PARTITION - INTERIOR ELEVATION
A400 SCALE: 1" = 1'-0"

COLOUR CODE LEGEND

RED DASH	UNRATED FIRE SEPARATOR (SMOKE BARRIER)
CYAN BLUE	3/4 HOUR FIRE SEPARATION
YELLOW	1 HOUR FIRE SEPARATION
GREEN	1 1/2 HOUR FIRE SEPARATION
ORANGE	2 HOUR FIRE SEPARATION
PURPLE	3 HOUR FIRE SEPARATION
ORANGE	2 HOUR FIREWALL
RED	4 HOUR FIREWALL

2 HOUR(S) FIRE SEPARATION

MAINTAIN AND REPAIR ALL EXISTING DEMISING WALLS AND FIRE SEPARATIONS.

TYPE OF CONSTRUCTION

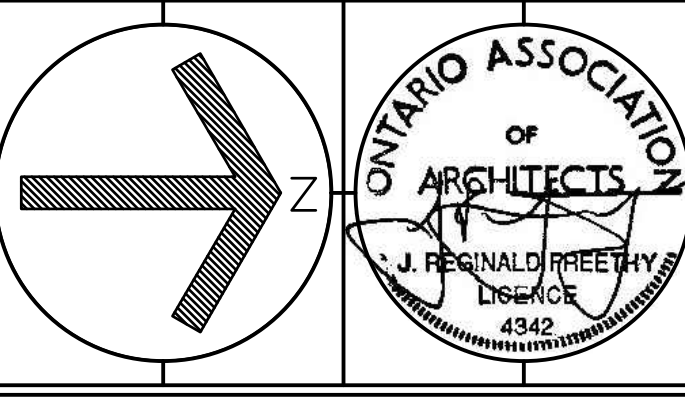
THE BUILDING IS REQUIRED TO BE OF NON-COMBUSTIBLE CONSTRUCTION.

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Jan/29/2025
Tiana Ji
City of Oshawa Building Official

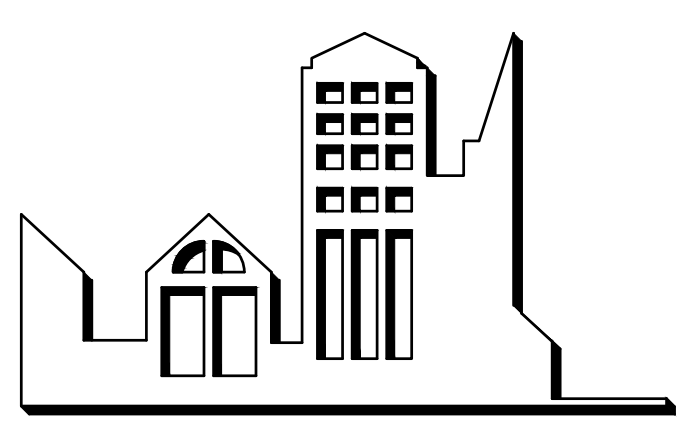
BUILDING PERMIT #
BLD202401488
CITY OF OSHAWA

No.	DESCRIPTION	BY.	DATE.
4	REVISION	C.C.	22/01/2025
3	REVISION	C.C.	14/01/2025
2	IFTP	C.C.	20/09/2024
1	PRELIMINARY	C.C.	18/09/2024

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J.R. FREETHY ARCHITECT



525 LAKE ROAD, SUITE 202
BOWMANVILLE ONTARIO
L1C 4P8 TEL. (905) 625 7476

PROJECT:

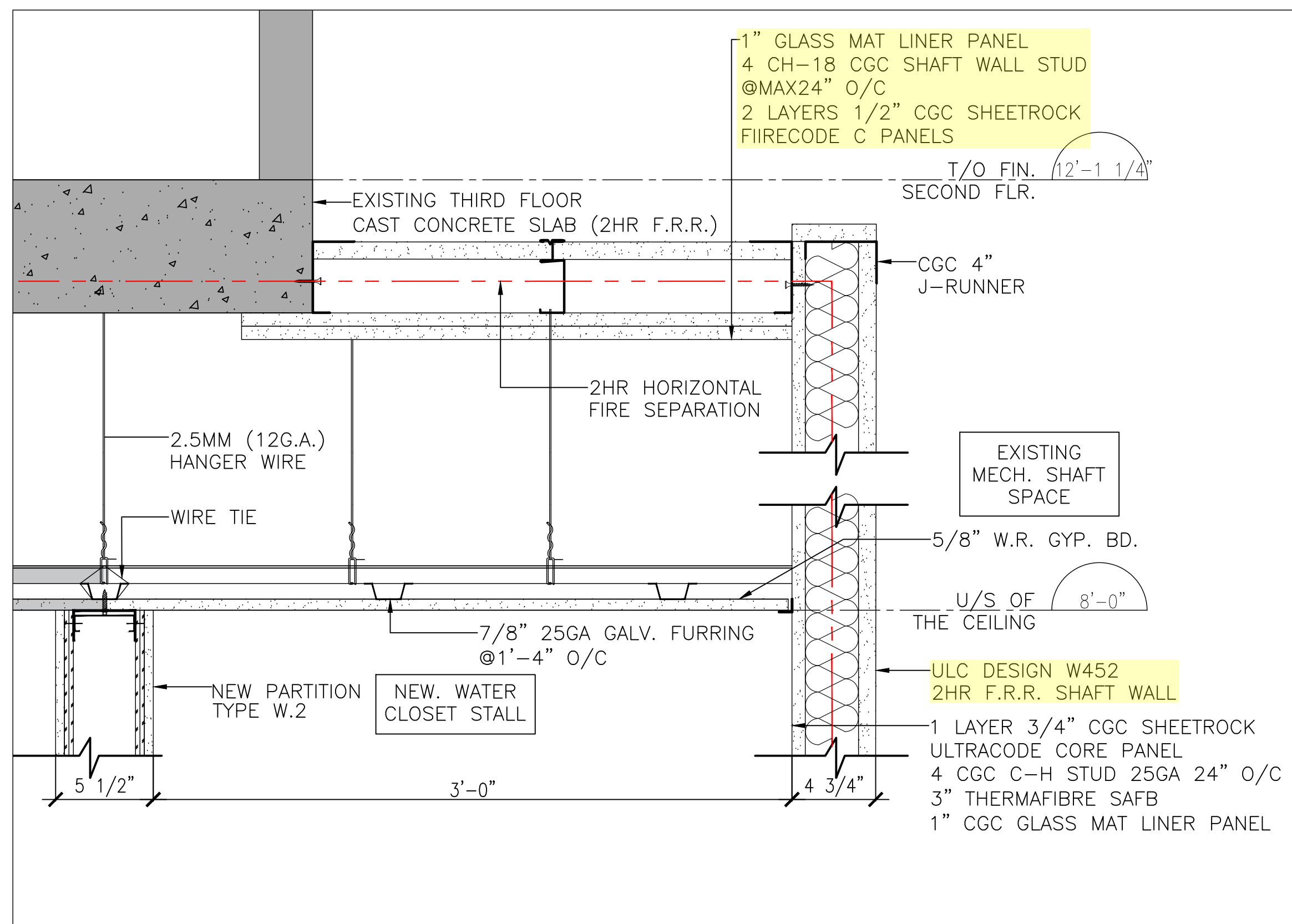
**BUILDING DEPARTMENT
OFFICE ALTERATIONS**

50 CENTRE ST. S, OSHAWA, ON

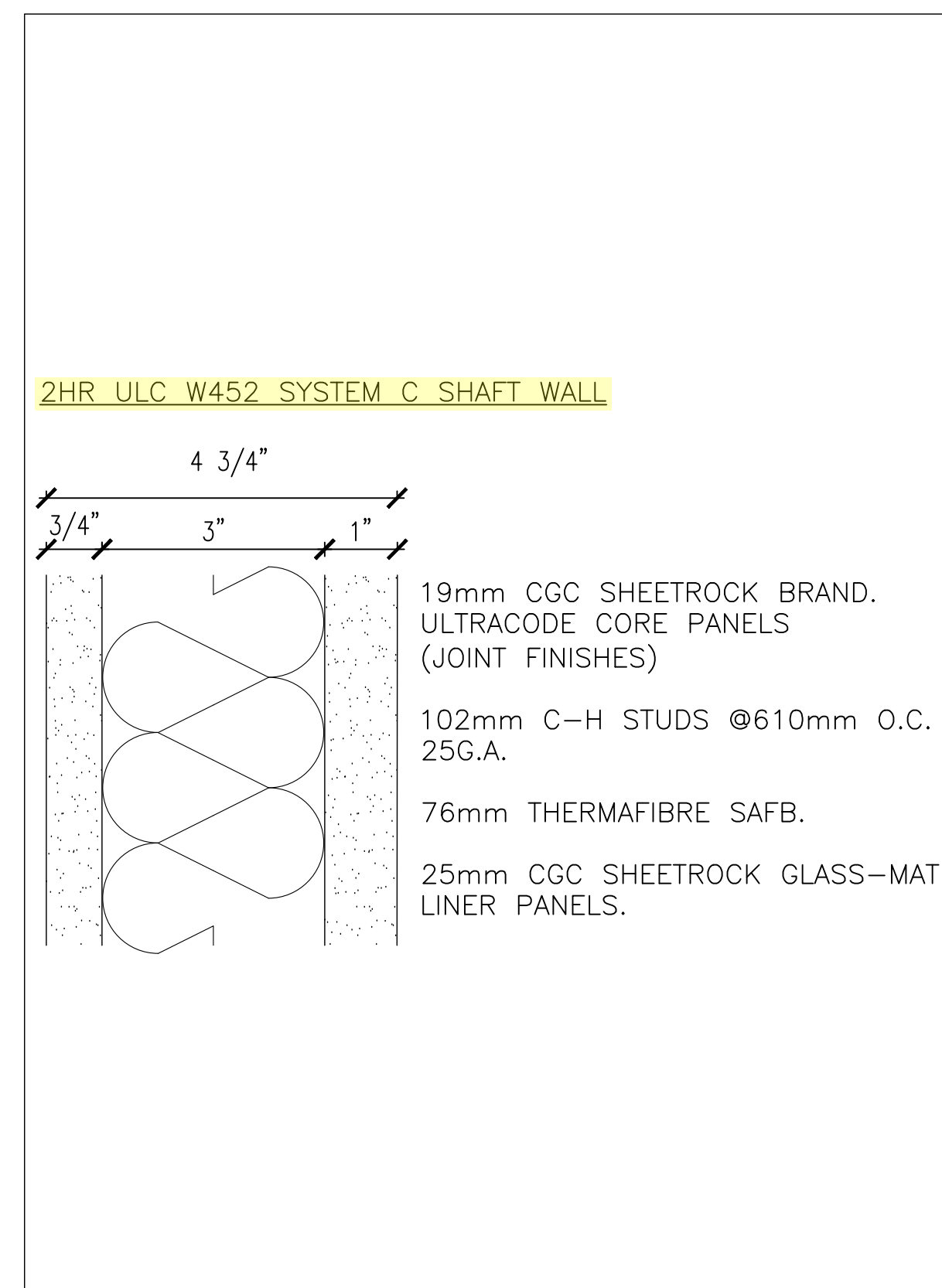
SCALE: AS NOTED
DWG. BY: C.C.
CHECKED BY: J.R.F.
STATUS: PERMIT RESUBMISSION
PLOT FACTOR: 1:1

TITLE: **WASHROOM PLAN
DETAILS AND WALL
SECTION DETAILS**

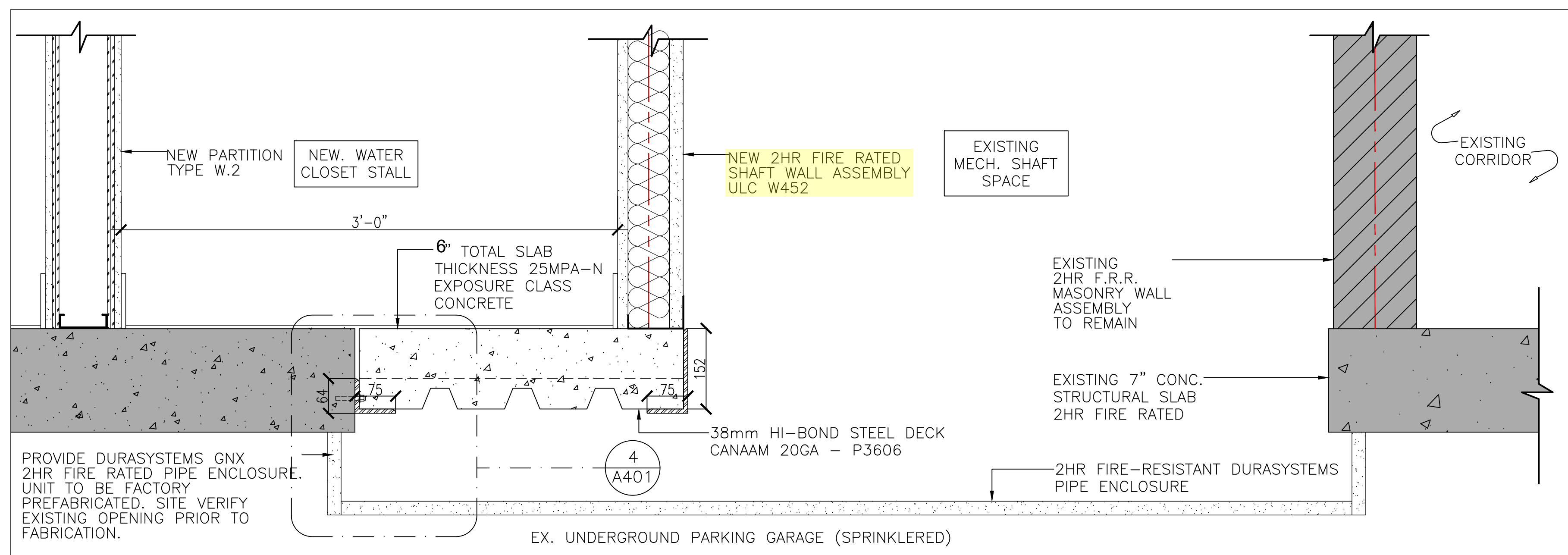
PROJECT No.: 2024-15
DATE: JAN 22, 2025
DWG No.: **A400**



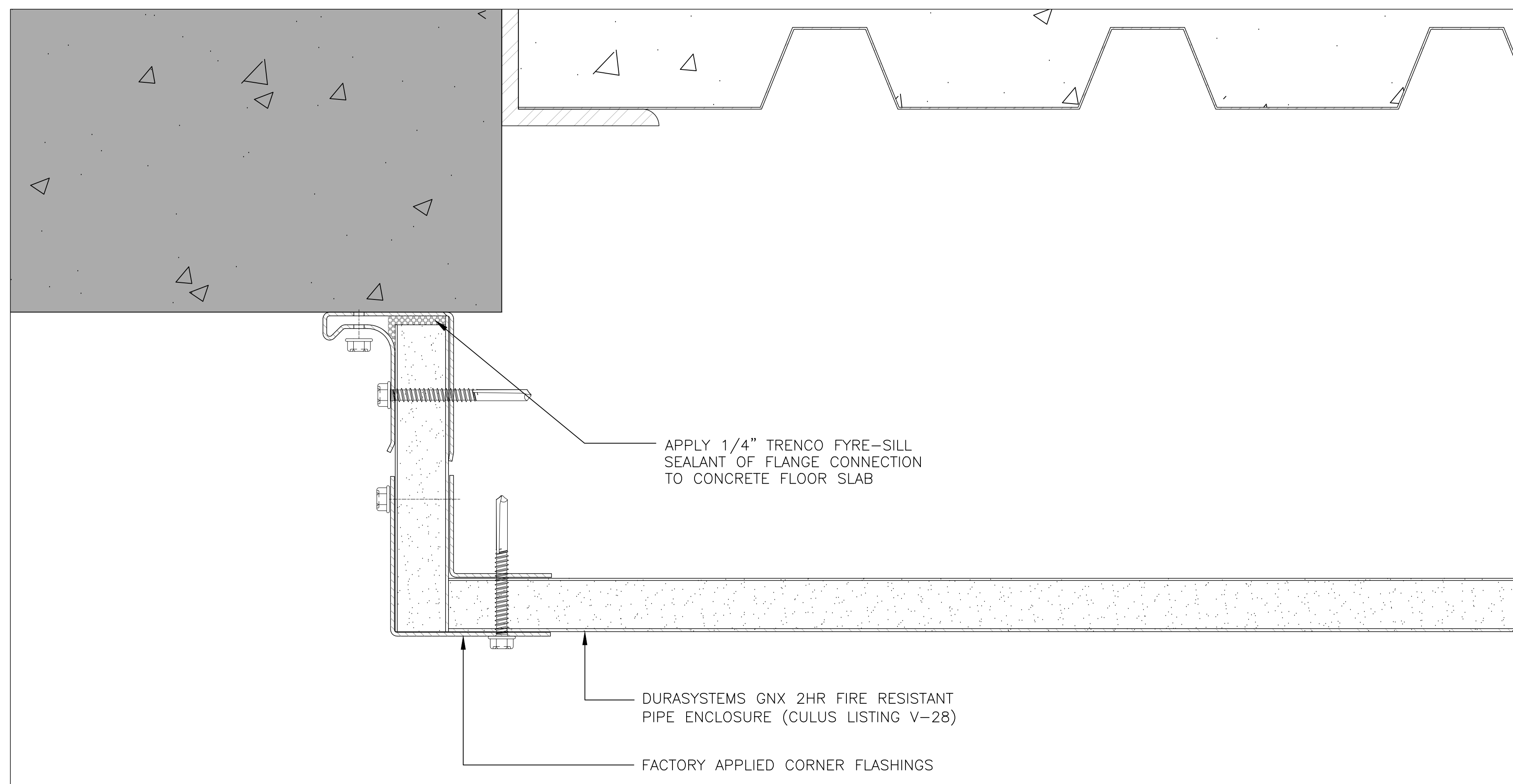
1 WALL AND CEILING ASSEMBLY DETAILS AT THE NEW WATER CLOSET STALL
A401 SCALE: 2" = 1'-0"



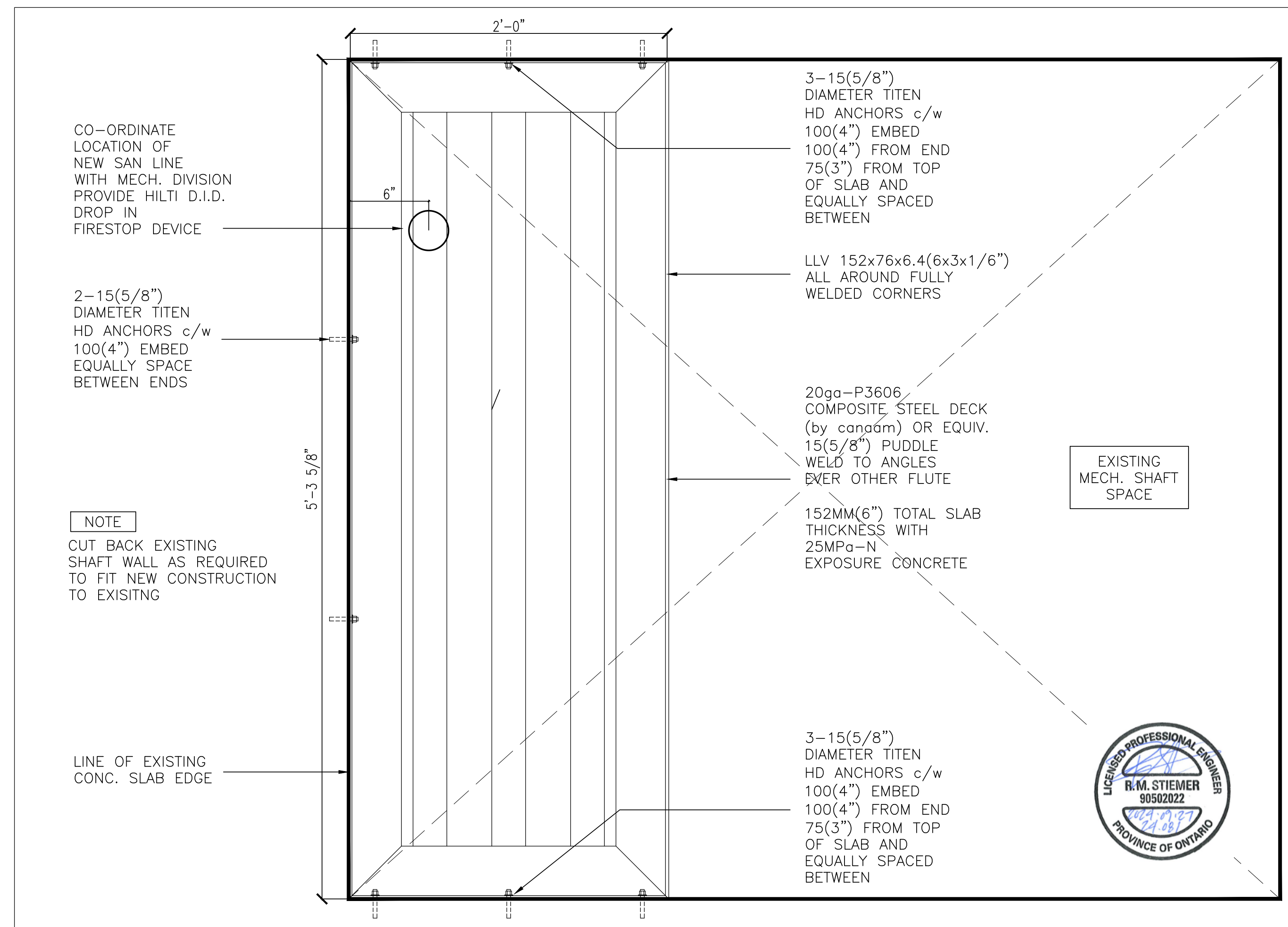
2 PLAN SECTION DETAILS OF THE 2HR F.R.R. SHAFT WALL
A401 SCALE: 6" = 1'-0"



3 SECTION DETAILS OF FIRE-RATED BARRIER AND STRUCTURAL SLAB BELOW THE NEW WATER CLOSET (2ND FLOOR LEVEL)
A401 SCALE: 2" = 1'-0"



4 CONNECTION DETAILS BETWEEN SECOND FLOOR SLAB AND 2HR FIRE-RESISTANT DURASYSTEMS PIPE ENCLOSURE
A401 SCALE: 8" = 1'-0"



5 STRUCTURAL SLAB INFILL AT WASHROOM RM.104
A401 SCALE: 2" = 1'-0"

SUBMIT DURASYSTEM ENGINEERING CERTIFIED SHOP DRAWINGS FOR THE PREFABRICATED 2HR FIRE RATED ENCLOSURE

CLIENT:

THE CITY OF OSHAWA

KEY TO DETAIL NUMBER:

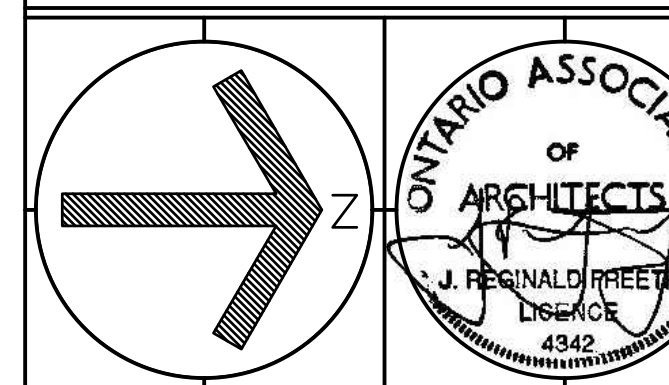
- # A## DETAIL NUMBER SHEET WHERE DETAILED
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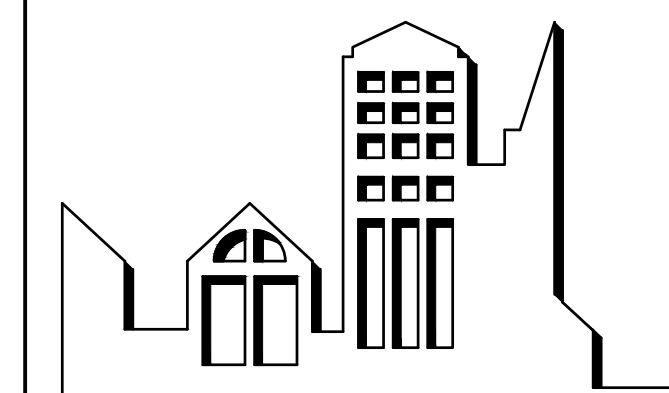
4	REVISION	C.C.	22/01/2025
3	REVISION	C.C.	14/01/2025
2	IFTP	C.C.	20/09/2024
1	PRELIMINARY	C.C.	18/09/2024
No.	DESCRIPTION	BY.	DATE.

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J.R. FREETHY ARCHITECT



325 LAKE ROAD, SUITE 202
BOWMANVILLE ONTARIO
L1C 4P8 TEL: (905) 625 7476

PROJECT:
**BUILDING DEPARTMENT
OFFICE ALTERATIONS**
50 CENTRE ST. S. OSHAWA, ON

SCALE: AS NOTED
DWG. BY: C.C.
CHECKED BY: J.R.F.
STATUS: PERMIT RESUBMISSION
PLOT FACTOR: 1:1

TITLE: **WALL SECTION
AND STRUCTURAL SLAB
DETAILS**

PROJECT No.: **2024-15**
DATE: JAN 22, 2025
DWG. No.: **A401**

A CURSORY REVIEW OF THE STRUCTURAL ELEMENTS HAS BEEN COMPLETED AND IS RELIANT ON THE ENGINEER'S CERTIFICATION OF THESE DRAWINGS.

SHOP DRAWINGS CONDITION
CONDITION OF BUILDING PERMIT ISSUANCE IS PROVIDING MANUFACTURER'S SHOP DRAWINGS FOR:
2hrs F.R.R. Durasystems Shaft Enclosure

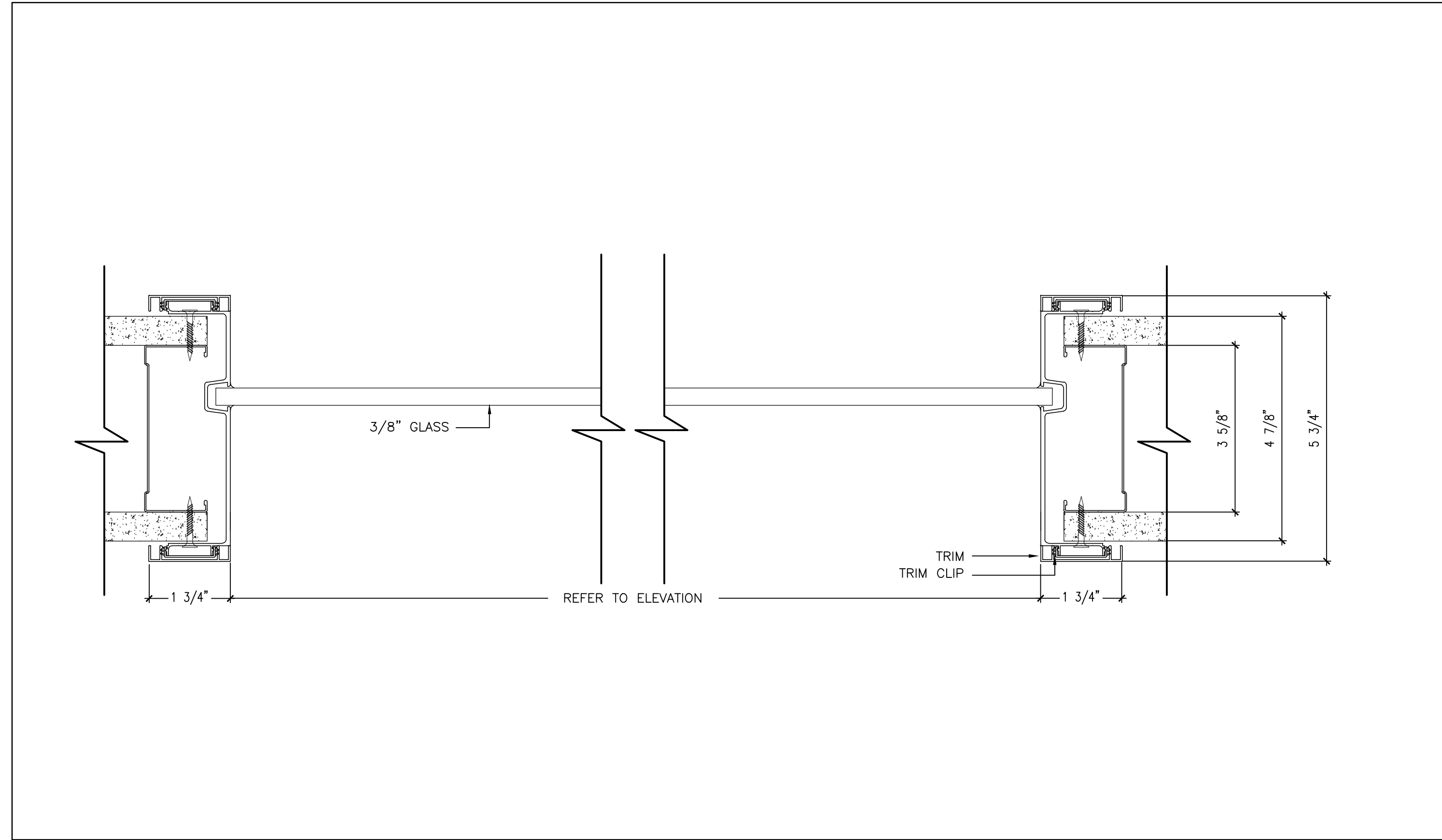
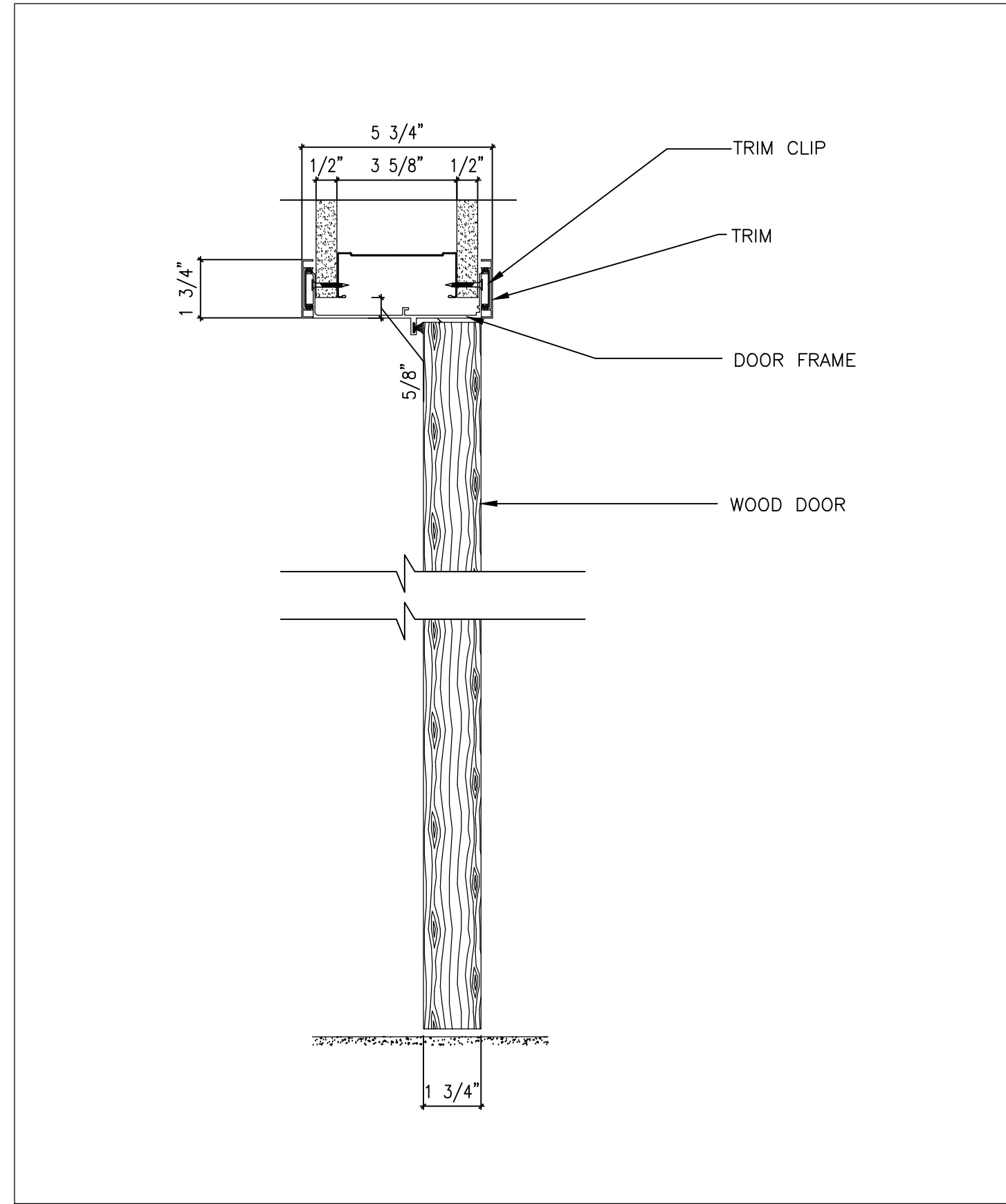
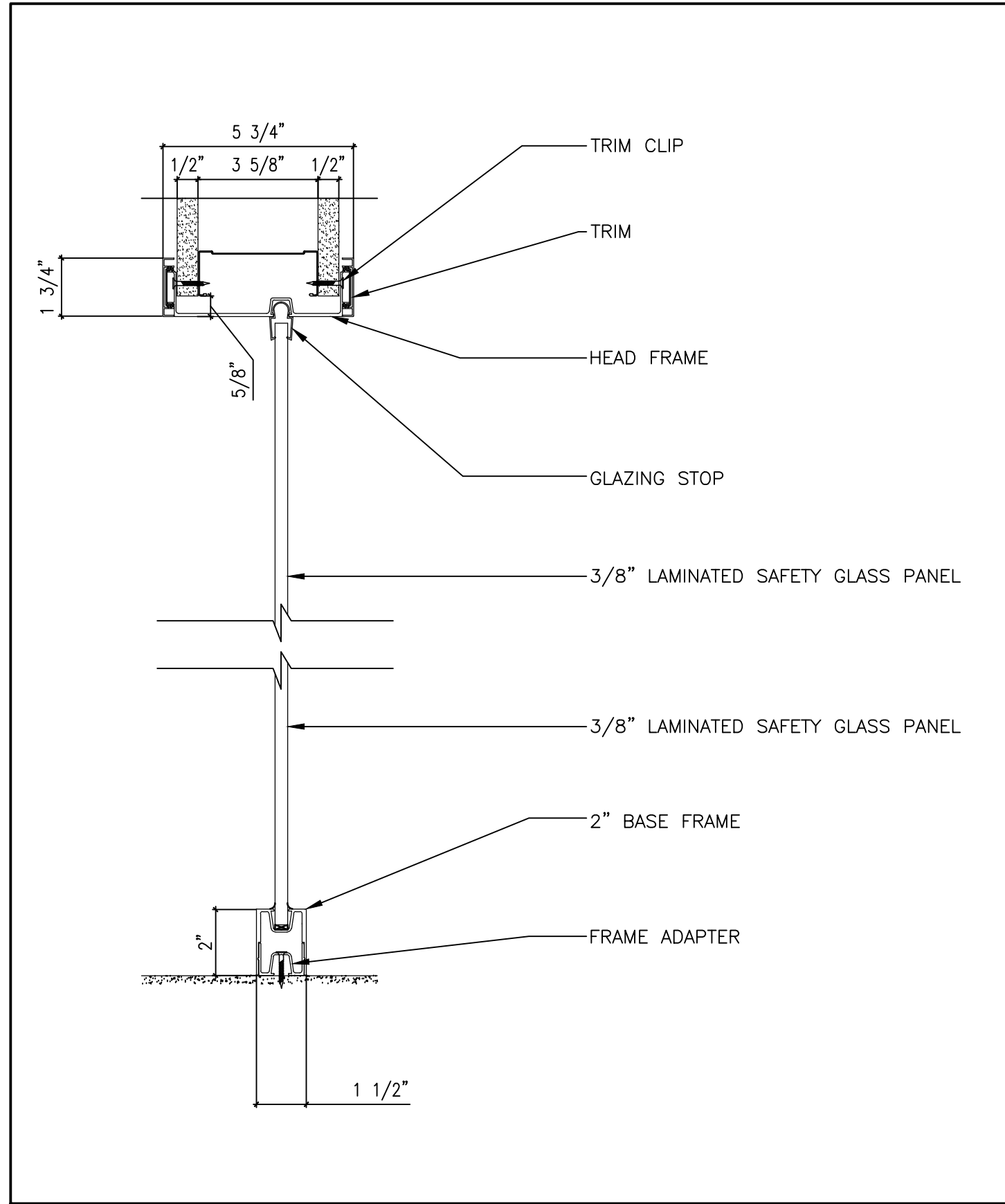
SIGNED AND SEALED BY A PROFESSIONAL ENGINEER, TO BE SUBMITTED FOR APPROVAL.
ALL DESIGN LOADS MUST BE SHOWN ON SHOP DRAWINGS.

2 HOUR(S) FIRE SEPARATION
MAINTAIN AND REPAIR ALL EXISTING DEMISING WALLS AND FIRE SEPARATIONS.

TYPE OF CONSTRUCTION
THE BUILDING IS REQUIRED TO BE OF NON-COMBUSTIBLE CONSTRUCTION.

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Jan 29/2025
Tiana Ji
City of Oshawa Building Official

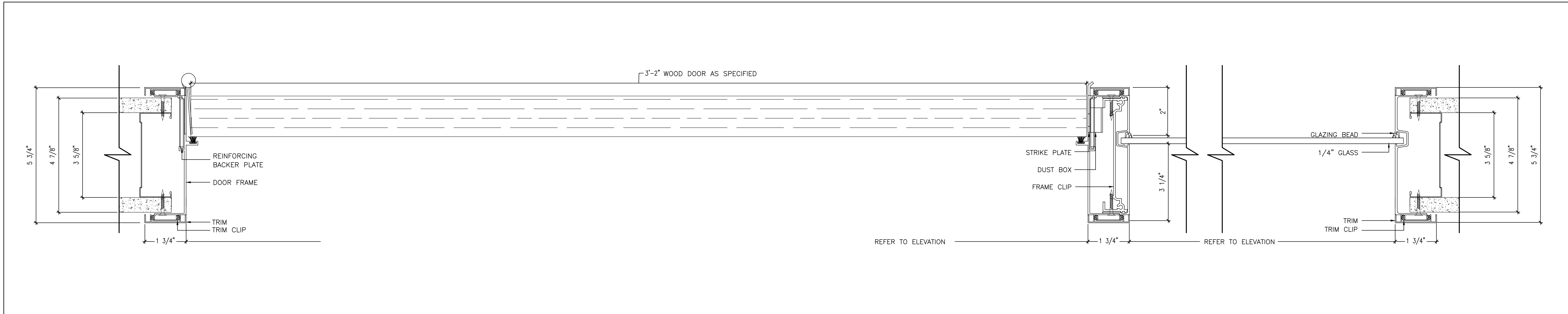
BUILDING PERMIT #
BLD202401488
CITY OF OSHAWA



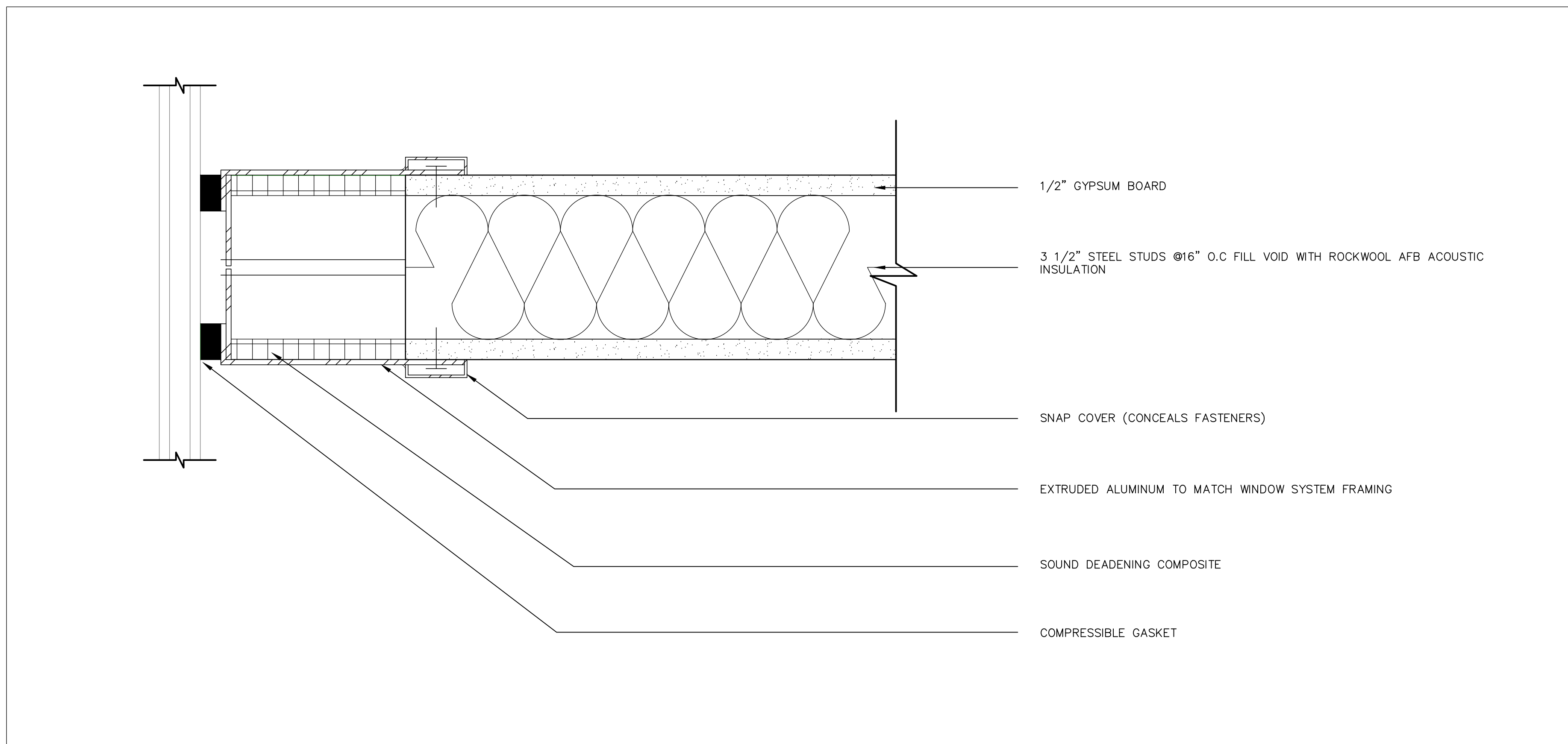
1 PC350 'ELITE' PARTITION HEAD AND JAMB DETAIL - 2" NARROW BASE
SCALE: 3" = 1'-0"

2 SINGLE DOOR FRAME - VERTICAL SECTION
SCALE: 3" = 1'-0"

3 PC350 SCREEN - HORIZONTAL SECTION
SCALE: 6" = 1'-0"



4 PC350 SINGLE DOOR FRAME WITH SIDELIGHT - HORIZONTAL SECTION
SCALE: 6" = 1'-0"



5 CURTAIN WALL AND GYPSUM BD PARTITION CONNECTION DETAILS
SCALE: 6" = 1'-0"

CLIENT:

THE CITY OF OSHAWA

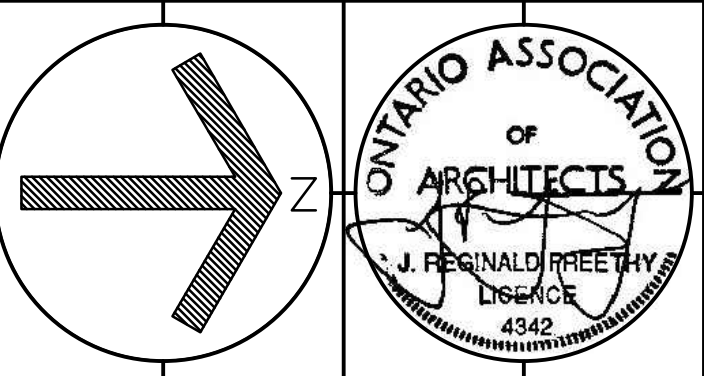
KEY TO DETAIL NUMBER:

- # A### DETAIL NUMBER SHEET WHERE DETAILED
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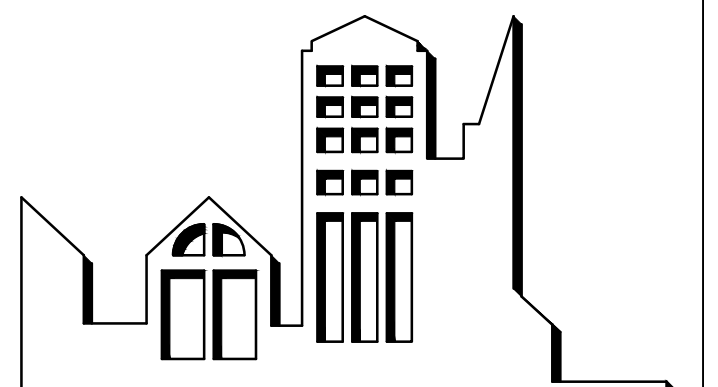
2	IFTP	C.C.	20/09/2024
1	PRELIMINARY	C.C.	13/09/2024
No.	DESCRIPTION	BY.	DATE.

REVISIONS

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J.R. FREETHY ARCHITECT



325 LAKE ROAD, SUITE 202
BOWMANVILLE ONTARIO
L1C 4P8 TEL: (905) 625 7476

PROJECT:
**BUILDING DEPARTMENT
OFFICE ALTERATIONS**
50 CENTRE ST. S. OSHAWA, ON

SCALE: AS NOTED
DWG. BY: C.C.
CHECKED BY: J.R.F.
STATUS: TENDER & PERMIT
PLOT FACTOR: 1:1

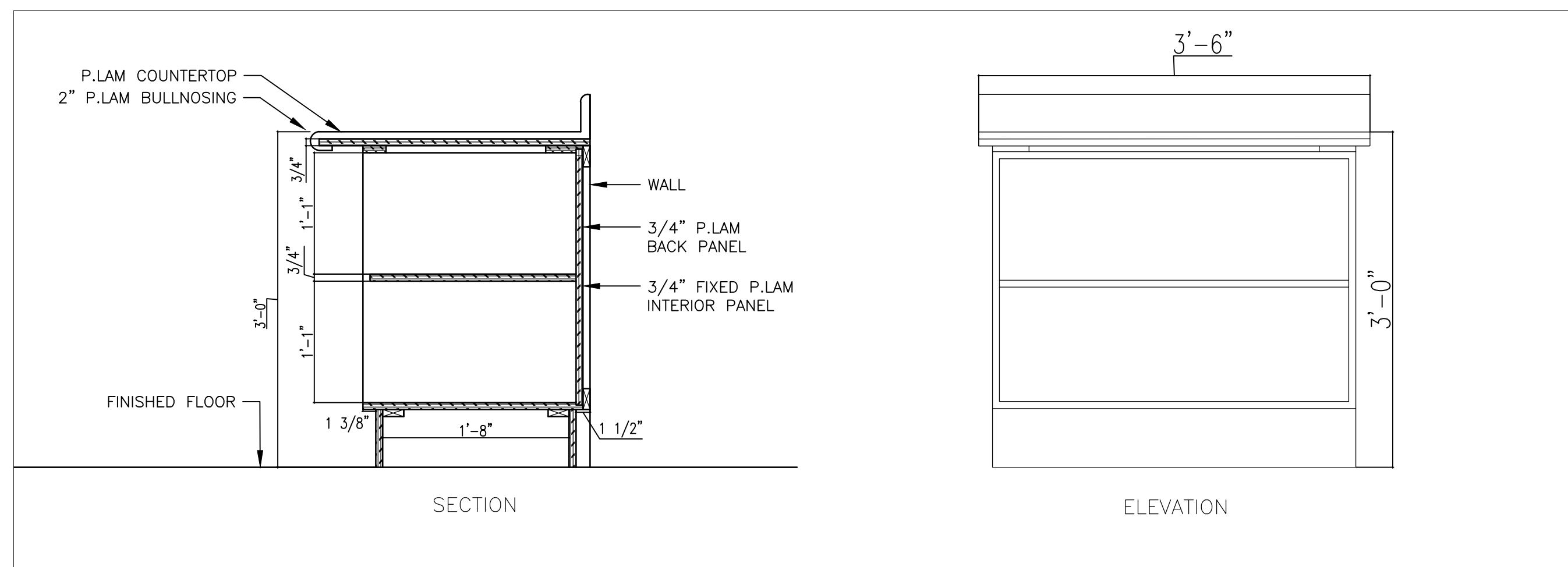
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Jan 29/2025
Tiana Ji
City of Oshawa Building Official

BUILDING PERMIT #
BLD202401488
CITY OF OSHAWA

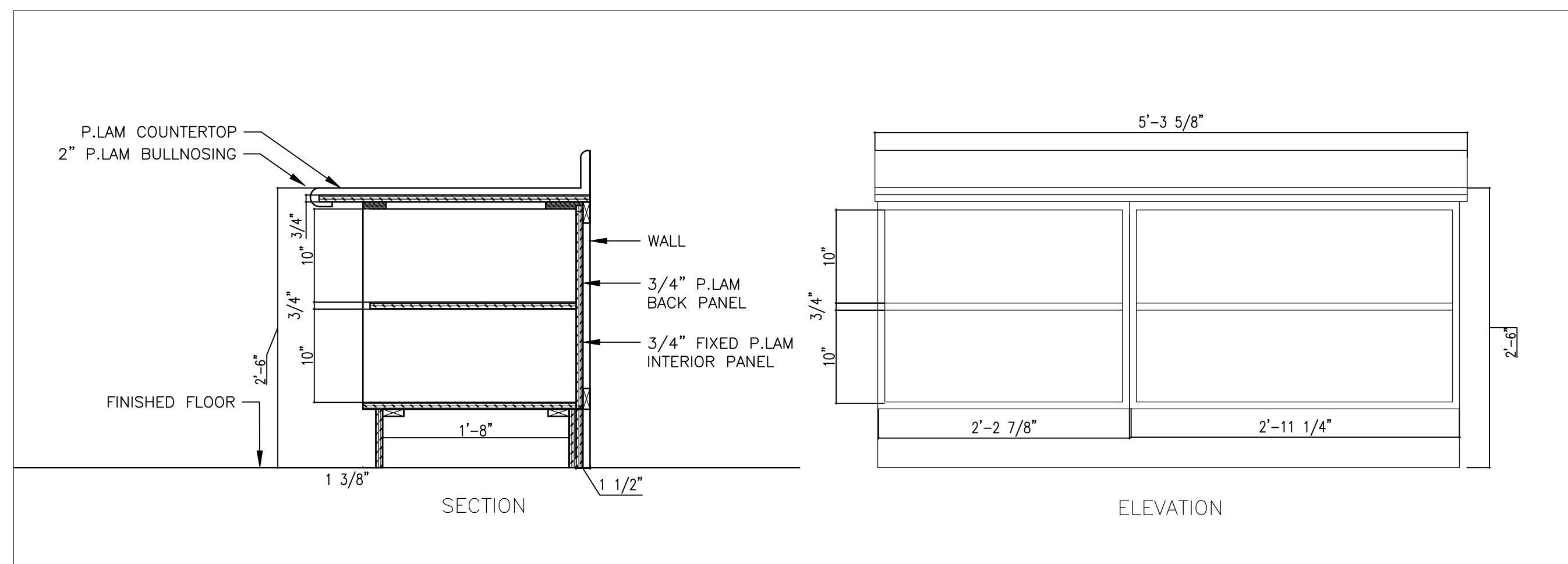
TITLE:
**PC350 'ELITE' PARTITION
SYSTEM DETAILS**

PROJECT No.:
2024-15
DATE: SEPTEMBER 20, 2024

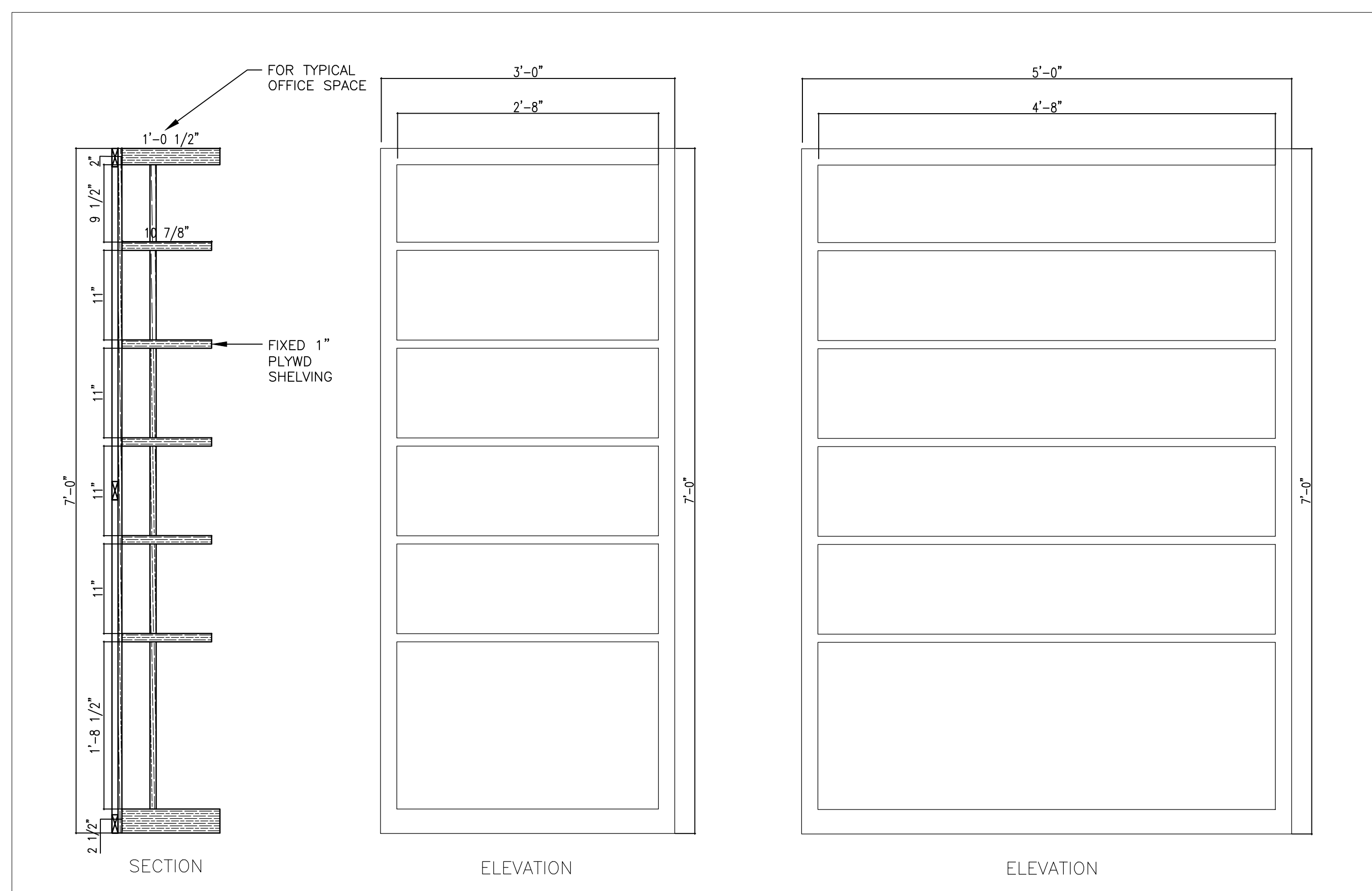
DWG. No.:
A501



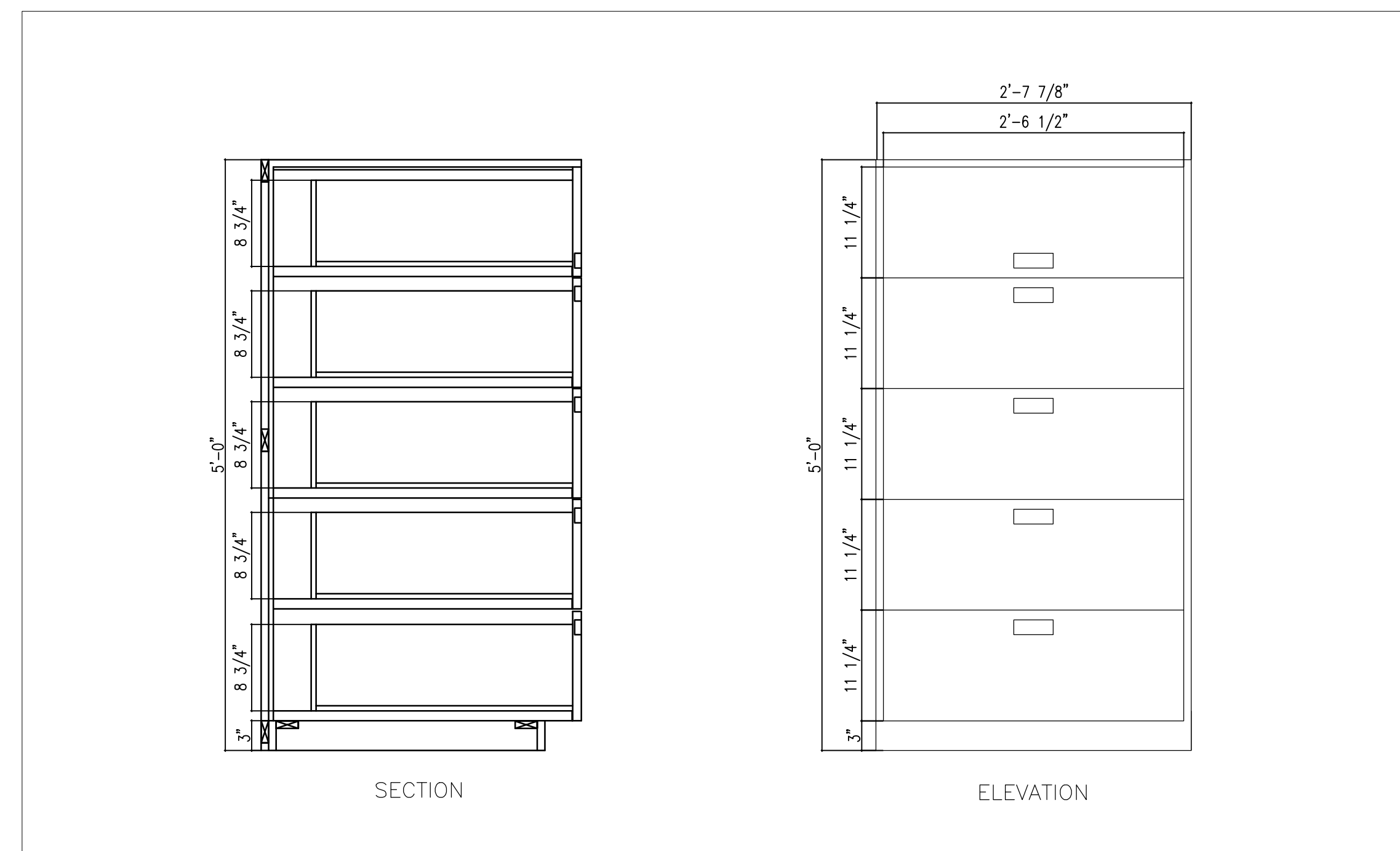
1 WORK STATION #1
A700 SCALE: 1" = 1'-0"



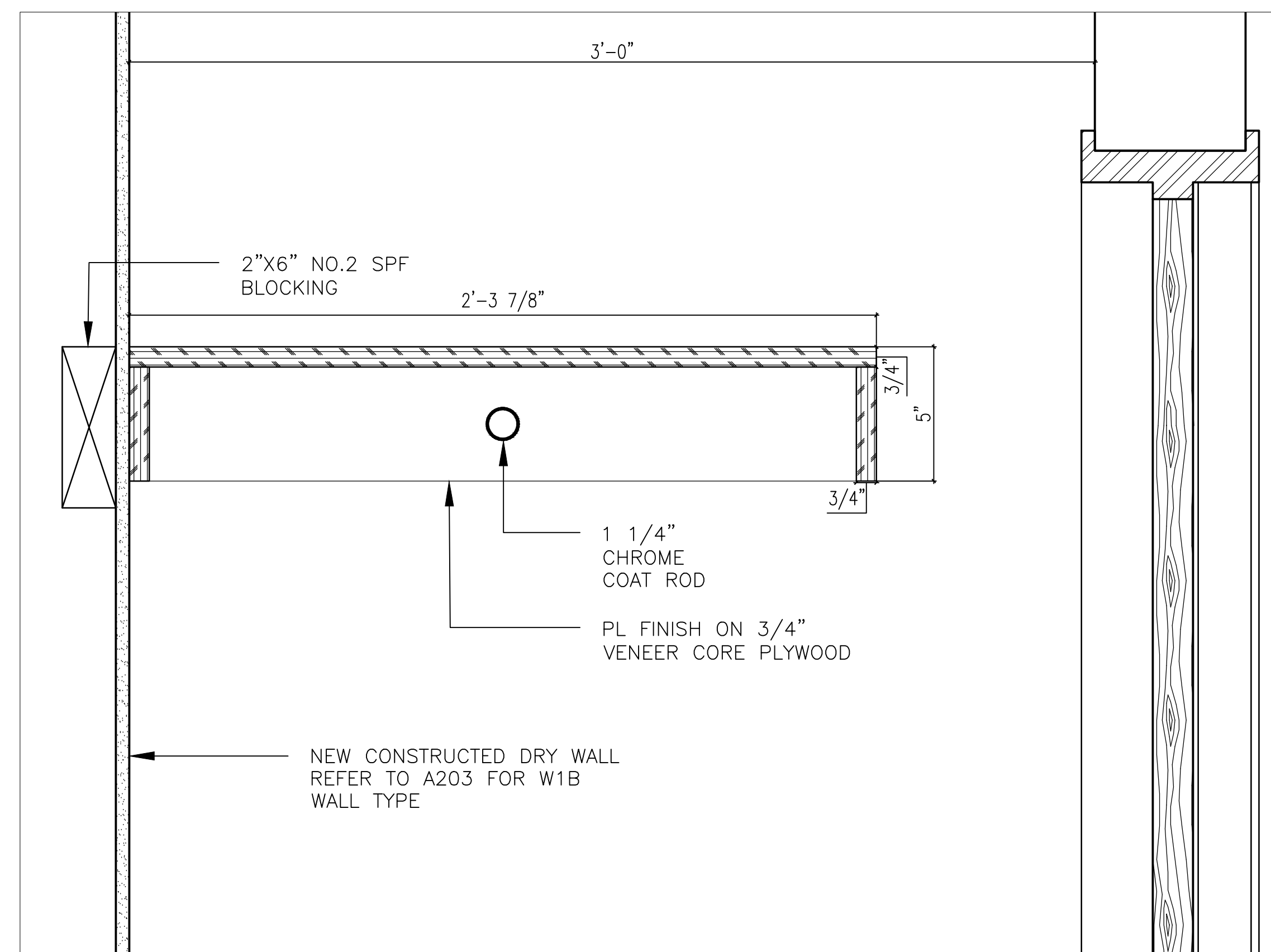
2 WORK STATION #2
A700 SCALE: 1" = 1'-0"



3 WORK STATION #3
A700 SCALE: 1" = 1'-0"



4 5-DRAWER CABINET
A700 SCALE: 1" = 1'-0"



5 COAT SHELF SECTION
A700 SCALE: 3" = 1'-0"

CLIENT:

THE CITY OF OSHAWA

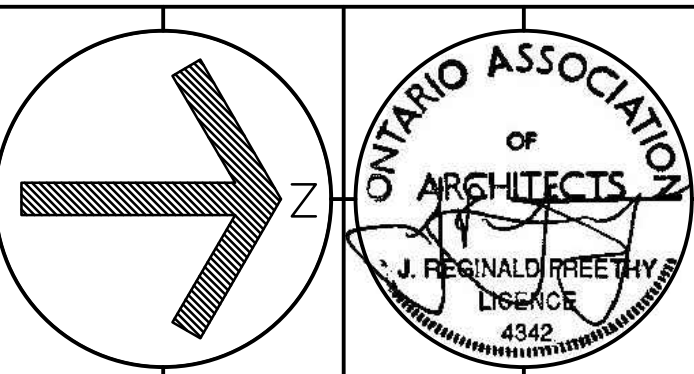
KEY TO DETAIL NUMBER:

- # DETAIL NUMBER
- A### SHEET WHERE DETAILED
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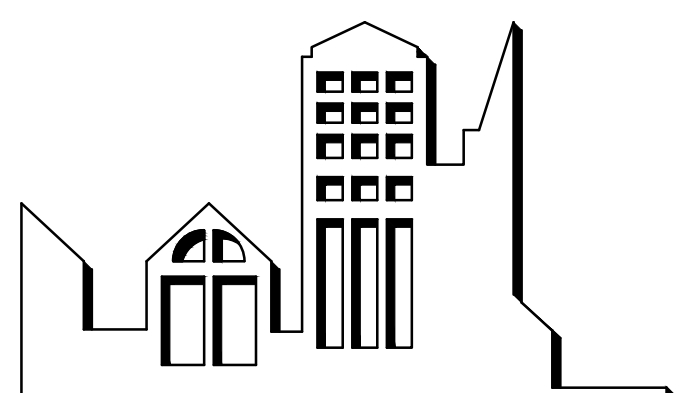
2	IFTP	C.C.	20/09/2024
1	PRELIMINARY	C.C.	18/09/2024
No.	DESCRIPTION	BY.	DATE.

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BOWMANVILLE ONTARIO
L1C 4P8 TEL. (905) 625 7476

PROJECT:

BUILDING DEPARTMENT
OFFICE ALTERATIONS

50 CENTRE ST. S. OSHAWA, ON

SCALE: AS NOTED
DWG. BY: C.C.
CHECKED BY: J.R.F.
STATUS: TENDER & PERMIT
PLOT FACTOR: 1:1

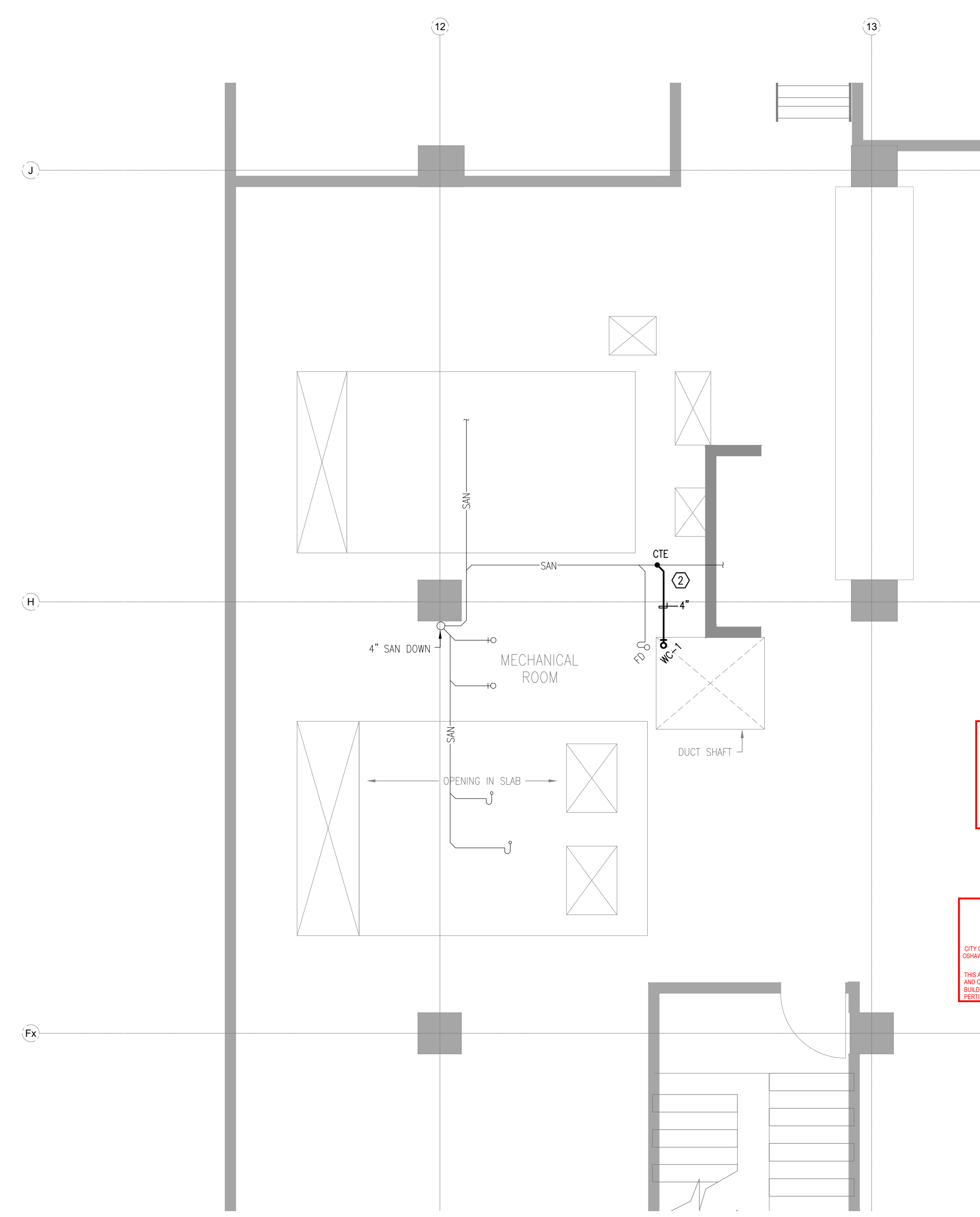
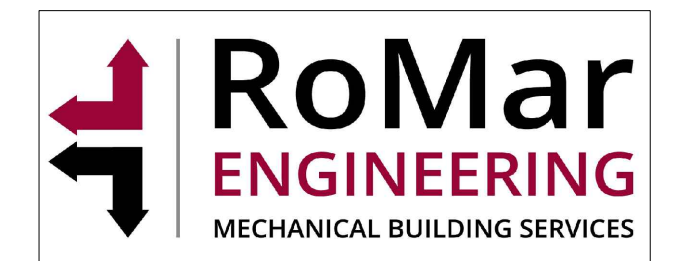
TITLE:

MILLWORK DETAILS

PROJECT No.: 2024-15
DATE: SEPTEMBER 20, 2024
DWG. No.: A700

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City of Oshawa Building Official

BUILDING PERMIT #
BLD202401488
CITY OF OSHAWA

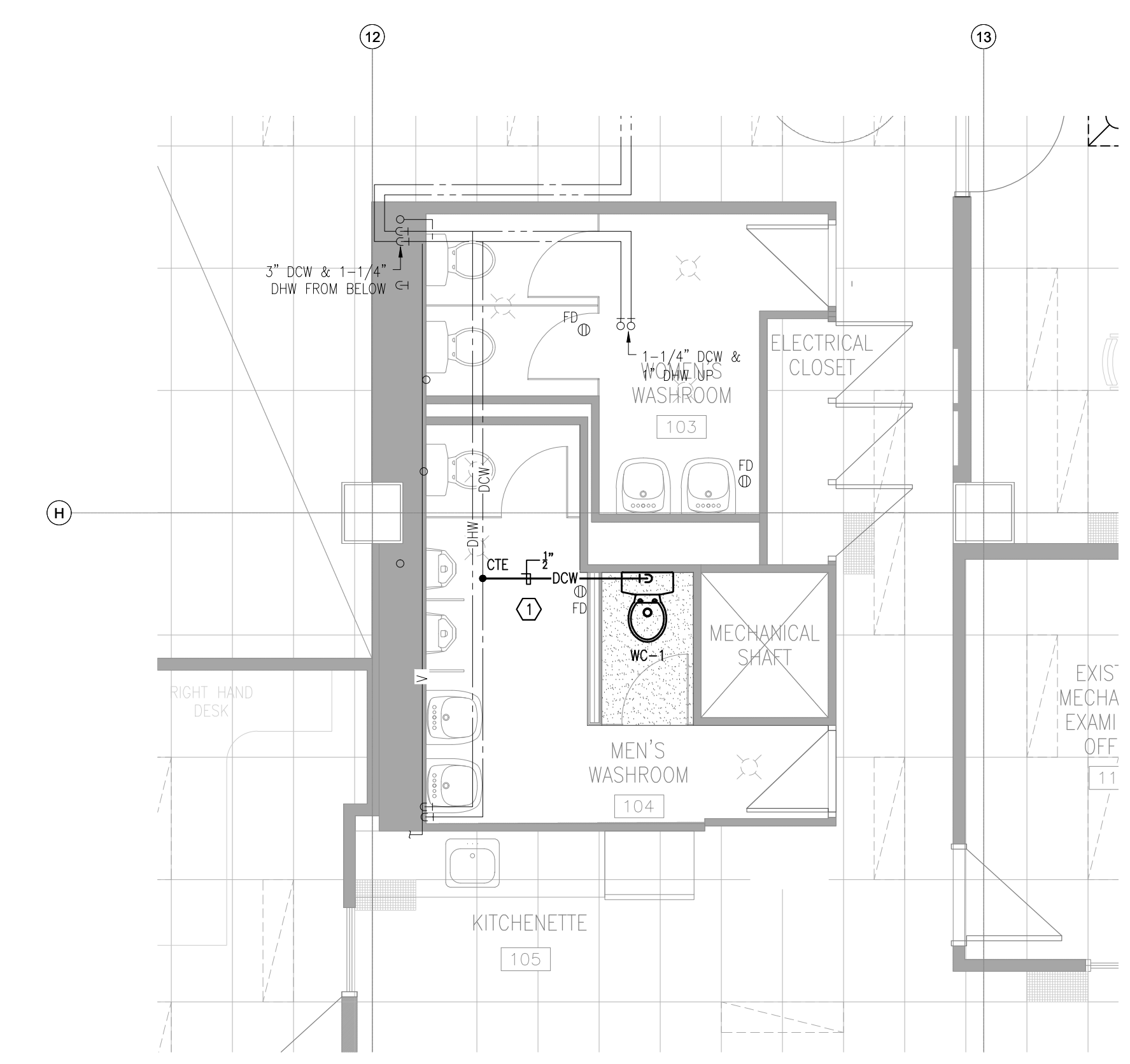


1 BASEMENT — PD (NEW)
M-200 SCALE: 1/4" = 1'-0"

KEYED NOTES:
① TIE IN TO EXISTING DCW LINE IN WASHROOM TO PROVIDE DCW FOR NEW WC-1.
② CONNECT WC-1 SANITARY (4") TO MAIN SANITARY LINE AS SHOWN.

CORPORATION OF THE CITY OF OSHAWA
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OF PERMIT PLANS
Dec13 2024
PER: *[Signature]*
CHIEF BUILDING OFFICIAL

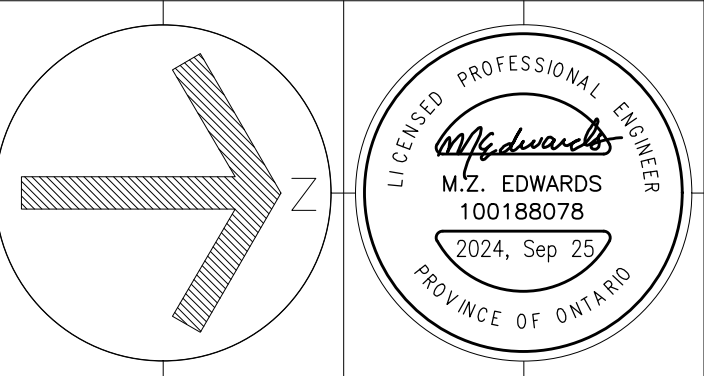
PLANS ACCEPTED
CITY OF OSHAWA Dec13 2024 PLUMBING INSPECTOR
[Signature]
THIS ACCEPTANCE DOES NOT EXEMPT THE BUILDER AND OWNER FROM OBTAINING THE REQUIRED BUILDING CODE PART PLUMBING AND ALL REQUIREMENTS OF THE CITY OF OSHAWA.



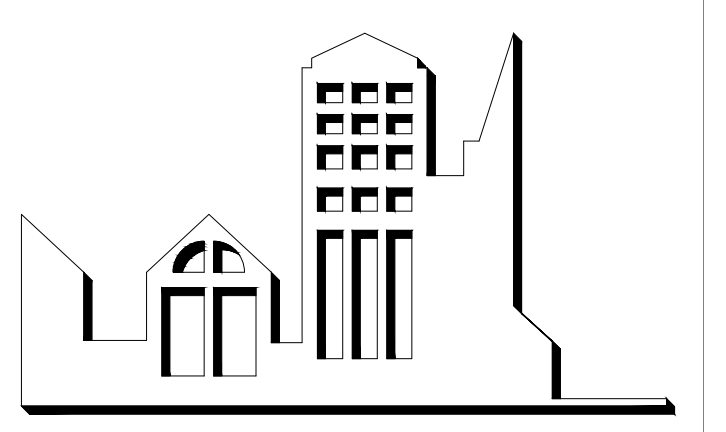
2 GROUND FLOOR — PD (NEW)
M-200 SCALE: 1/4" = 1'-0"

No.	DESCRIPTION	BY:	DATE:
REVISIONS			

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BOWMANVILLE ONTARIO
L1C 4P8 TEL: (905) 625 7476

PROJECT:
**BUILDING DEPARTMENT
OFFICE ALTERATIONS**
50 CENTRE ST. S. OSHAWA, ON

SCALE: AS NOTED
DWG. BY: GPC.
CHECKED BY: ME.
STATUS:
PLOT FACTOR:

TITLE:
**GROUND FLOOR
PD**

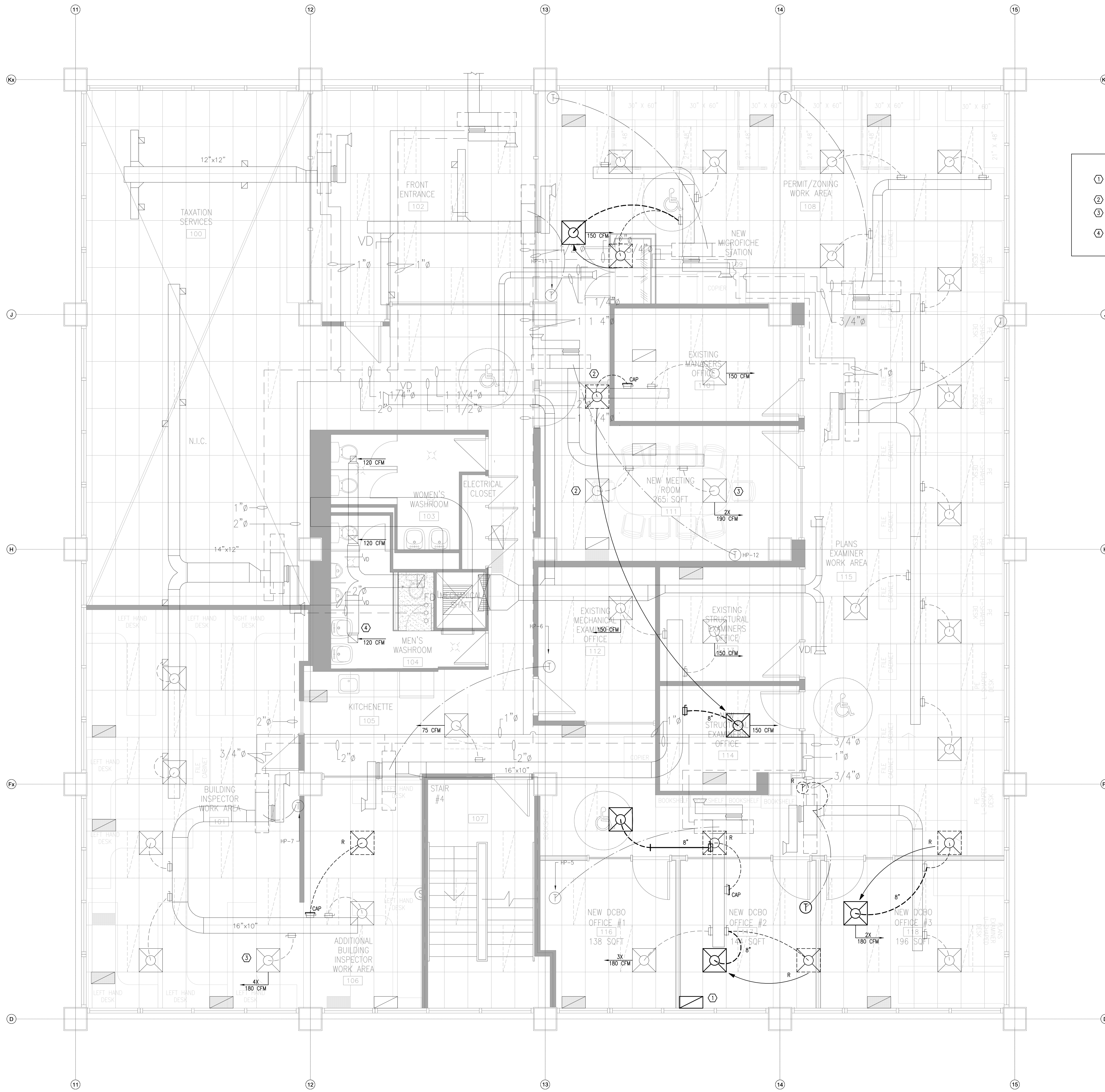
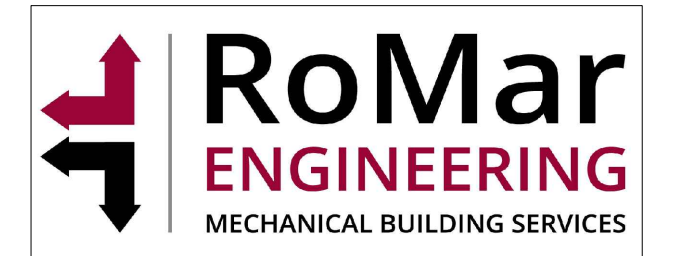
PROJECT No.: 24-11
DATE: AUGUST 25, 2024
DWG. No.: **M-200**

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Jan29/2025
[Signature]
CHIEF BUILDING OFFICIAL

BUILDING PERMIT #
BLD202401488
CITY OF OSHAWA

CLIENT:

THE CITY OF OSHAWA

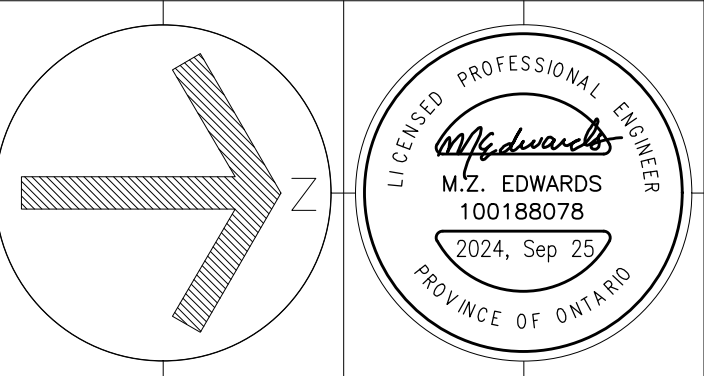


- KEYED NOTES:**
- 1 R/A GRILLE TO MATCH EXISTING SIZE ON SITE (24"x6") UNLESS NOTED OTHERWISE.
 - 2 DIFFUSERS TO BE RELOCATED AS SHOWN. (TYP.)
 - 3 ALL DIFFUSERS ATTACHED TO ANY HEAT PUMP BEING ADJUSTED ARE TO BE REBALANCED AS INDICATED. (TYP.)
 - 4 EXISTING WASHROOM EXHAUST GRILLES TO BE RE-BALANCED AS SHOWN.

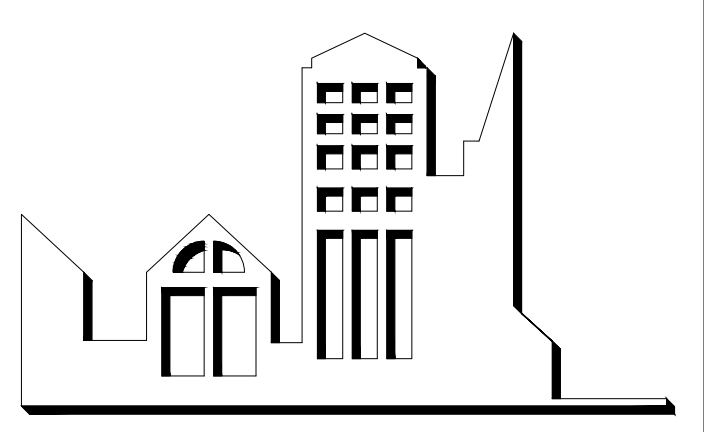
PLENUM
IF THE CEILING OR ROOF SPACE IS USED AS A PLENUM FOR SUPPLY OR RETURN AIR, ALL COMBUSTIBLE MATERIALS WITHIN SUCH SPACE INCLUDING ANY PIPES AND JACKETS ON ELECTRICAL WIRING MUST HAVE A FLAME SPREAD RATING OF NOT MORE THAN 25 AND A SMOKE DEVELOPED CLASSIFICATION OF NOT MORE THAN 50.

No.	DESCRIPTION	BY	DATE
REVISIONS			

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L1C 4P8 TEL. (905) 625 7476

PROJECT:
**BUILDING DEPARTMENT
OFFICE ALTERATIONS**
50 CENTRE ST. S. OSHAWA, ON

SCALE: AS NOTED
DWG. BY: GPC.
CHECKED BY: ME.
STATUS:
PLOT FACTOR:

TITLE:
HVAC - DEMO/NEW

PROJECT No.: 24-11
DATE: AUGUST 25, 2024
DWG. No.: M-300

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Jan/29/2025
Tiana Ji
per the Chief Building Official

BUILDING PERMIT #
BLD202401488
CITY OF OSHAWA

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OF PERMIT PLANS
Nov/22/2024
[Signature]
PER: CHIEF BUILDING OFFICIAL

1 HVAC - NEW
M-300 SCALE: 1/4" = 1'-0"

ELECTRICAL GENERAL NOTES

- ELECTRICAL DRAWINGS ARE DIAGRAMMATIC. THE ARRANGEMENT OF ALL EQUIPMENT SHOWN ON THE DRAWINGS ARE APPROXIMATIONS ONLY. THESE ELECTRICAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, INTERIOR DESIGNER, COMMUNICATIONS, AUDIO/VISUAL AND MECHANICAL DRAWINGS FOR QUANTITY, LOCATION OF ALL DEVICES, MOUNTING HEIGHTS, FINISH COLOUR RELATED AND CONSTRUCTION DETAILS. REPORT ANY DISCREPANCIES TO THE ELECTRICAL CONSULTANT.
- ALL NEW BASE BUILDING LIGHT FIXTURES SHALL MATCH EXISTING. ALL ADDITIONAL BASE BUILDING STANDARD LIGHT FIXTURES SHALL BE PURCHASED FROM THE LANDLORD UNLESS OTHERWISE NOTED. IF LANDLORD IS UNABLE TO SUPPLY THEM, PURCHASE ANY REQUIRED NEW LIGHT FIXTURES ALONG WITH ALL NECESSARY CONNECTORS DIRECTLY FROM THE SAME MANUFACTURER. ENSURE COST TO BE INCLUDED IN THE TENDER BID.
- ALL BASE BUILDING RELOCATED LIGHT FIXTURES SHALL HAVE WIRING AND CONDUIT EXTENDED TO SUIT NEW LOCATION AS SHOWN ON PLANS.
- ALL REMOVED BASE BUILDING LIGHT FIXTURES SHALL BE BOXED AND TURNED OVER TO THE LANDLORD.
- CONNECT ALL NEW AND RELOCATED EMERGENCY LIGHT FIXTURES TO EXISTING BASE BUILDING EMERGENCY LIGHT CIRCUITS. ELECTRICAL CONTRACTOR SHALL RE-ARRANGE THE EXISTING EMERGENCY LIGHTING LAYOUT ON SITE TO ACHIEVE THE EMERGENCY LAYOUT SHOWN ON PLANS.
- ALL NEW EXIT SIGNS SHALL BE PICTOGRAM (GREEN RUNNING MAN) TYPE AND MATCH BASE BUILDING STANDARDS UNLESS OTHERWISE NOTED. ALL NEW EXIT SIGNS SHALL BE CONNECTED TO THE NEAREST EXISTING EXIT SIGN CIRCUIT UNLESS OTHERWISE NOTED.
- ALL NEW LIGHT FIXTURES SHALL BE CONNECTED TO THE BASE BUILDING LIGHTING CIRCUITS. TENANT LIGHTING ZONES AND CONTROLLED BY THE BASE BUILDING LIGHTING CONTROL SYSTEM. PROVIDE ALL NECESSARY RELAYS, CONTACTORS, STEP DOWN TRANSFORMERS AS REQUIRED TO ACHIEVE PROPER INSTALLATION.
- IT IS THE ELECTRICAL CONTRACTOR RESPONSIBILITY TO PROVIDE AND INSTALL OPERATIONAL LIGHTING CONTROL SYSTEM WITH ALL ASSOCIATED WIRING AND DEVICES. ALL ENQUIRES ON A GIVEN SYSTEM OR WIRING SCHEME SHOULD BE DISCUSSED PRIOR TO BIDDING ON A PROJECT, SO THE COSTS ARE CAPTURED IN THE BIDDING DOCUMENTS.
- ALL ELECTRICAL PANELS (NEW AND EXISTING) TO BE PROPERLY LABELED, CLEARLY INDICATING PANEL ID, CIRCUIT NUMBER DESCRIPTIONS AND ALL RELEVANT INFORMATION (SUB-FED FROM, VOLTAGE, AMP, ETC.). CIRCUIT NUMBERS SHOWN ON DRAWINGS ARE FOR GROUPING PURPOSE ONLY TO SHOW GENERAL CIRCUIT ARRANGEMENT AND PANEL DESIGNATION.
- PROVIDE NEW BREAKERS WITHIN EXISTING PANELS AS REQUIRED, RE-ARRANGE EXISTING CIRCUITS TO SUIT. FINAL ARRANGEMENT SHALL BE SHOWN ON RECORDS (AS BUILT) DRAWINGS AND ON SITE IN UPDATED PANEL DIRECTORIES (IN TYPEWRITTEN FORMAT).
- ALL LOW VOLTAGE STARTERS C/W LOW VOLTAGE CONTROL WIRING FOR MECHANICAL DEVICES SHALL BE SUPPLIED AND INSTALLED BY MECHANICAL CONTRACTOR UNLESS OTHERWISE NOTED. ALL LINE VOLTAGE STARTERS SHALL BE SUPPLIED BY MECHANICAL CONTRACTOR AND INSTALLED BY ELECTRICAL CONTRACTOR.
- ALL RECEPTACLES AND SYSTEM FURNITURE FEEDS SHALL BE LABELED TO INCLUDE PANEL AND CIRCUIT DESIGNATION.
- VERIFY WITH MANUFACTURER THE EXACT POWER REQUIREMENTS AND OUTLET TYPES FOR ALL SPECIALTY EQUIPMENT (COPY/PRINT MACHINES, KITCHEN EQUIPMENT, UPS, MECHANICAL EQUIPMENT ETC.) PRIOR TO INSTALLATION. REPORT ANY DISCREPANCIES TO ELECTRICAL CONSULTANT.
- THE SPECIFICATION OF THE SYSTEM FURNITURE IS 8 WIRE, 4 CIRCUITS SYSTEM. 4 HOT, 2 NEUTRAL AND 2 GROUND CONDUCTORS SHALL BE PROVIDED FOR SUCH A SYSTEM. FURNITURE WHIP IS BY THE FURNITURE SUPPLIER AND THE FINAL CONNECTION TO THE FURNITURE SYSTEM IS BY THE ELECTRICAL CONTRACTOR.
- FOR ALL COMMUNICATION SYSTEM (VOICE/DATA) OUTLETS, PROVIDE EMPTY CONDUIT SYSTEM COMPLETE WITH PULL STRING. ALL WORK SHALL BE COORDINATED WITH COMMUNICATIONS DRAWINGS AND WITH THE CLIENT PRIOR TO ANY INSTALLATION.
- ALL NEW FIRE ALARM DEVICES SHALL BE COMPATIBLE WITH THE EXISTING BASE BUILDING FIRE ALARM SYSTEM.
- COST OF MODIFICATION (ADDITION AND RELOCATION), TESTING AND VERIFICATION OF THE FIRE ALARM SYSTEM WITHIN THE SCOPE OF WORK SHALL BE INCLUDED IN THE TENDER BID. ALL CONNECTION TO THE BASE BUILDING FIRE ALARM SYSTEM SHALL BE DONE BY THE BASE BUILDING CONTRACTOR.

LUMINAIRE SCHEDULE

TYPE	LAMP	DESCRIPTION
A	LED 14W 3500K	PRESCOLITE LITEBOX PRO - 4" DOWNLIGHT; SWITCHABLE LUMENS 800/1200/1600; SWITCHABLE CCT SET TO 3500K; 90 CRI; DIFFUSE CLEAR ANODIZED REFLECTOR; C/W MOUNTING PAN & HANGER BARS AND 120V (0-10V) DIMMING. PRESCOLITE-CAT# LBRP-M-LS-SL-CS9-LBRP-4RD-T-D-LB-4R-F-TG
X	2W LED	SURFACE MOUNT EDGE/LIT GREEN RUNNING MAN EXIT SIGN, 120V SELF POWERED, 120MIN DISCHARGE. STANPRO-CAT# RMES-O-WH-IB1

LIGHTING CONTROL SCHEDULE

SYMBOL	DESCRIPTION
Ⓢ OS	WALL MOUNTED 120V DUAL TECHNOLOGY SWITCH OCCUPANCY SENSOR. FINISH COLOUR SHALL BE WHITE. WATTSTOPPER-CAT# DSW-301-120V
Ⓢ D	WALL MOUNTED (0-10V) DIMMING WALL SWITCH. FINISH COLOUR SHALL BE WHITE. WATTSTOPPER-CAT# RH4FBL3PW
Ⓢ OS	LINE VOLTAGE CEILING MOUNTED DUAL TECHNOLOGY OCCUPANCY SENSOR 120V. FINISH COLOUR SHALL BE WHITE. WATTSTOPPER-CAT# DT-355-120V

DRAWING LIST

DRAWING NUMBER	DESCRIPTION
E-01	ELECTRICAL LEGEND AND GENERAL NOTES
E-02	ELECTRICAL SPECIFICATION
E-03	ELECTRICAL SPECIFICATION
E-04	ELECTRICAL SPECIFICATION
E-05	ELECTRICAL LIGHTING DEMOLITION PLAN
E-06	ELECTRICAL POWER AND SYSTEMS DEMOLITION PLAN
E-07	ELECTRICAL LIGHTING PLAN
E-08	ELECTRICAL POWER AND SYSTEMS PLAN
E-09	ELECTRICAL DETAILS
E-10	ELECTRICAL DETAILS

ELECTRICAL LEGEND OF SYMBOLS

DESCRIPTION OF LIGHTING SYMBOLS		DESCRIPTION OF POWER SYMBOLS	
	RECESSED/SURFACE LIGHT FIXTURE - EXISTING TO REMAIN.		WALL MOUNTED 15A, 1P, 120V (NEMA 5-15R) OR AS NOTED DUPLEX RECEPTACLE. ('C' DENOTES CEILING MOUNTED)
	RECESSED/SURFACE LIGHT FIXTURE - EXISTING TO BE REMOVED OR REMOVED AND RELOCATED.		WALL MOUNTED 15A, 1P, 120V (NEMA 5-15R) OR AS NOTED QUAD RECEPTACLE. ('C' DENOTES CEILING MOUNTED)
	RECESSED/SURFACE LIGHT FIXTURE - NEW OR EXISTING LUMINAIRE SHOWN IN RELOCATED LOCATION.		OUTLETS MOUNTED ON A RACEWAY
	RECESSED DOWNLIGHT LIGHT FIXTURE - EXISTING, NEW, REMOVED OR RELOCATED (REFER TO ABBREVIATIONS NOTED BELOW).		HARDWIRE DIRECT CONNECTION OUTLET
	LETTER DESIGNATION SYMBOL "X" ETC. DENOTES LUMINAIRE TYPE. REFER TO LUMINAIRE SCHEDULE FOR SPECIFICATIONS.		SURFACE AND RECESSED MOUNTED POWER OR LIGHTING PANELBOARD. REFER TO PANEL SCHEDULES FOR SPECIFICATIONS
	WALL MOUNTED SINGLE POLE LIGHT SWITCH. COORDINATE MOUNTING HEIGHTS WITH DESIGNER'S DRAWINGS. VOLTAGE RATING SHALL BE COMPATIBLE TO LIGHT FIXTURES VOLTAGE.	DESCRIPTION OF COMMUNICATION SYMBOLS	
	WALL MOUNTED GANGED LIGHT SWITCHES. REFER TO DRAWINGS FOR QUANTITY OF SWITCHES. COORDINATE MOUNTING HEIGHTS WITH DESIGNER'S DRAWINGS. VOLTAGE RATING SHALL BE COMPATIBLE TO LIGHT FIXTURES VOLTAGE.		
	WALL MOUNTED DIMMER SWITCH. REFER TO LIGHTING CONTROL SCHEDULE FOR SPECIFICATIONS. COORDINATE MOUNTING HEIGHTS WITH DESIGNER'S DRAWINGS.	DESCRIPTION OF COMMUNICATION SYMBOLS	
	WALL MOUNTED LIGHT SWITCH C/W OCCUPANCY SENSOR. REFER TO LIGHTING CONTROL SCHEDULE FOR SPECIFICATION. COORDINATE MOUNTING HEIGHTS WITH DESIGNER'S DRAWINGS.		
	CEILING AND WALL MOUNTED OCCUPANCY MOTION SENSOR DEVICE. REFER TO LIGHTING CONTROL SCHEDULE FOR SPECIFICATIONS.		WALL MOUNTED COMBINATION VOICE/DATA OUTLET. ALL ASSOCIATED ROUGH-IN, JUNCTION BOXES AND CONDUITS TO BE PROVIDED AND INSTALLED BY DIV.16. ('C' DENOTES CEILING MOUNTED).
DESCRIPTION OF EMERGENCY SYMBOLS		DESCRIPTION OF FIRE ALARM SYMBOLS	
	CEILING MOUNTED EXIT LIGHT. HATCHING (S) DENOTE (S) ILLUMINATED FACE(S) ONLY AND ARROW (S) DENOTES DIRECTION.		WALL MOUNTED FIRE ALARM PULLSTATION DEVICE.
	WALL MOUNTED EXIT LIGHT. HATCHING (S) DENOTE (S) ILLUMINATED FACE (S) ONLY AND ARROW (S) DENOTES DIRECTION.		WALL MOUNTED FIRE ALARM BELL DEVICE ('C' DENOTES CEILING MOUNTED).
	LIGHT FIXTURES CONNECTED TO EMERGENCY POWER. REFER TO SPECIFICATIONS FOR TYPE.		CEILING AND WALL MOUNTED FIRE ALARM STROBE LIGHT DEVICE.
			FIRE ALARM SMOKE DETECTOR DEVICE.
			FIRE ALARM HEAT DETECTOR. ('C' DENOTES CEILING MOUNTED).
DESCRIPTION OF ABBREVIATIONS		DESCRIPTION OF ABBREVIATIONS	
IG	ISOLATED GROUND	TL	TWIST LOCK
JB	JUNCTION BOX	C	CEILING MOUNTED
NL	NIGHT LIGHT	AFF	ABOVE FINISHED FLOOR
E	EXISTING EQUIPMENT TO REMAIN	NTS	NOT TO SCALE
R	EXISTING EQUIPMENT TO BE REMOVED	C/W	COMPLETE WITH
ER	EXISTING EQUIPMENT IN NEW RELOCATED POSITION	EC	EMPTY CONDUIT
R/R	EQUIPMENT TO BE REMOVED AND REINSTALLED-LOCATION AS SHOWN ON THE DRAWINGS	CCT	CIRCUIT
WP	WEATHER-PROOF DEVICE	GRD	GROUND
GFI	GROUND FAULT INTERRUPTER		

CLIENT:

THE CITY OF OSHAWA

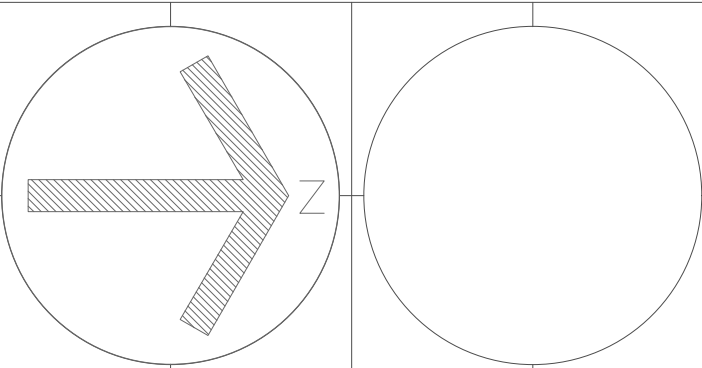


20 AMBER STREET, UNIT#6, MARKHAM, ONTARIO L3R 5P4.
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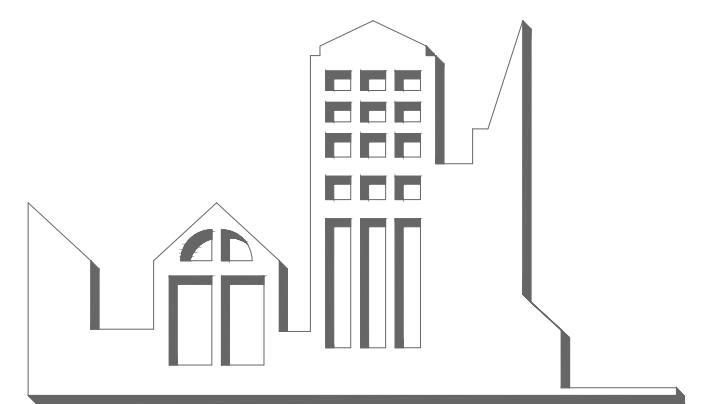


1 ISSUED FOR PERMIT/TENDER No. DESCRIPTION 20/09/2024 L.S. BY DATE.

REVISIONS



J.R. FREETHY ARCHITECT



325 LAKE ROAD, SUITE 202
BOWMANVILLE, ONTARIO
LIC 4P3 TEL. (905) 625-7476

PROJECT:

**BUILDING DEPARTMENT
OFFICE ALTERATIONS**

50 CENTRE ST. S, OSHAWA, ON

SCALE: N.T.S.

DWG. BY: L.S.

CHECKED BY: L.S.

STATUS:

PLOT FACTOR:

TITLE: **ELECTRICAL
LEGEND AND GENERAL
NOTES**

PROJECT No.: 24-0014 DWG. No.: E-01

DATE: SEPTEMBER __, 2024

Corporation of the City of Oshawa
TRUE COPY
OF FINAL REVIEWED
BUILDING PERMIT PLANS

Jan 29/2025
Tiana Ji
City of Oshawa Building Official

**BUILDING PERMIT #
BLD202401488**
CITY OF OSHAWA

CLIENT:

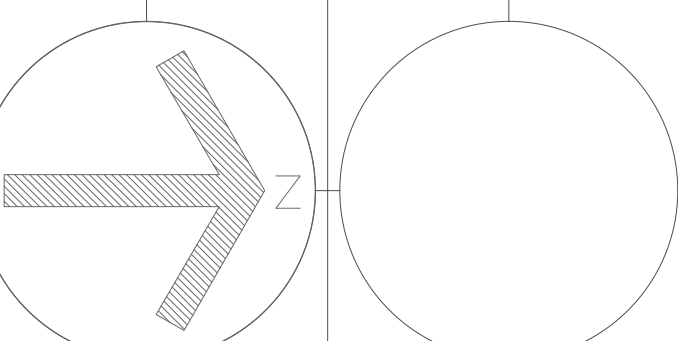
THE CITY OF OSHAWA



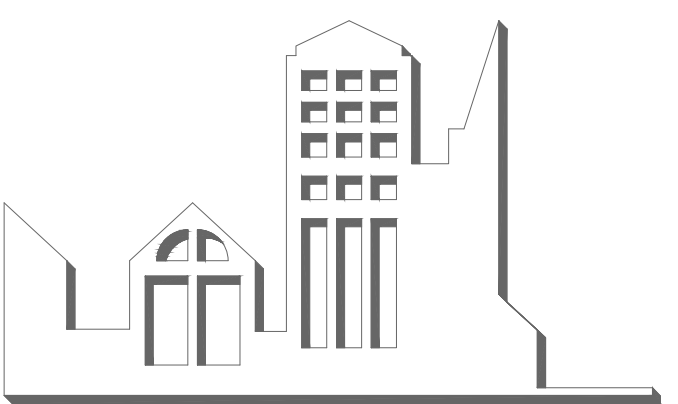
20 AMBER STREET, UNIT#6, MARKHAM, ONTARIO L3R 0P4.
Tel: (416) 824-5822, E: lina.simon@simna.ca



1	ISSUED FOR PERMIT/TENDER	LS	20/09/2024
No.	DESCRIPTION	BY	DATE
REVISIONS			



JR. FREETHY ARCHITECT



325 LAKE ROAD, SUITE 202
BOWMANVILLE, ONTARIO
LIC 4P3 TEL. (905) 625 7476

PROJECT:

**BUILDING DEPARTMENT
OFFICE ALTERATIONS**

50 CENTRE ST. S, OSHAWA, ON

SCALE: N.T.S.
DWG. BY: L.S.
CHECKED BY: L.S.
STATUS:
PLOT FACTOR:

TITLE:

**ELECTRICAL
SPECIFICATIONS**

PROJECT No.:
24-0014
DATE: SEPTEMBER __, 2024

DWG. No.:
E-02

1. GENERAL REQUIREMENTS

- 1.1. **DEFINITIONS**
 - 1.1.1. WHEN WORDS SUCH AS "PROVIDE", "SUPPLY" OR "SUPPLY AND INSTALL" ARE USED, IT IS INTERPRETED TO MEAN SUPPLY AND INSTALL COMPLETE WITH ALL MATERIALS, LABOUR, INSTALLATION AND COMMISSIONING FOR THE SCOPE REFERENCED ON THE PLANS.
- 1.2. **CONTRACT DOCUMENTS**
 - 1.2.1. DRAWINGS ARE PROVIDED BY THE CONSULTANT AND ARE INTENDED TO CONVEY THE SCOPE OF THE WORK AS WELL AS THE GENERAL DISTRIBUTION AND LOCATION OF EQUIPMENT.
 - 1.2.2. DRAWINGS ARE NOT INTENDED TO CONVEY DESIGN REQUIREMENTS FOR OTHER DISCIPLINES OR FOR THE EXISTING BASE BUILDING SYSTEMS.
 - 1.2.3. THE CONTRACTOR IS REQUIRED TO HAVE A THOROUGH UNDERSTANDING OF ALL ELEMENTS OF THE WORK BEFORE PROCEEDING.
 - 1.2.4. CONTRACTOR SHALL SUPPLY AND INSTALL A FULLY OPERATIONAL AND FUNCTIONAL SYSTEM, INCLUDING ALL ACCESSORIES REQUIREMENT IN THE BID SUBMISSION. ANY SIGNIFICANT CHANGES REQUESTED BY THE CONTRACTOR TO THE DESIGN INTENT OR SPECIFICATIONS SHALL BE SUBMITTED TO THE CONSULTANT IN WRITING FOR CONSIDERATION BEFORE ANY WORK IS UNDERTAKEN.
 - 1.2.5. ALL MATERIALS AND EQUIPMENT USED SHALL BE NEW, CSA CERTIFIED AND MANUFACTURED TO THE STANDARDS SPECIFIED. SALVAGED EQUIPMENT SHALL NOT BE USED UNLESS WITH PRIOR APPROVAL FROM CONSULTANT/OWNER.
 - 1.2.6. ANY CHANGES OR ADDITIONS TO DESIGN, MATERIALS OR EQUIPMENT NECESSARY TO ACCOMMODATE OTHER DISCIPLINES DESIGN REQUIREMENTS SHALL BE MADE BY THE CONTRACTOR AT NO COST.
- 1.3. **TENANT'S EQUIPMENT**
 - 1.3.1. ALL EQUIPMENT PROVIDED BY THE OWNER OR TENANT SHALL BE RECEIVED, STORED AND INSTALLED AS PER SPECIFICATIONS FROM THE MANUFACTURER. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL EQUIPMENT AS WELL AS ALL ACCESSORIES REQUIRED TO INSTALL AND OPERATE CORRECTLY.
- 1.4. **INSURANCE**
 - 1.4.1. CONTRACTOR SHALL AT THE TIME OF BID SUBMISSION PROVIDE COPIES OF WSIB CLEARANCE CERTIFICATE AS WELL AS INSURANCE CERTIFICATE IN GOOD STANDING THAT NAMES THE OWNER AS AN ADDITIONAL INSURED.
 - 1.4.2. INSURANCE AMOUNT SHALL BE APPROVED BY CONSULTANT, OWNER AND TENANT BEFORE APPROVAL OF THE BID SUBMISSION.
 - 1.4.3. CONTRACTOR SHALL MAINTAIN THROUGHOUT THE PROJECT ALL INSURANCE REQUIREMENTS AS PER THE BID DOCUMENTS.
- 1.5. **PERMITS AND FEES**
 - 1.5.1. THE CONTRACTOR SHALL BE REQUIRED, AT THEIR OWN EXPENSE TO OBTAIN ALL REQUIRED PERMITS, INSPECTIONS AND REGULATORY APPROVALS REQUIRED TO COMPLETE THE WORK.
 - 1.5.2. COPIES OF THESE DOCUMENTS INCLUDING DEFICIENCY REPORTS, INSPECTIONS AND CERTIFICATES SHALL BE SENT TO ALL PARTIES INCLUDING THE CONSULTANT AND OWNER WITHIN THREE DAYS OF RECEIPT.
- 1.6. **EXISTING CONDITIONS**
 - 1.6.1. THE CONTRACTOR WILL BE REQUIRED TO VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO THE COMMENCEMENT OF THE WORK AND SUBMISSION OF BID.
 - 1.6.2. NO CLAIMS WILL BE ENTERTAINED FOR EXTRA WORK AS A DIRECT RESULT OF NONATTENDANCE AT THE WORK SITE. THIS INCLUDES ALL SERVICES AT ARE REASONABLY ACCESSIBLE THROUGH A VISUAL INSPECTION (INCLUDING EXISTING SERVICES ABOVE THE CEILING) OR REASONABLE INFERENCE DURING THE SITE EXAMINATION PRIOR TO BID SUBMISSION.
 - 1.6.3. IN ANY INSTANCES WHERE IT IS SUSPECTED THAT ASBESTOS IS PRESENT CONSULTANT MUST BE INFORMED AS SOON AS POSSIBLE. ANY REMEDIATION WORK REQUIRED WILL BE INCLUDED IN BID PRICE.
- 1.7. **WORK IN NEW AND RENOVATED AREAS**
 - 1.7.1. FOR ALL EXISTING ELECTRICAL DEVICES MEANT TO BE REMOVED, ENSURE TO INCLUDE REMOVAL OF DISCONNECTED WIRING AND CUT BACK TO SOURCE (ELECTRICAL PANEL OR MAIN DISTRIBUTION).
 - 1.7.2. ALL REDUNDANT CONDUITS SHALL BE CUT BACK TO THE NEAREST JUNCTION BOX.
 - 1.7.3. FOR ALL EXISTING OUTLET BOXES ARE TO BE REMOVED FROM EXISTING UNDER FLOOR DUCTS, ENSURE THAT ALL EXISTING HOLES ARE CAPED AND FLUSH WITH THE FLOOR. PROVIDE ALL NECESSARY AND APPROVED FITTINGS.
 - 1.7.4. WORK SHALL BE DONE WITH MINIMAL DISRUPTION TO OCCUPANTS AND SPACE.
 - 1.7.5. THE LANDLORD MUST GIVE WRITTEN APPROVAL FOR THE USE OF ANY POWER EQUIPMENT, ELEVATORS, WASHROOMS OR ANY OCCUPIED SPACE THAT MAY BE REQUIRED TO COMPLETE THE WORK.
 - 1.7.6. ALL EXPOSED EXISTING CONDUITS INSTALLED IN FINISHED AREAS THAT ARE REQUIRED TO REMAIN, SHALL BE REROUTED AND OR REMOVED.
 - 1.7.7. THE SITE SHALL BE MAINTAINED IN A CLEAN AND ORGANIZED SITE. EACH DAY CONTRACTOR SHALL CLEAN THE AREA AND CORRECTLY DISPOSE OF ALL WASTE MATERIALS. WHERE APPLICABLE RECYCLING SERVICES WILL BE UTILIZED. PROVIDE ALL THE TOOLS AND CLEANING EQUIPMENT.
 - 1.7.8. ANY ELECTRICAL EQUIPMENT THAT ARE IN GOOD WORKING ORDER AND WILL NO LONGER BE REQUIRED SHALL BE PACKAGED UP, LABELLED AND RETURN TO OWNER OR LANDLORD.
 - 1.7.9. ANY EQUIPMENT TO BE REUSED WILL BE REFURBISHED ACCORDINGLY. THE CONTRACTOR IS REQUIRED TO PROVIDE CERTIFICATES TO SHOW REFURBISHED EQUIPMENT MEET ALL REGULATORY BODIES REQUIREMENTS.
 - 1.7.10. REMOVE ALL REDUNDANT DEVICES, CABLE, CONDUIT AND COMMUNICATIONS CABLES. CUT BACK ALL CABLES TO SOURCE.
 - 1.7.11. ALL DAMAGED EQUIPMENT IS TO BE DISPOSED OF AND REPLACED AT NO COST TO THE OWNER.
 - 1.7.12. ANY DAMAGES INCURRED TO THE BASE BUILDING SYSTEMS WHILE WORK IS BEING PERFORMED IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR OR ANY SUBCONTRACTOR CARRIED BY THE CONTRACTOR. CONTRACTOR SHALL BE REQUIRED TO SHOULD ANY ASSOCIATED COST WITH ANY DAMAGES.
 - 1.7.13. ALL DUST, DEBRIS, DIRT OR OTHER MATERIALS LEFT AS A RESULT OF THE WORK ARE TO BE CLEANED BY THE CONTRACTOR.
- 1.8. **VALUATION OF CHANGES**
 - 1.8.1. ALL QUOTES FOR CHANGE NOTICES SHALL:
 - 1.8.1.1. BE SUBMITTED WITHIN TEN DAYS OF THE ISSUE OF THE CHANGE.
 - 1.8.1.2. A BREAKDOWN OF MATERIAL, LABOUR OVERHEAD AND ANY OTHER RELEVANT COSTS ASSOCIATED WITH THE WORK.
 - 1.8.1.3. HOURLY LABOUR COSTS, THIS COSTS SHALL BE INCLUSIVE OF ALL ASSOCIATED LABOUR COSTS NOT LIMITED TO INSURANCE, OVERHEAD EXPENSE, WARRANTIES ETC.
 - 1.8.1.4. QUOTE SHALL INCLUDE ANY PROPOSED COST SAVINGS
 - 1.8.1.5. THE QUOTATION SHALL REFERENCE THE CONSULTANTS CHANGE DIRECTLY.
 - 1.8.1.6. ALL QUOTES SHALL NOT SURPASS THE RATES AND COSTS AS PER NECA & NPS AS OF THE DATE THE QUOTE WAS ISSUED.
- 1.9. **WARRANTY**
 - 1.9.1. **WARRANTY**
 - 1.9.1.1. THE CONTRACTOR MUST SUBMIT ALL WARRANTY DOCUMENTATION TO THE CONSULTANT AND THE OWNER PRIOR TO SUBSTANTIAL COMPLETION CERTIFICATE ISSUE.
 - 1.9.1.2. WARRANTY TO INCLUDE ANY EQUIPMENT, MATERIALS, LABOUR, WORKMANSHIP OR ANY PART OF THE WORK DONE BY THE CONTRACTOR OR THEIR SUBCONTRACTORS
 - 1.9.1.3. WARRANTY SHALL BE VALID ON ALL ITEMS, WITHOUT EXCLUSION FOR A PERIOD OF (1) ONE YEAR.
 - 1.9.1.4. ANY DEFICIENCIES FOUND DURING THE WARRANTY PERIOD, EITHER FROM NEGLIGENCE FROM THE CONTRACTOR OR FROM PERCEIVED PERFORMANCE DEFICIENCIES SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO COST.
 - 1.9.1.5. THE WARRANTY PERIOD WILL START WHEN THE CONTRACTOR HAS GIVEN ALL RELEVANT TESTING, COMMISSIONING, OPERATIONS AND MAINTENANCE MANUAL DOCUMENTATION.
 - 1.9.1.6. REPLACE AT NO COST WITHIN (90) DAYS OF ISSUE OF SUBSTANTIAL COMPLETION CERTIFICATE THE FOLLOWING:
 - 1.9.1.6.1. ANY LIGHTING DEVICES,
 - 1.9.1.6.2. LAMPS
 - 1.9.1.6.3. TRANSFORMERS
 - 1.9.1.6.4. BALLASTS
 - 1.9.1.6.5. DEFECTIVE OR BURNT OUT BULBS
 - 1.9.1.7. ALL WARRANTY REPAIR WORK SHALL BE CARRIED OUT AT A TIME ACCEPTABLE BY THE TENANT AND OWNERS REPRESENTATIVE.

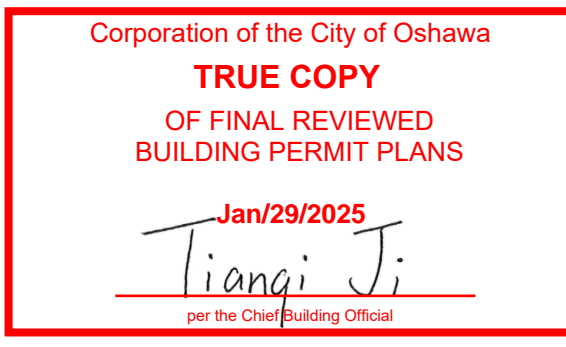
- 1.10. **CODES & STANDARDS**
 - 1.10.1. THE INSTALLATION OF THE WORK SHALL BE IN ACCORDANCE WITH THE MOST STRINGENT STANDARDS AND CODES APPLICABLE TO THE WORK. ALL WORK SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE ONTARIO BUILDING CODE, CSA, ELECTRICAL SAFETY AUTHORITY, ULC, OSHA, AND ALL OTHER APPLICABLE CODES, BULLETINS AND UPDATES THAT GOVERN THE WORK. THESE CODES MUST BE REFLECTED IN THE BID SUBMISSION, UP TO AND INCLUDING THE DATE OF SUBMISSION.
 - 1.10.2. LANDLORD'S REQUIREMENTS, CONSULTANT'S DRAWINGS AND BASE BUILDING STANDARDS SHALL BE ADHERED TO THROUGH THE PROJECT AND TENDER PERIOD. ANY SIGNIFICANT CHANGES TO THE REQUIREMENTS MUST BE SUBMITTED TO THE CONSULTANT IN WRITING BEFORE ANY CHANGES ARE COMPLETED.
 - 2. **OPERATION AND MAINTENANCE OF ELECTRICAL SYSTEMS**
 - 2.1. **GENERAL**
 - 2.1.1. PROVIDE THREE HARD COPY SETS OF OPERATION AND MAINTENANCE MANUALS, BOUNDED AND ORGANIZED.
 - 2.1.2. OPERATION AND MAINTENANCE MANUAL SHALL INCLUDE COMPLETE DOCUMENTATION OF ALL THE ELECTRICAL SYSTEMS DEVICES AND INSULATION AND SHALL NOT BE LIMITED TO LINE VOLTAGE POWER DEVICES.
 - 2.1.3. THE FOLLOWING INFORMATION SHALL BE INCLUDED IN THE OPERATIONS AND MAINTENANCE MANUALS:
 - 2.1.3.1. NAMES AND ADDRESS OF THE NEAREST SUPPLIERS FOR THE ITEMS INCLUDED IN THE MAINTENANCE MANUAL.
 - 2.1.3.2. TECHNICAL AND PRODUCT DATA TO BE IN A FORM OF APPROVED SHOP DRAWINGS SUPPLEMENTED BY BULLETINS AND COMPONENT ILLUSTRATIONS.
 - 2.1.3.3. ELECTRICAL SAFETY INSPECTION REPORT.
 - 2.1.3.8. CERTIFICATE(S) OF ACCEPTANCE FROM THE AUTHORITIES INSPECTION DEPARTMENT.
 - 2.1.3.9. MAINTENANCE SCHEDULE, INCLUDING RECOMMENDED PROVIDERS.
 - 2.1.3.10. COMPONENT ILLUSTRATIONS, TECHNICAL DESCRIPTIONS AND PARTS LIST.
 - 2.1.3.11. ALL TRAINING DOCUMENTATION FOR MAINTENANCE STAFF.
 - 2.1.3.12. TEST VERIFICATION REPORTS AND CERTIFICATE(S) INCLUDING FIRE ALARM VERIFICATION REPORT.
 - 2.1.3.13. LOAD BALANCE REPORT AND WIRING.
 - 2.1.3.14. WRITTEN GUARANTEE LETTER.
 - 2.1.3.15. MEGGER TEST REPORT IN GIGA OHM (G) VALUES.
 - 2.1.3.16. COORDINATION STUDY FOR EQUIPMENT INCLUDING RELAY PROTECTION EQUIPMENT, SHORT CIRCUIT AND ARC FLUSH IF APPLICABLE.
 - 2.1.3.17. LIST OF EACH LIGHT FIXTURES TYPE IDENTIFYING THE TYPE OF LAMP, WATTAGE AND MANUFACTURER'S CONTACT INFORMATION.
 - 2.1.3.12. ADVERTISING OR SALES LITERATURE IS NOT ACCEPTABLE.
 - 3. **COMMON WORK RESULTS FOR ELECTRICAL**
 - 3.1. **GENERAL SERVICE EQUIPMENT**
 - 3.1.1. ALL NEW ELECTRICAL SERVICE EQUIPMENT TO EXISTING BASE BUILDING EQUIPMENT IN MANUFACTURE NAME, RATING, TYPE, ETC., UNLESS OTHERWISE DIRECTED.
 - 3.1.2. APPROVED EQUAL SERVICE EQUIPMENT MANUFACTURERS ARE 'SIEMENS, SCHNEIDER ELECTRIC, EATON CUTLER-HAMMER'.
 - 3.1.3. ALL NEW SERVICE EQUIPMENT MUST BE SUBMITTED FOR APPROVAL TO THE CONSULTANT. SUBMITTALS SHALL INCLUDE PRODUCTS DATA SHEETS AS WELL AS SHOP DRAWINGS.
 - 3.1.4. ALL NEW SERVICE EQUIPMENT (PANELBOARDS, DISCONNECT SWITCHES, METERS, TRANSFORMERS, ETC.) TO BE COPPER WINDINGS/BUS-BARS.
 - 3.1.5. ALL AUTOMATIC TRANSFER SWITCHES AND SURFACE MOUNTED PANELBOARDS MUST BE SPRINKLER PROOF.
 - 3.1.6. FOR ALL FLOOR MOUNTED DISTRIBUTION EQUIPMENT INCLUDING UPS, PROVIDE 100MM (4") HIGH CONCRETE BASE WITH 50MM (2") EXTENSION ON ALL SIDES AND CHAMFERED CORNERS.
 - 3.2. **NAMEPLATES**
 - 3.2.1. PROVIDE LAMACOOD NAMEPLATES ON ALL DISCONNECT SWITCHES, PANELS, SPLITTERS ETC.
 - 3.2.2. EACH NAMEPLATE WILL HAVE THE FOLLOWING:
 - 3.2.2.1. DESIGNATION
 - 3.2.2.2. VOLTAGE
 - 3.2.2.3. NUMBER OF WIRES
 - 3.2.2.4. PHASE
 - 3.2.2.5. FEED LOCATION
 - 3.2.3. ALL NAMEPLATES FOR NEW EQUIPMENT TO MATCH EXISTING BASE BUILDING NAMEPLATES.
 - 3.2.4. ALL NAMEPLATES SHALL BE MECHANICALLY FIXED TO LOCATIONS AND AFFIXED BEFORE ENERGIZATION OF EQUIPMENT.
 - 3.2.5. MARK ALL EXPOSED CONDUIT, PULL BOXES, JUNCTION BOXES ETC.
 - 3.2.6. ALL NEW AND EXISTING PANEL BOARDS SHALL BE COMPLETE WITH PANEL DIRECTORY.
 - 3.3. **PANELBOARD**
 - 3.3.1. ALL NEW PANELBOARDS SHALL BE COMPLETE WITH 200% RATED NEUTRAL BUS.
 - 3.3.2. MOULDED CASE CIRCUIT BREAKERS SHALL BE BOLT-ON TO THE PANEL.
 - 3.3.3. ALL BUS BARS, LUGS AND BREAKER TERMINAL SHALL BE COPPER AND SILVER PLATED AT THE CONNECTION POINT.
 - 3.3.4. ALL MAIN BREAKERS SHALL BE INDIVIDUALLY MOUNTED ON TOP OR BOTTOM OF THE PANEL TO ACCOMMODATE CABLE ENTRY.
 - 3.3.5. THE INTERRUPTING RATING SHOULD BE MINIMUM 10KA FOR 208V PANELS AND 14KA FOR 347/600V PANELS.
 - 3.4. **BREAKERS**
 - 3.4.1. ALL NEW AND EXISTING BREAKERS FOR EMERGENCY LIGHTING, EXIT SIGN AND BACKUP POWER BATTERIES SHALL BE COMPLETE WITH REQUIRED BREAKER LOCKS.
 - 3.4.2. TANDEM BREAKERS ARE NOT ACCEPTABLE.
 - 3.4.3. ALL NEW BREAKERS IN EXISTING PANELS SHALL MATCH EXISTING BREAKERS TYPE AND MANUFACTURE. CONFIRM TYPE ON SITE.
 - 3.4.4. ALL SPLIT RECEPTACLES SHALL BE COMPLETE WITH 15A/2P GFI BREAKER.
 - 3.5. **TRANSFORMERS**
 - 3.5.1. ALL SMALL TRANSFORMERS SHALL BE DRY TYPE AND SHALL HAVE THE FOLLOWING SPECIFICATIONS:
 - 3.5.1.1. INDOOR AIR-COOLED TYPE RATED THREE PHASE, 60 CYCLE.
 - 3.5.1.2. K FACTOR OF 13 AND WITH ELECTROSTATICALLY SHIELDED.
 - 3.5.1.3. COPPER WINDINGS.
 - 3.5.1.4. TRANSFORMERS SHALL NOT BE "T-TAP" TYPE.
 - 3.5.1.5. DESIGNED WITH CLASS B' OR H INSULATION SYSTEM.
 - 3.5.1.6. DOUBLE LUGS ON TRANSFORMER NEUTRALS.
 - 3.5.2. ALL CEILING MOUNTED TRANSFORMERS UP TO 45KVA SHALL BE SUSPENDED BY A SUSPENSION RODS AND SPRING ISOLATORS WHILE TRANSFORMERS 60KVA AND LARGER SHOULD BE FLOOR MOUNTED ON KORFUND ISOLATION PADS.
 - 3.5.3. ALL TRANSFORMERS SHALL BE SPRINKLER PROOF AS REQUIRED TO MEET LOCAL CODES.
 - 3.6. **DISCONNECT SWITCHES**
 - 3.6.1. ALL DISCONNECT SWITCHES SHALL BE HEAVY DUTY, CSA APPROVED, FRONT OPERATED TYPE.
 - 3.6.2. FUSIBLE DISCONNECT SWITCHES TO BE COMPLETE WITH FUSE CLIPS SUITABLE FOR ARC FUSES, UNLESS OTHERWISE NOTED AND COMPLETE WITH SHORT CIRCUIT CURRENT RATING OF 200KA.
 - 3.6.3. DISCONNECT SWITCH ENCLOSURE TO BE SPRINKLER-PROOF.
 - 3.6.4. AMP RATING, NUMBER OF POLES AND FUSE REQUIREMENTS ARE AS INDICATED ON DRAWINGS.
 - 3.7. **RECEPTACLES**
 - 3.7.1. ALL DUPLEX RECEPTACLES SHALL BE SPECIFICATION GRADE 15A, 120 VOLT, "U" GROUND COMPLETE WITH MATCHING COVER PLATES UNLESS OTHERWISE NOTED.
 - 3.7.2. ALL DUPLEX RECEPTACLES SHALL BE 'DESIGNER' RECTILINEAR STYLE.
 - 3.7.3. ALL RECEPTACLES TO HAVE CIRCUIT NUMBER IDENTIFIED ON THE WALL PLATE.
 - 3.7.4. ALL RECEPTACLES LOCATED WITHIN 1.5 METERS OF THE SINK, SHOWER, ETC. SHALL BE GFI TYPE.
 - 3.7.5. ALL OUTDOOR RECEPTACLES SHALL BE COMPLETE WITH WEATHER PROOF COVERS AND COMPLETE WITH GFI BREAKERS.
- 3.8. **DRYWALL CEILINGS**
 - 3.8.1. ALL EXISTING JUNCTION BOXES LOCATED IN NEW DRYWALL CEILING AREAS SHALL BE DISCONNECTED AND RELOCATE TO THE NEAREST ACCESSIBLE CEILING SPACE.
 - 3.8.2. ALL NEW AND EXISTING JUNCTION BOXES SHALL BE ACCESSIBLE. PROVIDE ACCESS PANELS AS REQUIRED. COORDINATE ALL WORK WITH GENERAL CONTRACTOR ON SITE.
- 3.9. **INTERRUPTION OF SERVICES**
 - 3.9.1. INTERRUPTION OF ELECTRICAL SERVICE TO ANY PART OF THE BUILDING SHALL OCCUR ONLY BY PRE-ARRANGEMENT WITH CONSULTANT AND OWNERS REPRESENTATIVE.
 - 3.9.2. PLANNED INTERRUPTIONS OF SERVICE MUST BE GIVEN AT LEAST (36) THIRTY-SIX HOURS' NOTICE, IN WRITING, TO THE CONSULTANT, TENANTS AND ANY OCCUPANTS THAT MAY BE AFFECTED.
 - 3.9.3. ANY UNPLANNED INTERRUPTION TO SERVICE THAT RESULTS IN A SIGNIFICANT LOSS OF THE OWNER, TENANTS OR OCCUPANTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - 3.9.4. ALL INTERRUPTIONS IN SERVICE SHALL BE ACCOUNTED FOR IN THE BID PRICE.
- 3.10. **CUTTING AND PATCHING**
 - 3.10.1. OBTAIN WRITTEN APPROVAL FROM CONSULTANT OR LANDLORD BEFORE ANY CUTTING IS CARRIED OUT.
 - 3.10.2. ALL CUTTING AND PATCHING REQUIREMENTS SHALL BE INCLUDED IN THE BID SUBMISSION.
 - 3.10.3. WHERE CONDUITS PASS THROUGH FIRE RATED WALLS OR FLOORS, PROVIDE FIRE-STOPPING MATERIAL.
 - 3.10.4. FIRE STOPPING MUST MEET MOST CURRENT REQUIREMENTS OF CSA AND ULC.
- 3.11. **CORE DRILLING**
 - 3.11.1. OBTAIN OWNER'S AND IF REQUIRED STRUCTURAL CONSULTANT'S APPROVAL OF CORE DRILLING PRIOR TO COMMENCEMENT OF ANY WORK.
 - 3.11.2. ENSURE TO X-RAY FLOOR SLAB OR STRUCTURAL WALLS REQUIRE CORE DRILLING PRIOR TO ANY WORK.
 - 3.11.3. ANY DAMAGES TO THE EXISTING BUILDING SERVICES DUE TO THE CORE DRILLING MUST BE REPAIRED BY THIS CONTRACTOR WITHOUT ANY ADDITIONAL COST TO OWNER OR TENANT.
 - 3.11.4. ALL CORING AND DRILLING DUE TO THE CONTRACTOR'S MISS COORDINATING WITH DESIGNERS OR OTHER TRADES SHALL BE DONE WITHOUT ANY ADDITIONAL COST TO OWNER OR TENANT.
 - 3.11.5. FLOOR DRILLING TO BE CARRIED OUT AFTER NORMAL WORKING HOURS IF POSSIBLE. ALL TIMES SHALL BE APPROVED BY THE OWNER PRIOR TO DRILLING.
- 3.12. **ACCESS DOORS**
 - 3.12.1. PROVIDE ACCESS DOORS FOR ANY EQUIPMENT REQUIRES ACCESSIBILITY AND MAINTENANCE. OBTAIN OWNER'S AND DESIGN CONSULTANT APPROVAL PRIOR TO ANY WORK.
- 3.13. **PLYWOOD**
 - 3.13.1. INSTALL ALL SURFACE MOUNTED ELECTRICAL DISTRIBUTION EQUIPMENT ON CONSTRUCTION GRADE FIRE PLYWOOD.
 - 3.13.2. PLYWOOD BACKBOARD SHALL BE 19MM THICK, FLAME RETARDANT PRIME COAT PAINTED WITH FLAME SPREAD RATING IN ACCORDANCE WITH CBC REQUIREMENTS.
- 3.14. **OUTLET LOCATION AND MOUNTING HEIGHT**
 - 3.14.1. REFER TO ARCHITECTURAL/INTERIOR DESIGNER'S DRAWINGS AND ELEVATIONS FOR EXACT OUTLETS BOXES AND LIGHT FIXTURES LOCATION AND MOUNTING HEIGHT.
 - 3.14.2. THERE SHOULD NOT BE ANY ADDITIONAL COST FOR REVISING OUTLET BOXES AND LIGHT FIXTURES LOCATION WITHIN DISTANCE DOSE NOT EXCEED 3M (10'-0").

4. SELECTIVE DEMOLITION FOR ELECTRICAL

- 4.1. **DEMOLITION REQUIREMENTS**
 - 4.1.1. IT IS REQUIRED TO FIRST VISITS THE SITE TO ASSESS RISK, COST SAVINGS AND REASONABLE PLAN TO MINIMIZE DISTURBANCES TO OCCUPANTS.
 - 4.1.2. SUBMIT DEMOLITION PLAN TO THE CONSULTANT FOR REVIEW AND COMMENTS BEFORE UNDERSTATING MAJOR DEMOLITIONS. CONSULTANT AND ARCHITECT TO REVIEW DEMOLITION PLAN TO MAINTAIN CONSISTENCY WITH DESIGN INTENT.
 - 4.1.3. INCLUDE SAFETY PLAN FOR DEMOLITION AND SHALL SUBMIT WITH DEMOLITION PLAN.
 - 4.1.4. ENSURE NO DISRUPTION TO LIFE SAFETY EQUIPMENT OR SYSTEMS WITHOUT PRIOR NOTICE TO TENANTS AND CONSULTANTS. WHERE DISRUPTION IS NECESSARY, ENSURE BACKUP SYSTEMS IS IN PLACE IN ORDER TO ENSURE THE SAFETY OF THE OCCUPANTS IN CASE OF AN EMERGENCY.
 - 4.1.5. ALL DEMOLISHED EQUIPMENT, CONDUIT, DEVICES AND WIRING ETC. SHALL BE MADE SAFE. ALL REDUNDANT MATERIALS WILL BE COMPLETELY REMOVED AND DISPOSED OF RESPONSIBLY.
 - 4.1.6. ANY DAMAGES INCURRED WHILE CONDUCTING THE DEMOLITION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - 4.1.7. ANY UNPLANNED DISRUPTION OF SERVICES DURING DEMOLITION THAT LEAD TO INCURRED COST, LOSS OF PRODUCTIVITY OR LOSS OF INCOME IMPACTING THE TENANT OR OWNER SHALL BE REIMBURSED BY THE CONTRACTOR AT COST.
 - 4.1.8. DISCONNECT ELECTRICAL CIRCUITS AND PANEL FEEDERS; MAINTAIN ELECTRICAL SERVICE AND MAIN DISTRIBUTION PANEL AS IS, READY FOR SUBSEQUENT WORK.
 - 4.1.9. REMOVE EXISTING LUMINAIRES, ELECTRICAL DEVICES AND EQUIPMENT INCLUDING ASSOCIATED CONDUITS, BOXES, WIRING, AND SIMILAR ITEMS UNLESS SPECIFICALLY NOTED OTHERWISE.
 - 4.1.10. DISCONNECT AND REMOVE EXISTING FIRE ALARM SYSTEM INCLUDING ASSOCIATED CONDUITS, BOXES, WIRING, AND SIMILAR ITEMS UNLESS SPECIFICALLY NOTED OTHERWISE.
 - 4.1.11. DISCONNECT AND REMOVE COMMUNICATION SYSTEMS INCLUDING ASSOCIATED CONDUITS, BOXES, CABLING, AND SIMILAR ITEMS UNLESS SPECIFICALLY NOTED OTHERWISE.
 - 4.1.12. DISCONNECT AND REMOVE TELEPHONE OUTLETS, ASSOCIATED CONDUIT, CABLING AND SUB TERMINAL BACKBOARDS AND RELATED ACCESSORIES; MAINTAIN TELEPHONE SERVICE AND MAIN TERMINAL BACKBOARD AS IS.
 - 4.1.13. PERFORM DEMOLITION WORK IN A NEAT AND WORKMANLIKE MANNER.
 - 4.1.14. REMOVE TOOLS OR EQUIPMENT AFTER COMPLETION OF WORK, AND LEAVE SITE CLEAN AND READY FOR SUBSEQUENT RENOVATION WORK.
 - 4.1.15. REPAIR AND RESTORE DAMAGES CAUSED AS A RESULT OF WORK OF THIS SECTION TO MATCH EXISTING MATERIALS AND FINISHES.
 - 4.1.16. DISCONNECT PANEL FEEDERS BACK TO MAIN DISTRIBUTION PANEL AND RE LABEL RESPECTIVE CIRCUIT BREAKER AS 'SPARE'.
 - 4.1.17. PLACE WEATHERPROOF BLANK COVER PLATES ON EXTERIOR OUTLET BOXES REMAINING AFTER DEMOLITION AND REMOVAL ACTIVITIES.
 - 4.1.18. REMOVE EXISTING CONDUITS, BOXES, CABLING AND WIRING ASSOCIATED WITH REMOVED LUMINAIRES, ELECTRICAL DEVICES AND EQUIPMENT.
 - 4.1.19. GRIND OFF CONDUITS AND MAKE FLUSH WITH SURFACE OF CONCRETE WHERE CONDUITS ARE CAST INTO CONCRETE; SEAL OPEN ENDS OF CONDUIT WITH SILICONE SEALANT AND LEAVE IN PLACE.
 - 4.1.20. SEAL OPEN ENDS OF CONDUIT WITH SILICONE SEALANT AND LEAVE IN PLACE WHERE THEY ARE INACCESSIBLE OR CANNOT BE REMOVED WITHOUT DAMAGING ADJACENT CONSTRUCTION.

5. LOW-VOLTAGE ELECTRICAL POWER CONDUCTORS AND CABLES

- 5.1. **WIRE & CABLE**
 - 5.1.1. PROVIDE SEPARATE INSULATED BONDING WIRE IN CONDUIT.
 - 5.1.2. MINIMUM WIRE SIZES, BASED ON USE OF COPPER CONDUCTORS:
 - 5.1.2.1. POWER AND LIGHTING: NO.12 AWG, COLOUR CODED CONDUCTORS.
 - 5.1.2.2. RW90 FOR INTERIOR AND RWU90 FOR EXTERIOR WIRING.
 - 5.1.2.3. 600VOLT RATING.
 - 5.1.2.4. CONDUCTORS NO. 10 AND LARGER: STRANDED.
 - 5.1.2.5. MINIMUM CONDUIT SIZE 19MM (3/4").
 - 5.1.2.6. INSTALL WIRING IN OR UNDER FLOOR SLABS IN RIGID PVC CONDUIT.
 - 5.1.2.7. INSTALL TERMINATION FITTINGS APPROVED FOR LOCATION ON CABLE.
 - 5.1.3. ALL WIRE SHALL BE SIZED FOR MAXIMUM 2% VOLTAGE DROP.
 - 5.1.4. USE TYPE AC90 ARMoured CABLE (BX) FOR:
 - 5.1.4.1. CONNECTIONS FROM CONDUIT TO LUMINAIRES IN ACCESSIBLE CEILINGS AND STUD PARTITIONS.
 - 5.1.4.2. SERVING DEVICES IN STUD PARTITION WALLS FROM OUTLET BOX IN CEILING TO DEVICE LOCATION.
 - 5.1.4.3. DO NOT LOOP BETWEEN WIRING DEVICES.
 - 5.1.5. DO NOT USE TYPE AC90 CABLES FOR ANY OTHER APPLICATION.
 - 5.1.6. INSTALL CABLE DROPS FOR LUMINAIRES OF SUFFICIENT LENGTH TO ALLOW LUMINAIRE TO BE RELOCATED TO ANY LOCATION WITHIN [3000] MM RADIIUS.
 - 5.1.7. CLAMP CABLE BEFORE ENTERING LUMINAIRE AND CLIP CABLE BEFORE ENTERING CONDUIT SYSTEM JUNCTION BOX.
 - 5.1.8. ALL WALL MOUNTED DEVICES SHALL BE FED VERTICALLY.
 - 5.1.9. HORIZONTAL RUNS THROUGH PARTITIONS SHALL NOT BE PERMITTED UNLESS OTHERWISE NOTED.
 - 5.1.10. ALL HOME RUN CABLES SHALL BE IN CONDUIT.
 - 5.1.11. CHANG OF LOCATION OF WIRING DEVICES WITH IN 5M OF THE LOCATION SHOWN ON THE PLANS SHALL BE AT NO COST TO THE CLIENT ASSUMING THE LOCATION HAS BEEN CLARIFIED PRIOR TO INSTALLATION.

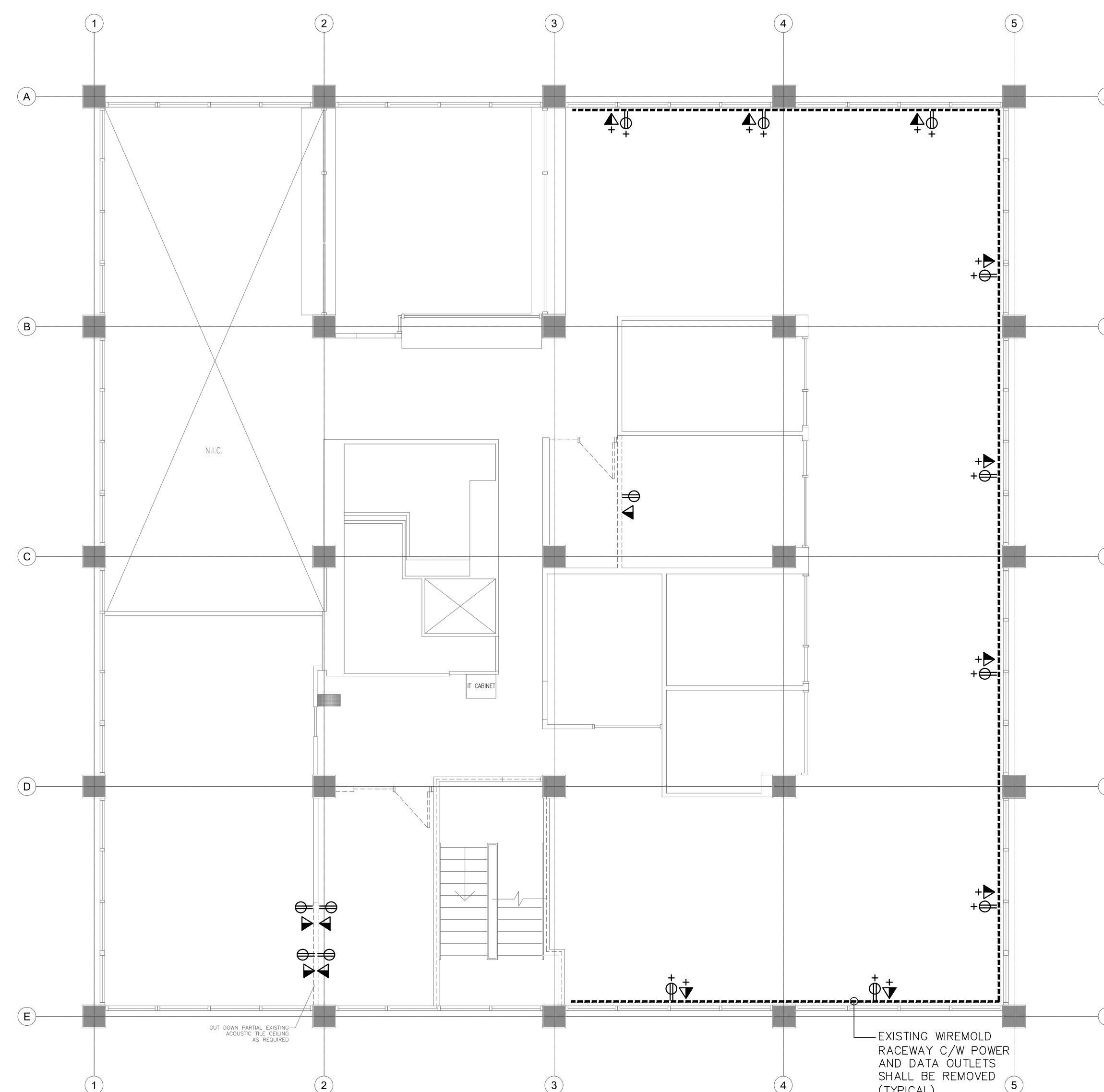
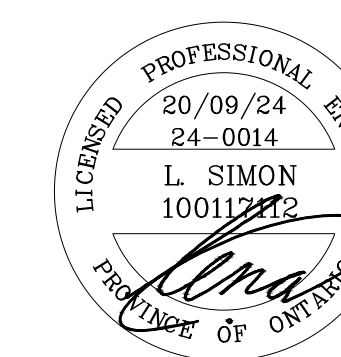


CLIENT:

THE CITY OF OSHAWA



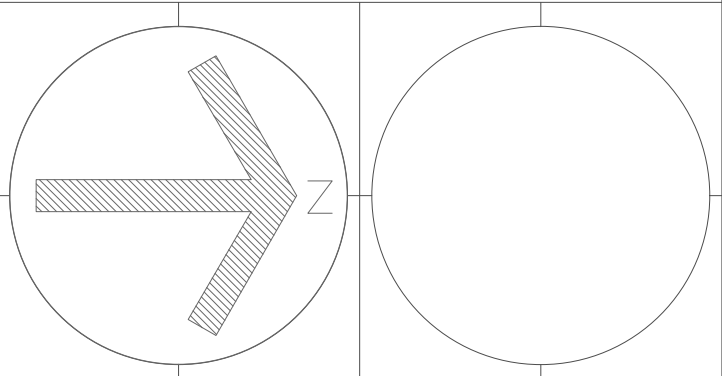
20 AMBER STREET, UNIT#6, MARKHAM, ONTARIO L3R 5P4
Tel: (416) 824-5822, E: lina.simon@simna.ca



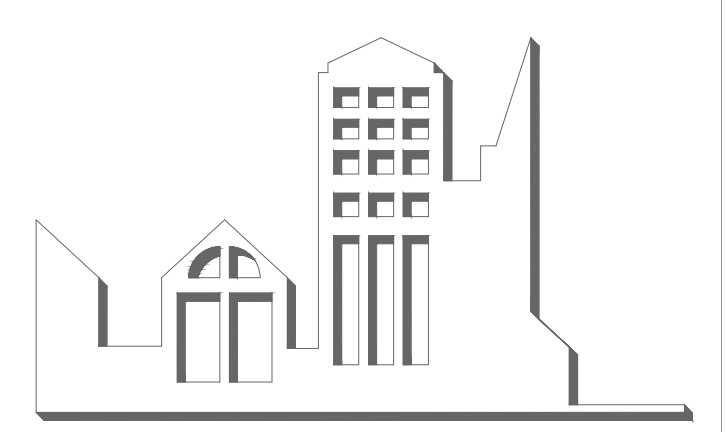
NOTES:
1. ALL DEVICES SHOWN ON THIS DRAWING SHALL BE REMOVED COMPLETE WITH WIRING AND CONDUIT UNLESS OTHERWISE NOTED.

No.	DESCRIPTION	BY	DATE
1	ISSUED FOR PERMIT/TENDER	L.S.	20/09/2024

REVISIONS



JR. FREETHY ARCHITECT



325 LAKE ROAD, SUITE 202
BOWMANVILLE ONTARIO
LIC 4P3 TEL. (905) 625 7476

PROJECT:
**BUILDING DEPARTMENT
OFFICE ALTERATIONS**
50 CENTRE ST. S, OSHAWA, ON

SCALE: 1/8"=1'-0"
DWG. BY: L.S.
CHECKED BY: L.S.
STATUS:
PLOT FACTOR:

TITLE: **ELECTRICAL
POWER AND SYSTEMS
DEMOLITION PLAN**

PROJECT No.: **24-0014**
DATE: SEPTEMBER __, 2024
DWG. No.: **E-06**

Corporation of the City of Oshawa
TRUE COPY
OF FINAL REVIEWED
BUILDING PERMIT PLANS
Jan 29/2025
Tiana Ji
City of Oshawa Building Official

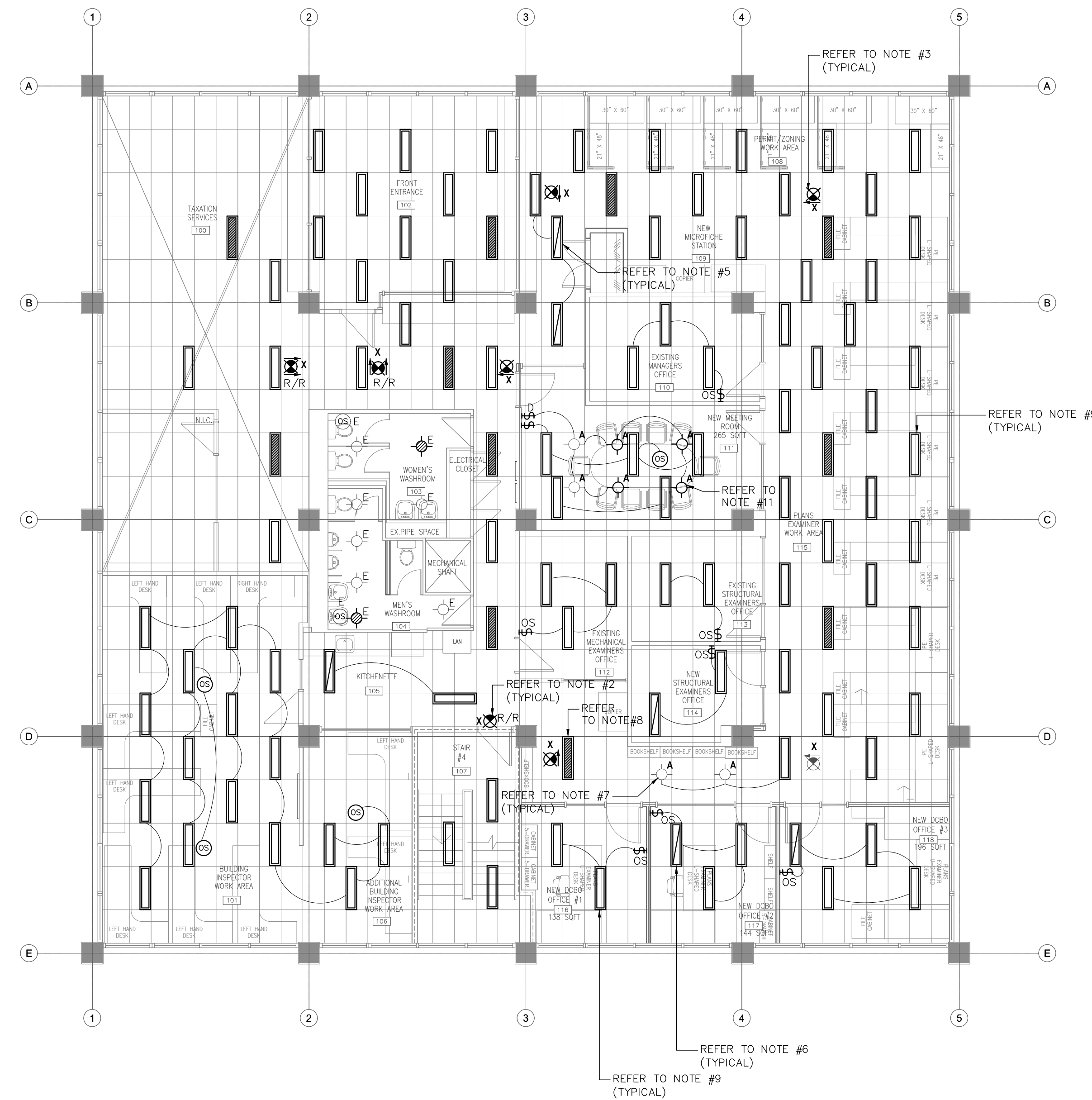
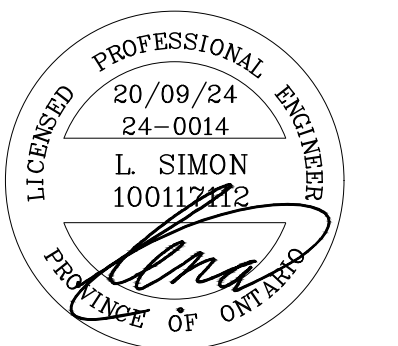
**BUILDING PERMIT #
BLD202401488**
CITY OF OSHAWA

CLIENT:

THE CITY OF OSHAWA



20 AMBER STREET, UNIT#6, MARKHAM, ONTARIO L3R 5P4.
Tel: (416) 824-5822, E: lina.simon@simna.ca



NOTES:

- FOR EXACT MOUNTING HEIGHT AND LOCATION REFER TO ARCHITECTURAL DRAWINGS AND ELEVATIONS.
- EXIT SIGN WITH (R/R) DENOTES NEW GREEN RUNNING MAN EXIT SIGN AT EXISTING LOCATION. EXISTING RED EXIT SIGN SHALL BE REMOVED AND REPLACED WITH NEW GREEN RUNNING MAN EXIT SIGN AS SHOWN. CONNECT NEW EXIT SIGN TO EXISTING EXIT SIGN CIRCUIT.
- CONNECT NEW EXIT SIGN TO NEAREST EXISTING EXIT SIGN CIRCUIT.
- EMERGENCY LIGHTING LAYOUT IS EXISTING. CONFIRM EMERGENCY LAYOUT ON SITE.
- RELOCATED EXISTING LIGHT FIXTURE. CONNECT TO NEAREST EXISTING LIGHT CIRCUIT AND CONTROL. FOR EXISTING LOCATION REFER TO DEMOLITION PLAN.
- RELOCATED EXISTING LIGHT FIXTURE. CONNECT TO NEAREST EXISTING LIGHT CIRCUIT AND NEW CONTROL. FOR EXISTING LOCATION REFER TO DEMOLITION PLAN.
- NEW LIGHT FIXTURE. CONNECT TO NEAREST EXISTING NORMAL LIGHT CIRCUIT AND CONTROL.
- CONNECT TO NEAREST EXISTING EMERGENCY LIGHT CIRCUIT.
- EXISTING LIGHT FIXTURE TO REMAIN.
- ALL EXISTING LIGHT FIXTURES IN THE OFFICE/PRIVATE ROOMS SHALL REMAIN AND CONNECTED TO NEW LIGHTING CONTROLS AS SHOWN.
- NEW LIGHT FIXTURE. CONNECT TO NEAREST EXISTING NORMAL LIGHT CIRCUIT AND NEW LIGHTING CONTROL AS SHOWN.

PROVIDE AND MAINTAIN EMERGENCY LIGHTING AS REQUIRED BY OBC DIV. B 3.2.7.

MINIMUM EMERGENCY LIGHTING REQUIREMENTS OBC DIV. B 3.2.7.3. AND 9.9.12.3.

THE REQUIRED EMERGENCY LIGHTING SHALL HAVE AN AVERAGE LEVEL NOT LESS THAN 1 LX (0.9 FT.-CANDLES) AT FLOOR OR TREAD LEVEL.

MINIMUM LIGHTING REQUIREMENTS OBC DIV. B 3.2.7.1., 9.9.12.2. AND 9.34.2.7.

EVERY EXIT, PUBLIC CORRIDOR OR CORRIDOR PROVIDING ACCESS TO EXIT FOR THE PUBLIC SHALL BE EQUIPPED TO PROVIDE ILLUMINATION TO AN AVERAGE LEVEL OF NOT LESS THAN 50 LX (4.6 FT-CANDLE) AT FLOOR OR TREAD LEVEL AND AT ALL POINTS SUCH AS ANGLES AND INTERSECTIONS AT CHANGES OF LEVEL WHERE THERE ARE STAIRS OR RAMPS.

ILLUMINATION OF PUBLIC AND SERVICE AREAS SHALL CONFORM TO TABLE 9.34.2.7. (MINIMUM LIGHTING RANGE BETWEEN 50 AND 500 LX)

Corporation of the City of Oshawa

TRUE COPY OF FINAL REVIEWED BUILDING PERMIT PLANS

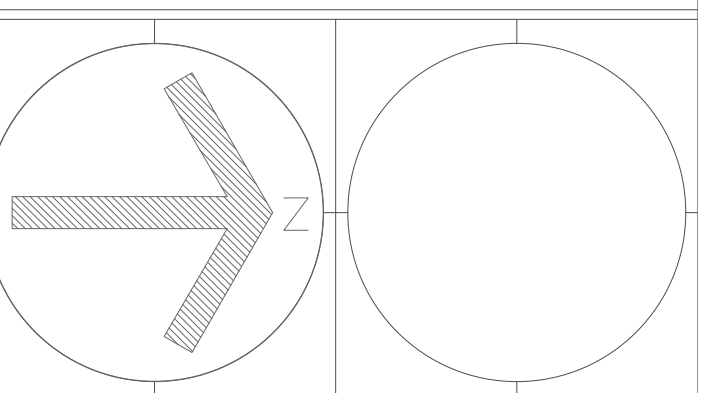
Jan 29/2025
Tiana Ji
City of Oshawa Building Official

BUILDING PERMIT #

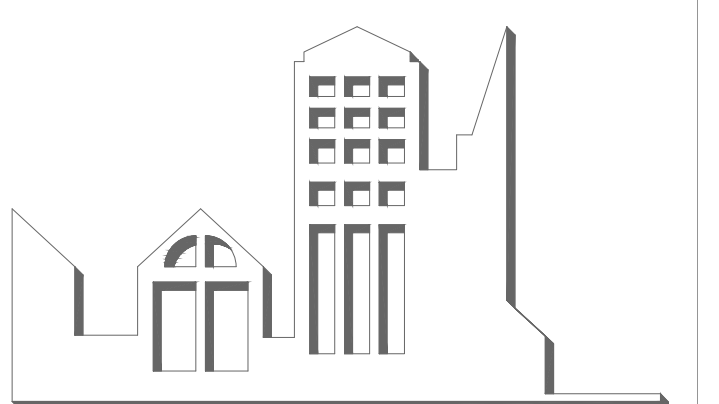
BLD202401488

CITY OF OSHAWA

No.	DESCRIPTION	BY	DATE
1	ISSUED FOR PERMIT/TENDER	LS	20/09/2024



JR.FREETHY ARCHITECT



325 LAKE ROAD, SUITE 202
BOWMANVILLE ONTARIO
LIC 4P8 TEL. (905) 625 7476

PROJECT:

**BUILDING DEPARTMENT
OFFICE ALTERATIONS**

50 CENTRE ST. S, OSHAWA, ON

SCALE: 1/8"=1'-0"

DWG. BY: L.S.

CHECKED BY: L.S.

STATUS:

PLOT FACTOR:

TITLE:

**ELECTRICAL
LIGHTING PLAN**

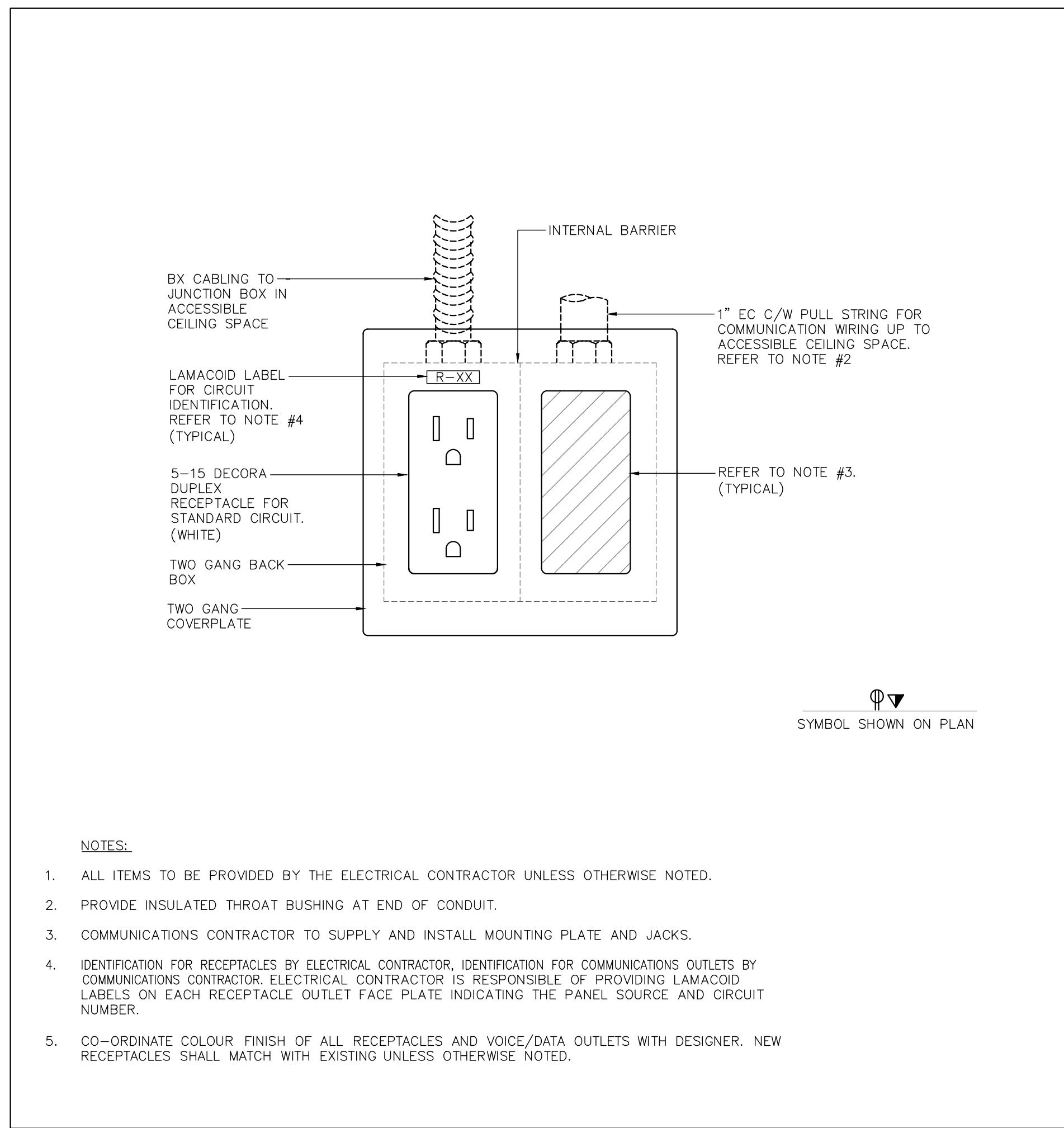
PROJECT No.:

24-0014

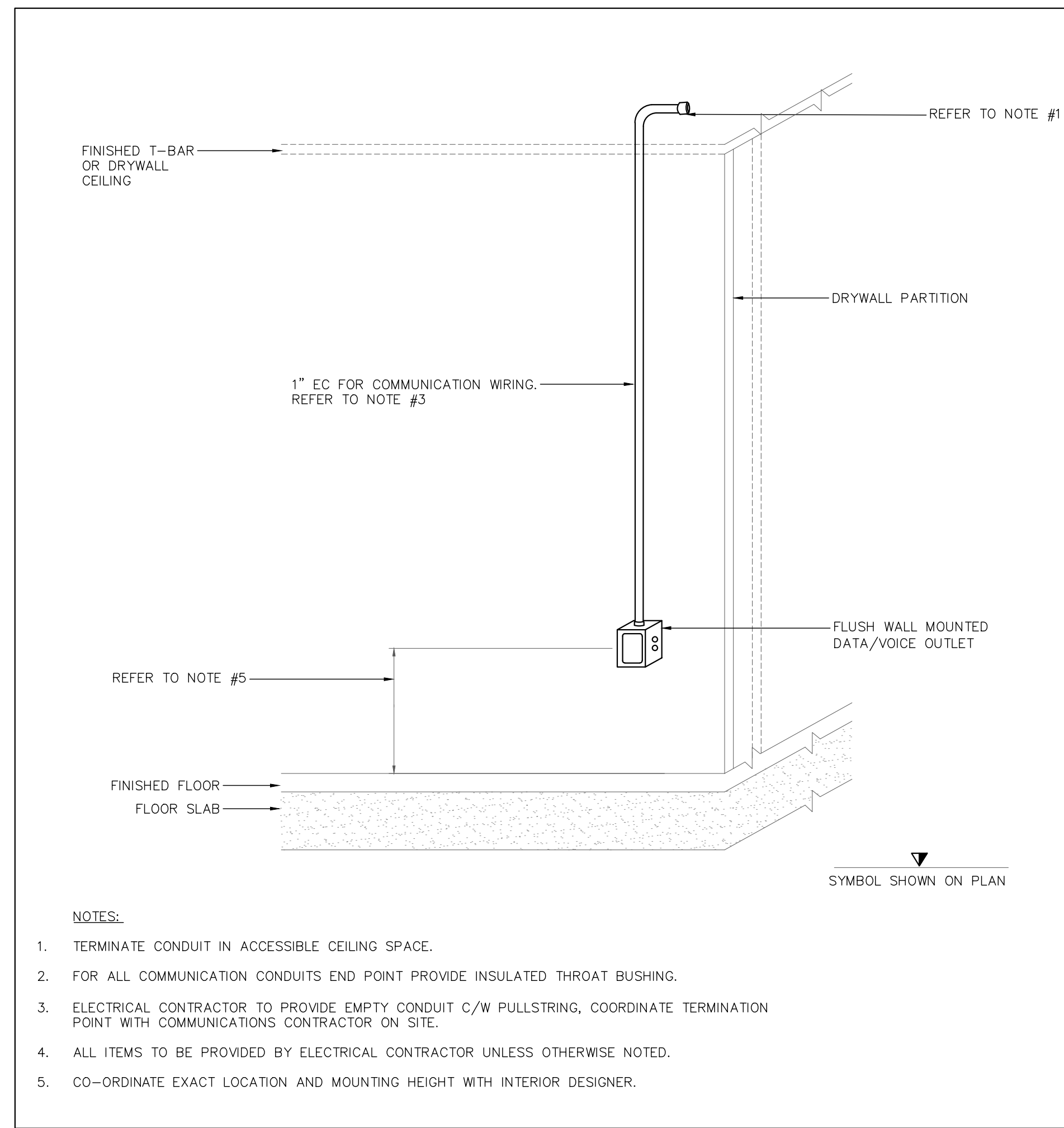
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DWG. No.:

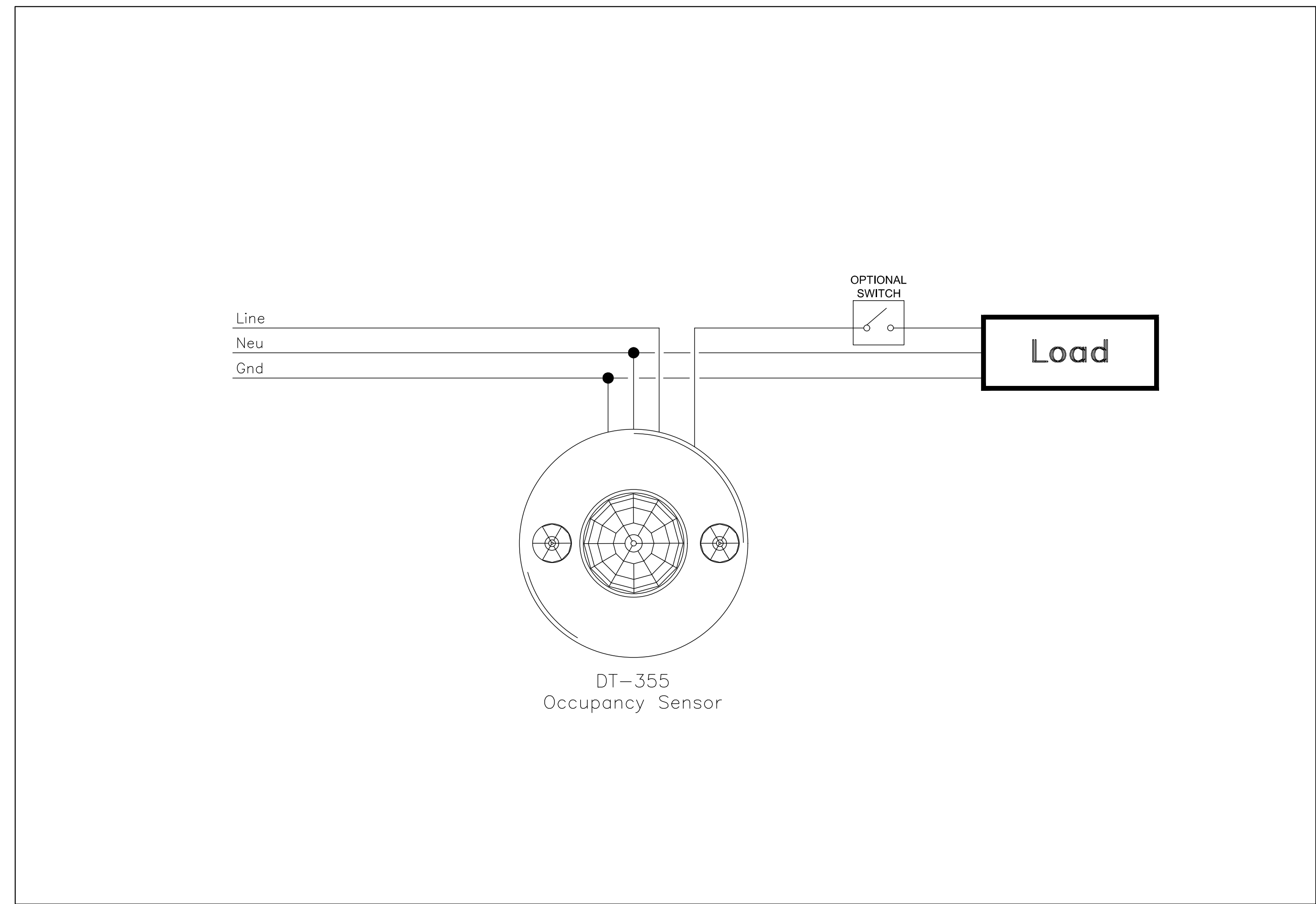
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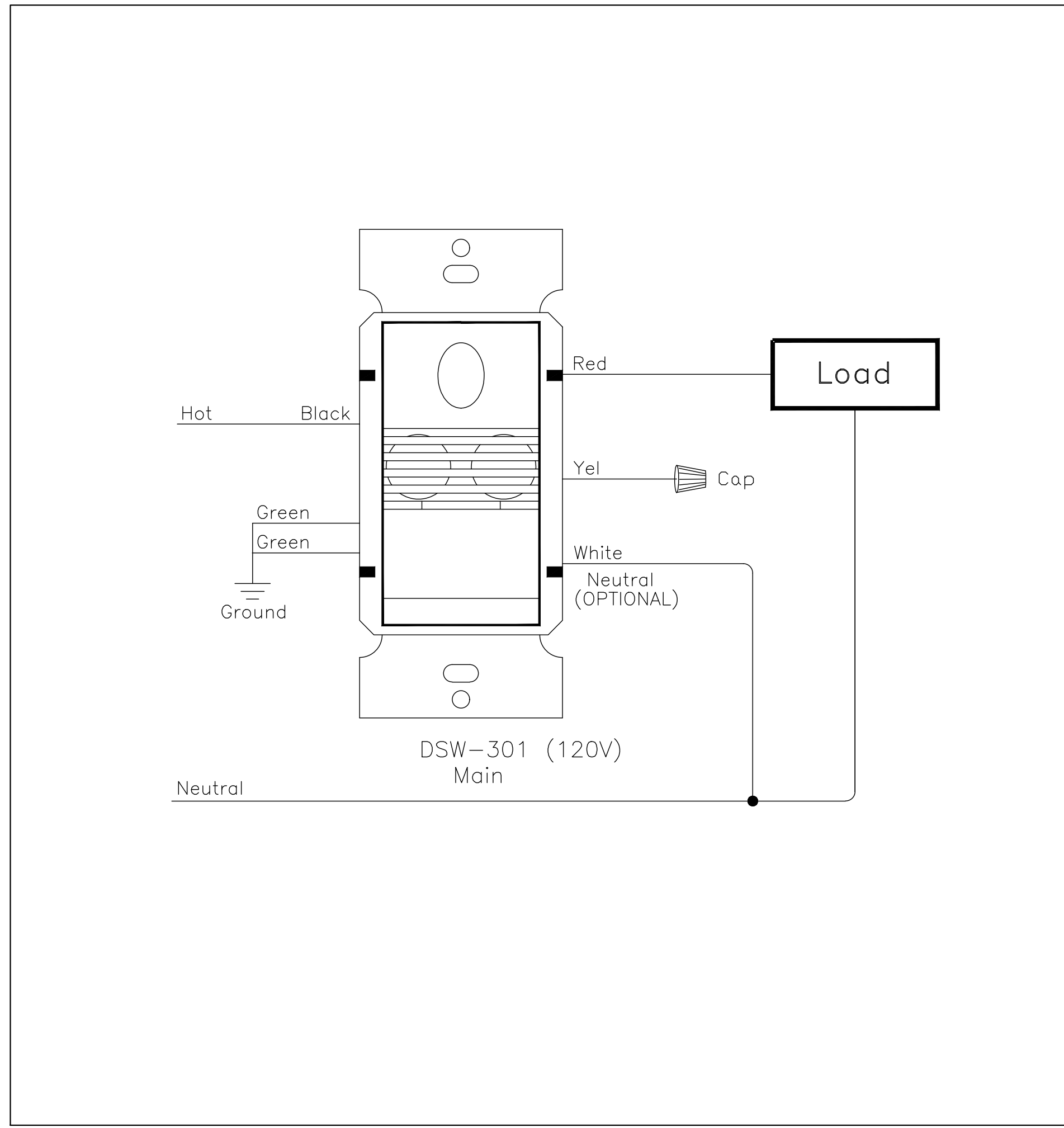
1 TYPICAL TWO GANG POWER/COMMUNICATIONS WALL OUTLET DETAIL
SCALE: N.T.S.



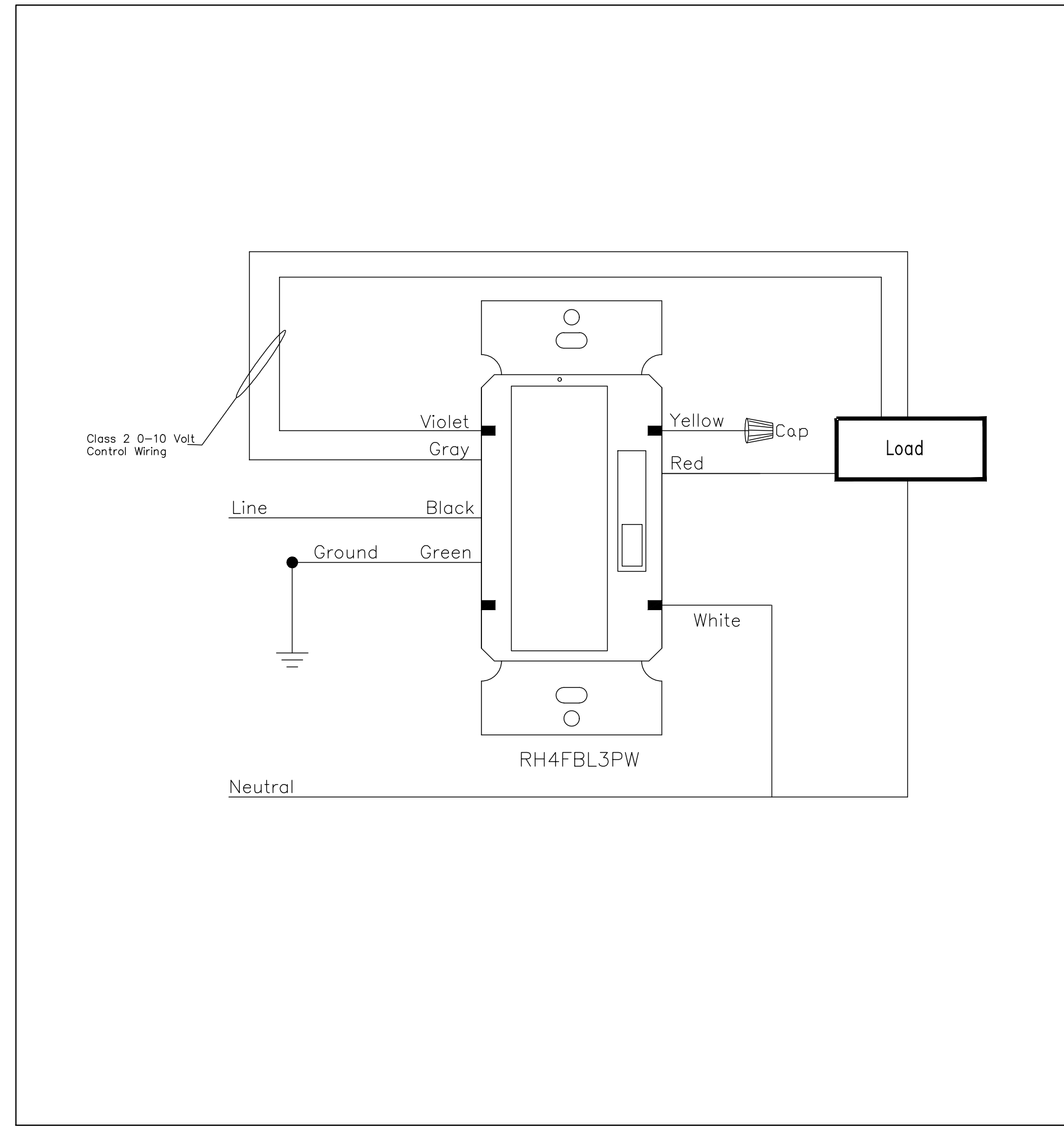
2 TYPICAL DATA/VOICE WALL OUTLET DETAIL
SCALE: N.T.S.



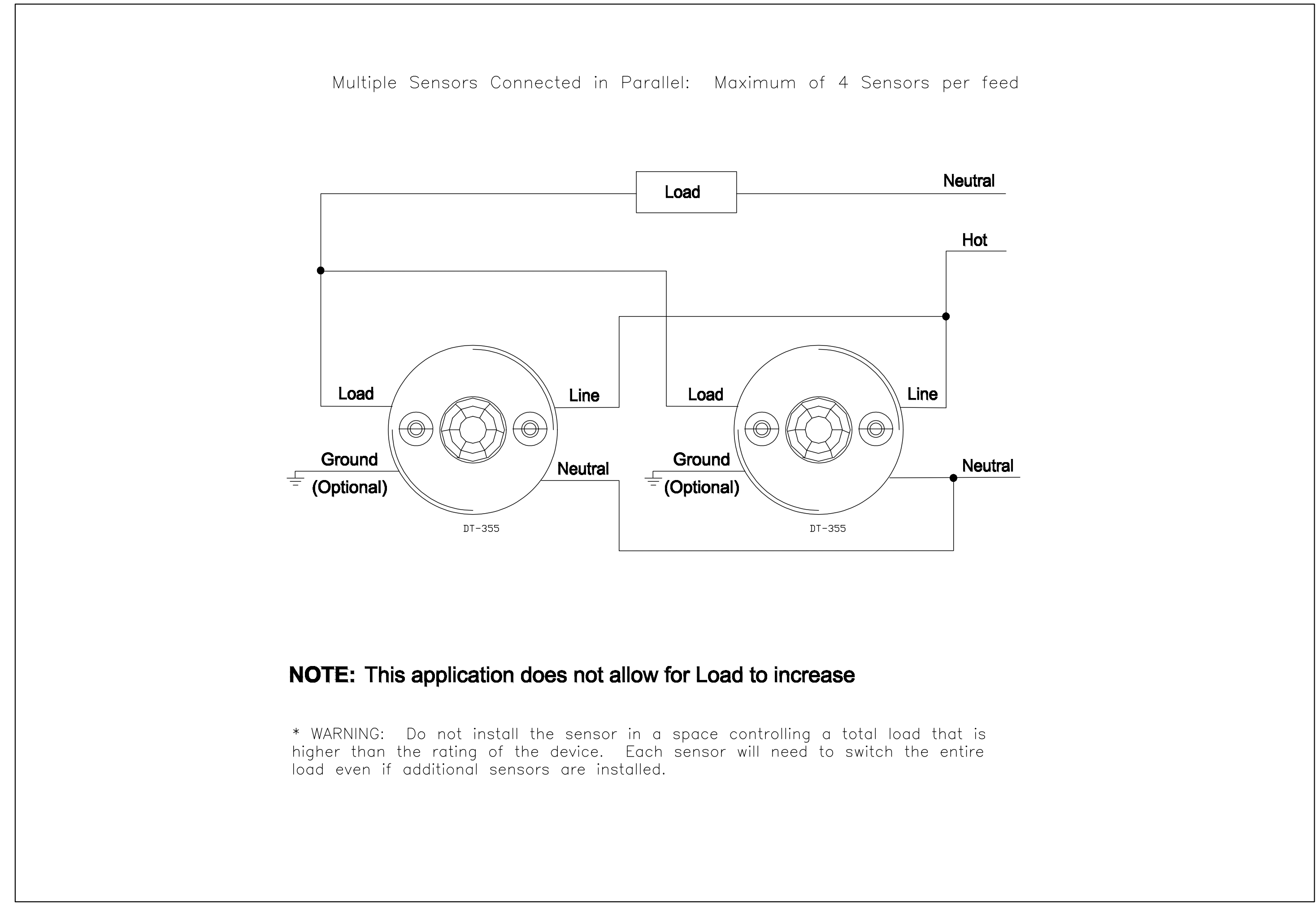
3 TYPICAL FOR LINE VOLTAGE CEILING OCCUPANCY SENSOR
SCALE: N.T.S.



4 TYPICAL FOR WALL SWITCH OCCUPANCY SENSOR
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5 TYPICAL FOR WALL DIMMER (0-10V)
SCALE: N.T.S.



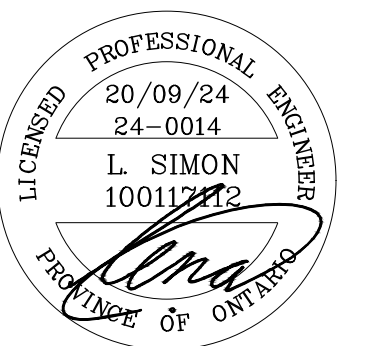
6 CEILING LINE VOLTAGE OCCUPANCY SENSOR CONNECTION
SCALE: N.T.S.

CLIENT:

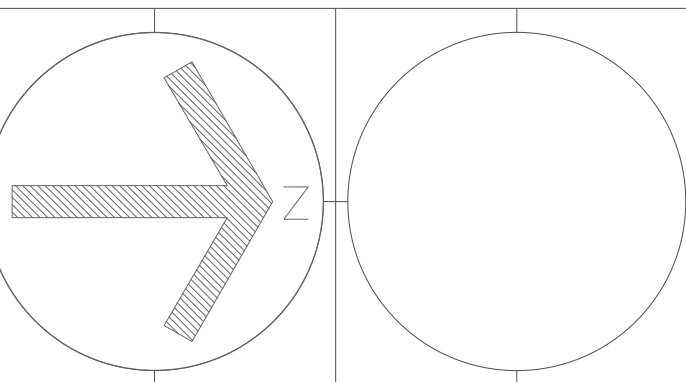
THE CITY OF OSHAWA



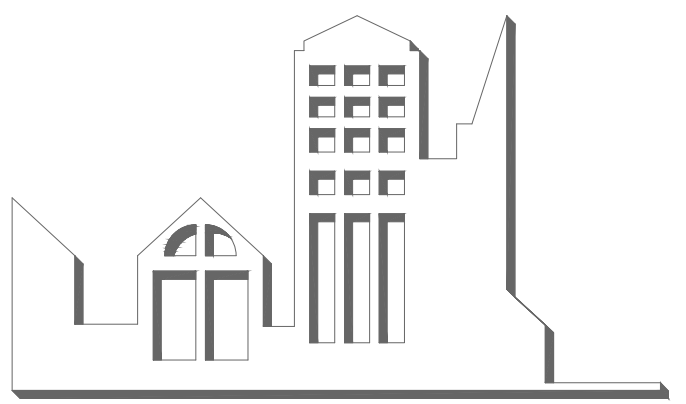
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REVISIONS			



J.R. FREETHY ARCHITECT



325 LAKE ROAD, SUITE 202
BOWMANVILLE, ONTARIO
L1C 4P8 TEL: (905) 625-7476

PROJECT:
**BUILDING DEPARTMENT
OFFICE ALTERATIONS**
50 CENTRE ST. S, OSHAWA, ON

SCALE: AS SHOWN
DWG. BY: L.S.
CHECKED BY: L.S.
STATUS:
PLOT FACTOR:

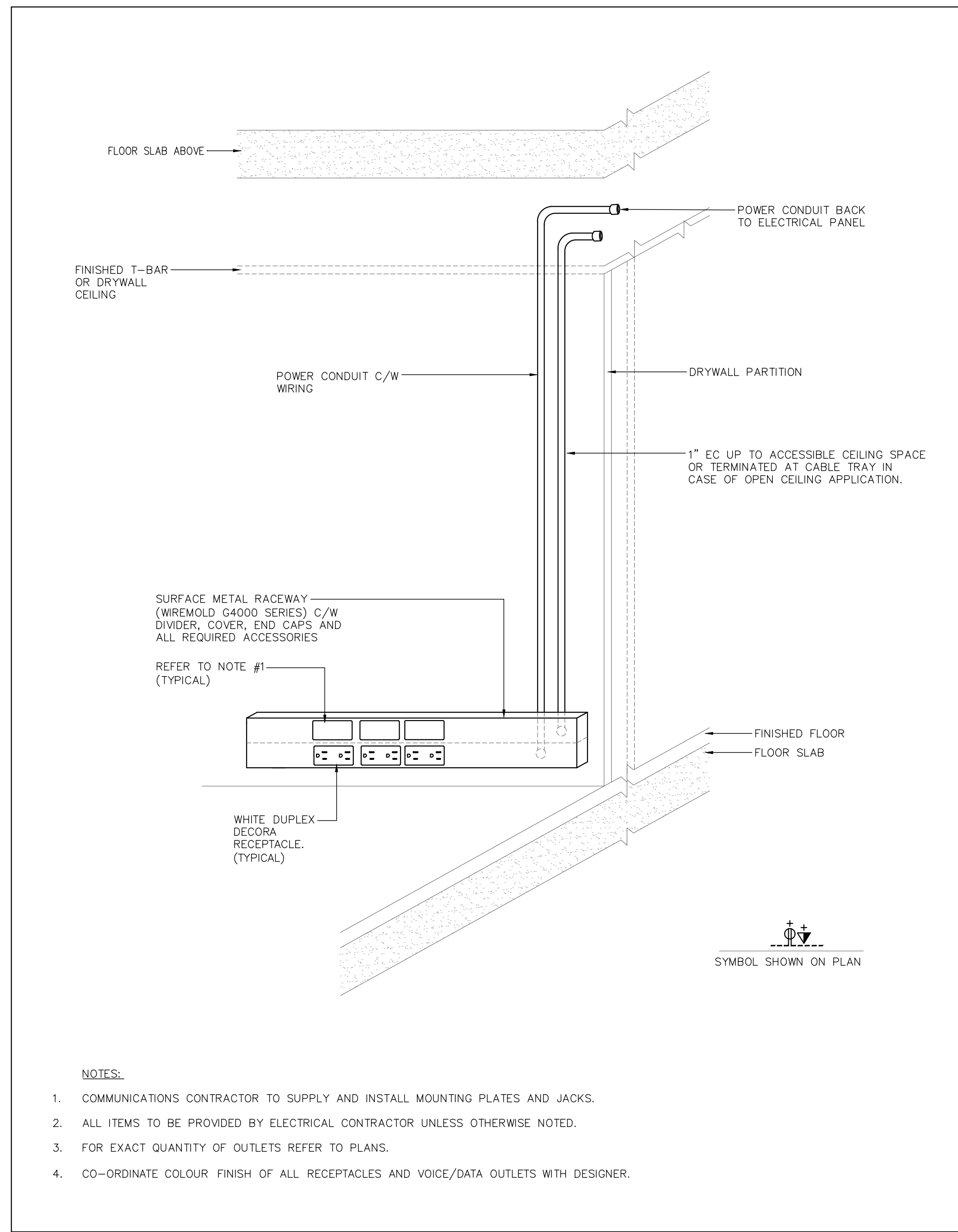
TITLE:
**ELECTRICAL
DETAILS**

PROJECT No.:
24-0014
DATE: SEPTEMBER 2024

DWG. No.:
E-09

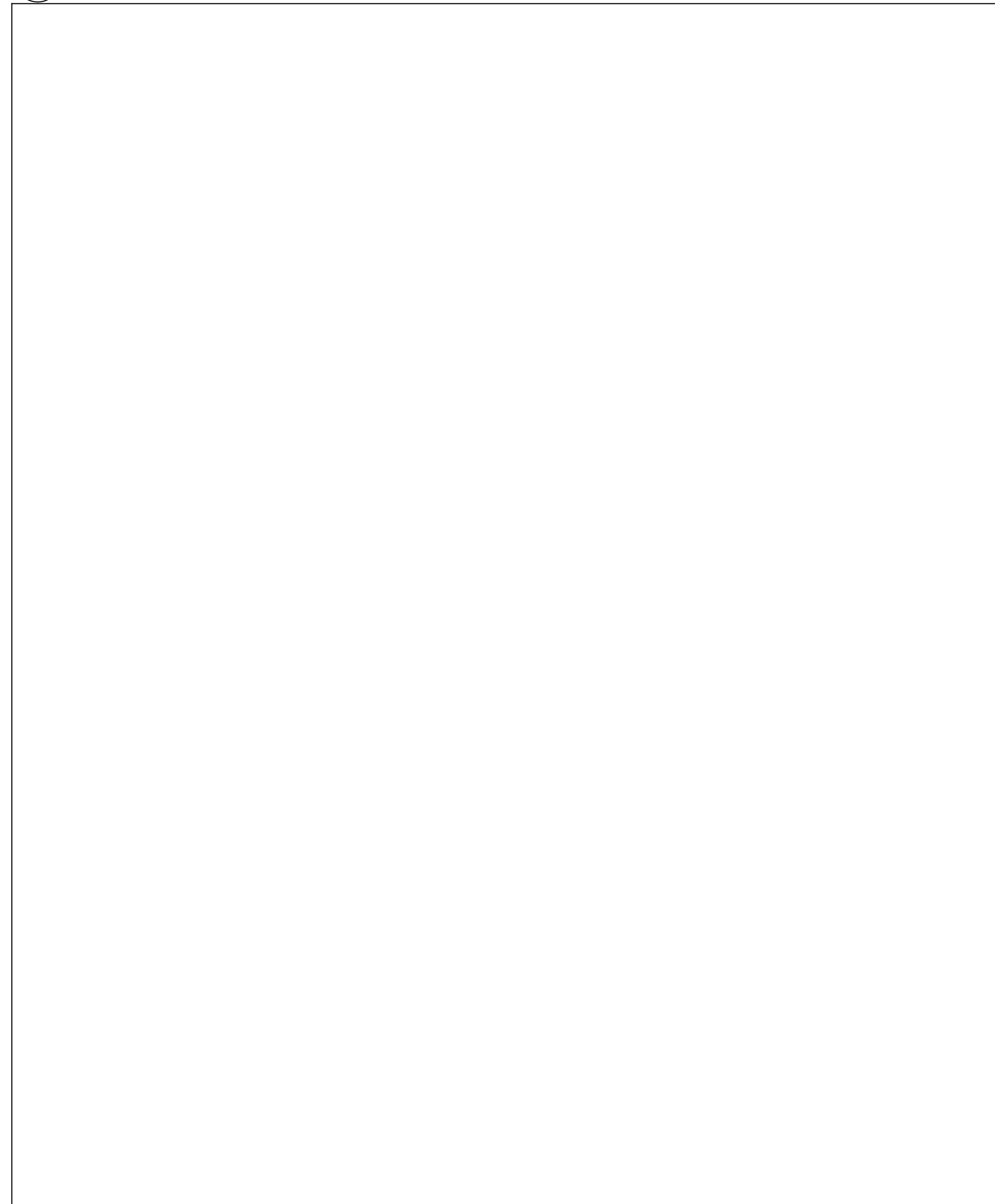
Corporation of the City of Oshawa
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OF FINAL REVIEWED
BUILDING PERMIT PLANS
Jan 29/2025
Tiana Ji
City of Oshawa Building Official

**BUILDING PERMIT #
BLD202401488**
CITY OF OSHAWA



- NOTES:
1. COMMUNICATIONS CONTRACTOR TO SUPPLY AND INSTALL MOUNTING PLATES AND JACKS.
 2. ALL ITEMS TO BE PROVIDED BY ELECTRICAL CONTRACTOR UNLESS OTHERWISE NOTED.
 3. FOR EXACT QUANTITY OF OUTLETS REFER TO PLANS.
 4. CO-ORDINATE COLOUR FINISH OF ALL RECEPTACLES AND VOICE/DATA OUTLETS WITH DESIGNER.

1 TYPICAL OUTLETS MOUNTED ON A RACEWAY MOUNTED ON A WALL DETAIL
E-10 SCALE: N.T.S.

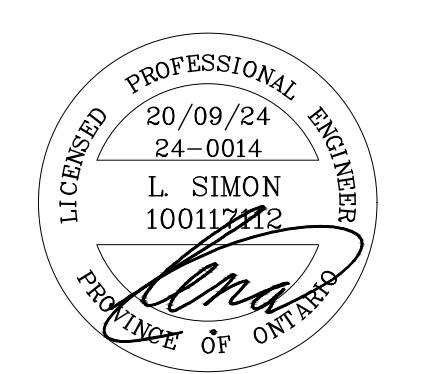


CLIENT:

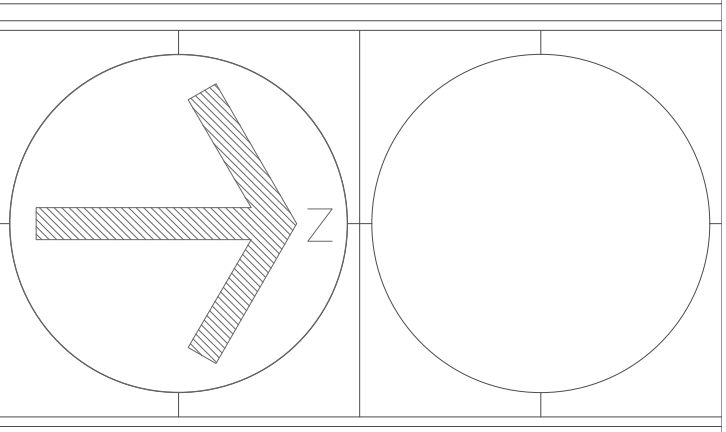
THE CITY OF OSHAWA



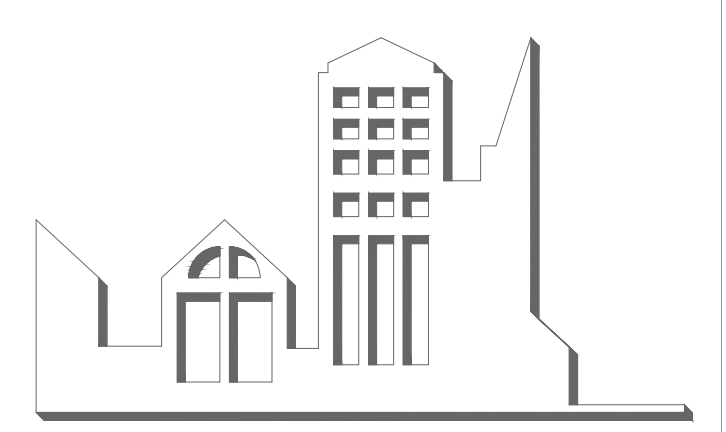
20 AMBER STREET, UNIT#6, MARKHAM, ONTARIO L3R 5P4
Tel: (416) 824-5822, E: lina.simon@simna.ca



No.	DESCRIPTION	BY	DATE
1	ISSUED FOR PERMIT/TENDER	LS	20/09/2024
REVISIONS			



J.R. FREETHY ARCHITECT



325 LAKE ROAD, SUITE 202
BOWMANVILLE ONTARIO
LIC 4P8 TEL. (905) 625 7476

PROJECT:
**BUILDING DEPARTMENT
OFFICE ALTERATIONS**
50 CENTRE ST. S, OSHAWA, ON

SCALE: AS SHOWN*
DWG. BY: L.S.
CHECKED BY: L.S.
STATUS:
PLOT FACTOR:

TITLE:
**ELECTRICAL
DETAILS**

PROJECT No.:
24-0014
DATE: SEPTEMBER __, 2024

DWG. No.:
E-10

Corporation of the City of Oshawa
TRUE COPY
OF FINAL REVIEWED
BUILDING PERMIT PLANS
Jan/29/2025
Tiana Ji
City of Oshawa Building Official

BUILDING PERMIT #
BLD202401488
CITY OF OSHAWA

**DURABLE.
RELIABLE.
TESTED.**

BUILDING PERMIT #

BLD202401488

CITY OF OSHAWA

Dricon.com

Dricon® FS
FIRE RETARDANT
TREATED WOOD



Dricon® FS has an ICC-ES Evaluation Report 4584. For design professionals that are responsible for ensuring that both safety and structural elements have been addressed, reference ESR 4584.

- Approved application to building codes from 2006 to 2018 for both the IBC and IRC codes.
- ESR 4584 CBC & CRC Supplemental listed approvals:
 - California (Commercial & Residential)
 - Florida (Commercial & Residential)
- Dricon® FS treated wood has been evaluated in accordance with AC66 requirements.
- Dricon® FS treated wood qualifies as an Interior Type A (HT) fire-retardant wood in accordance with the American Wood Protection Association (AWPA) Standard U1, Commodity Specification H, Use Category UCFA.
- Dricon FS fire retardant is a proven successful formulation based on the American Wood Protection Association P50 Standard for Fire Retardants.
- For detailed design and installation instructions, visit dricon.com or see our Dricon® FS Application Guide.

Fire retardant pressure-treated wood offers value to your commercial projects

Fire retardant (FR) pressure-treated wood has been tested for strength, corrosion, fire retardancy, smoke reduction, and for use in high temperature attic space environments.

Benefit of pressure treatment versus coating

- Pressure treatment penetrates into the cell structure of wood while surface treatments may remain on top of the wood.
- Pressure treatment will not chip, peel, flake, or crack; surface treatments may have some or all of these issues.
- Fire retardant treated wood provides fire protection to all 4 sides of the lumber and plywood. Coatings may only cover one side of the lumber or plywood.
- Pressure treatment has been used in constructing FR trusses for many years. Coatings may impede truss plate connections.

Update 2018 International Building Code – Section 2303.2.2

The use of paints, coatings, stains or other surface treatments is not an approved method of protection as required in this section.

Rigorous testing of Dricon® FS FRT Wood gives you peace of mind.

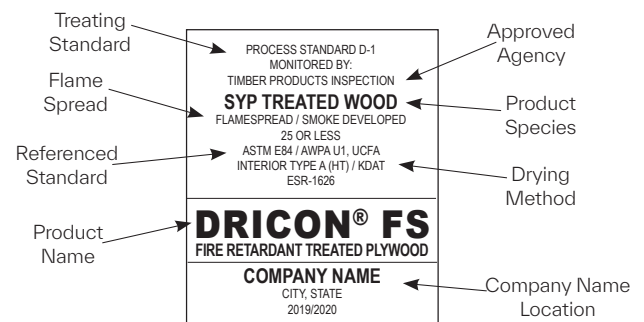
Dricon® FS FRT Wood has been tested in accordance with the following procedures:

- ASTM D 3201
- ASTM D 5516
- ASTM D 5664
- ASTM D 6305
- ASTM E 2768
- ASTM E 119
- AWPA U1, UCFA
- AWPA E 12
- UL 723
- ASTM E84 (30-minute test)
- LARR 26119

For a full list of accreditations, visit dricon.com

Look for the stamp!

It signifies a code compliant FRT product. Dricon® FRTW producers stamp each piece of wood so there's no doubt that your lumber and plywood are treated properly and to the highest standard.

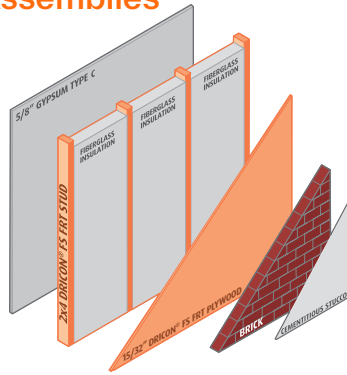


Dricon.com

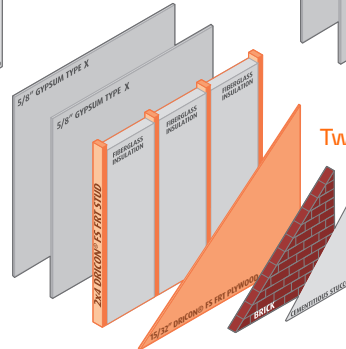
One- and Two-Hour Wood Wall Assemblies

Dricon® FS FRTW has received 1- and 2-hour fire resistance ratings for load-bearing exterior wall assembly. The materials of construction for the assemblies include 1 or 2 layers 5/8 Type C or Type X gypsum, fiberglass insulation, Dricon® FS FRTW studs (2x4), 15/32 inch Dricon® FS FRTW plywood and your choice of exterior finishes.

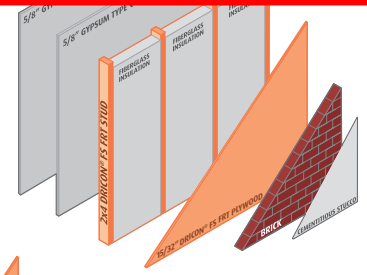
- 2-hour load bearing wall using gypsum Type X
- 2-hour load bearing wall when tested from the interior face and 1-hour rating when tested from the exterior face
- 1-hour load bearing wall tested from the interior face
- 1-hour load bearing wall tested from the exterior face



One-Hour Wood Wall Assembly
(Applicable for interior and exterior face)



Two-Hour Wood Wall Assembly
(Applicable for interior and exterior face)



Two-Hour Wood Wall Assembly
(2hr interior and 1hr exterior face)

Strength Testing

Maximum Loads and Spans for Dricon® FS Fire Retardant Treated Plywood at Service Temperatures up to 170°F (77°C)

Dricon® FS Roof Sheathing

Panel/ Sheathing Thickness	Span Rating for Untreated Roof/ Sub-Floor Sheathing	Max Span (In)	Total Allowable Loads (psf)			Dricon® FS Wall or Subfloor Span (In)
			Climate Zone			
			1A	1B	2	
15/32, 1/2	32/16	24	29	42	60	16
19/32, 5/8	40/20	24 32	49 28	72 41	103 58	20 20
23/32, 3/4	48/24	32 48	40 18	59 26	84 37	24 24

- 1 All loads are based on two-span condition with strength axis perpendicular to supports.
- 2 Panel edge supports shall be required for roof sheathing. Panel edge clips when used shall be installed as follows: One midway between supports for 24-inch and 32-inch spans, two at 1/3-points between supports for 48-inch spans. Clips must be manufactured for the plywood thickness.
- 3 Fastener size and spacing shall be as required in accordance with the IBC or IRC for untreated plywood of the same thickness.
- 4 For low-sloped or flat roofs with membrane or built-up roofing having a perm rating of less than 0.2; use rigid insulation having a minimum R-value of 4.0 between the sheathing and the roofing, or use the next thicker panel than the tabulated for the span and load (example; 19/32 for 24; 23/32 for 32); and use a continuous ceiling air barrier and vapor retarder with a perm rating of less than 0.2 on the bottom of the roof framing above the ceiling.
- 5 Dricon® FS fire retardant treated plywood must not be used as roof sheathing if a radiant shield is used beneath the roof sheathing.
- 6 The total allowable load is the sum of the live load and dead loads at maximum span. For allowable live loads, subtract dead (assumed to be 8 psf) from the total loads listed.
- 7 The 15/32 and 1/2-inch plywood is limited to 4-ply. 19/32 and 5/8-inch plywood is limited to performance rated 4-ply and 5-ply. 23/32 and 3/4-inch plywood is limited to performance rated 5-ply and 7-ply.
- 8 Uniform load deflection limitations 1/180 of span under live load plus dead load and 1/240 under live load only.
- 9 Subfloor is limited to 100 psf Maximum Load.
- 11 Climate Zone definitions:
Zone 1 — Minimum design roof live load or maximum ground snow load ≤ 20 psf (960 Pa)
Zone 1A — Southwest Arizona, Southeast Nevada (Area Bounded by Las Vegas-Yuma-Phoenix-Tucson)
Zone 1B — All other qualifying areas of the United States
Zone 2 — Maximum ground snow load > 20 psi (960 Pa)
- 12 For other load conditions, contact manufacturer.

Strength Design Factors for Dricon® FS FRT Lumber Compared to Untreated Lumber Applicable at Service Temperatures up to 100°F (38°C)

Strength Design Factors	Southern Pine	Douglas Fir	Spruce-Pine-Fir
Bending MOR	0.82	1.00	0.96
Bending MOE	0.87	0.99	0.93
Tension Parallel to Grain	0.98	1.00	0.99
Shear Parallel to Grain	0.95	1.00	1.00
Compression Parallel to Grain	0.96	0.96	0.99
Compression Perpendicular to Grain	0.95	0.95	0.95
Fasteners/Connectors	0.90	0.90	0.90

Strength Design Factors for Dricon® FS FRT Lumber Compared to Untreated Lumber Applicable at Service Temperatures up to 150°F (66°C)

Strength Design Factors	Climate Zone								
	Southern Pine			Douglas Fir			Spruce-Pine-Fir		
	1A	1B	2	1A	1B	2	1A	1B	2
Bending MOR	0.82	0.82	0.82	1.00	1.00	1.00	0.91	0.93	0.95
Bending MOE	0.88	0.88	0.88	1.00	1.00	1.00	0.96	0.96	0.96
Tension Parallel to Grain	0.89	0.93	0.98	1.00	1.00	1.00	0.95	0.97	0.99
Shear Parallel to Grain	0.89	0.93	0.98	1.00	1.00	1.00	0.95	0.97	0.99
Compression Parallel to Grain	0.87	0.91	0.96	0.98	0.98	0.98	0.92	0.94	0.96
Fasteners/Connectors	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90	0.90

- 1 Climate Zone definition:
Zone 1 — Minimum design roof live load or maximum ground snow load ≤ 20 psf (960 Pa)
Zone 1A — Southwest Arizona, Southeast Nevada (area Bounded by Las Vegas-Yuma-Phoenix-Tucson)
Zone 1B — All other qualifying areas of the United States
Zone 2 — Maximum ground snow load > 20 psf (960 Pa)
- 2 Duration of load adjustments for snow load, 7-day (construction) loads, and wind loads as given in the National Design Specification for Wood Construction® (NOS) also apply.

FLAME-SPREAD RATING

FRTW products are used in many interior applications, such as millwork and panelling, where the code requirements for flame spread are most restrictive. The Canadian building codes also permit the use of fire-retardant treated lumber and plywood for roof and floor trusses, beams, interior roof decks, and for interior load-bearing and non-load bearing partitions.

FRTW is suitable for indoor applications where the humidity is not expected to exceed 60 percent for long periods of time. FRTW should be protected from excessive moisture and weather during transit, storage, and erection. While some wetting might be expected during installation, frequent wetting or ponding is unacceptable. In general, FRTW requires more care in installation than would normally be considered sufficient good practice for non-FRTW products.

FRTW, as defined and specified in the NBC, must have a flame-spread rating of not more than 25. It therefore qualifies as an interior finish for any application since the most restrictive flame-spread rating is 25. FRTW must be identified by a label (Figure 1, below) from an independent testing laboratory or certification organization which indicates that the necessary tests were performed and production controls maintained. This performance test can be carried out only by an accredited third-party testing agency.

For many wood species, and particularly plywood and lumber in sizes common to light-frame construction, FRTW treatment results in chemical retentions high enough to obtain a flame-spread rating of 25 or less. It should be noted that the chemicals will not usually penetrate the entire wood member, as refusal will usually occur when the chemicals have penetrated approximately 13 mm from the outer surface of the product.

The actual flame-spread rating of treated lumber or plywood depends on the fire-retardant chemicals used and the amount of chemicals retained in the wood, which depends on several factors, including wood species.

Commonly used chemicals are proprietary mixtures which are free of halogens, sulphates, ammonium phosphate and formaldehyde. These provide superior performance characteristics over previous formulations and lower corrosivity to metal fasteners. These water-soluble chemicals are effective in reducing flame spread, and through careful proportioning succeed in reducing smoke development and afterglow.

To dispel any myths that may still exist, it should be understood that the fire-retardant treatment does not make the wood noncombustible. This idea stems from certain earlier versions of building codes which equated a 25 surface flame-spread rating to noncombustibility. The NBC uses a different method to determine “noncombustibility” (CAN/ULC-S135, *Standard Method of Test for Determination of Degrees of Combustibility of Building Materials Using an Oxygen Consumption Calorimeter (Cone Calorimeter)*), and FRTW does not meet the noncombustibility criteria under that method.

The use of a fire-retardant treatment does not prevent ignition or charring. The rate of burn through fire-retardant treated wood is approximately the same as that for untreated wood, even though ignition is more difficult and the rate at which flame travels across its surface (flame-spread rating) has been reduced.

UNDERWRITERS' LABORATORIES OF CANADA LISTED

ULC TREATED LUMBER

FORM 100 ISSUE NO. 7989 C

CLASSIFIED AS TO SURFACE BURNING CHARACTERISTICS IN ACCORDANCE WITH THE STANDARD **CAN 4-S102**.

FOR COMMENTARY ON METHOD OF REPORTING FLAME SPREAD RATING SEE ULC LIST OF EQUIPMENT AND MATERIALS, VOL. II, UNDER GUIDE NO. 40 U8.

CLASSIFICATION OR RATING

MATERIAL DETAILS	FLAME SPREAD FSC ₇₅ (GWL)	SMOKE DEVELOPED	FUEL CONTRIBUTED
SOUTHERN YELLOW PINE*	20 (15)	10	5
DOUGLAS FIR*	15 (15)	0	0
REDWOOD*	10 (5)	5	0
WHITE PINE*	10 (5)	20	0
HEMLOCK/FIR*	15 (5)	20	0
WESTERN RED CEDAR*	20 (10)	5-35	15
MAPLE	55-80 (30-40)	100-130	70-35
RED OAK	40 (20-30)	35-80	15-25
SPRUCE PINE FIR INCISED*	20 (15)	15	10-25

* IN TEST OF 30 MIN. DURATION, FLAME SPREAD NOT OVER EQUIVALENT OF 25 AND NO EVIDENCE OF SIGNIFICANT PROGRESSIVE COMBUSTION
ALL SPECIES MAY BE SURFACED 1/32 INCH FOR COSMETIC PURPOSES.

UNDERWRITERS' LABORATORIES OF CANADA LISTED

ULC TREATED PLYWOOD

FORM 50 ISSUE NO. 8007 C

CLASSIFIED AS TO SURFACE BURNING CHARACTERISTICS IN ACCORDANCE WITH THE STANDARD **CAN 4-S102**.

FOR COMMENTARY ON METHOD OF REPORTING FLAME SPREAD RATING SEE ULC LIST OF EQUIPMENT AND MATERIALS, VOL. II, UNDER GUIDE NO. 40 U8.

CLASSIFICATION OR RATING

MATERIAL DETAILS	FLAME SPREAD FSC ₇₅ (GWL)	SMOKE DEVELOPED	FUEL CONTRIBUTED
SOUTHERN YELLOW PINE *	20 (15)	10	0
DOUGLAS FIR *	15 (15)	15	5
REDWOOD *	10 (5)	10	5

* IN TEST OF 30 MIN. DURATION, FLAME SPREAD NOT OVER EQUIVALENT OF 25 AND NO EVIDENCE OF SIGNIFICANT PROGRESSIVE COMBUSTION.

Interior Type

Fire-Retardant Treated Wood

Manufacturer's name,
address, and product name

Figure 1. Sample labels/markings from one independent certification organization for fire-retardant-treated lumber and plywood.

BUILDING PERMIT #

BLD202401488

CITY OF OSHAWA

SHOP DRAWINGS CONDITION

CONDITION OF BUILDING PERMIT ISSUANCE IS PROVIDING MANUFACTURER'S SHOP DRAWINGS FOR:

2hrs F.R.R. Durasystems Shaft Enclosure

SIGNED AND SEALED BY A PROFESSIONAL ENGINEER, TO BE SUBMITTED FOR APPROVAL.

ALL DESIGN LOADS MUST BE SHOWN ON SHOP DRAWINGS.

DURASYSTEMS
MODEL GNX ENCLOSURE
TOP SECTION

18 GA. COVER STRIP SCREWED
AT EACH ENCLOSURE SEAM
ON 10" CENTERS USING
SUPPLIED SCREWS

DURASYSTEMS
MODEL GNX ENCLOSURE
2 PIECE CLAMHELL DESIGN

DURASYSTEMS
MODEL GNX ENCLOSURE
BOTTOM SECTION

DURASYSTEMS
MODEL GNX ENCLOSURE
TOP SECTION

APPLY 1/4" - 5/16" (6 - 8mm) BEAD,
TREMCO FYRE-SIL SEALANT
AT FLANGE CONNECTION
AT TIME OF INSTALLATION

DURASYSTEMS
MODEL GNX ENCLOSURE
BOTTOM SECTION

TYPICAL CONNECTION DETAIL BETWEEN
ENCLOSURE SECTIONS

COMPONENTS SHOWN ARE
FOR ILLUSTRATION PURPOSES
ONLY. SITE COMPONENTS TO BE
CONFIRMED

APPLY 1/4" - 5/16" (6 - 8mm) BEAD,
TREMCO FYRE-SIL SEALANT
AT FLANGE CONNECTION TO WALL
AT TIME OF INSTALLATION

TYPICAL CONNECTION DETAIL BETWEEN DUCT SECTIONS

0	03/28/2011	ISSUED FOR APPROVAL	RV	SC
NO.	DATE	REVISION	BY	CH.

DURASYSTEMS

DuraSystems Barriers Inc.
199 Courtland Ave, Vaughan, ON, Canada
L4K 4T2 (905) 660-4455 www.durasystems.com

PROJECT:

CLIENT:

DRAWING:
**GNX PIPE
ENCLOSURE**

SCALE: NTS

DRAWN BY: R. V. DATE: Mar 25, 2011

CHECKED BY: S. C. DATE: Mar 25, 2011

APPROVED BY: DATE:

DRWG. No.	REV. No.	PROJECT No.
D100	0	

2 HOUR FIRE RESISTANCE RATING AS PER cULus LISTING V-28