



ARCHITECTURAL DRAWINGS

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FIRE SEPARATION NOTES

- FLOOR PLANS ON THIS DRAWING ARE INTENDED FOR FIRE SEPARATION INDICATION ONLY. REFER TO FLOOR PLANS FOR ARCHITECTURAL DETAILS.
- FIRESTOPPING DETAILS TO BE PROVIDED AT TIME OF SHOP DRAWINGS.
- ALL PENETRATIONS IN ALL PARTITIONS ARE TO BE SEALED ON BOTH SIDES.
- ALL SIGNAGE WHERE INDICATED ON THIS DRAWING IS SUPPLIED BY THE OWNER.

LEGEND

- 0 MINUTE FIRE SEPARATION
- 1 HOUR FIRE SEPARATION
- 1.5 HOUR FIRE SEPARATION
- 2 HOUR FIRE SEPARATION
- Ⓝ ROOM OCCUPANCY
- ◁ # ROOM EXIT LOAD
- Ⓢ ACCUMULATED OCCUPANCY LOAD
- ◁ # EXIT LOAD
- TRAVEL DISTANCE

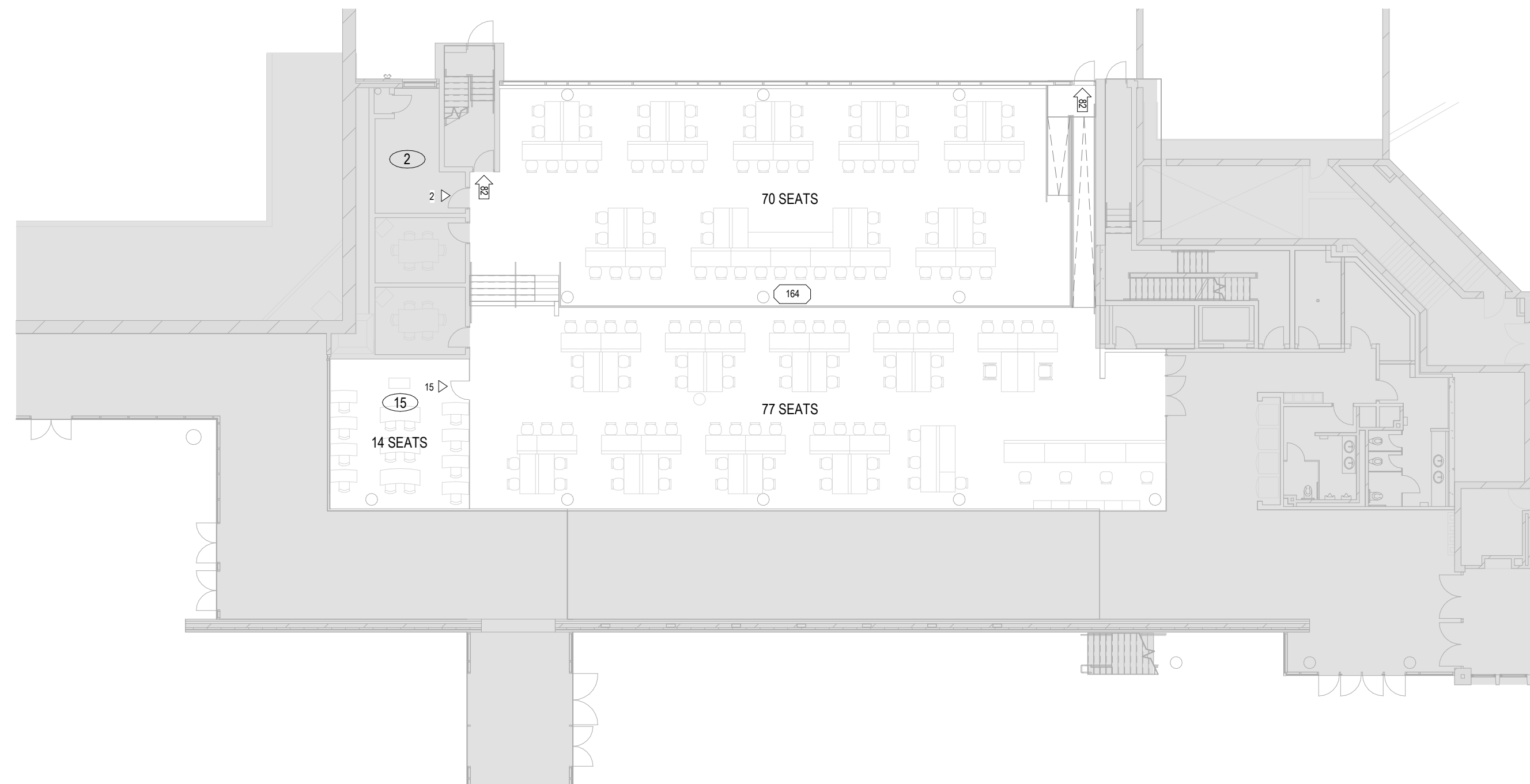
ONTARIO BUILDING CODE DATA MATRIX

FIRM NAME: Architects Tillmann Ruth Robinson Inc.
 CERTIFICATE OF PRACTICE NUMBER: 4891
 700-200 QUEEN'S AVE.
 LONDON, ON N6A 1J3, CANADA
 PHONE (519) 672-1440
 EMAIL: atrr@atr.ca
 WEB SITE: www.atr.ca

NAME OF PROJECT: Scotia Bank Hall Renovation
 aTRR PROJECT NUMBER: 2615-24
 LOCATION: 1812 Sir Issac Brock Way, St. Catharines, ON L2S 3A1

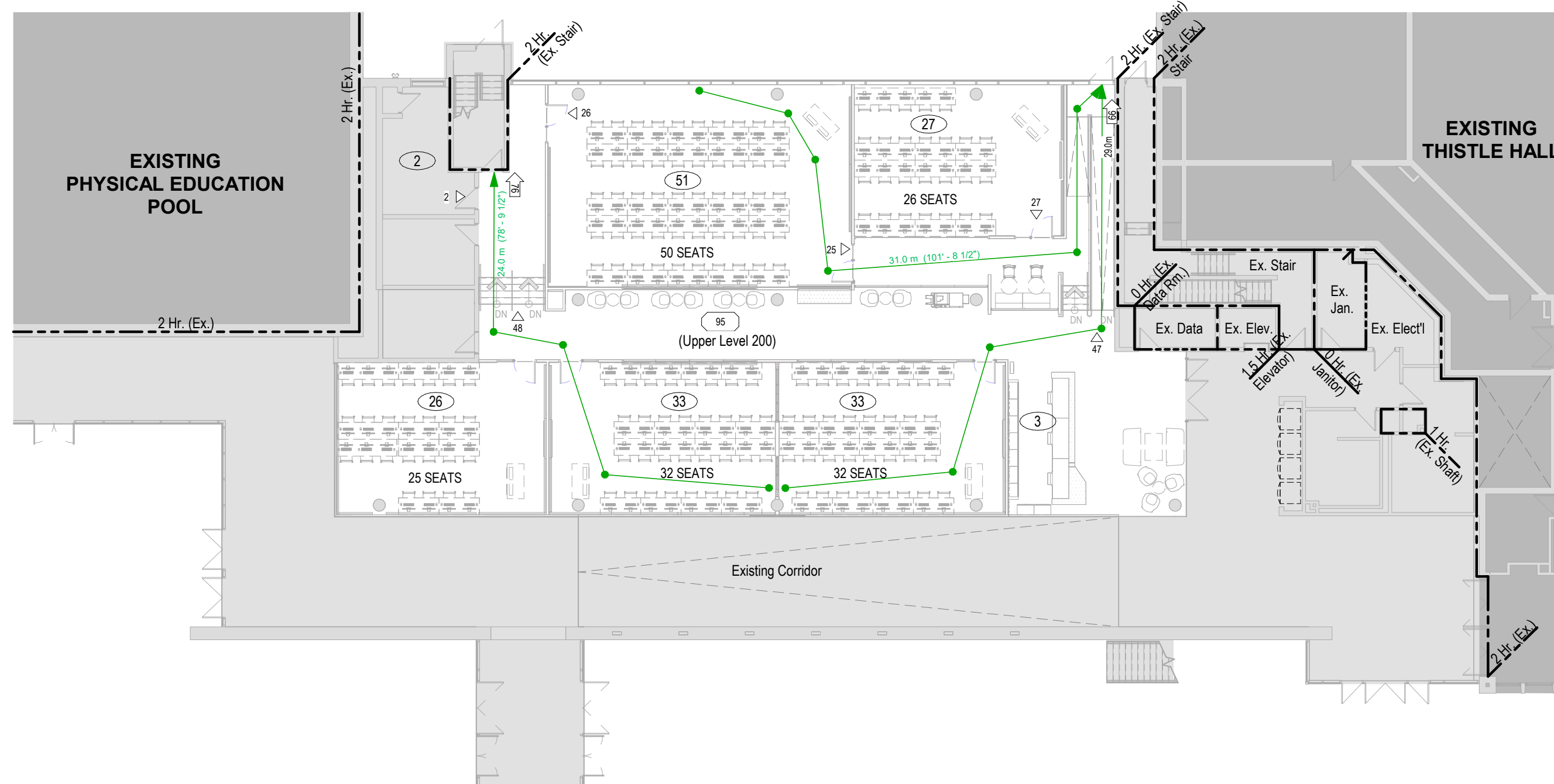
THE ARCHITECT NOTED ABOVE HAS EXERCISED RESPONSIBLE CONTROL WITH RESPECT TO DESIGN ACTIVITIES. THE ARCHITECT'S SEAL NUMBER IS THE ARCHITECT'S BCEN.

ITEM	ARTICLE	DESCRIPTION	EXISTING	NEW	TOTAL	OBC REFERENCE
11.00	BUILDING CODE VERSION:	O_Reg_163/24	LAST AMENDMENT:	O_Reg_447/24		PART 11 - DIV. B
11.01	PROJECT DESCRIPTION:	<input type="checkbox"/> ADDITION <input type="checkbox"/> ADDITION AND RENOVATION <input checked="" type="checkbox"/> RENOVATION <input type="checkbox"/> CHANGE OF USE DESCRIPTION:				[A] 1.3.3.3B
11.02	MAJOR OCCUPANCY(S) CLASSIFICATION:	OCCUPANCY: GROUP A, DIVISION 2 (Existing unchanged) USE: UNIVERSITY (Existing unchanged)				3.1.2.1.(1), 2.1.4.1.(1), and 11.2.1
11.03	SUPERIMPOSED MAJOR OCCUPANCIES:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO DESCRIPTION:				11.2, 3.2.2.5 to 3.2.2.8, and 2.2.1.
11.04a	BUILDING AREA:	DESCRIPTION: EXISTING UNCHANGED EXISTING: m ² NEW: m ² TOTAL: m ²				[A] 1.4.1.2, 11.2., and 11.3.
11.04b	FLOOR AREA:	RENOVATION AREA 622 m ² (6695 SF)				
11.05	BUILDING HEIGHT:	STOREYS ABOVE GRADE: EXISTING UNCHANGED STOREYS BELOW GRADE: EXISTING UNCHANGED (m) ABOVE GRADE				[A] 1.4.1.2, 3.2.1.1., 2.2.2., and 11.3.
11.06	NUMBER OF STREETS / FIREFIGHTER ACCESS:	Min. ONE STREET (S)				3.2.2.10, 3.2.5., 2.2.4.1., and 11.3.
11.07	BUILDING SIZE:	<input type="checkbox"/> SMALL <input type="checkbox"/> MEDIUM <input type="checkbox"/> LARGE <input type="checkbox"/> > LARGE				11.2.1.1., and T.11.2.1.1.B-N
11.08	EXISTING BUILDING CLASSIFICATION:	CHANGE IN MAJOR OCCUPANCY: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO CONSTRUCTION INDEX: EXISTING UNCHANGED HAZARD INDEX: EXISTING UNCHANGED IMPORTANCE CATEGORY: <input type="checkbox"/> LOW <input type="checkbox"/> NORMAL <input type="checkbox"/> HIGH <input type="checkbox"/> POST-DISASTER				10.1.1.2, 11.2.1.1, T.11.2.1.1.A, T.11.2.1.1.B to N, 4.1.2.1.(3), 2.3.1., and 5.2.2.1(2)
11.09	RENOVATION TYPE:	<input checked="" type="checkbox"/> BASIC RENOVATION <input type="checkbox"/> EXTENSIVE RENOVATION				11.3.3.1., and 11.3.3.2.
11.10	OCCUPANT LOAD:	BASED ON: <input type="checkbox"/> # PER PERSON (Gp. A2) <input checked="" type="checkbox"/> DESIGN OF BUILDING (Gp. A2) TOTAL LEVEL 200 (RENOVATION AREA ONLY): - EXISTING: 164 PERSONS - PROPOSED: 173 PERSONS (INCREASE OF 5.5%)				3.1.17., 2.1.2.2., and 11.4.2.2.
11.12	BARRIER-FREE DESIGN: BARRIER-FREE ENTRANCES:	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN) EXPLANATION: NUMBER: EXPLANATION:				11.3.1.2., 11.3.2., and 11.3.3.2.
11.13	REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO BY INCREASE IN OCCUPANT LOAD: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO BY CHANGE OF MAJOR OCCUPANCY: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO PLUMBING: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO SEWAGE SYSTEMS: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO EXTENSION OF BUILDINGS OF COMBUSTIBLE CONSTRUCTION: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				11.4.2.1.(b), 11.4.2.2., 11.4.2.3., 11.4.2.4., 11.4.2.5., and 11.4.2.6.
11.14	COMPENSATING CONSTRUCTION:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO STRUCTURAL: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO BY INCREASE IN OCCUPANT LOAD: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO BY CHANGE OF MAJOR OCCUPANCY: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO PLUMBING: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO SEWAGE SYSTEMS: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO EXTENSION OF BUILDINGS OF COMBUSTIBLE CONSTRUCTION: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				11.4.3.1., 11.4.3.2., 11.4.3.3., 11.4.3.4., 11.4.3.5., 11.4.3.6., and 11.4.3.7.
11.15	COMPLIANCE ALTERNATIVES PROPOSED:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				11.5.1.
11.16	ALTERNATIVE SOLUTIONS:	Nil				[A] 1.2.1.1., and [C] 2.1.
11.17	NOTES:	Nil				



LEVEL 200 - EXISTING OCCUPANT LOAD & FURNITURE LAYOUT PLAN

1 : 200



LEVEL 200 - PROPOSED OCCUPANT LOAD & TRAVEL DISTANCE PLAN

1 : 200



SCOTIA BANK HALL RENOVATION



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No.	ISSUED FOR	DATE
2	ISSUE FOR TENDER	2025-03-21
1	BUILDING PERMIT	2025-03-14

OBC MATRIX & FIRE SEPARATION

DRAWN: BC	SCALE: As indicated	PROJECT NO: 2615-24(aTRR)
CHECKED: MCM	DATE: 21 MARCH 2025	

A-004

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SCOTIA BANK HALL RENOVATION

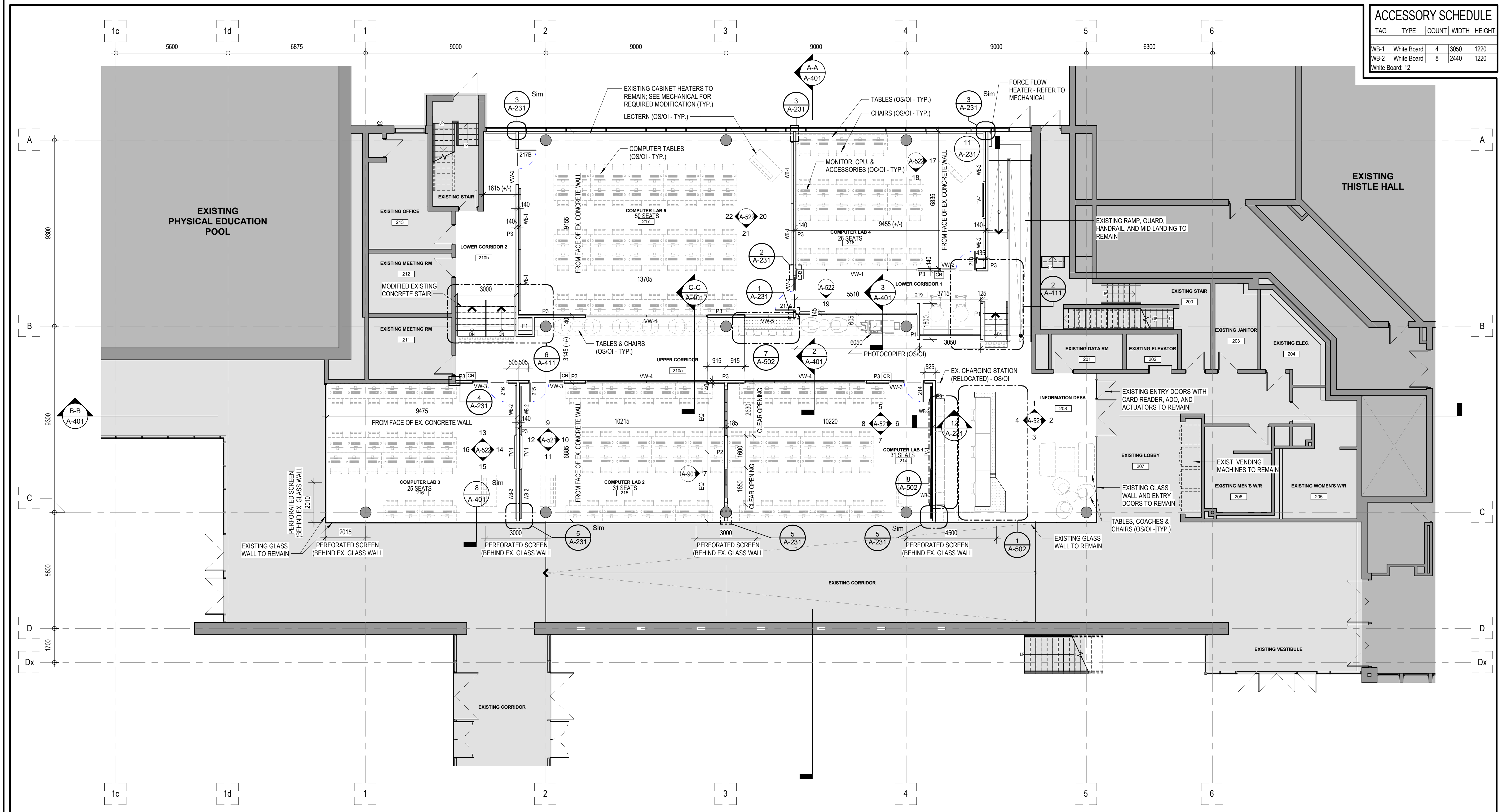
FURRING TYPES		INTERIOR WALL TYPES		CEILING TYPES		FLOOR TYPES			
TYPE	DETAIL	TYPE	DETAIL	TYPE	DETAIL	TYPE	DETAIL		
F1		P1 (KNEEWALL)		P3		ACT		FL1	
F1a		P2		M1		GWB			

GENERAL NOTES - PARTITIONS

- FLOOR PLANS SHOWING PARTITION TYPES ARE TO BE READ IN CONJUNCTION WITH THE A-500 SERIES DRAWINGS FOR LOCATIONS OF SPECIAL FEATURE WALLS, FINISHES, ETC.
- PARTITIONS LOCATED BY DIMENSION STRINGS ARE DIMENSIONED TO THE CENTERLINE OF THE WALL UNLESS OTHERWISE NOTED.
- MAINTAIN DIMENSIONS NOTED AS MINIMUM OR CLEAR
- PARTITION TYPES INDICATED ON A PARTITION ARE TO BE CONTINUOUS FOR THE LENGTH AND HEIGHT OF A PARTITION.

ACCESSORY SCHEDULE

TAG	TYPE	COUNT	WIDTH	HEIGHT
WB-1	White Board	4	3050	1220
WB-2	White Board	8	2440	1220
White Board: 12				



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No.	ISSUED FOR	DATE
2	ISSUE FOR TENDER	2025-03-21
1	BUILDING PERMIT	2025-03-14
No.	ISSUED FOR	DATE

DRAWING TITLE:

PARTIAL FLOOR PLAN

DRAWN: AEP	SCALE: As indicated	PROJECT NO: 2615-24(aTRR)
CHECKED: MCM	DATE: 21 MARCH 2025	

SBH FLOOR PLAN
1 A-231 1:100



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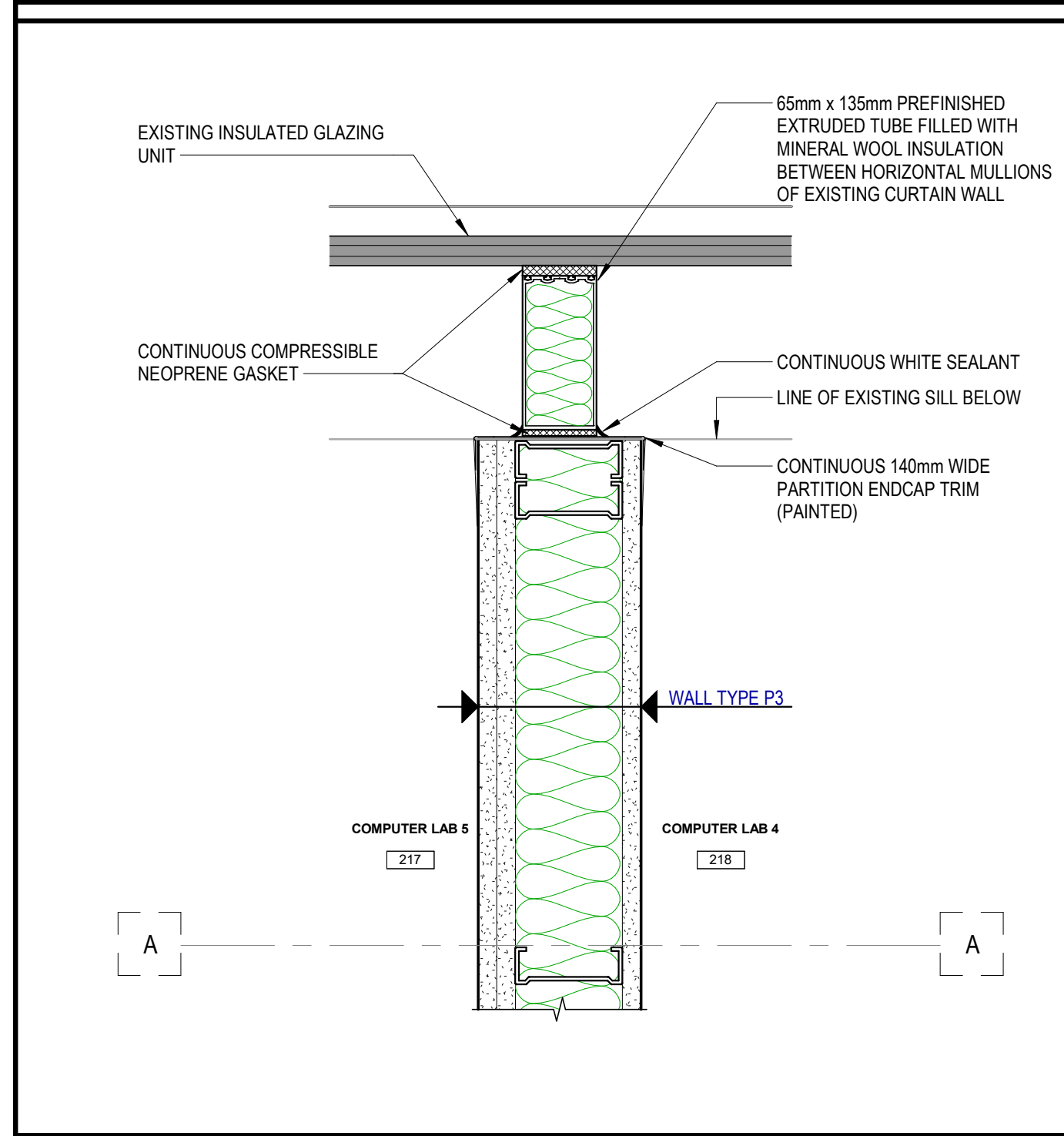
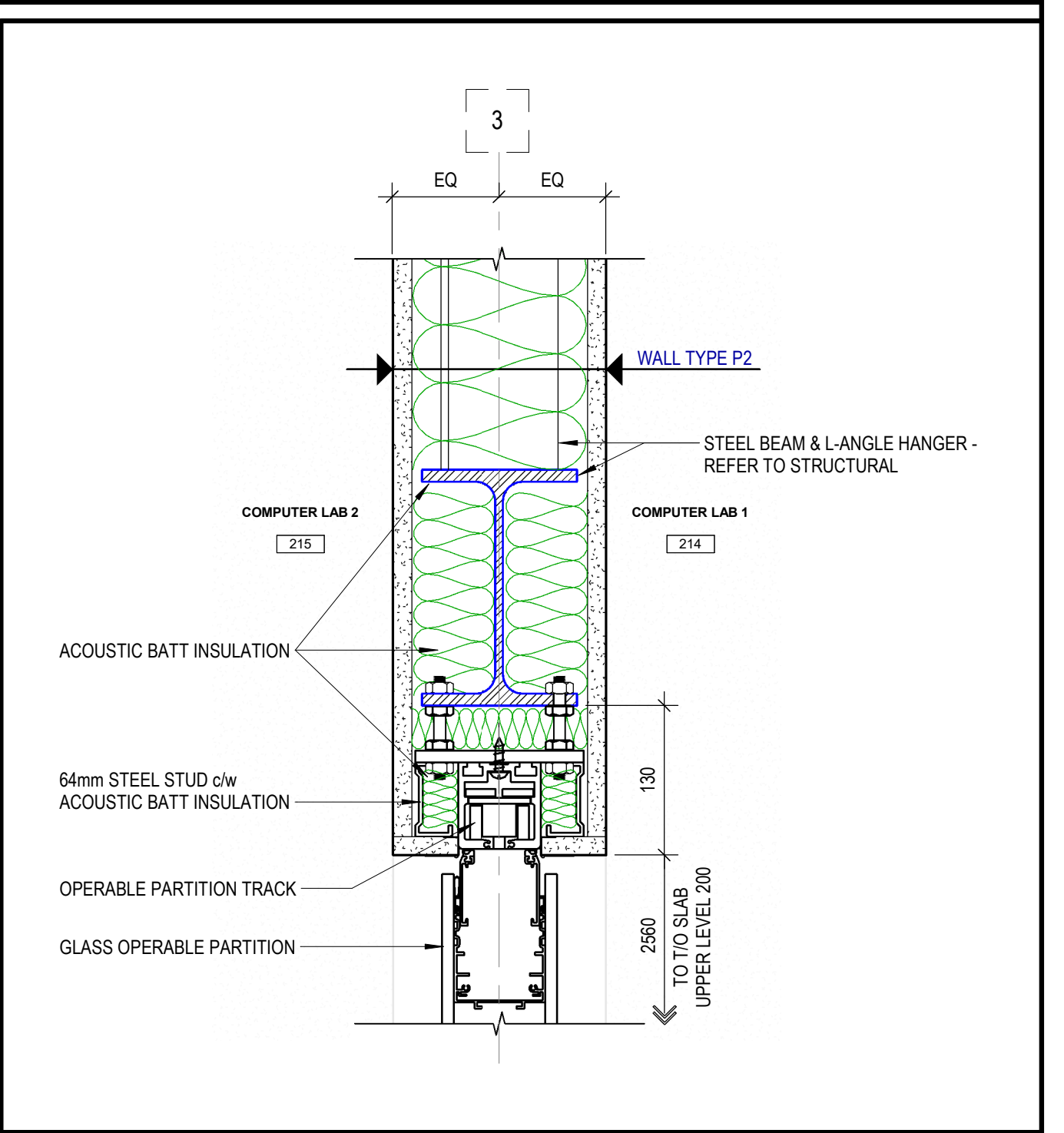
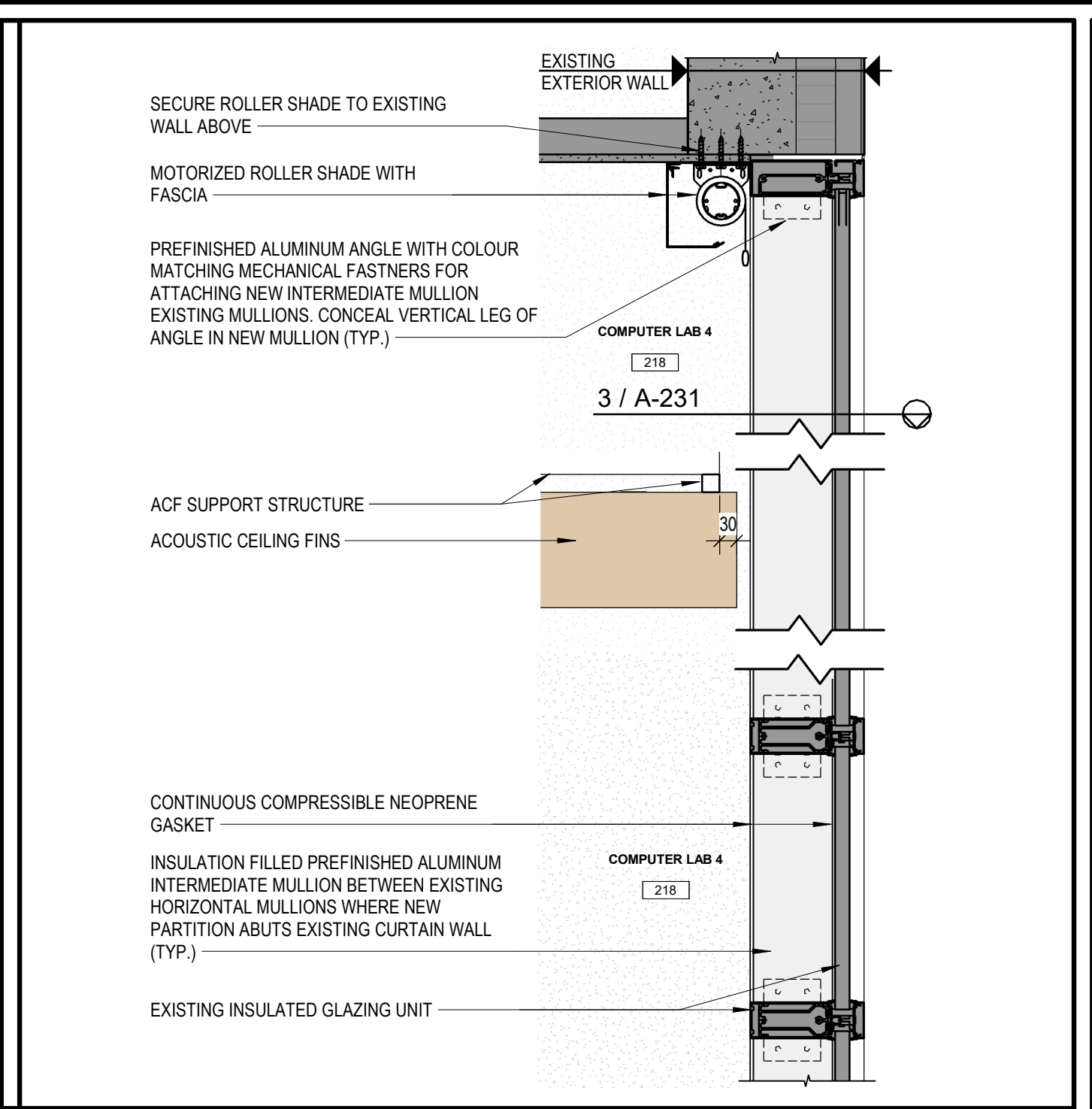
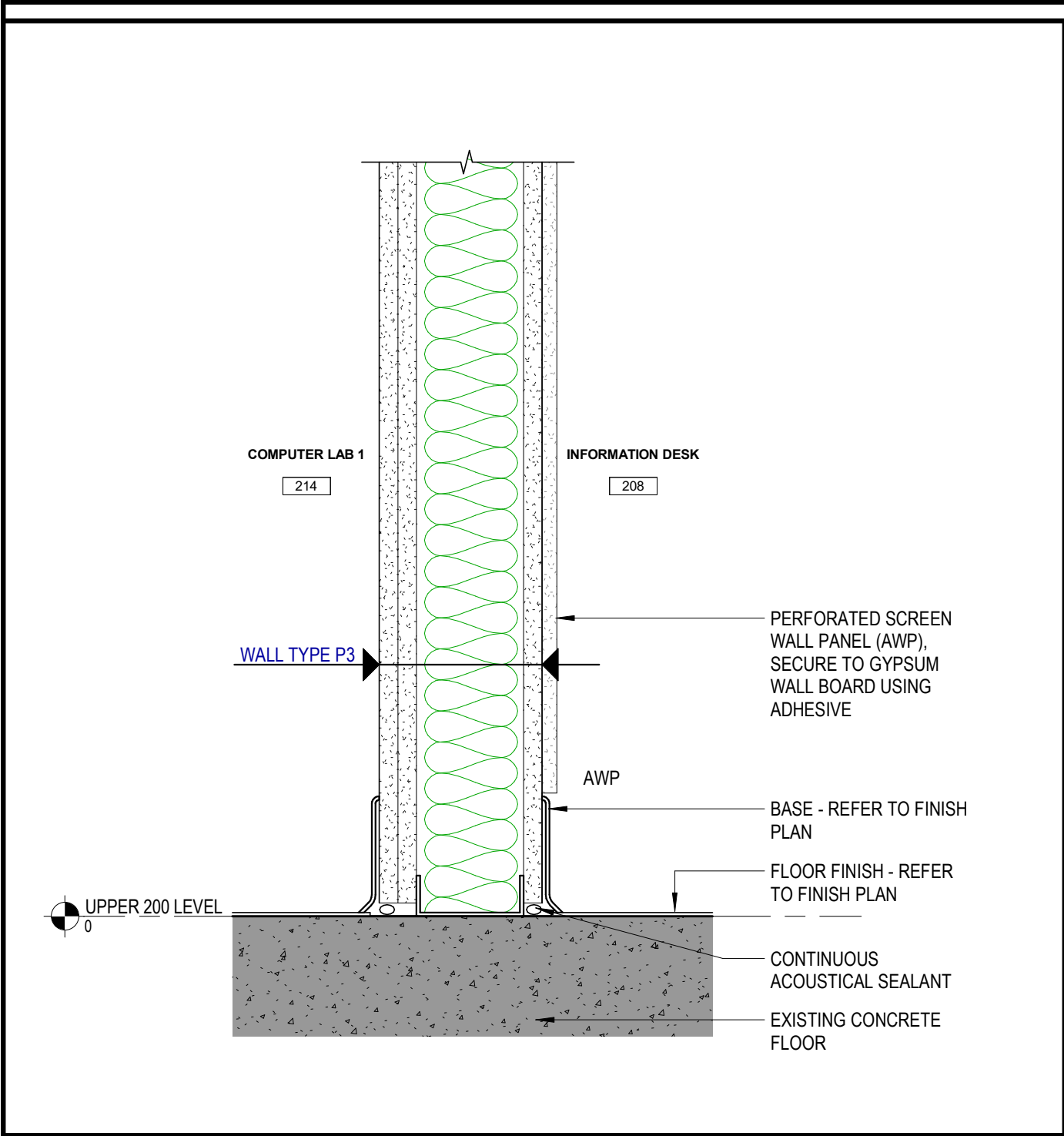
A-201

SECTION DETAILS

PLAN DETAILS



SCOTIA BANK HALL RENOVATION

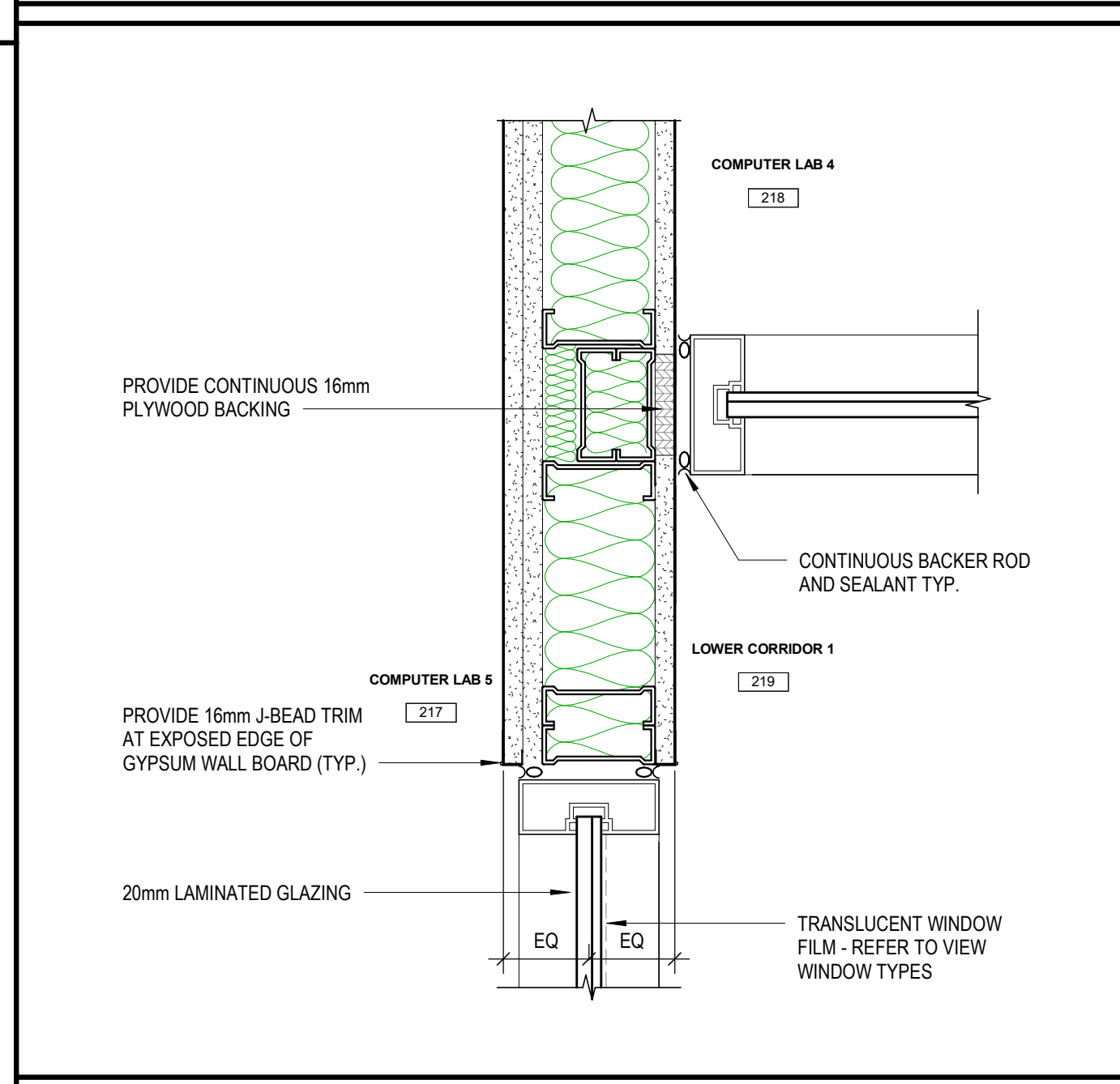
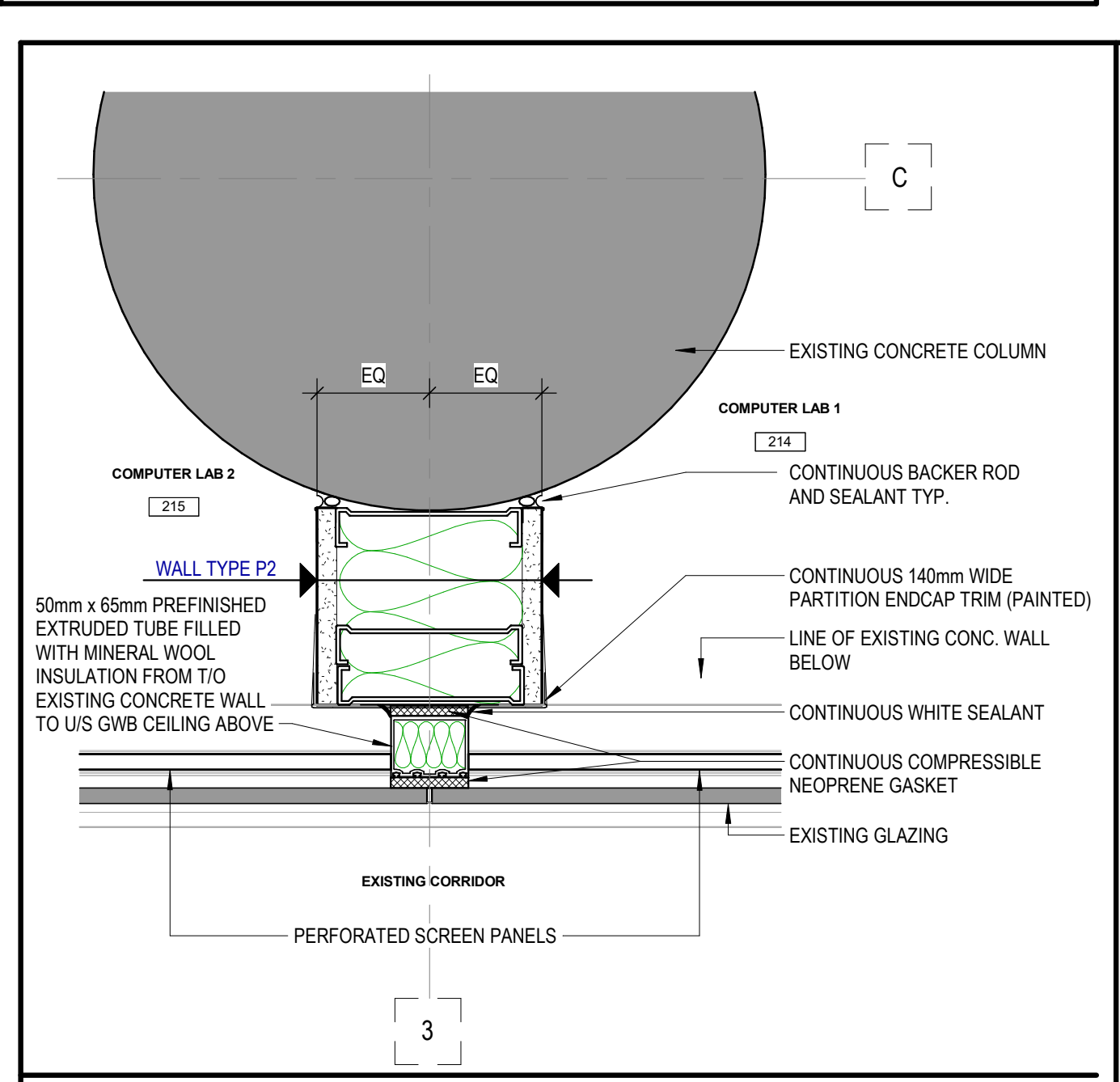
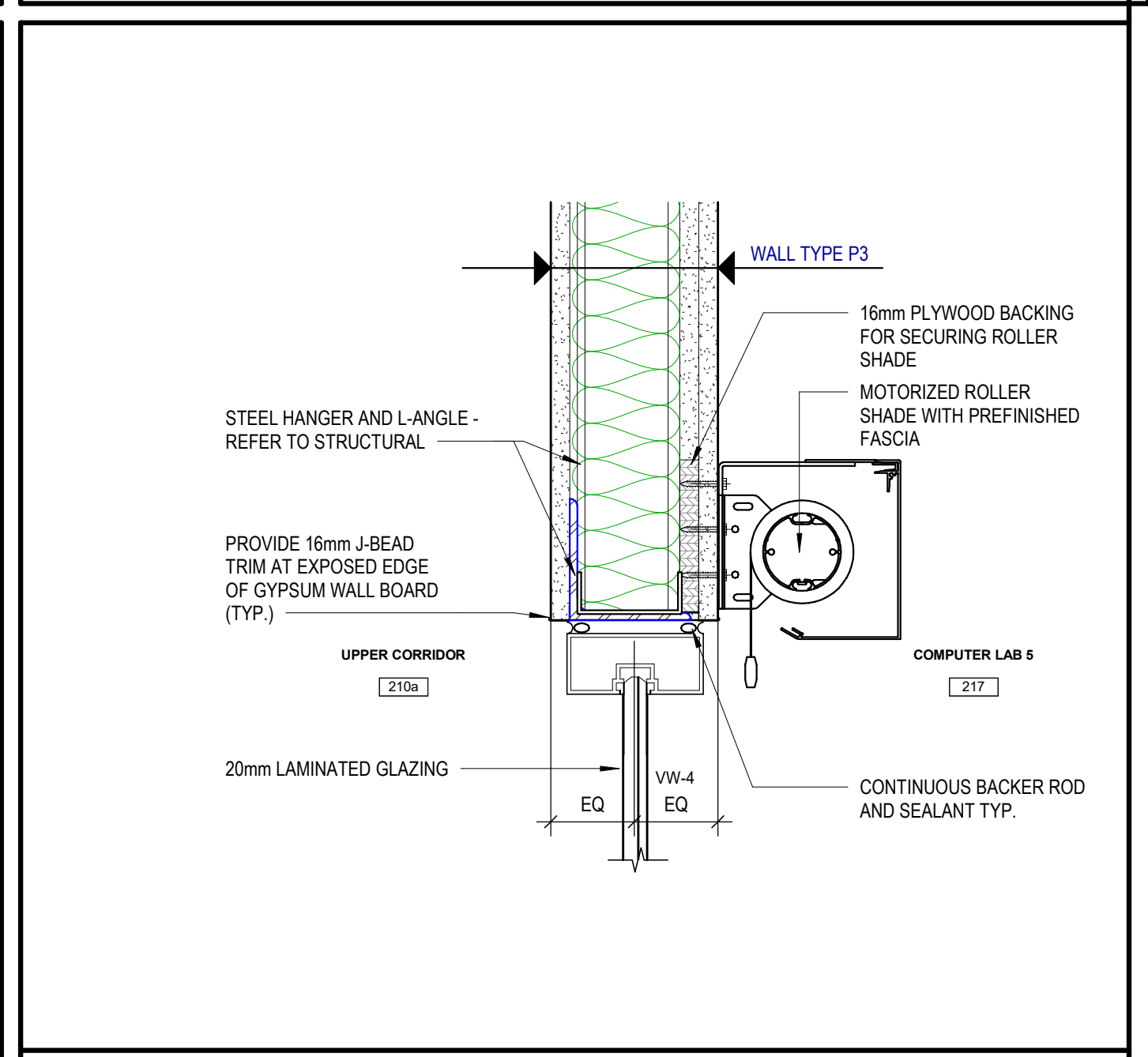
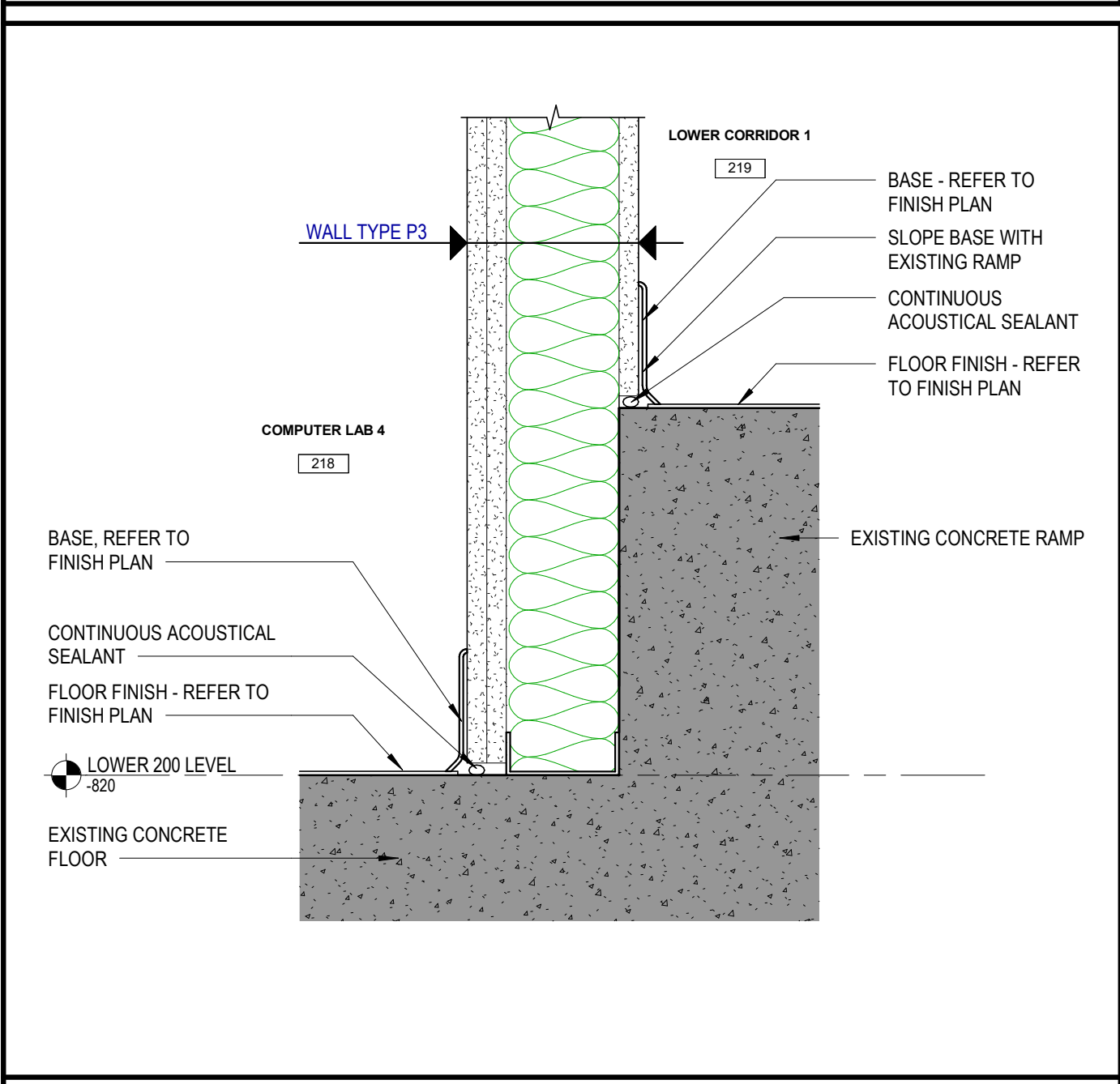


12 A-201 1:5 **PERF. WALL PANEL DETAIL**

9 A-401 1:10 **INTERMEDIATE MULLION**

6 A-401 1:5 **OPERABLE PARTITION HEAD DETAIL**

3 A-201 1:5 **PARTITION @ EXTERIOR GLAZING**

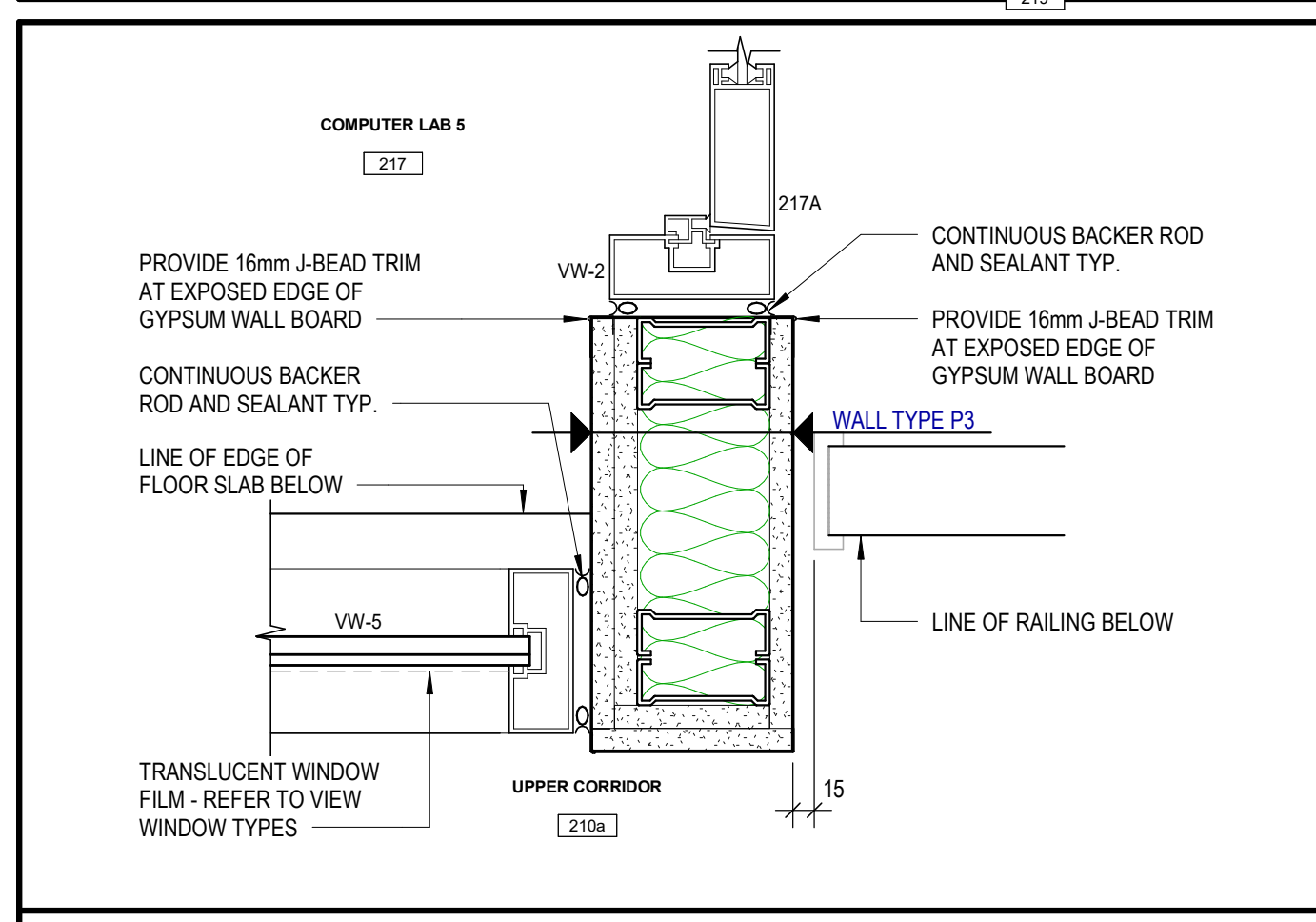
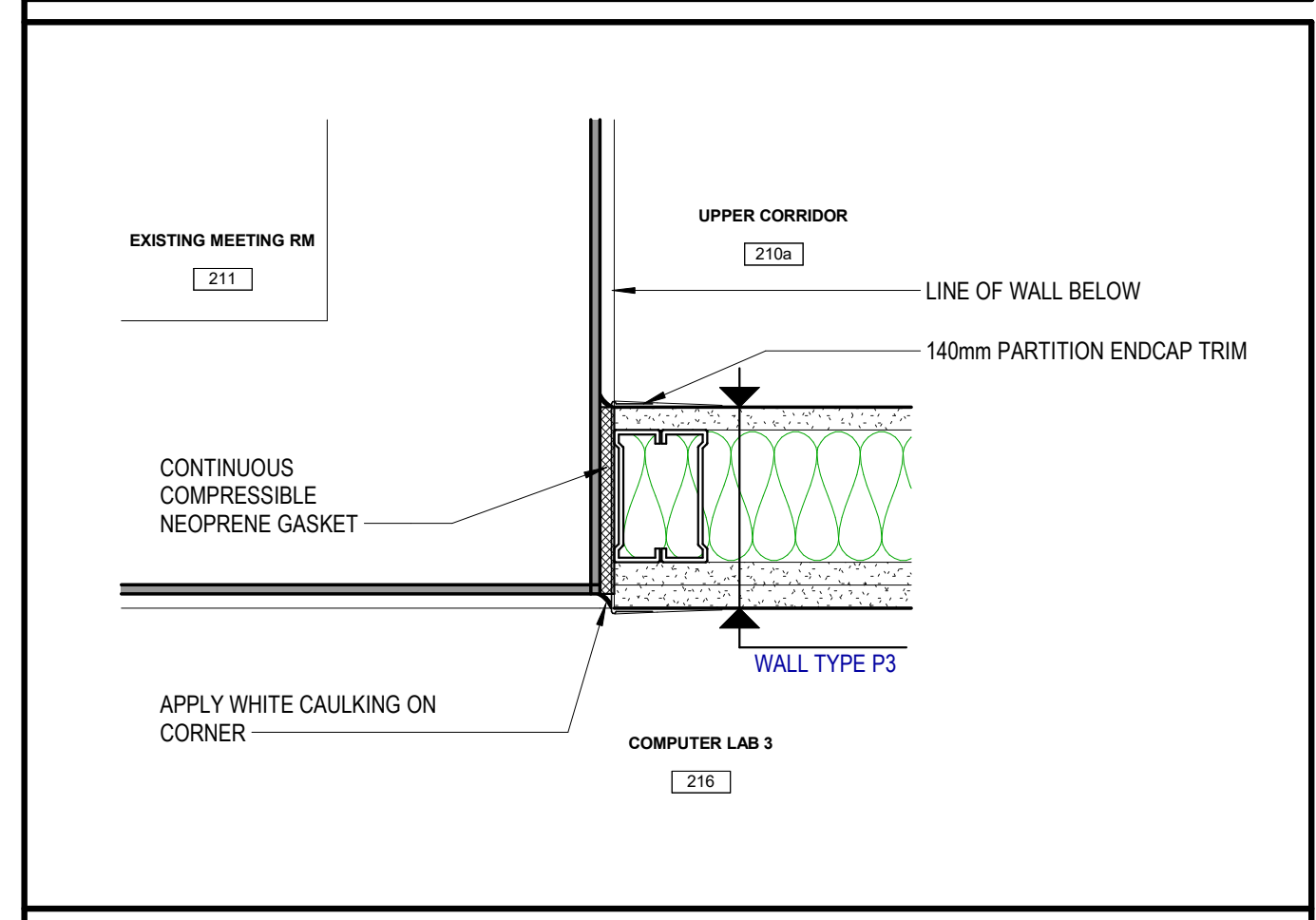
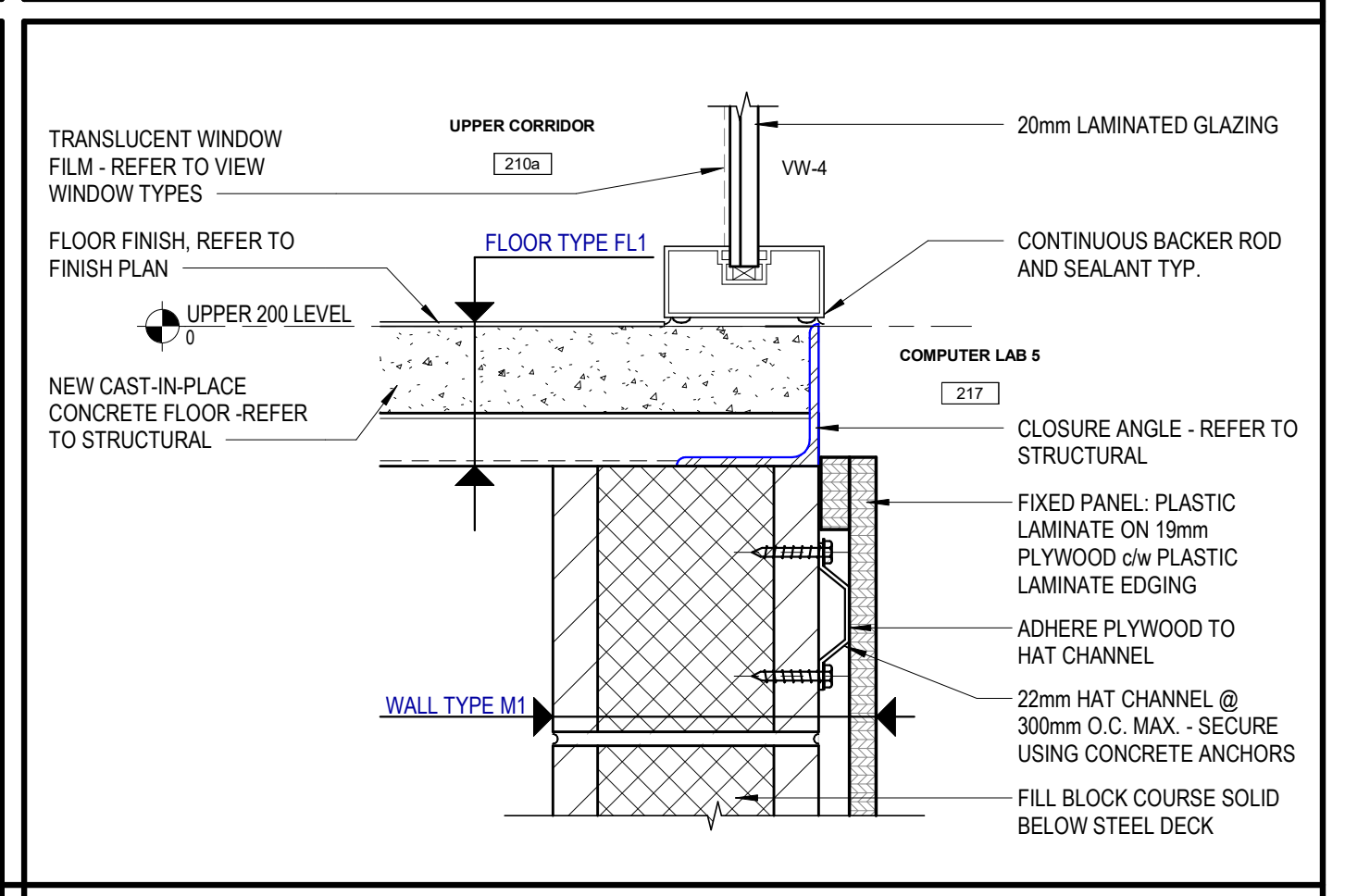
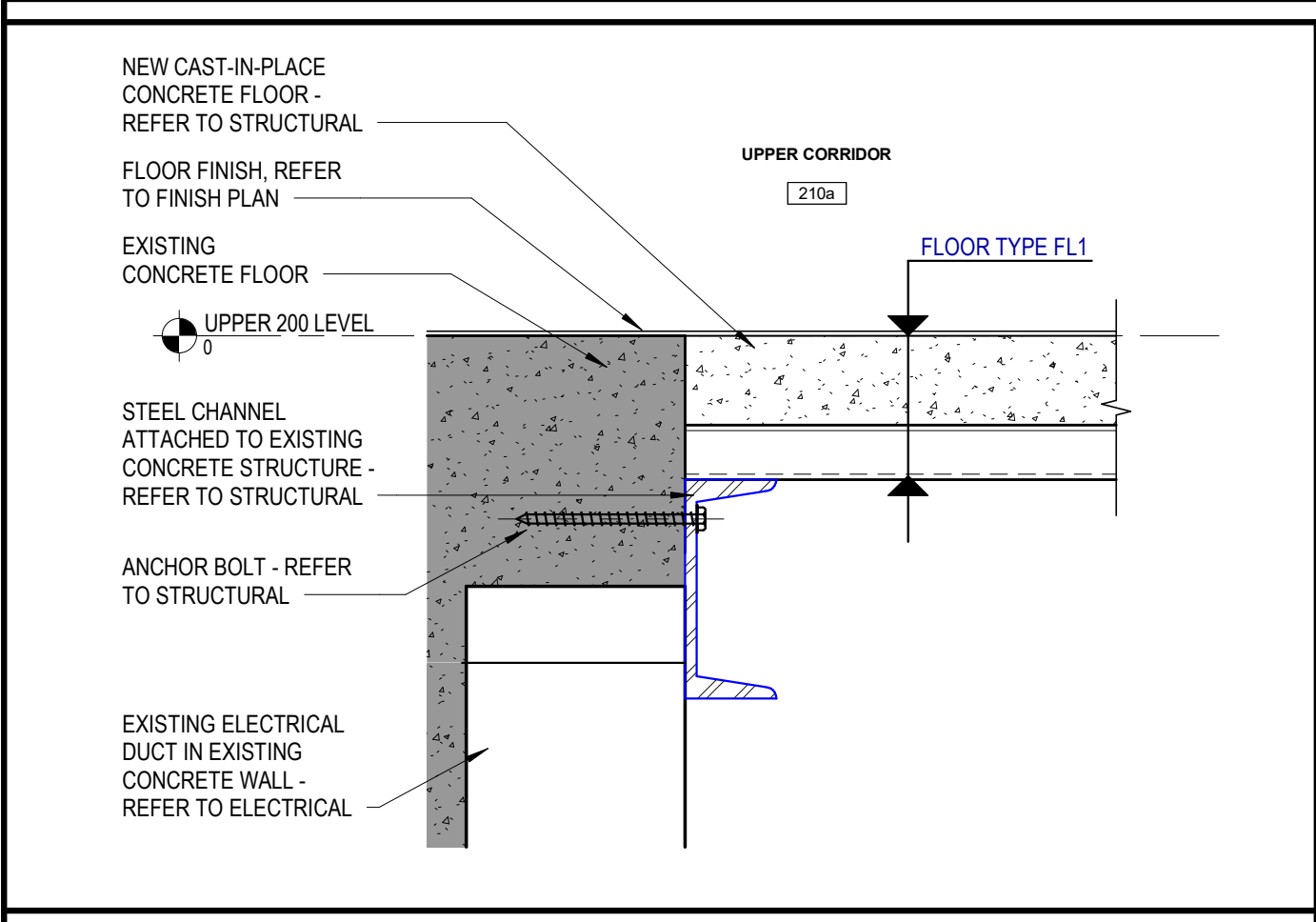


11 A-201 1:5 **PARTITION WALL @ RAMP DETAIL**

8 A-401 1:5 **WALL-MOUNTED ROLLER SHADE**

5 A-201 1:5 **PARTITION @ INTERIOR GLAZING**

2 A-201 1:5 **PLAN DETAIL @ CW**



10 A-401 1:5 **FLOOR TRANSITION DETAIL**

7 A-401 1:5 **SILL DETAIL @ LEVEL CHANGE**

4 A-201 1:5 **PARTITION @ EXISTING CLERESTORY**

1 A-201 1:5 **DOOR JAMB @ PARTITION**



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1	BUILDING PERMIT	2025-03-14
	ISSUED FOR	DATE

PLAN AND SECTION DETAILS

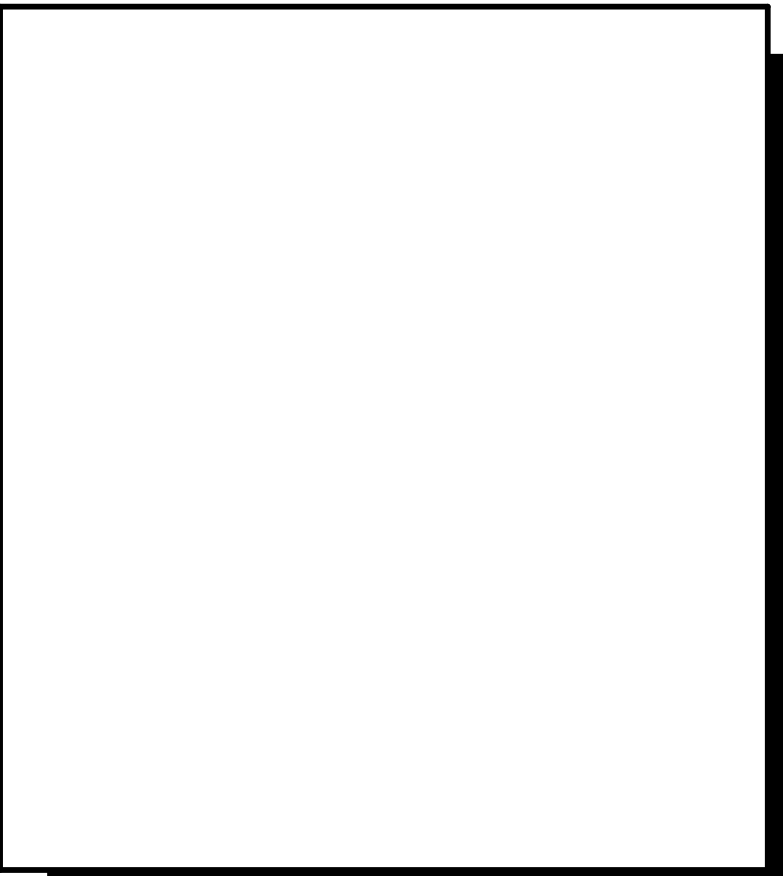
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CHECKED:	MCM	DATE:			21 MARCH 2025

A-231

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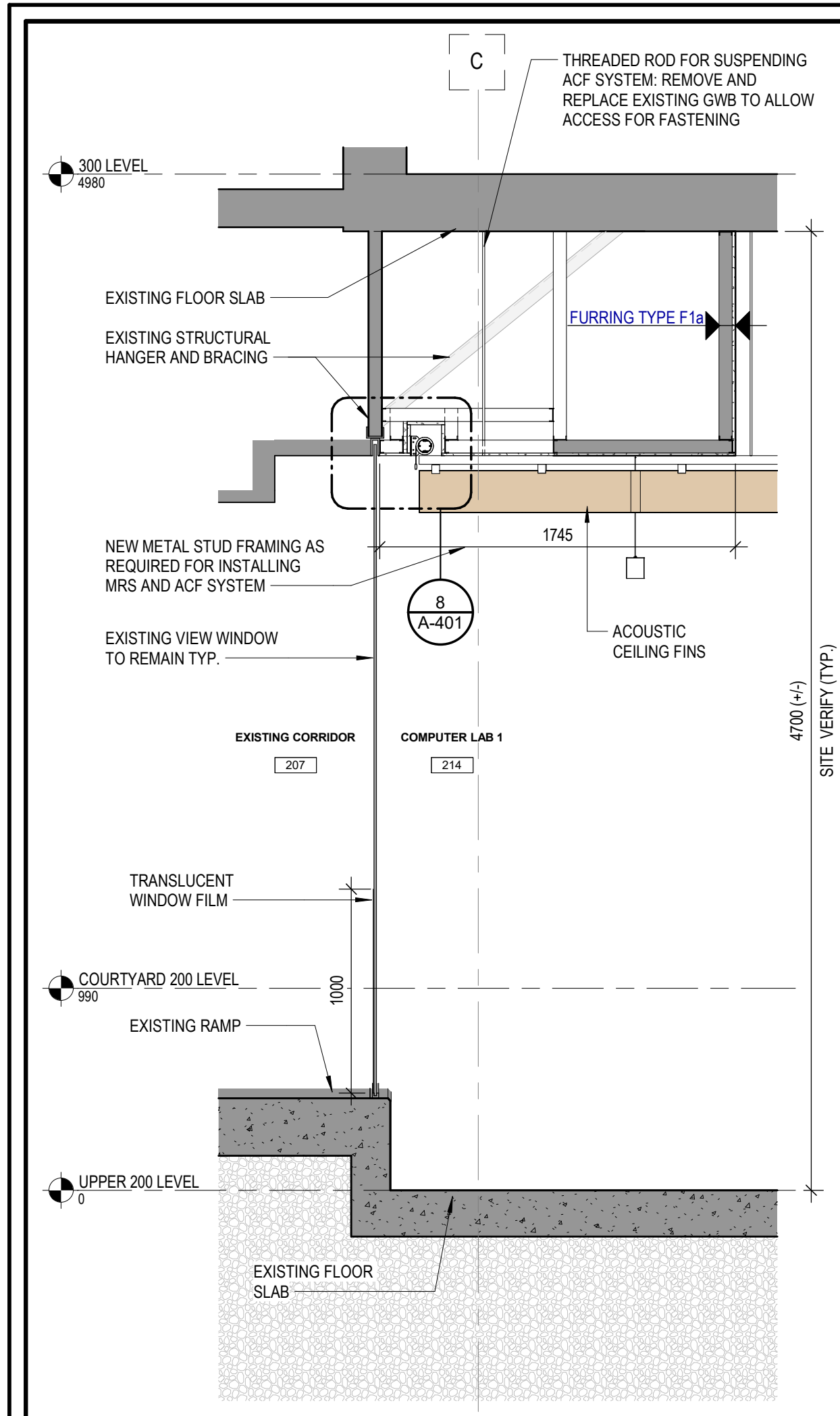
SCOTIA BANK HALL RENOVATION



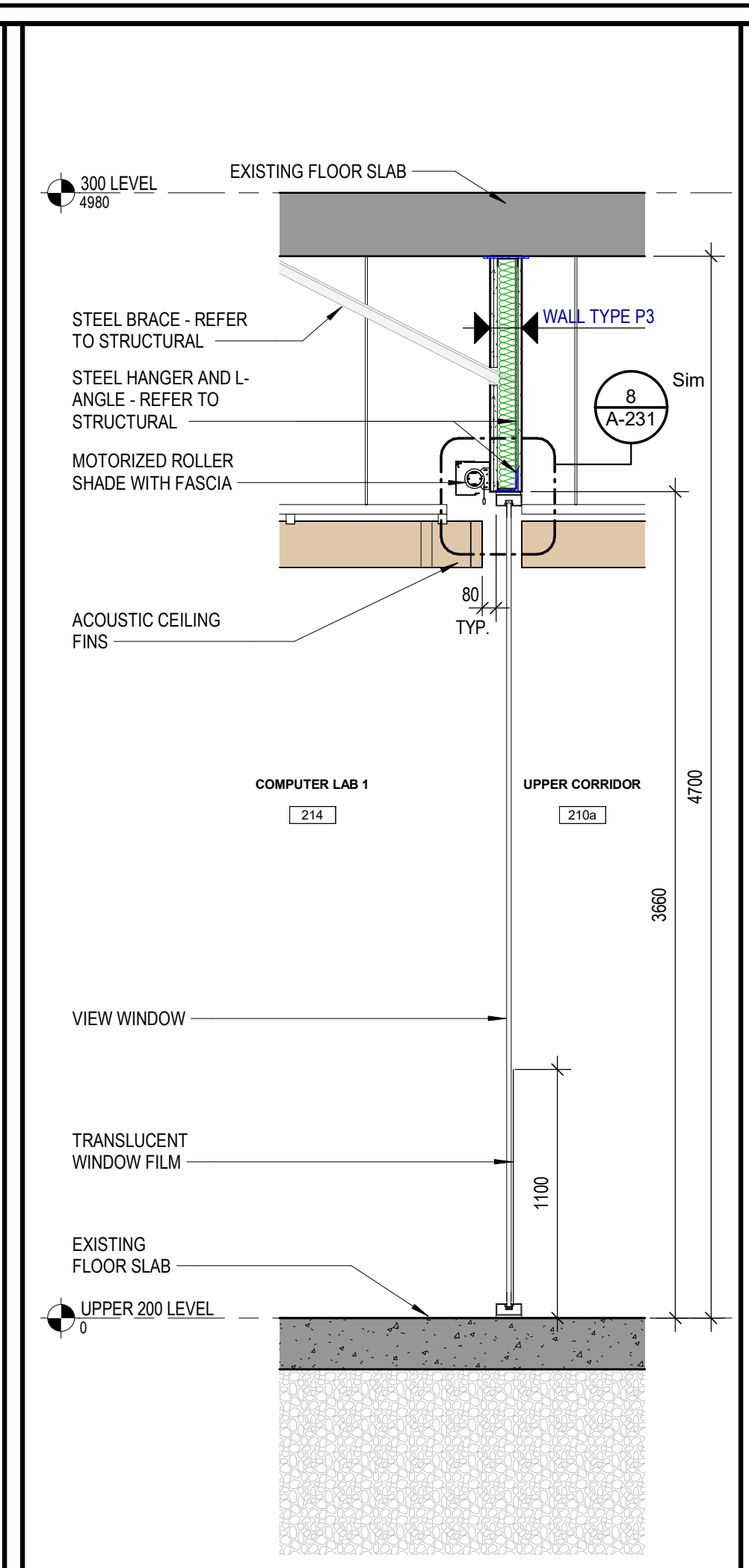
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2	ISSUE FOR TENDER	2025-03-21
1	BUILDING PERMIT	2025-03-14
No.	ISSUED FOR	DATE
DRAWING TITLE: CROSS SECTIONS, WALL SECTIONS & CEILING DETAILS		
DRAWN: AEP	SCALE: As indicated	PROJECT NO: 2615-24(aTRR)
CHECKED: MCM	DATE: 21 MARCH 2025	

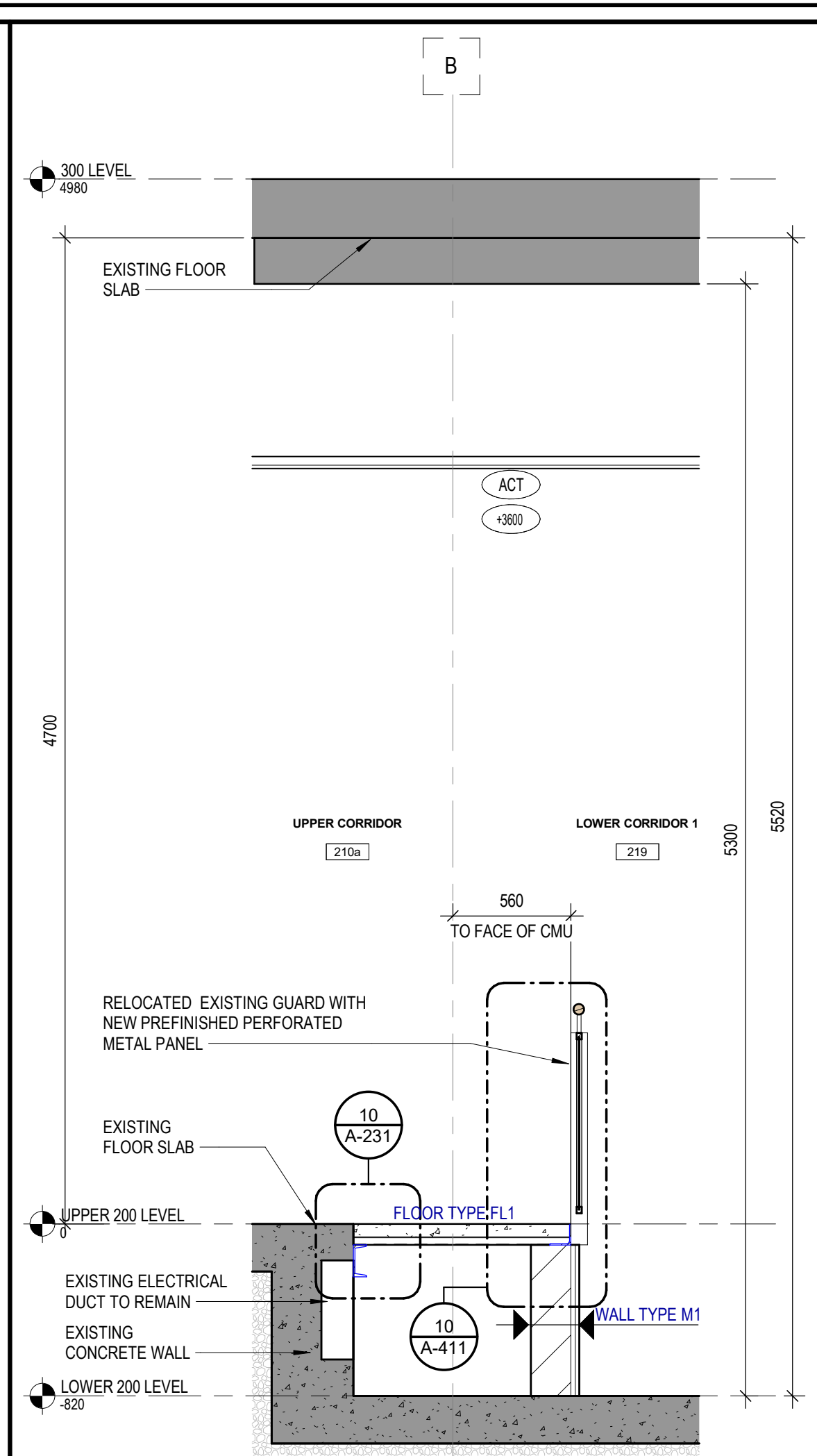
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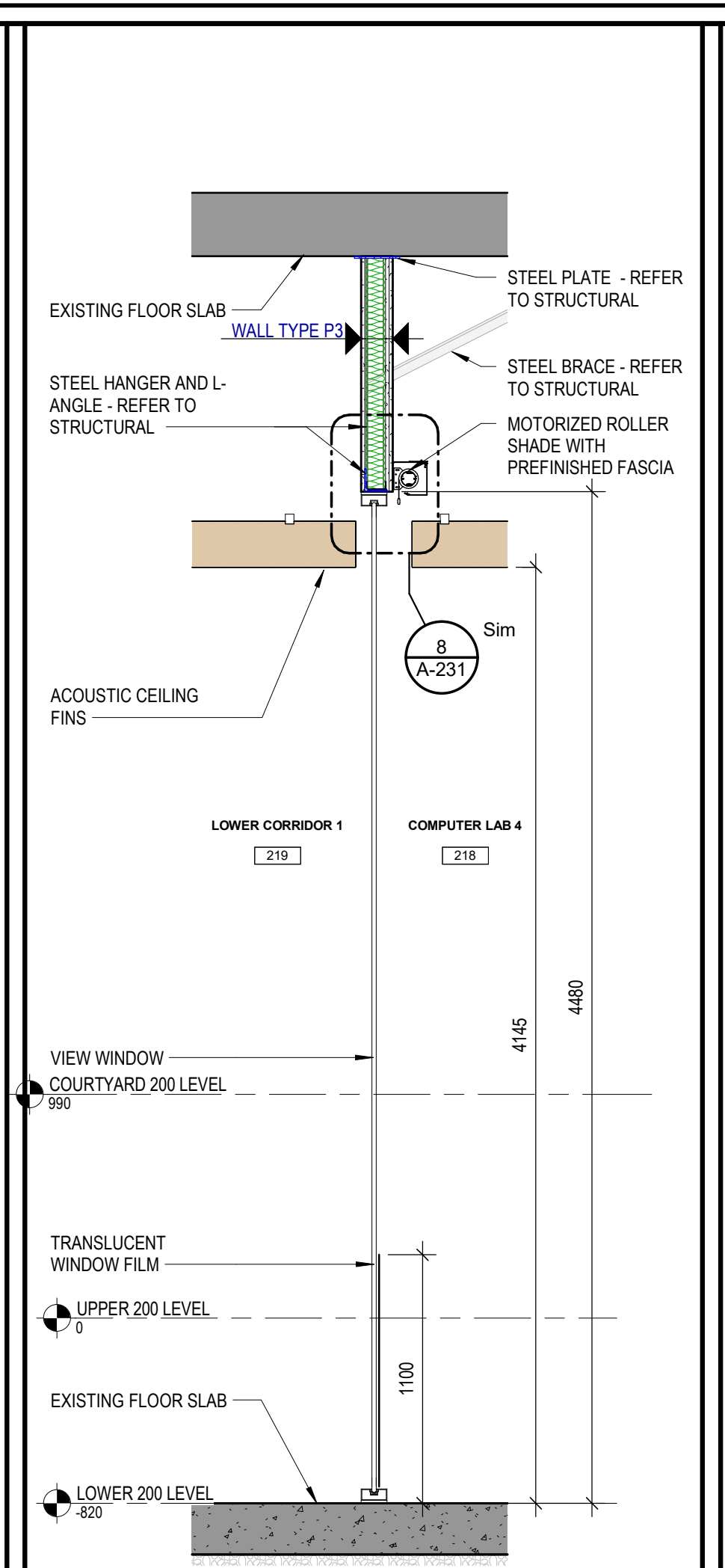
1 WALL SECTION 01
A-401 1:25



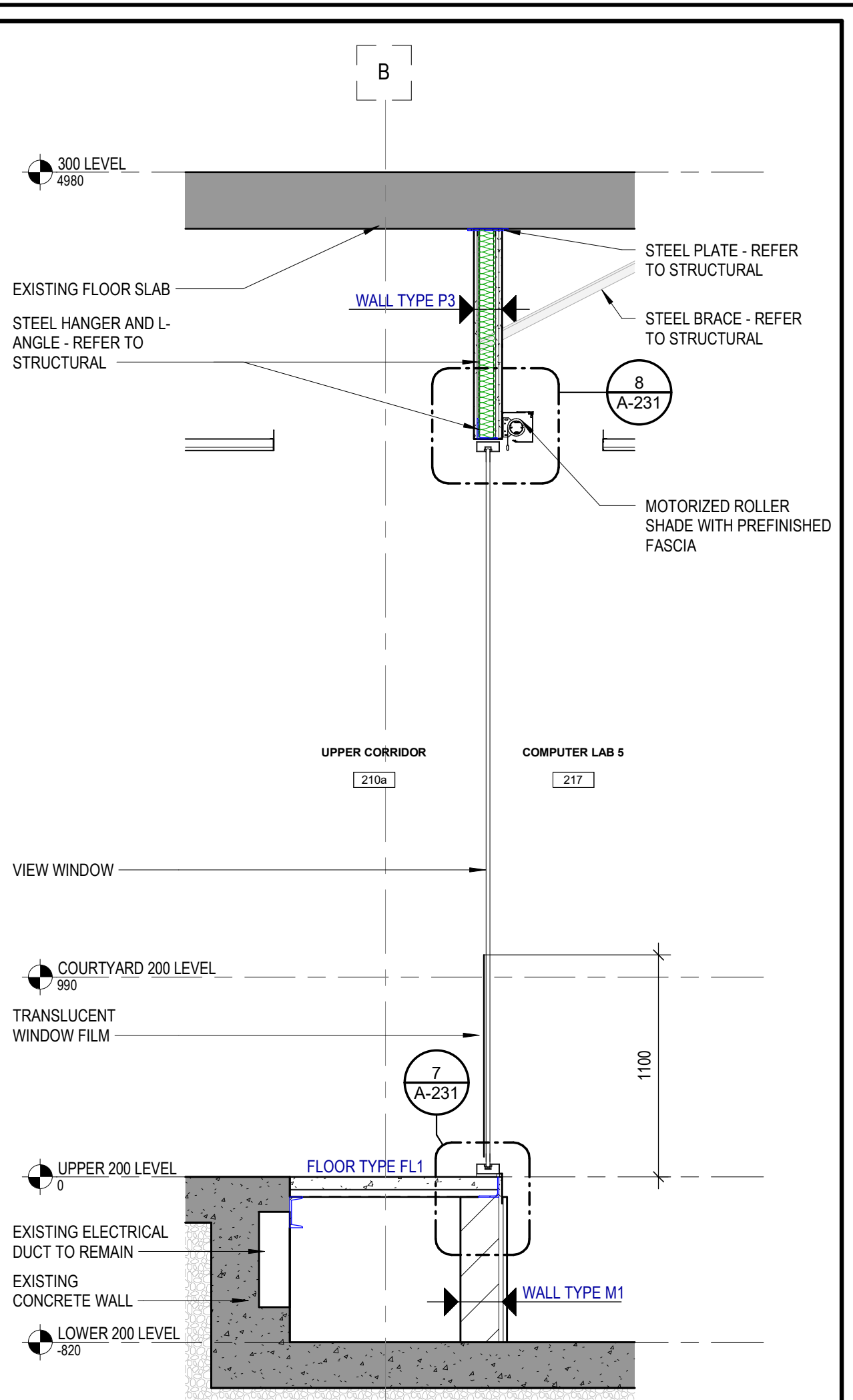
2 WALL SECTION 02
A-201 1:25



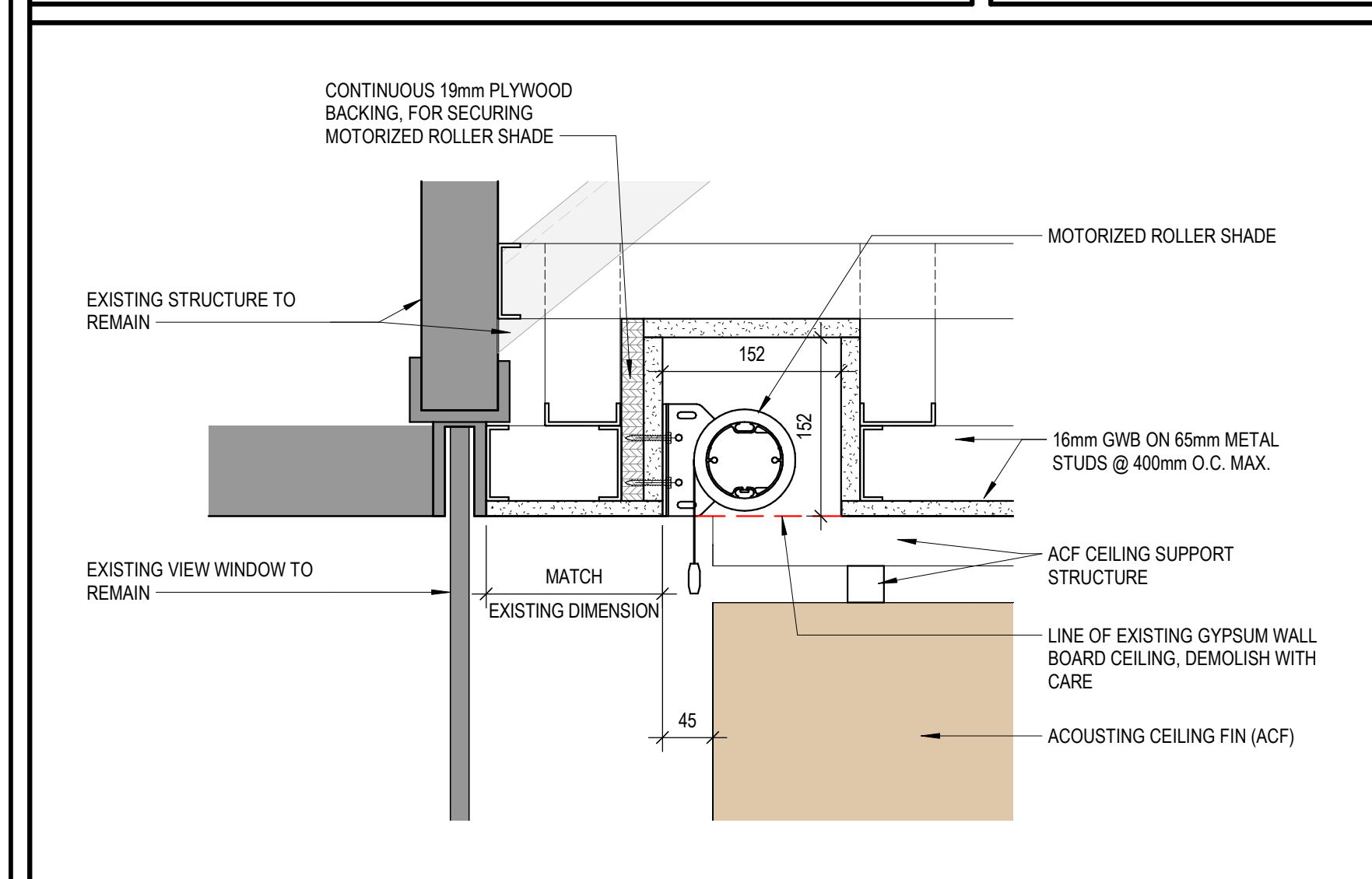
3 WALL SECTION 03
A-201 1:25



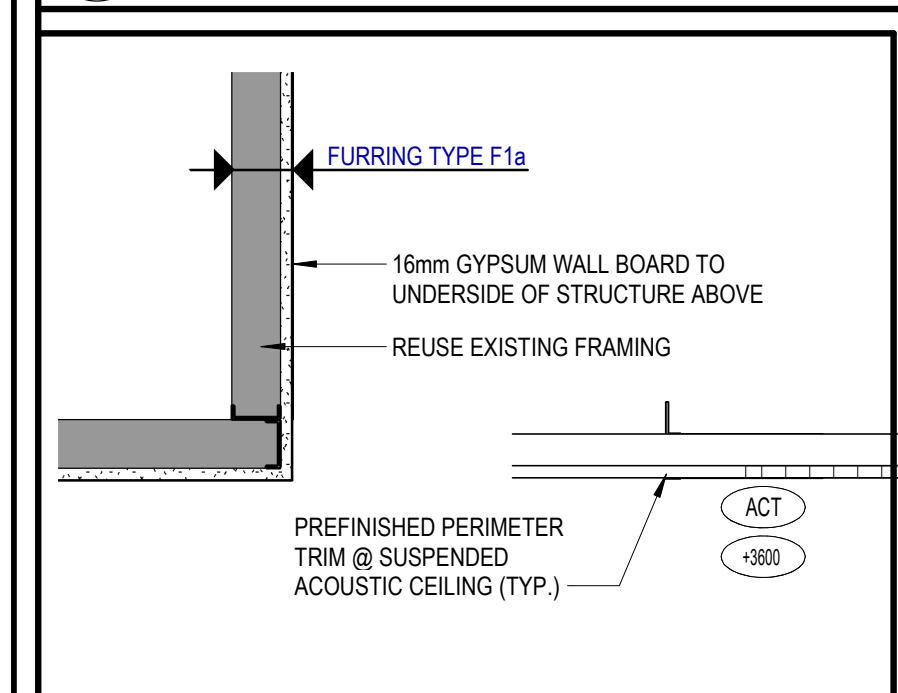
4 WALL SECTION 04
A-401 1:25



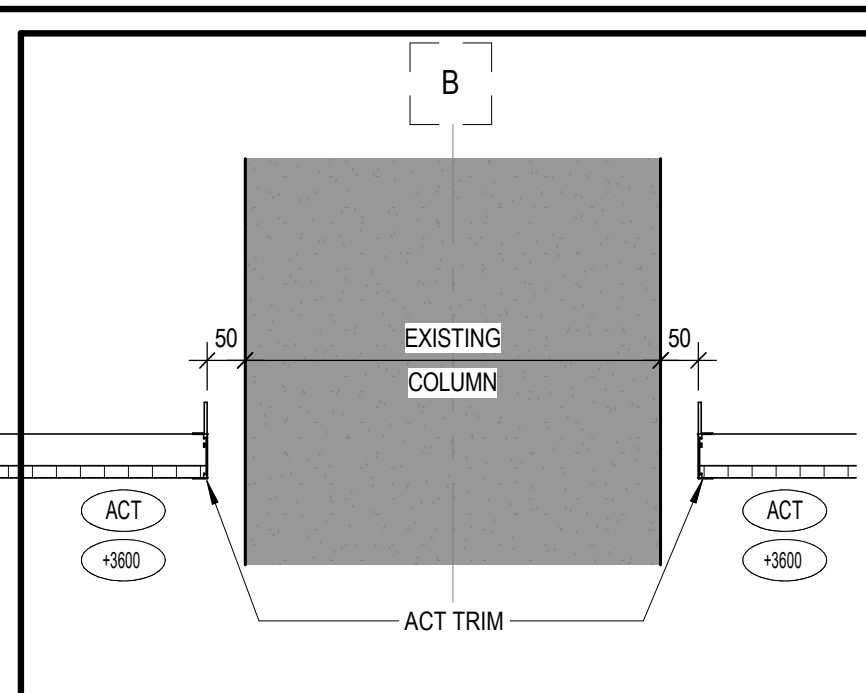
5 WALL SECTION 05
A-401 1:25



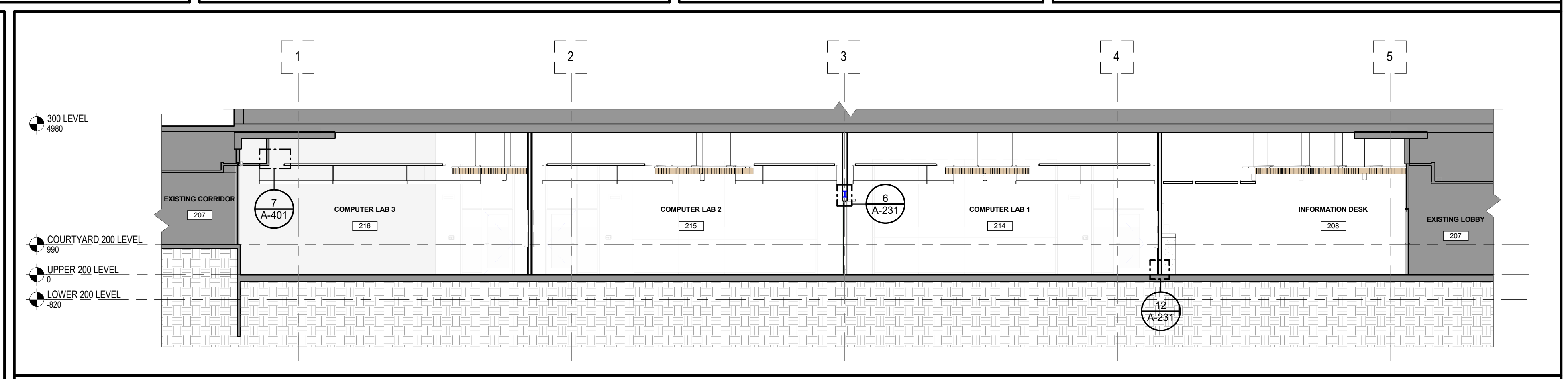
8 MOTORIZED ROLLER SHADE DETAIL
A-201 1:5



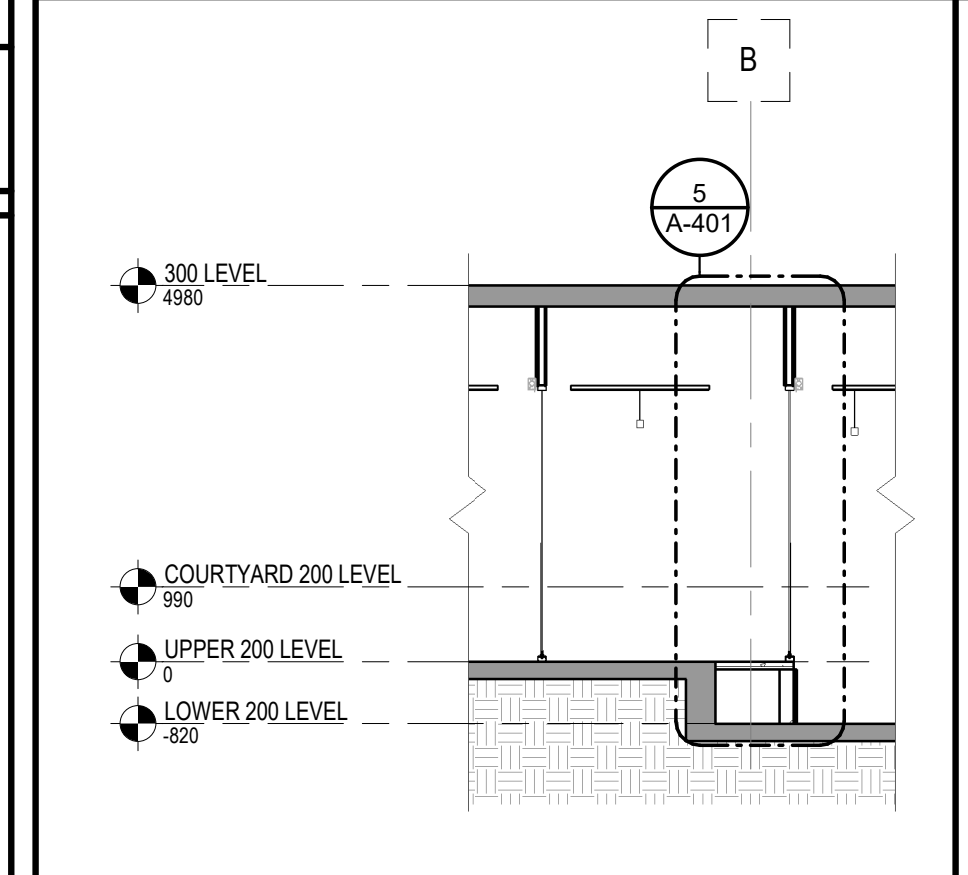
7 BULKHEAD DETAIL
A-401 1:10



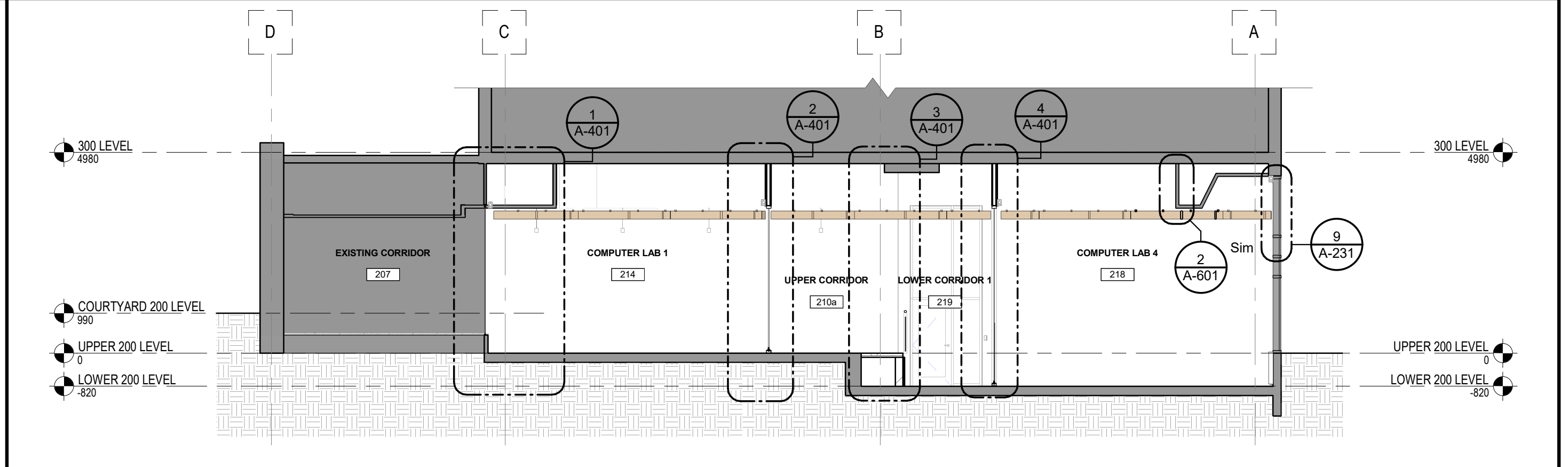
6 TYP. ACT COLLAR
A-601 1:10



B-B SECTION B-B
A-201 1:100

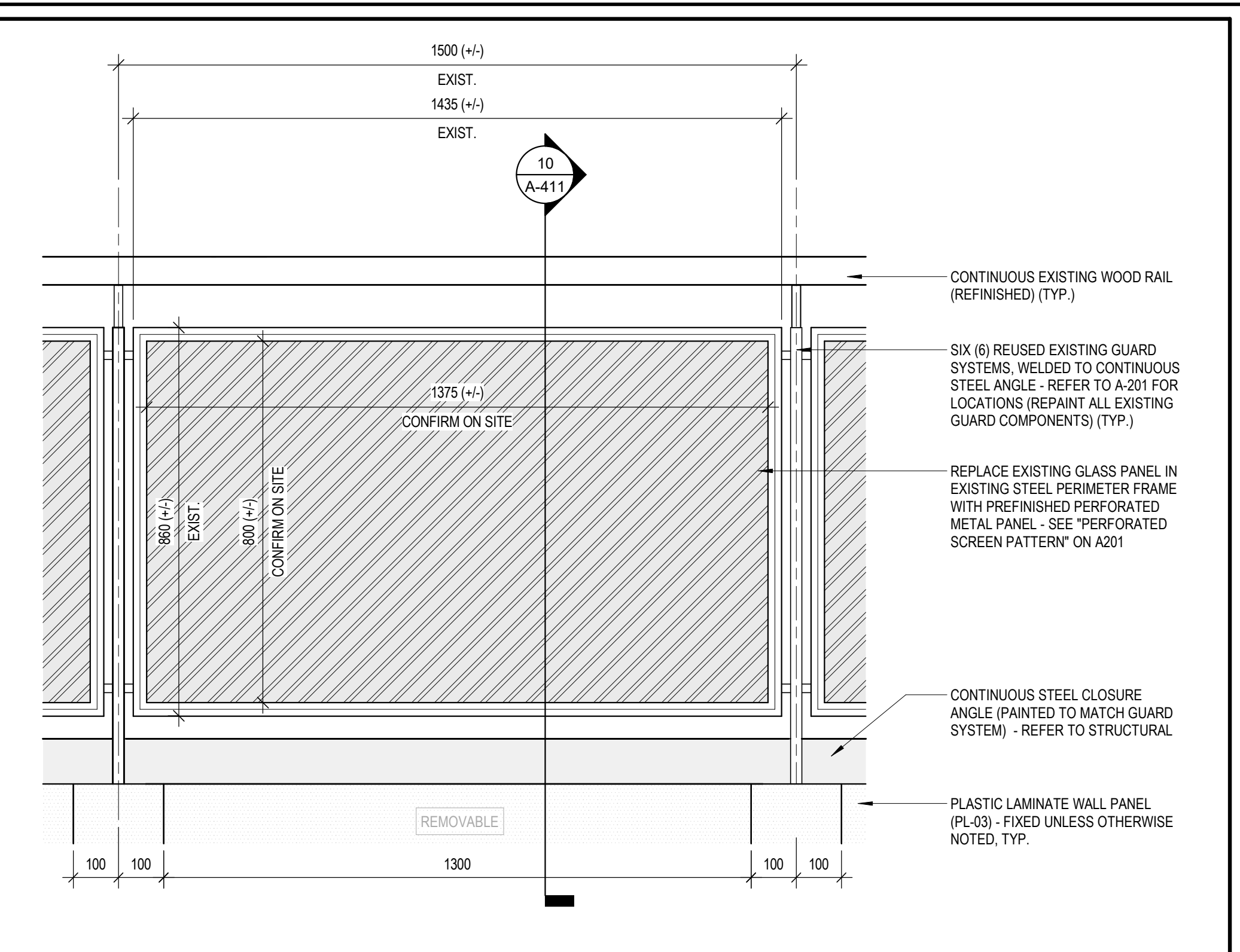
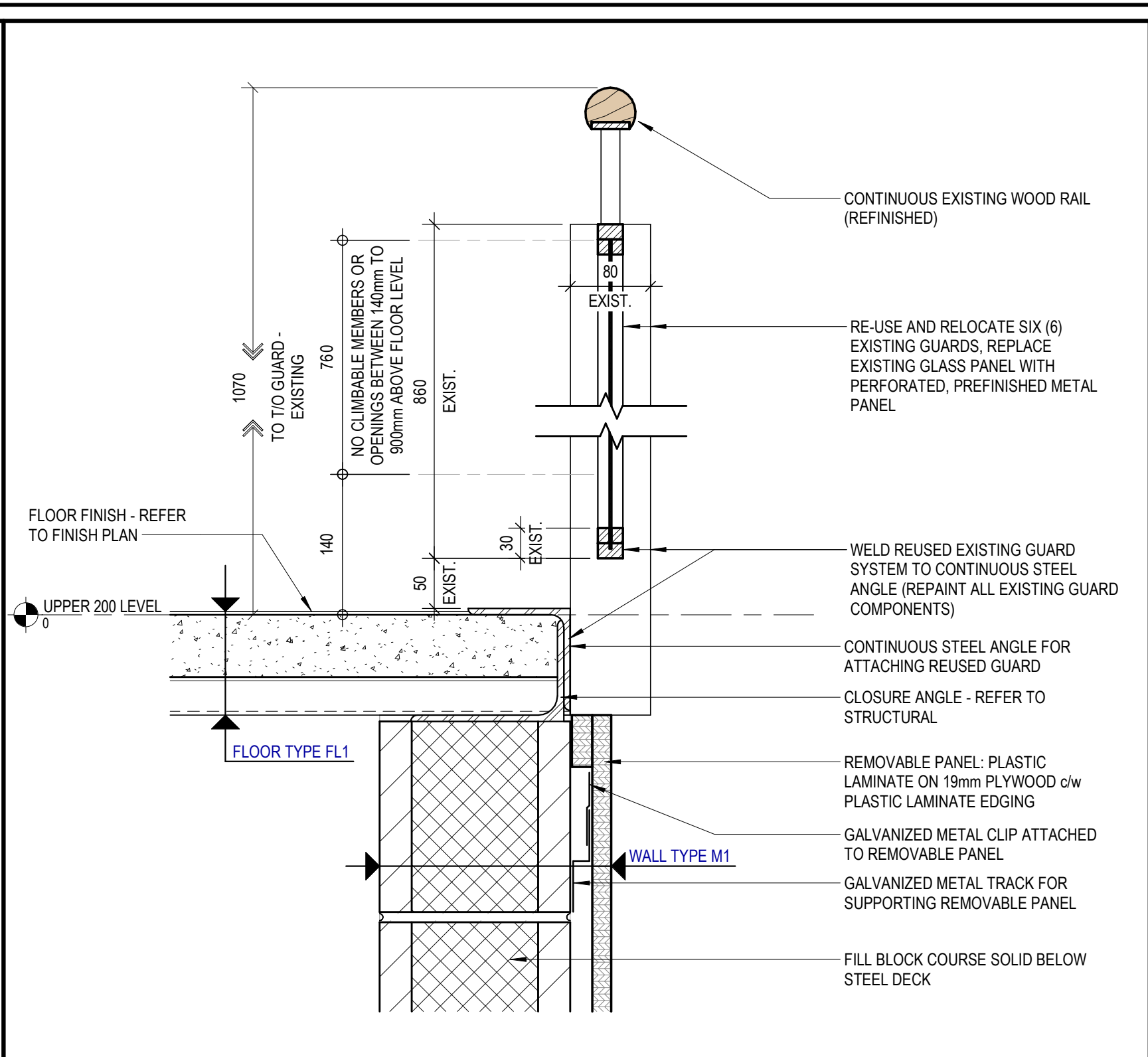
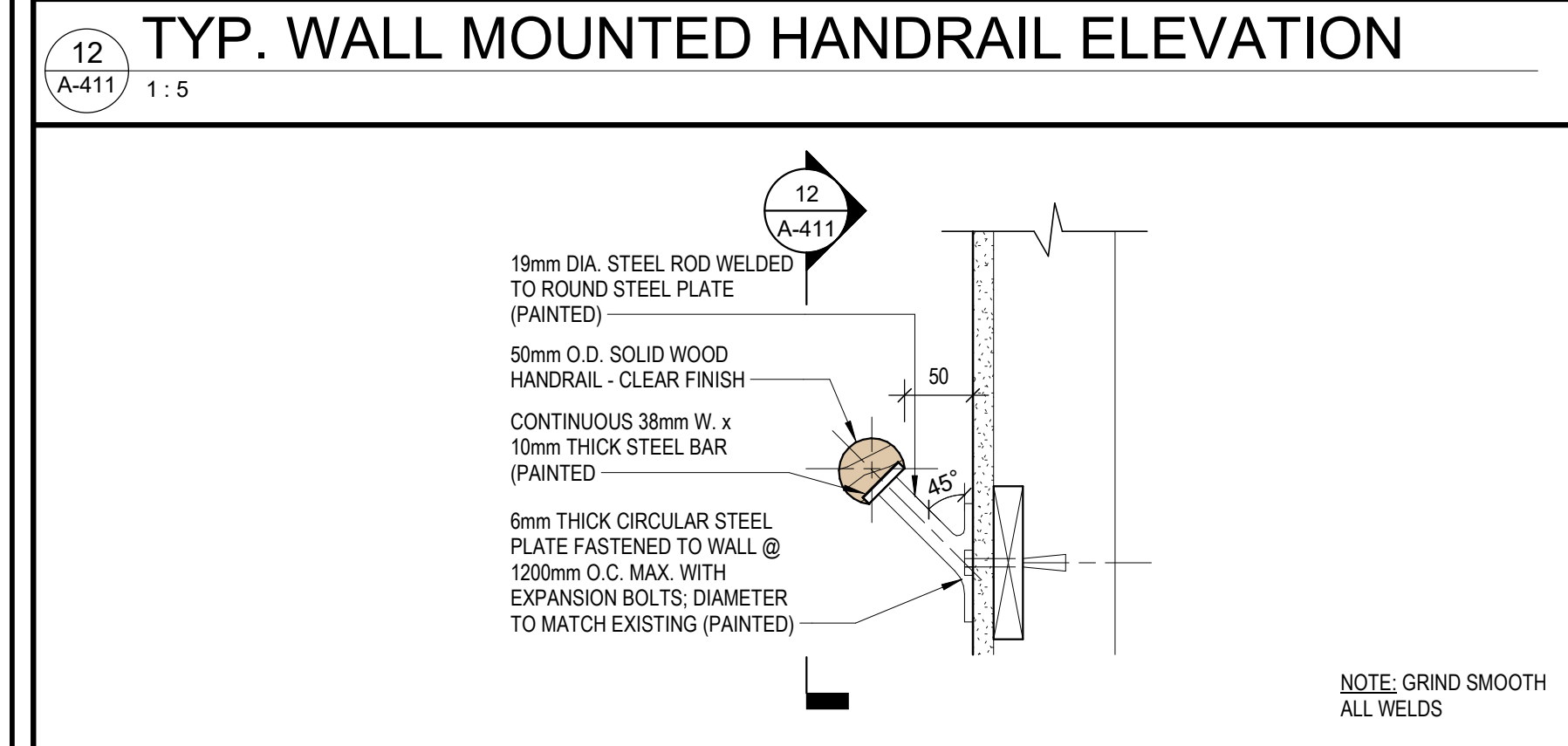
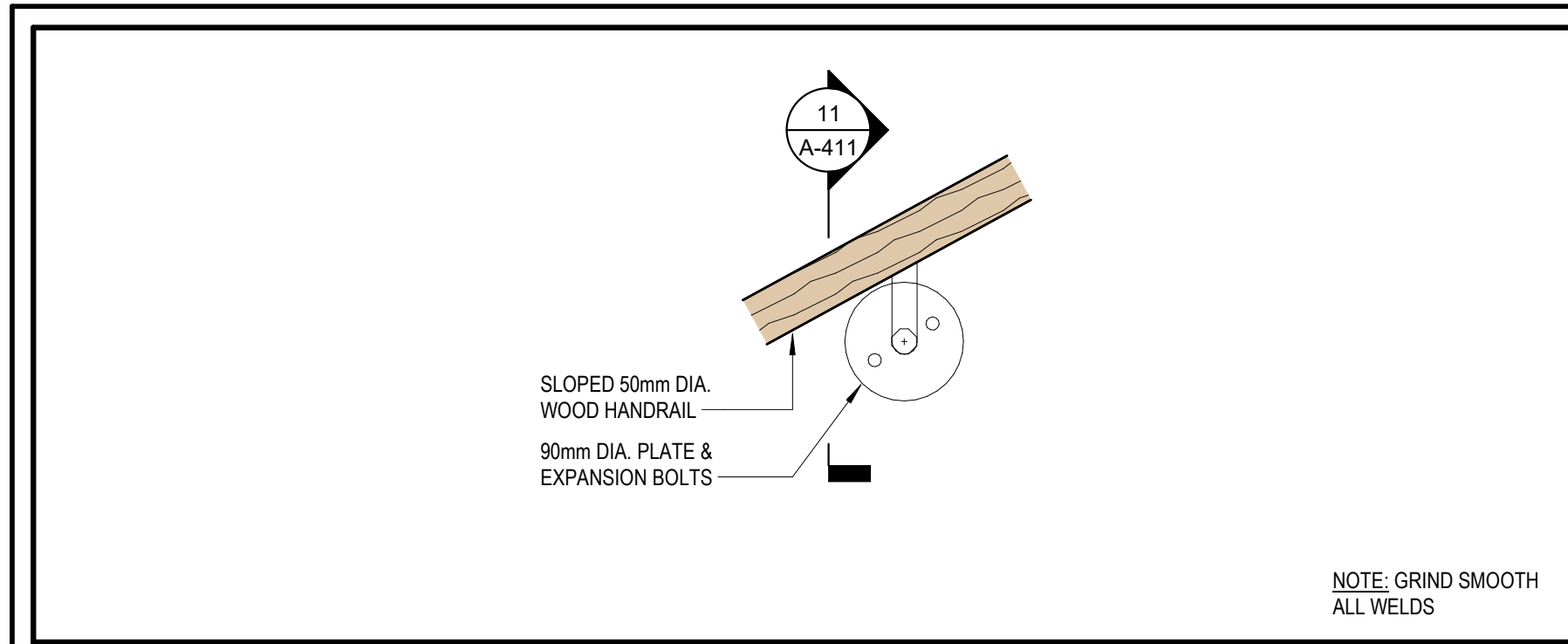


C-C SECTION C-C
A-601 1:100



A-A SECTION A-A
A-201 1:100

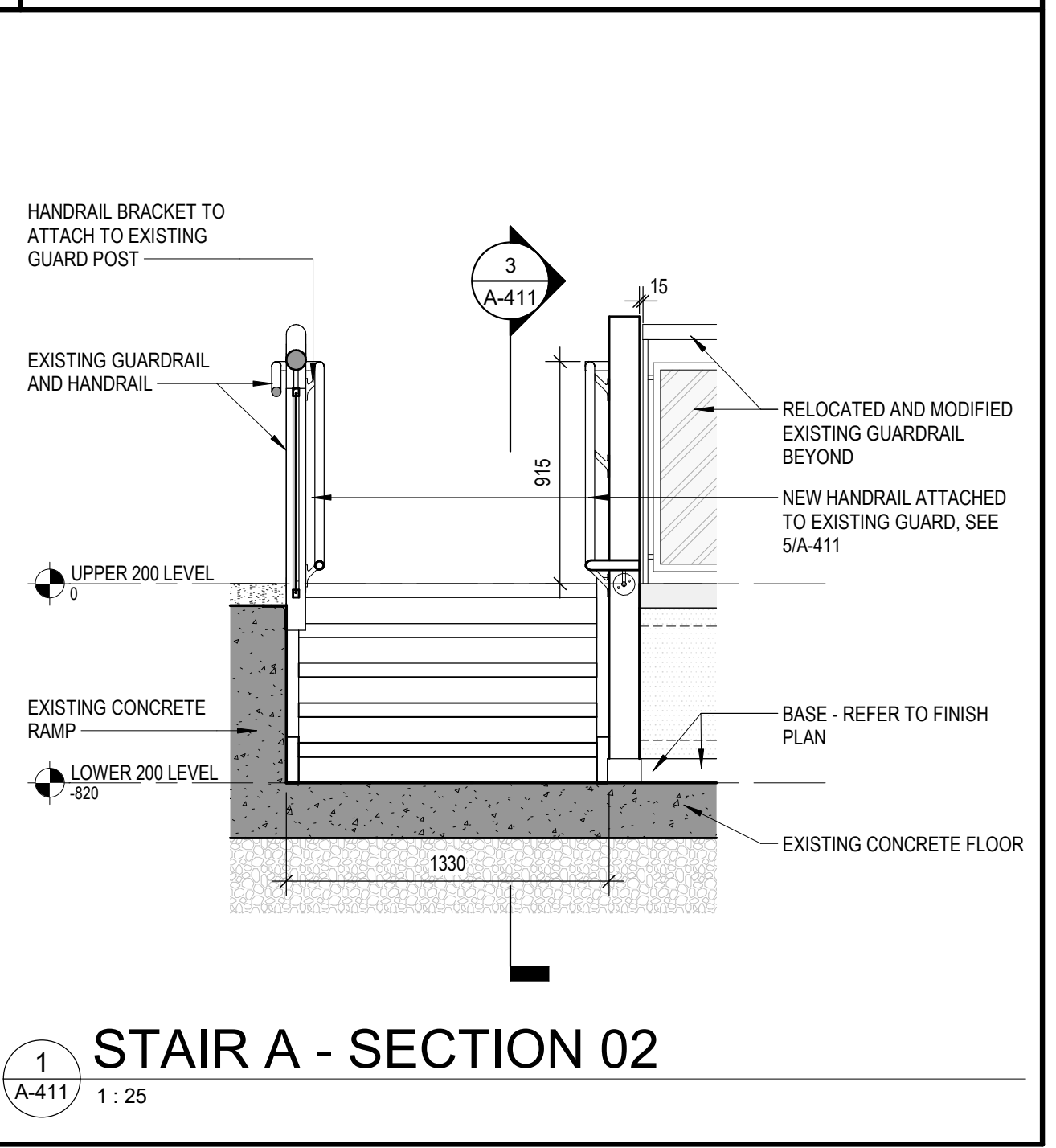
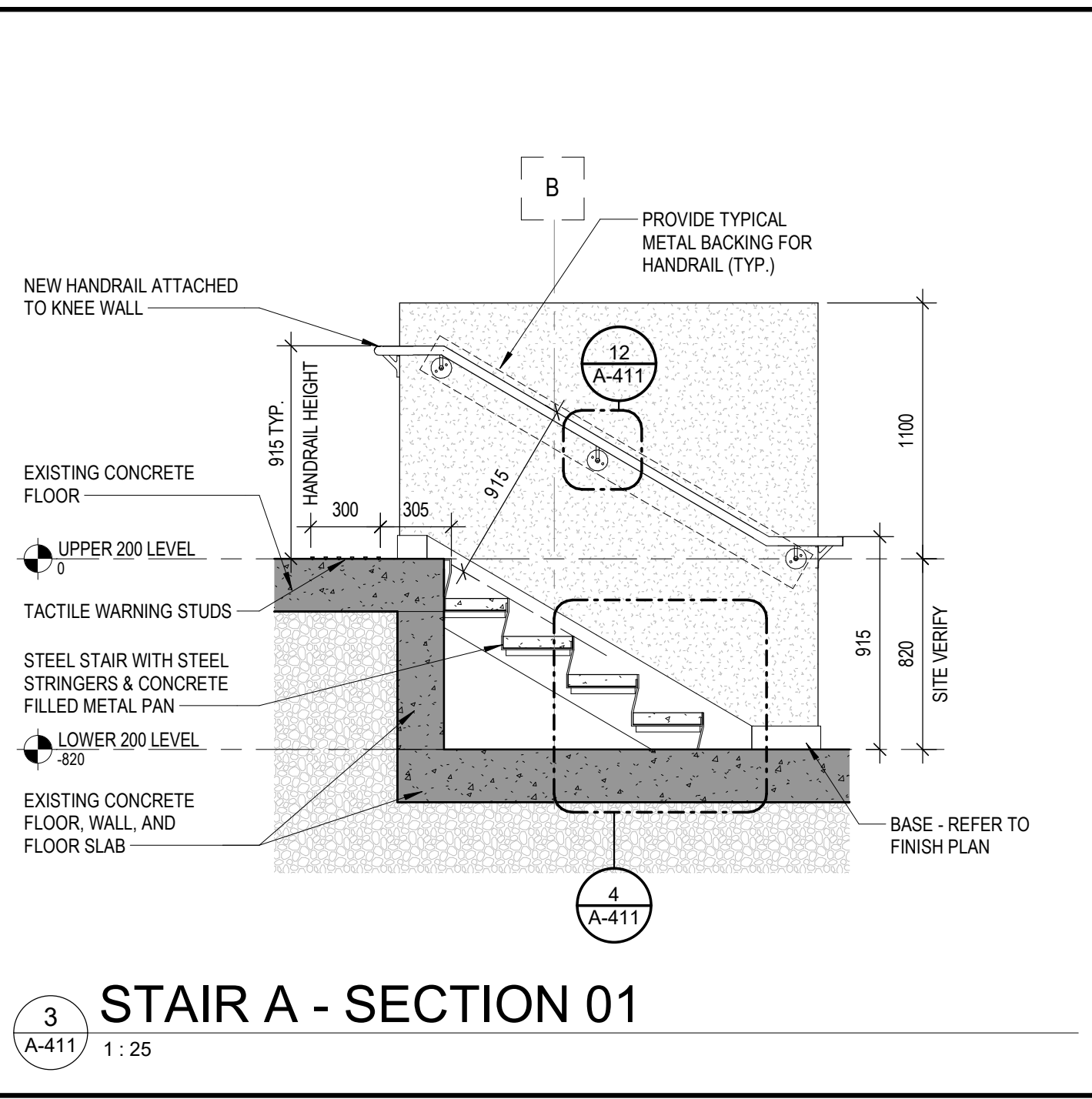
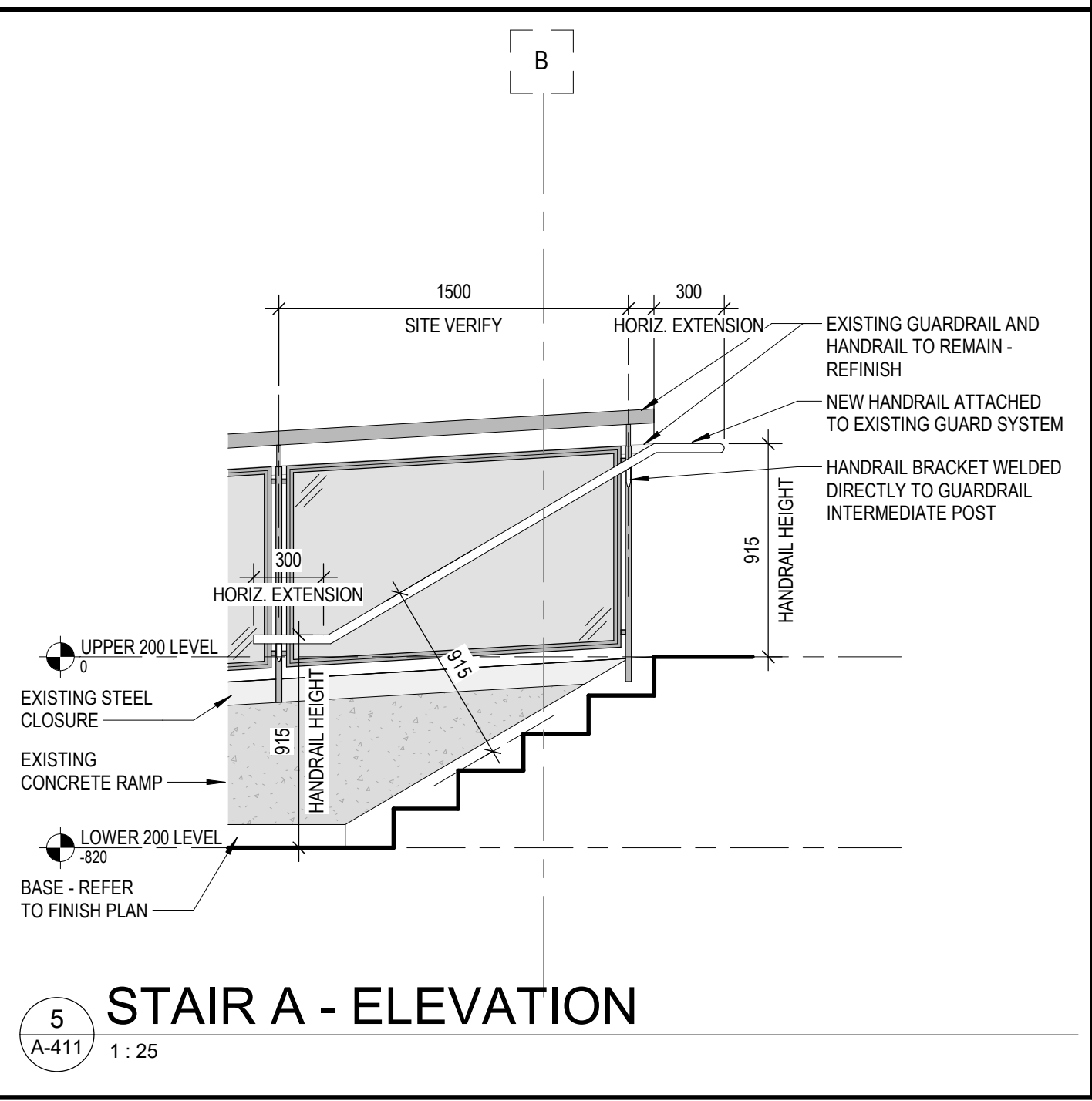
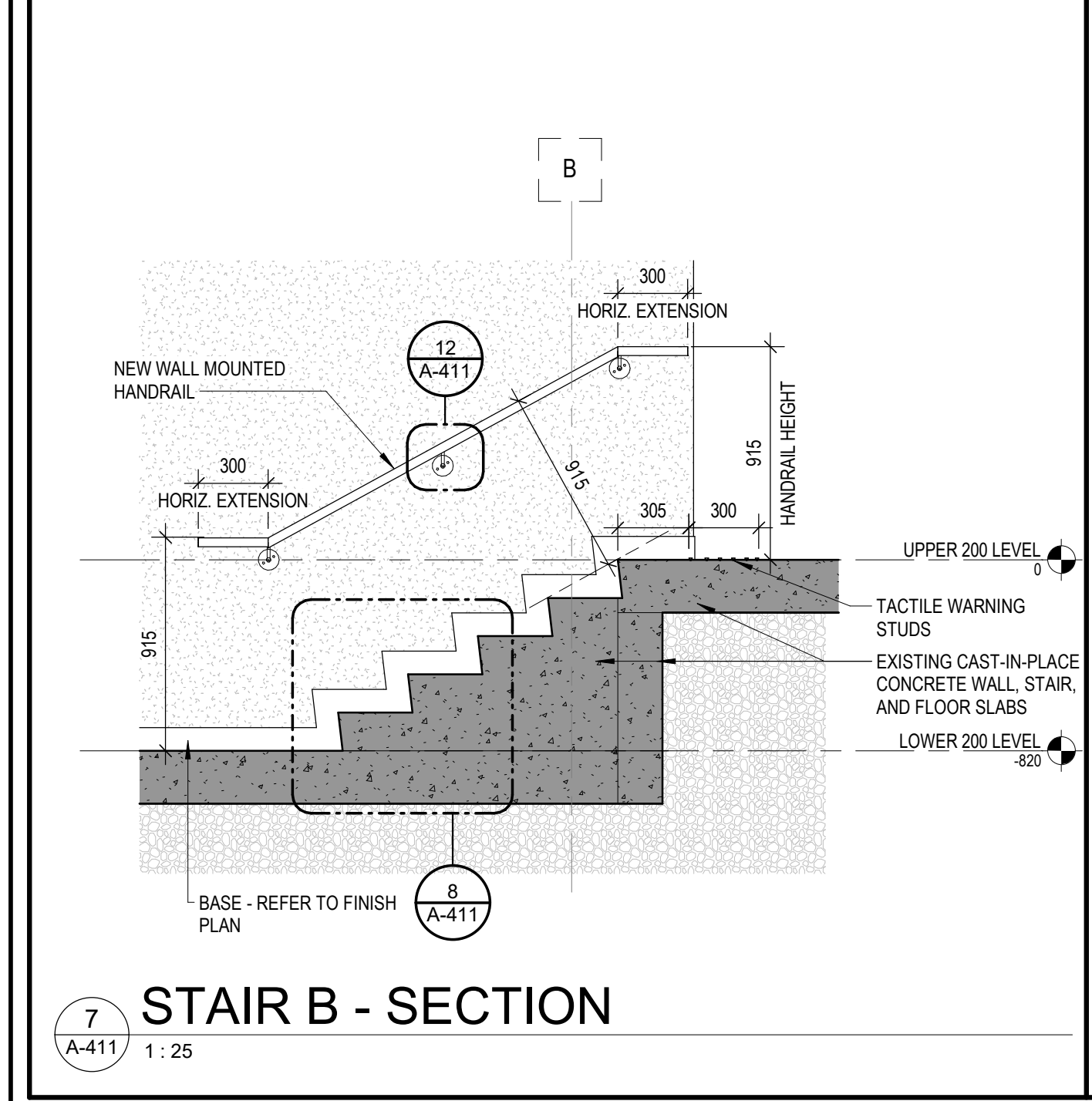
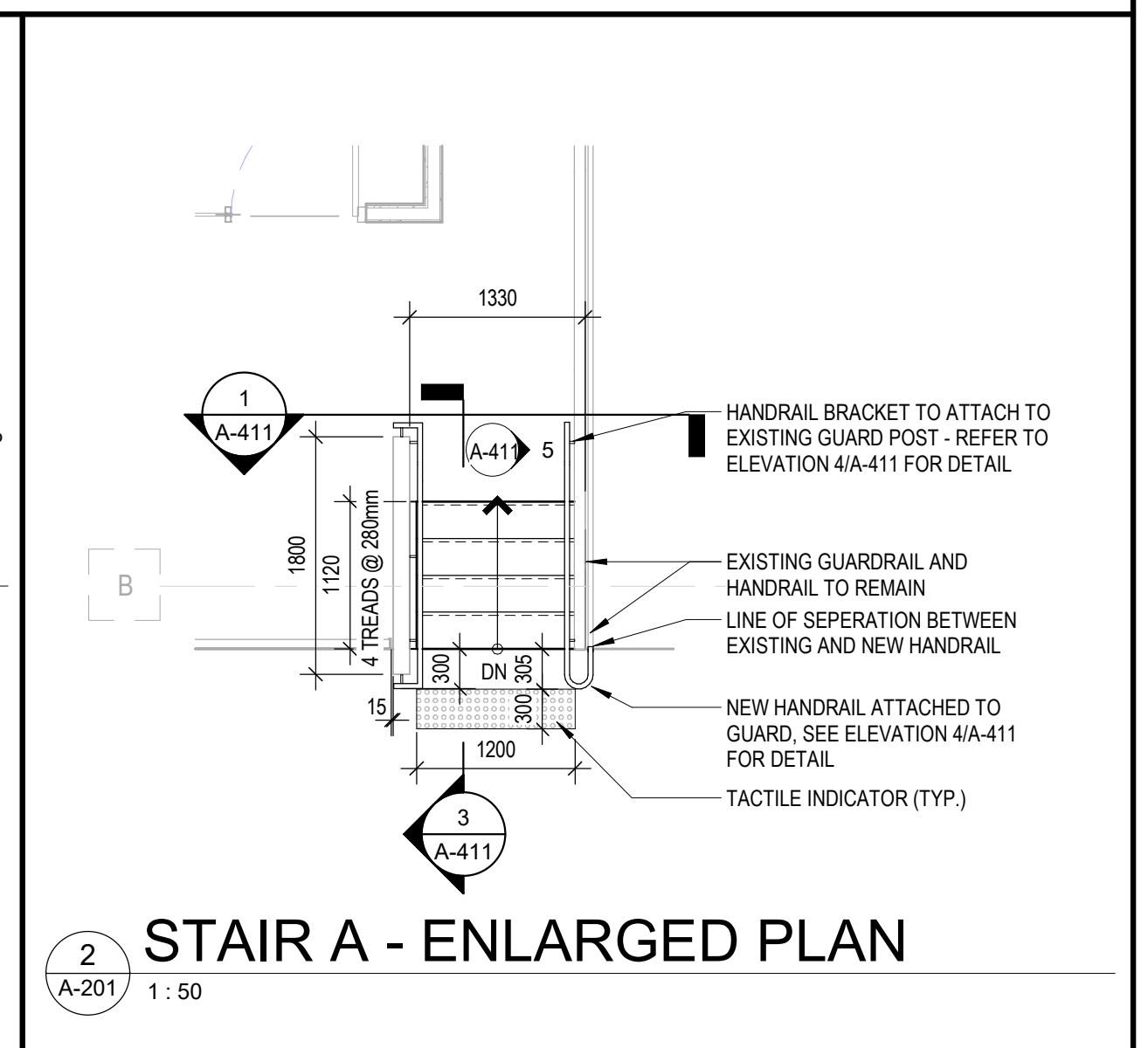
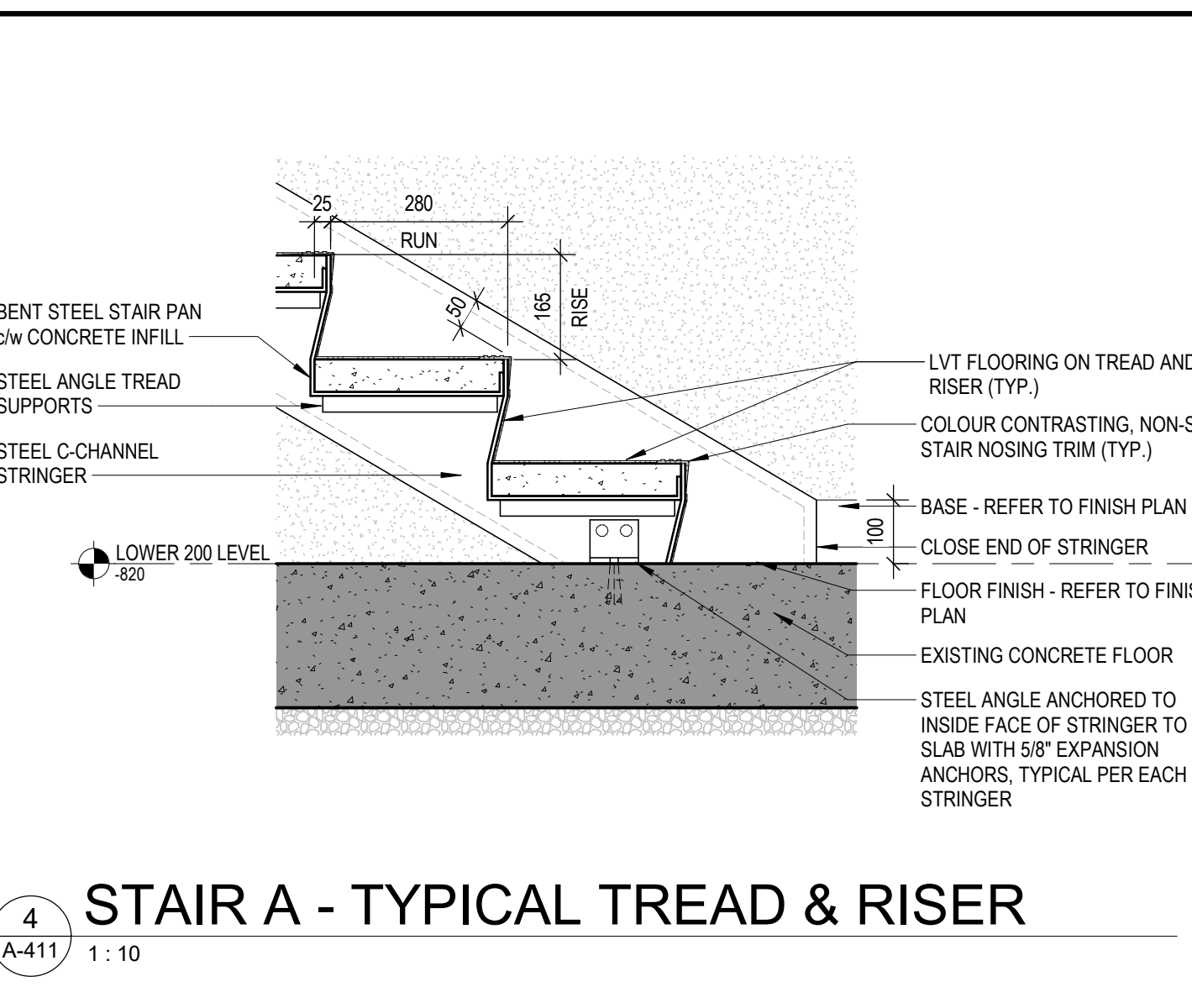
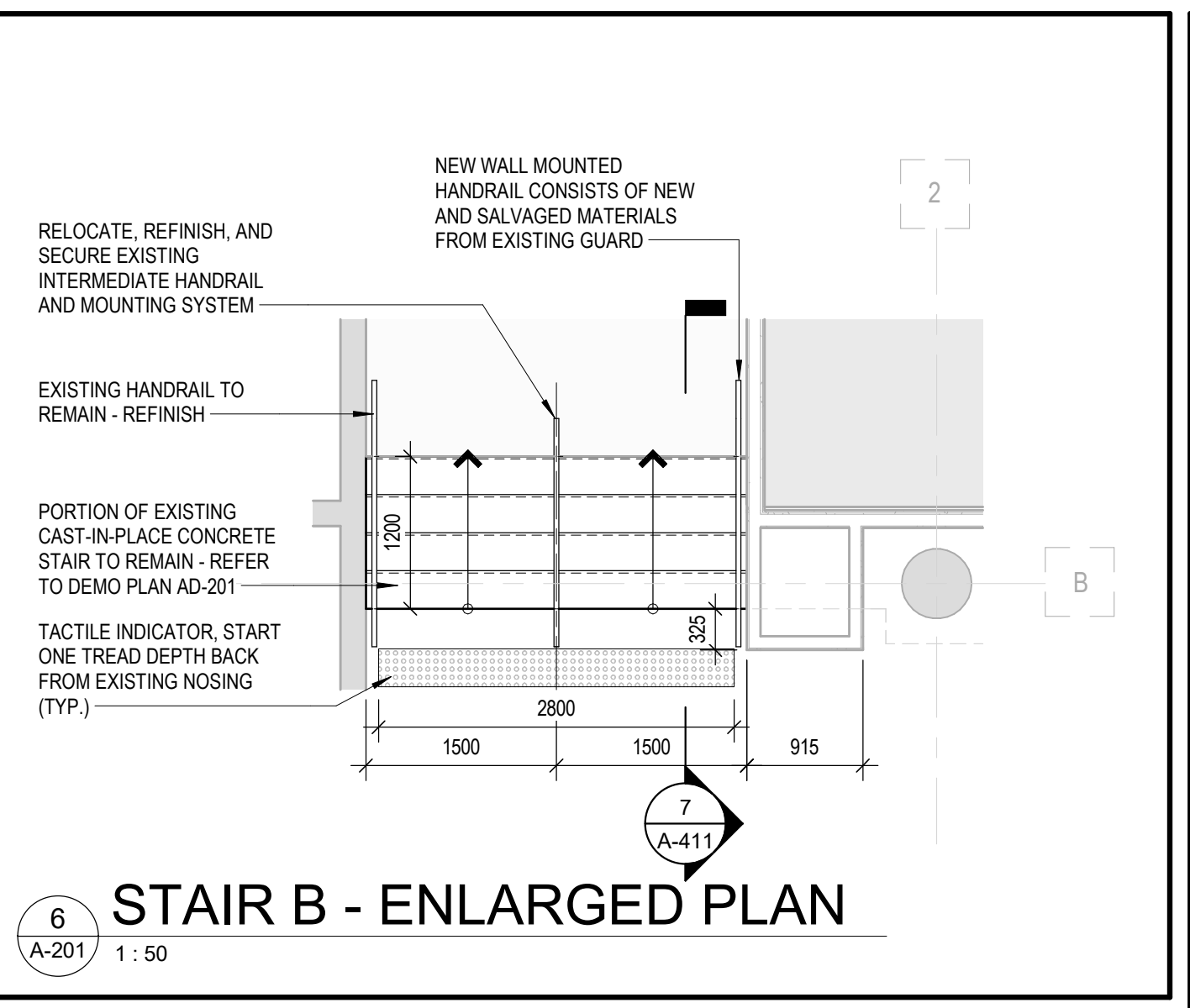
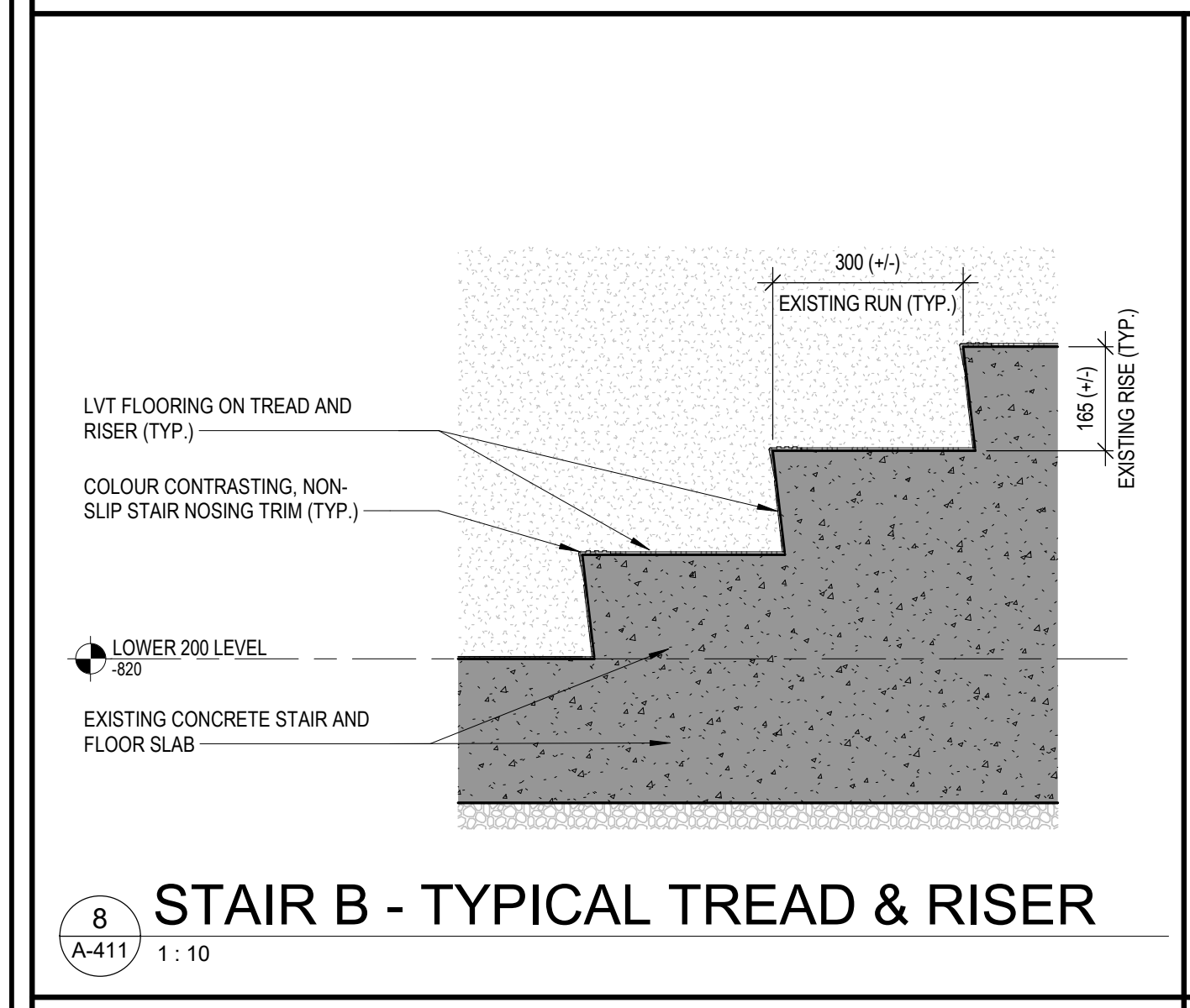
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12 TYP. WALL MOUNTED HANDRAIL ELEVATION
11 TYP. WALL MOUNTED HANDRAIL DETAIL

10 GUARDRAIL CONNECTION DETAIL

9 GUARDRAIL ENLARGED ELEVATION



7 STAIR B - SECTION

5 STAIR A - ELEVATION

3 STAIR A - SECTION 01

1 STAIR A - SECTION 02

tillmann architects ruth robinson

ONTARIO ASSOCIATION OF ARCHITECTS
MICHAEL GORDON RUTH LICENCE 6580

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2	ISSUE FOR TENDER	2025-03-21
1	BUILDING PERMIT	2025-03-14
	ISSUED FOR	DATE

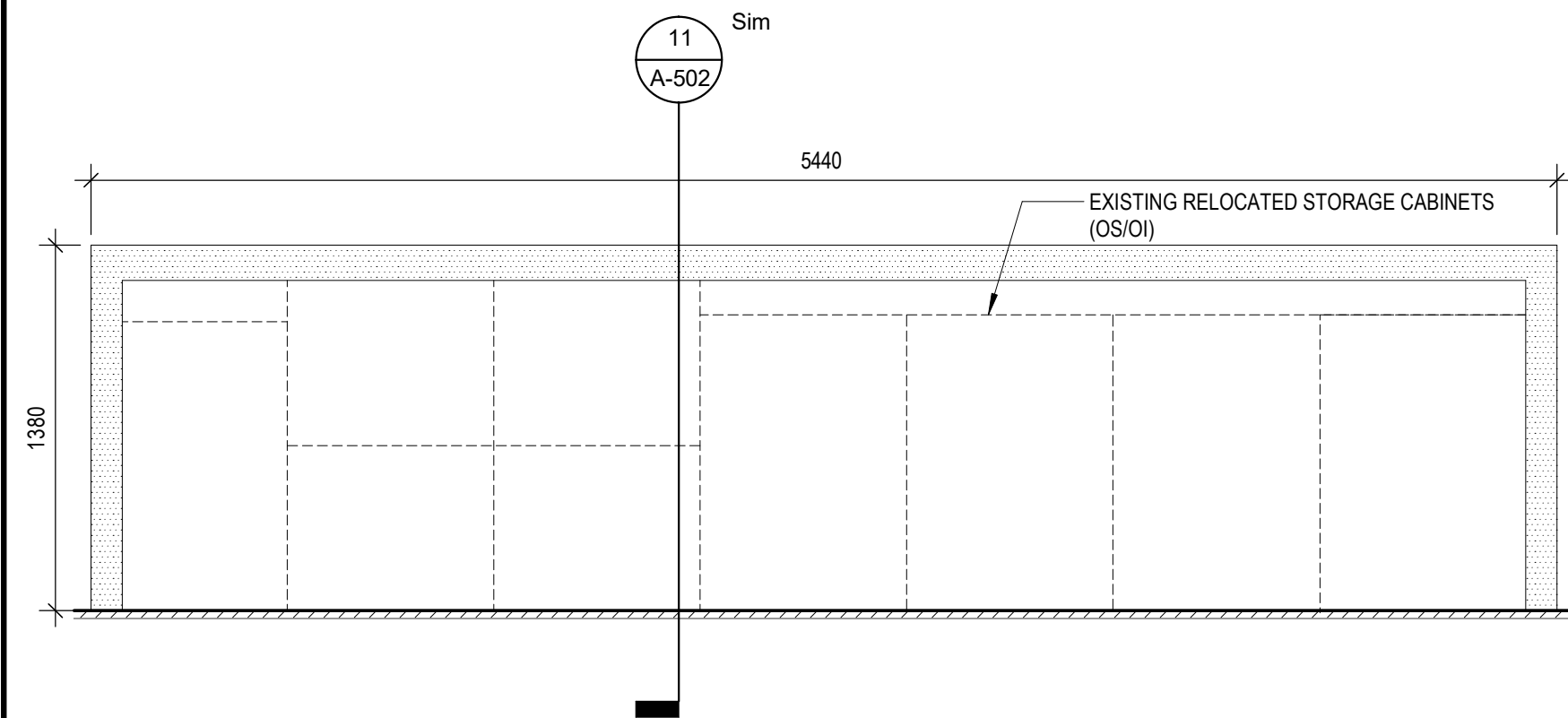
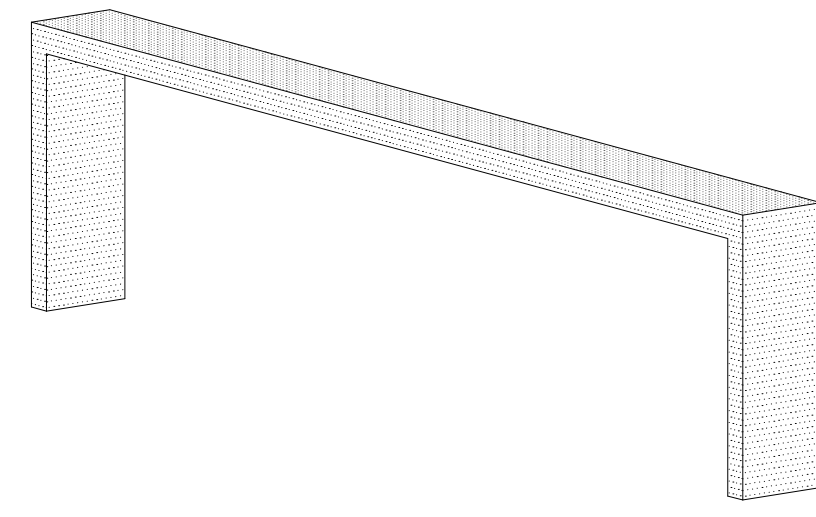
DRAWING TITLE:
STAIR PLANS, SECTIONS & DETAILS

DRAWN: AEP	SCALE: As indicated	PROJECT NO: 2615-24(aTRR)
CHECKED: MCM	DATE: 21 MARCH 2025	

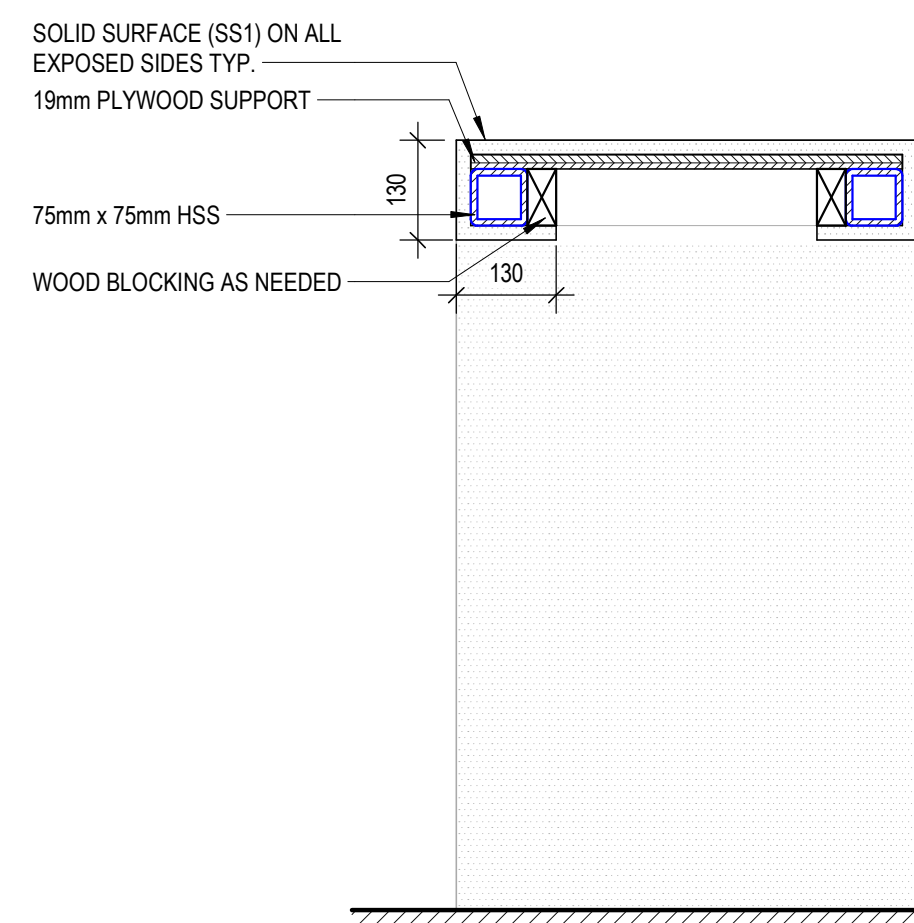
A-411

C:\Users\AEP\Documents\2015-24 BU Engineering Lab (Local aep-2024).rvt 2025-03-20 16:17:25

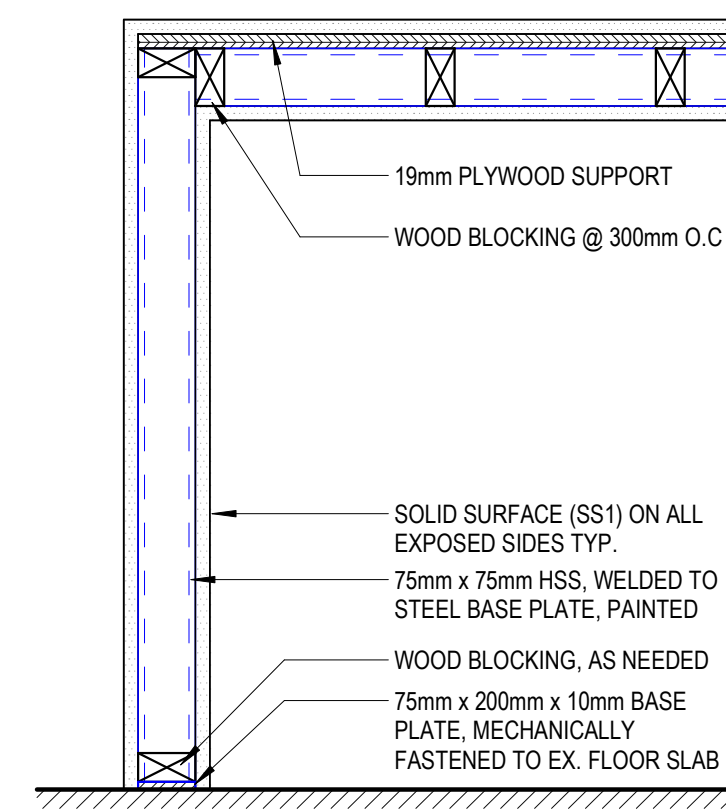
**WATERFALL
CABINET
ENCLOSURE**



9 CABINET ENCLOSURE - FRONT ELEVATION
A-502 1:25



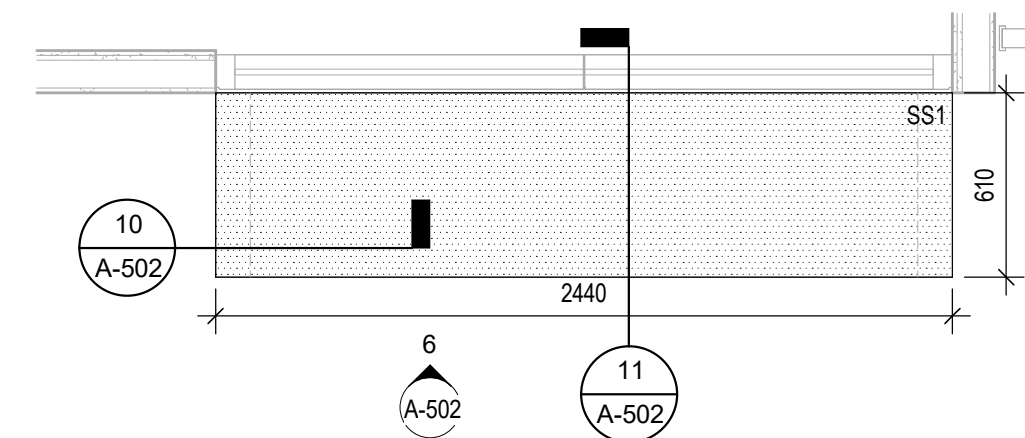
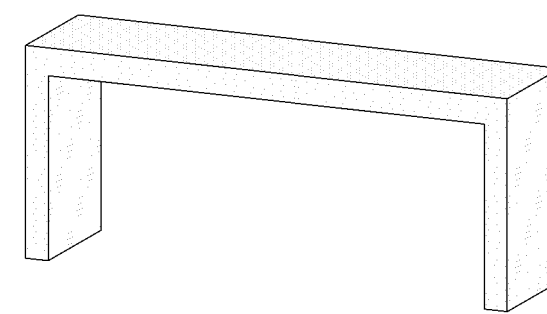
11 WATERFALL TYP. 02
A-502 1:10



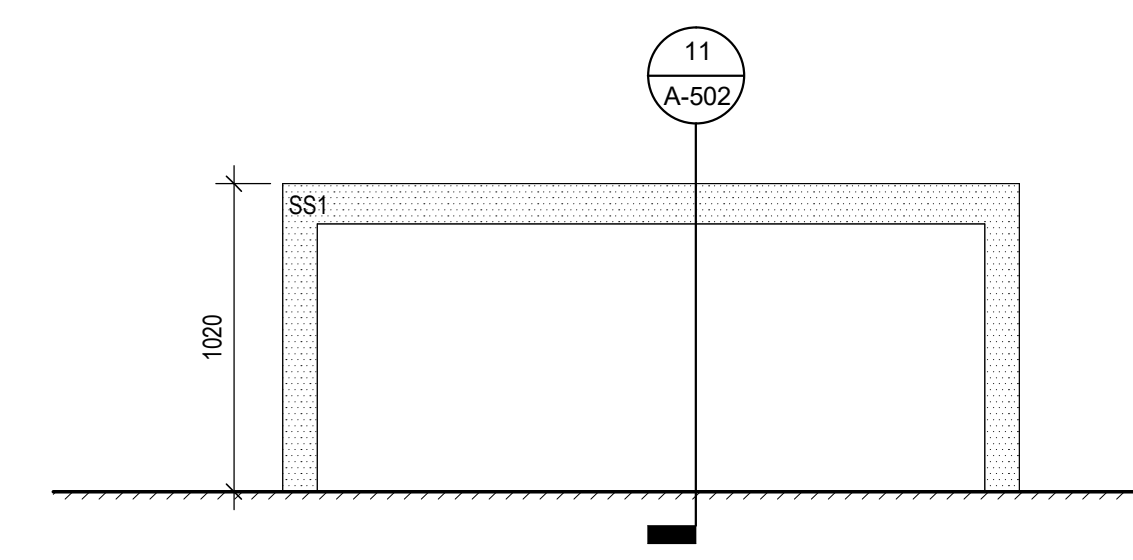
10 WATERFALL TYP. 01
A-502 1:10

8 CABINET ENCLOSURE - FLOOR PLAN
A-201 1:25

**WATERFALL
HIGH TABLE**

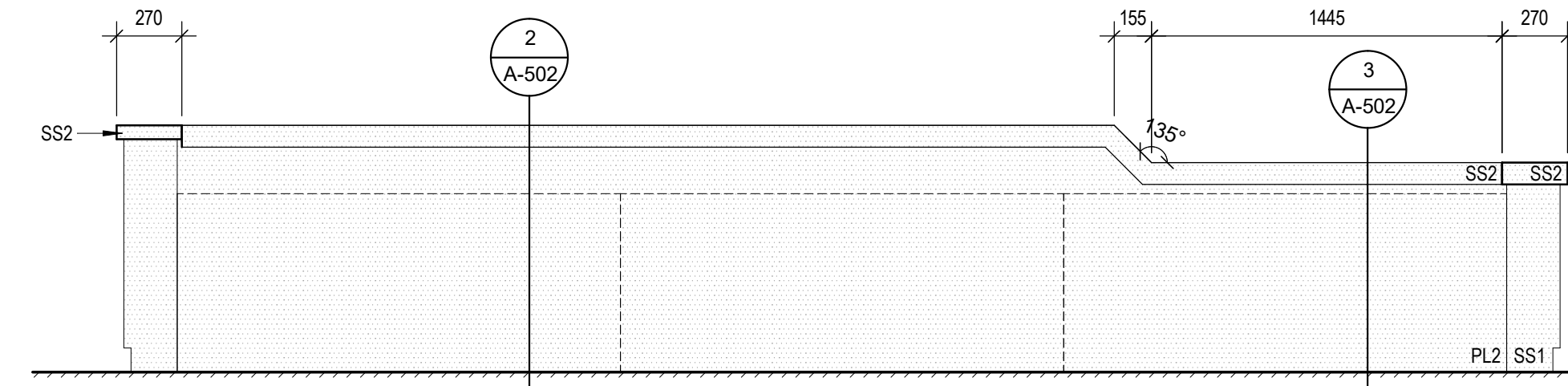
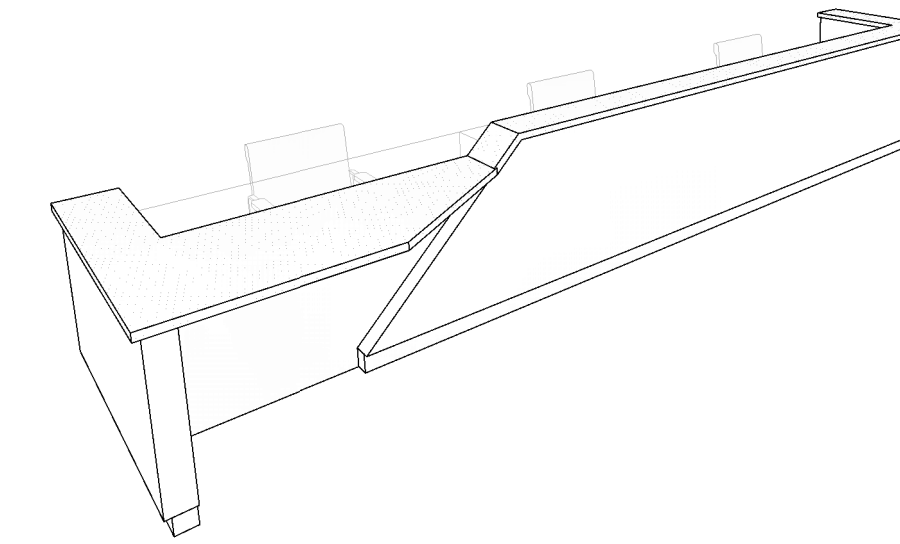


7 HIGH TABLE - FLOOR PLAN
A-201 1:25

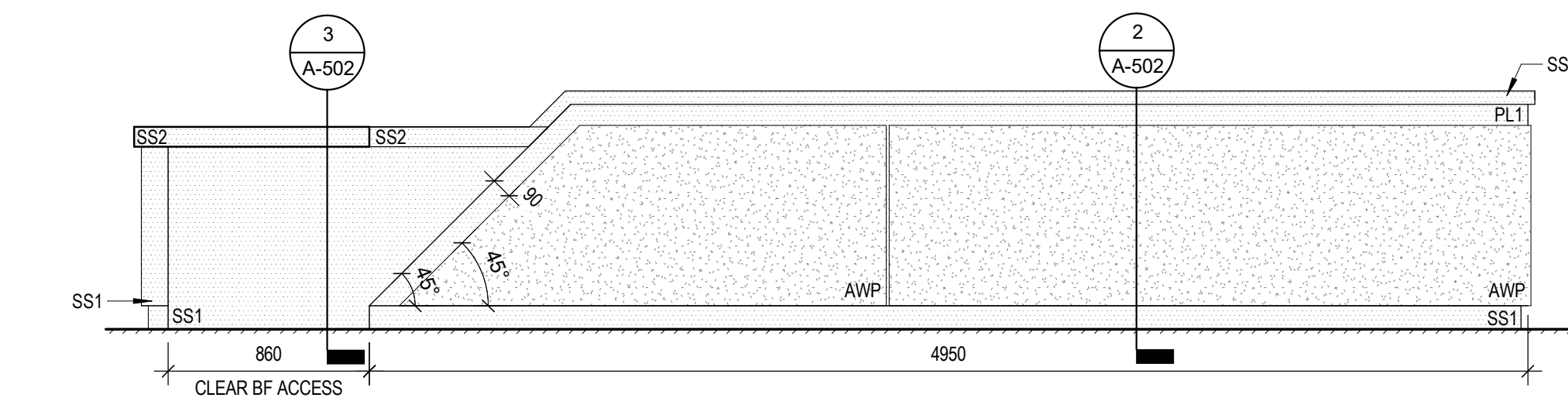


6 HIGH TABLE - FRONT ELEVATION
A-502 1:25

HELP DESK

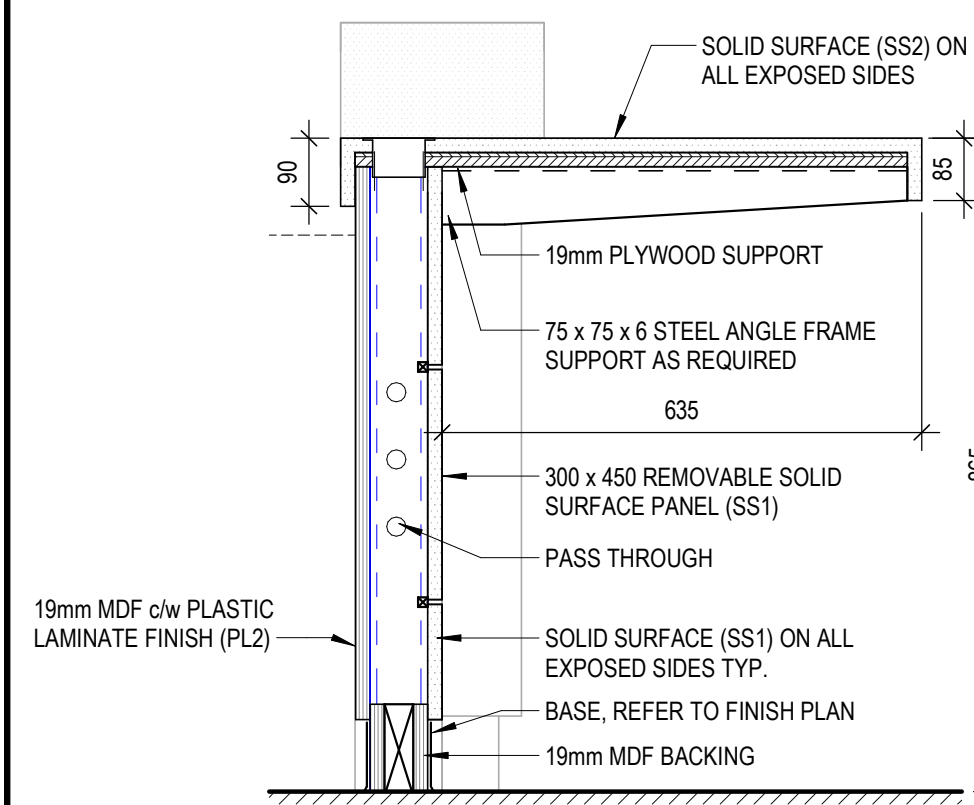


5 HELP DESK - BACK ELEVATION
A-502 1:25

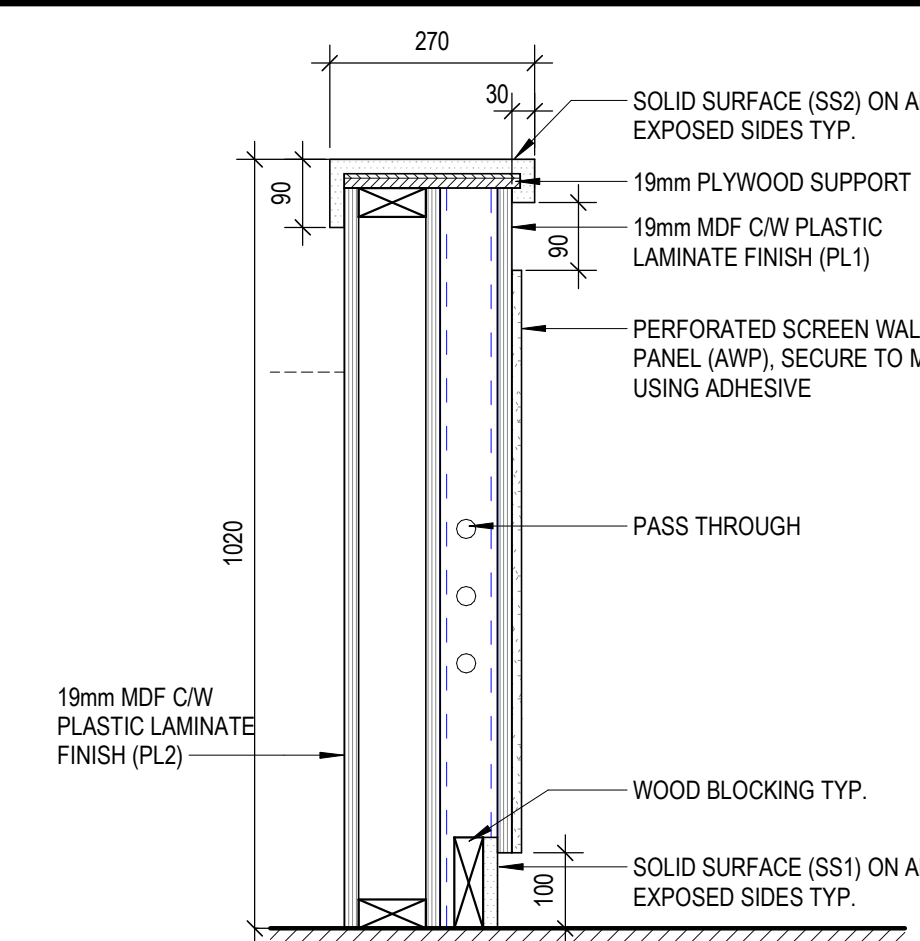


4 HELP DESK - FRONT ELEVATION
A-502 1:25

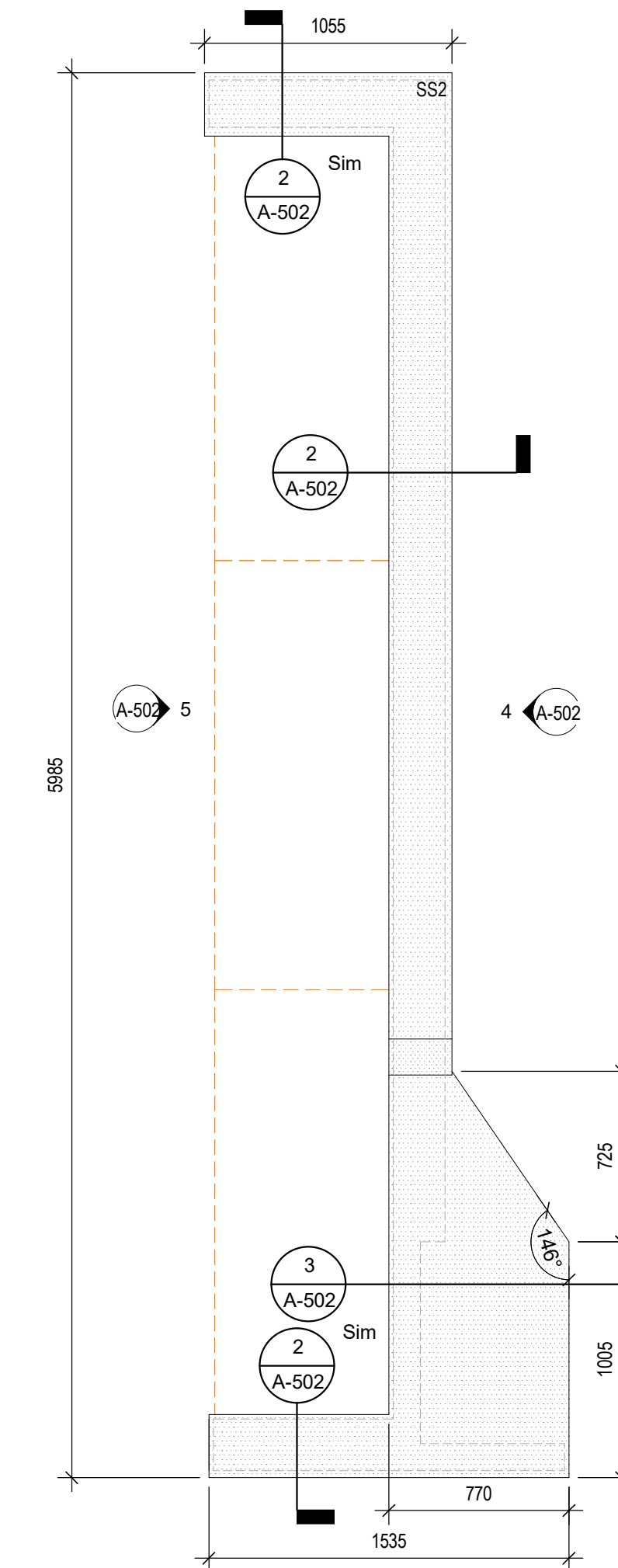
Ask Us.
brocku.ca/its



3 HELP DESK SECTION 02
A-502 1:10



2 HELP DESK SECTION 01
A-502 1:10



1 HELP DESK - FLOOR PLAN
A-502 1:25



**SCOTIA BANK HALL
RENOVATION**



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2	ISSUE FOR TENDER	2025-03-21
1	BUILDING PERMIT	2025-03-14

DRAWING TITLE:

MILLWORK DETAILS

DRAWN: AEP	SCALE: As indicated	PROJECT NO: 2615-24(aTRR)
CHECKED: MCM	DATE: 21 MARCH 2025	

A-502

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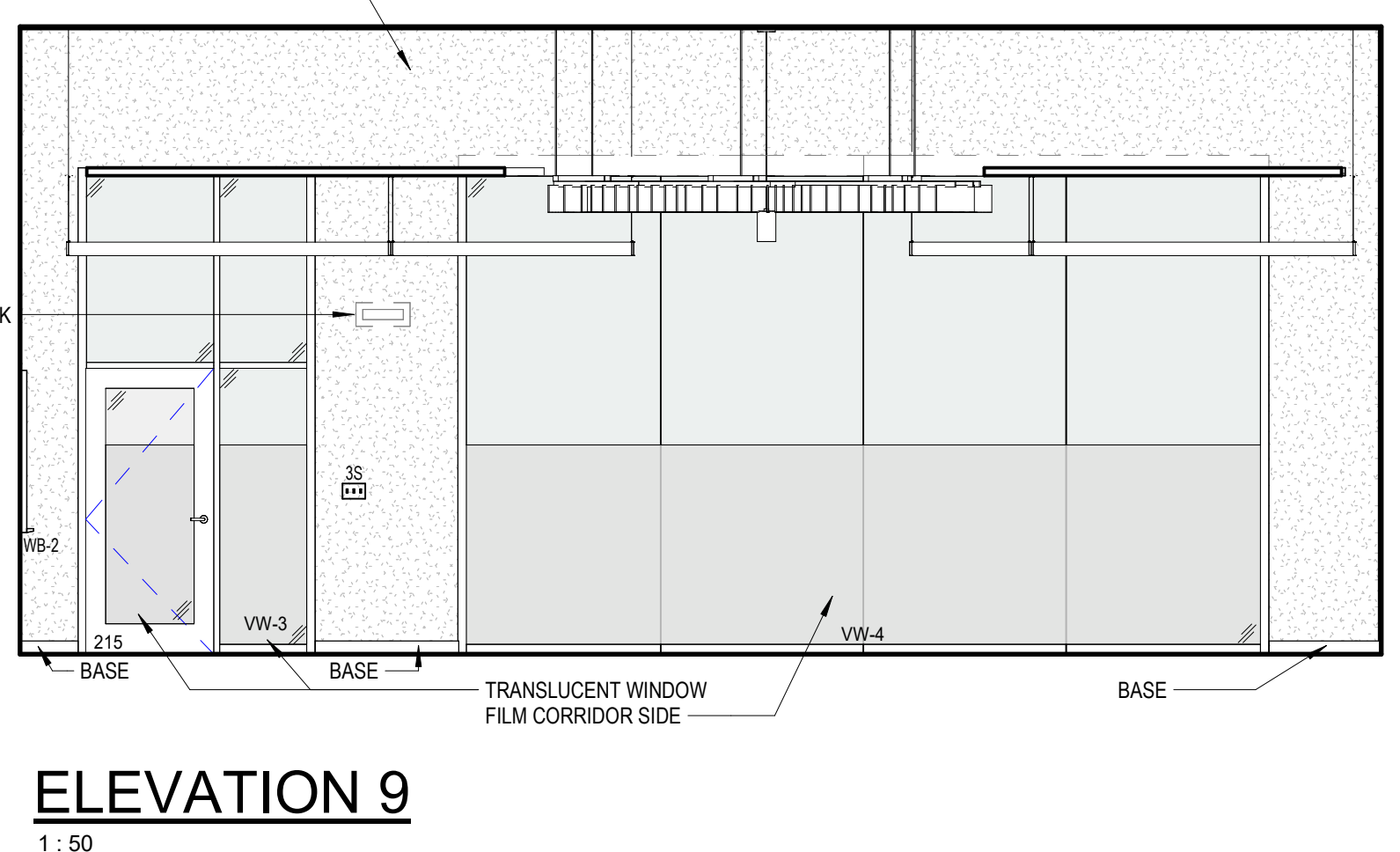
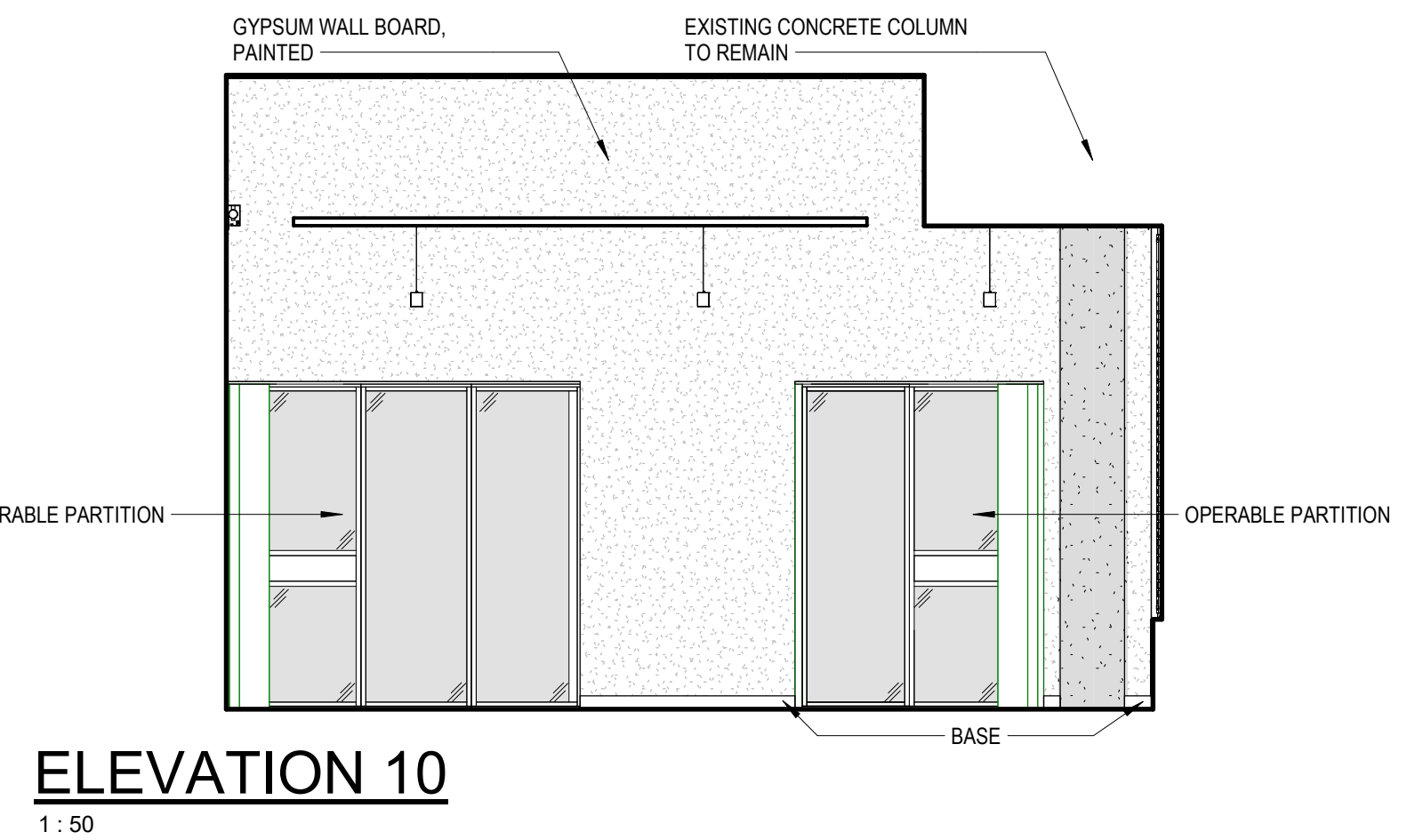
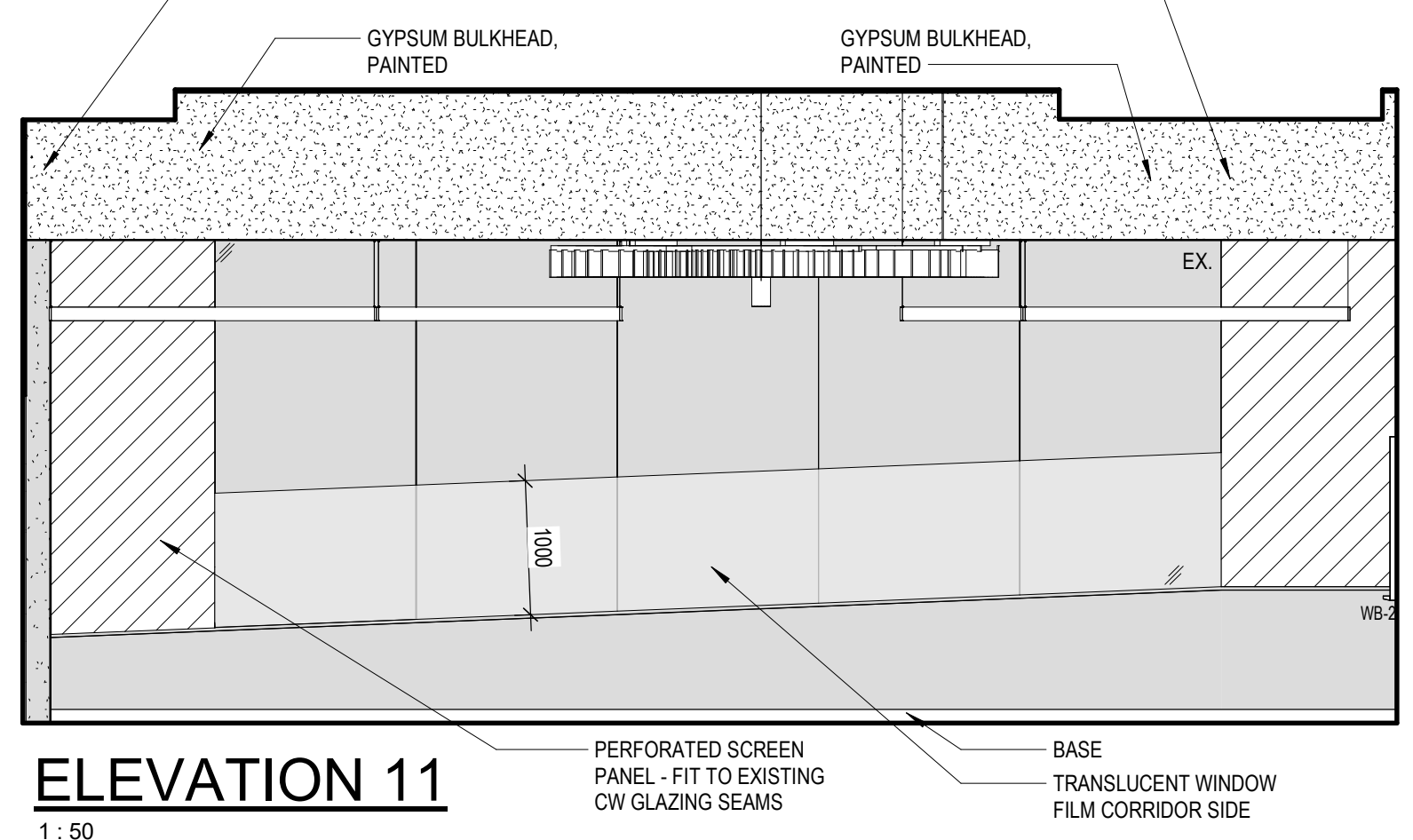
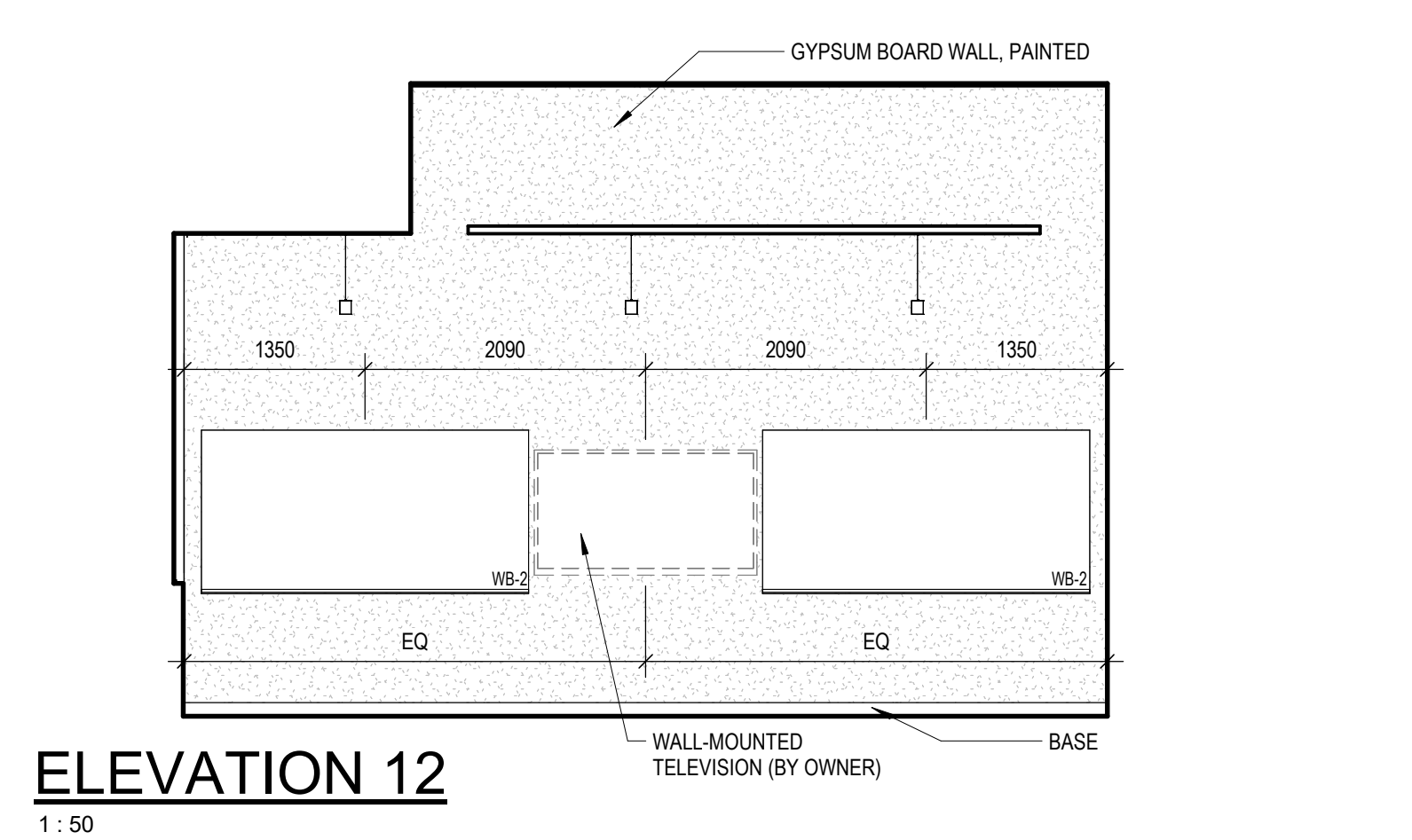
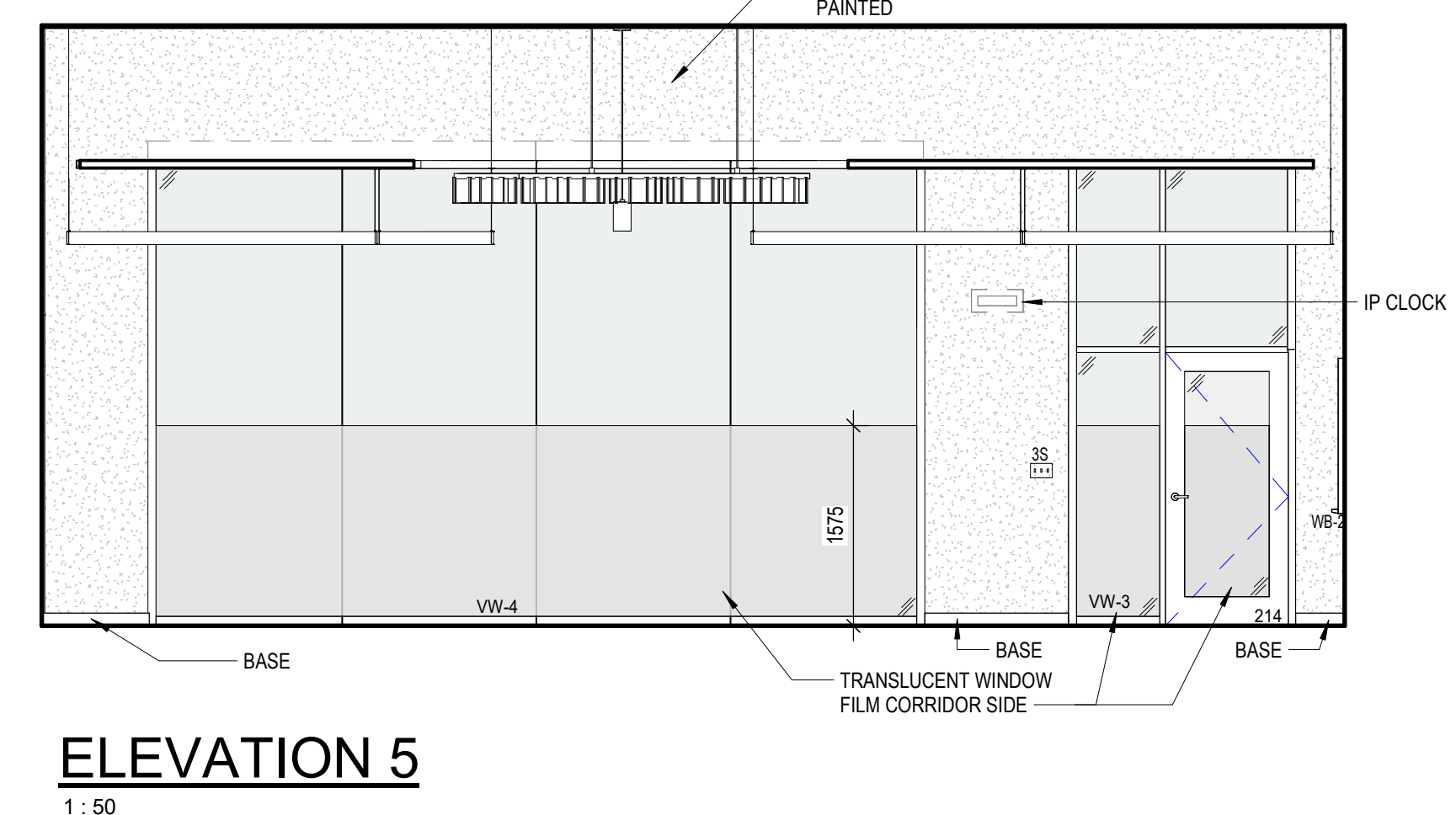
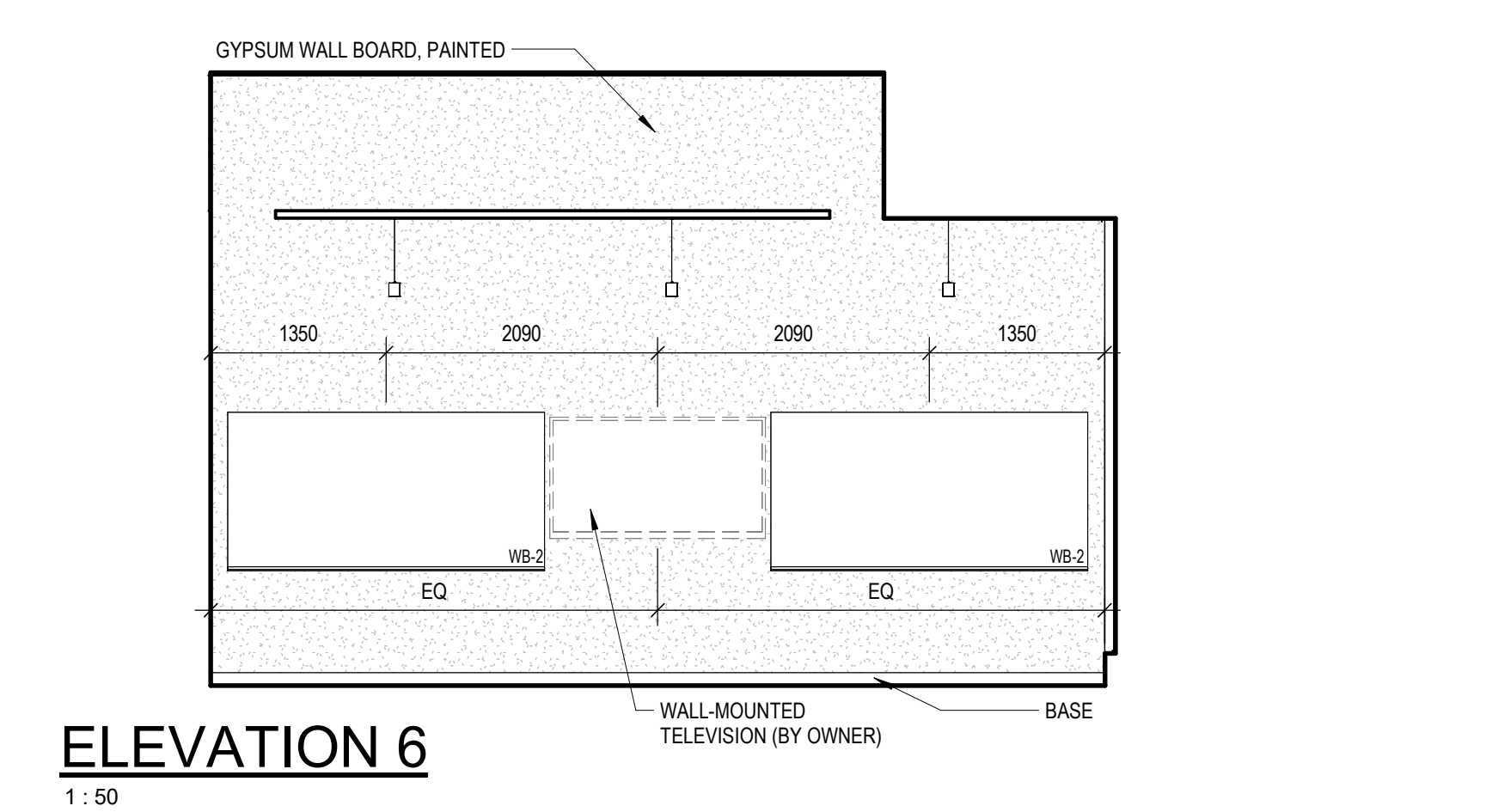
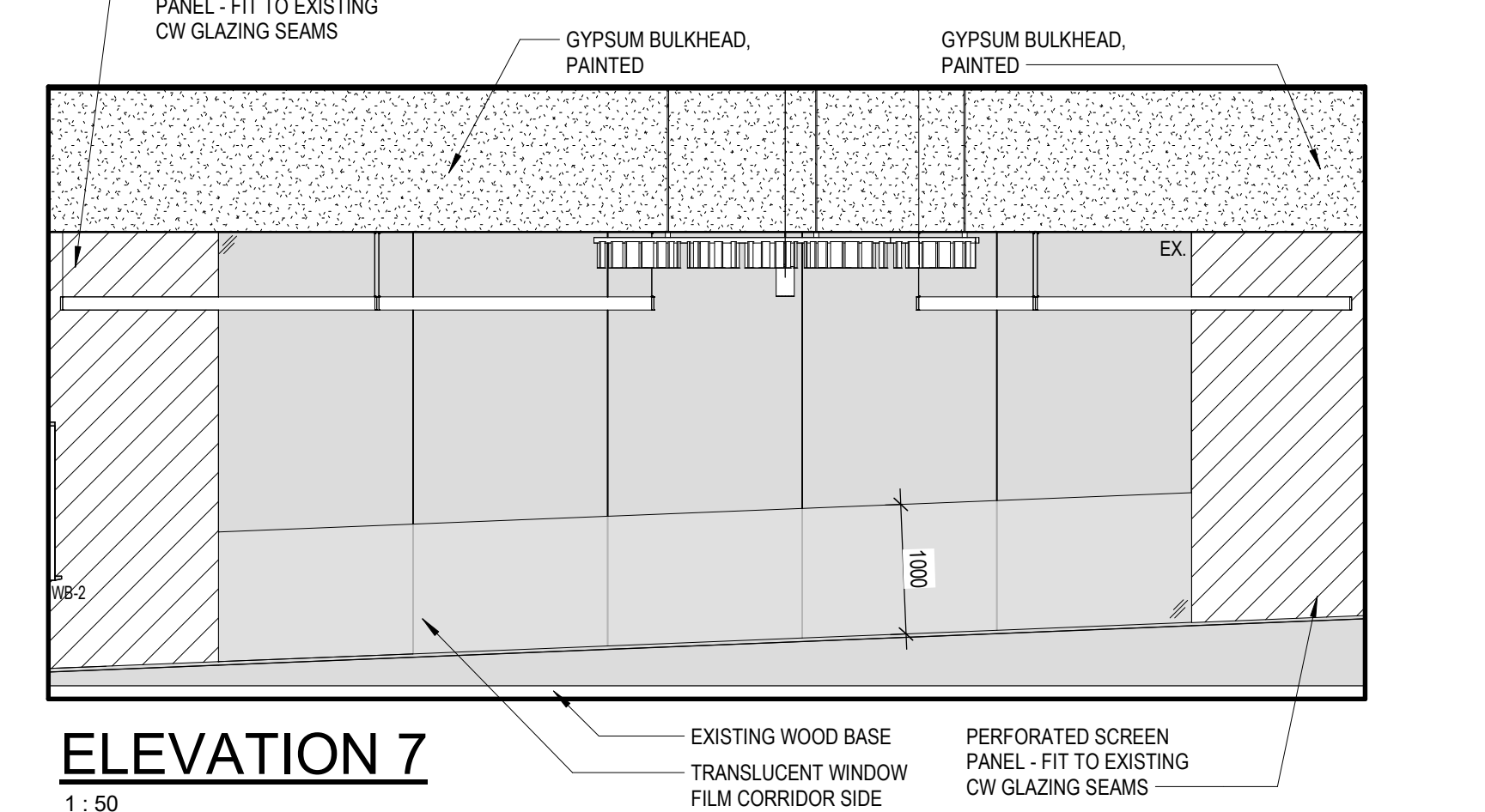
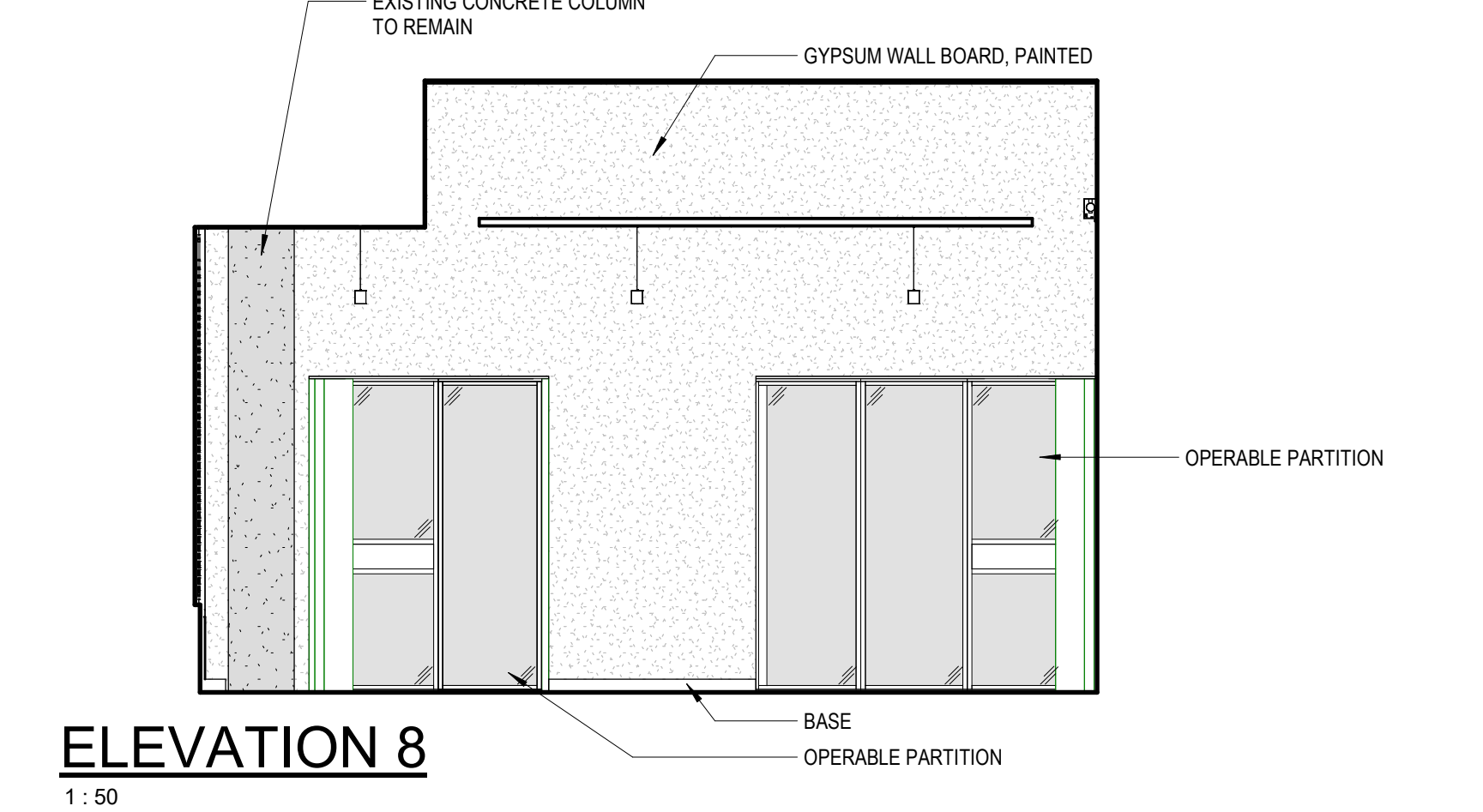
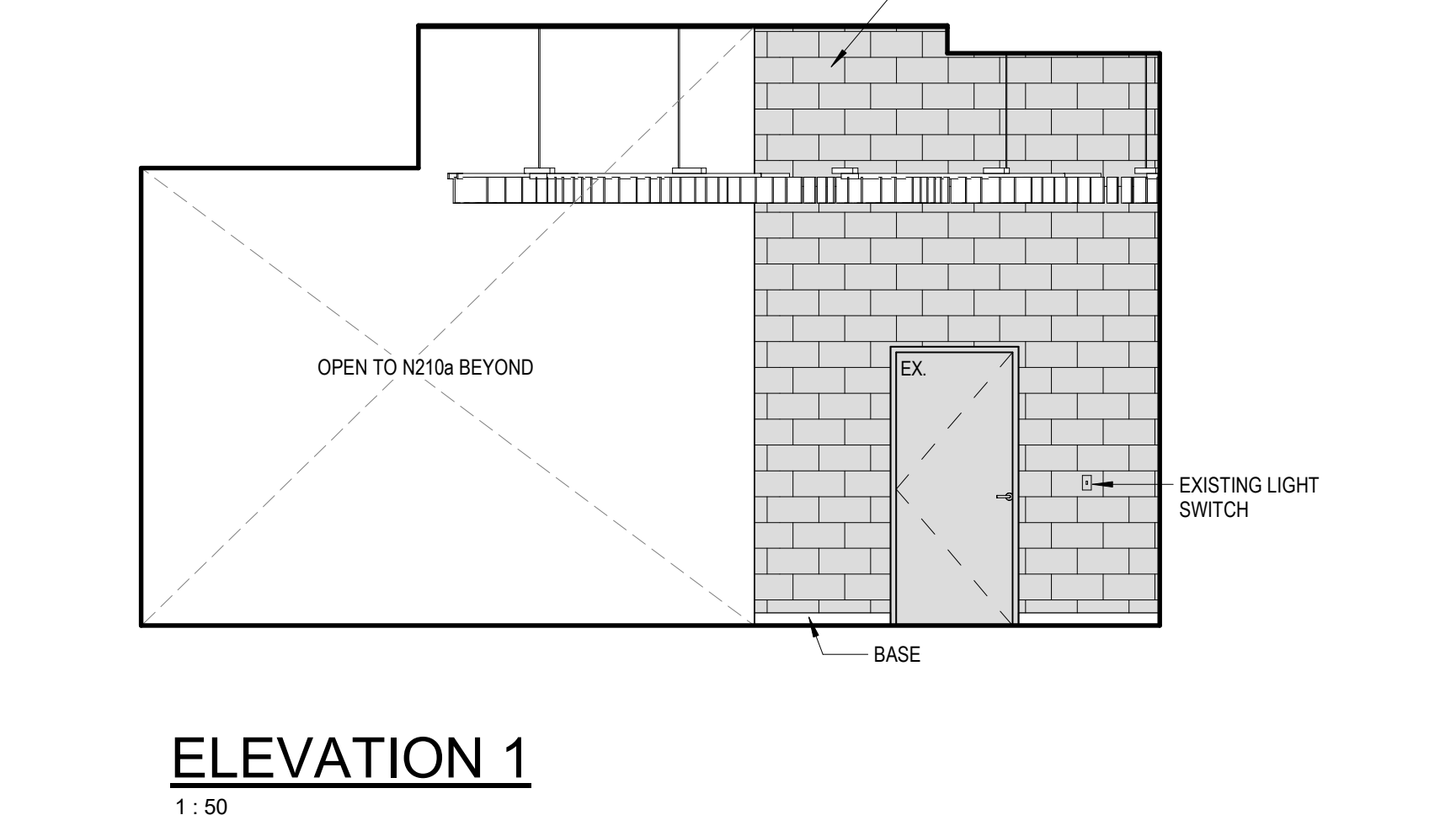
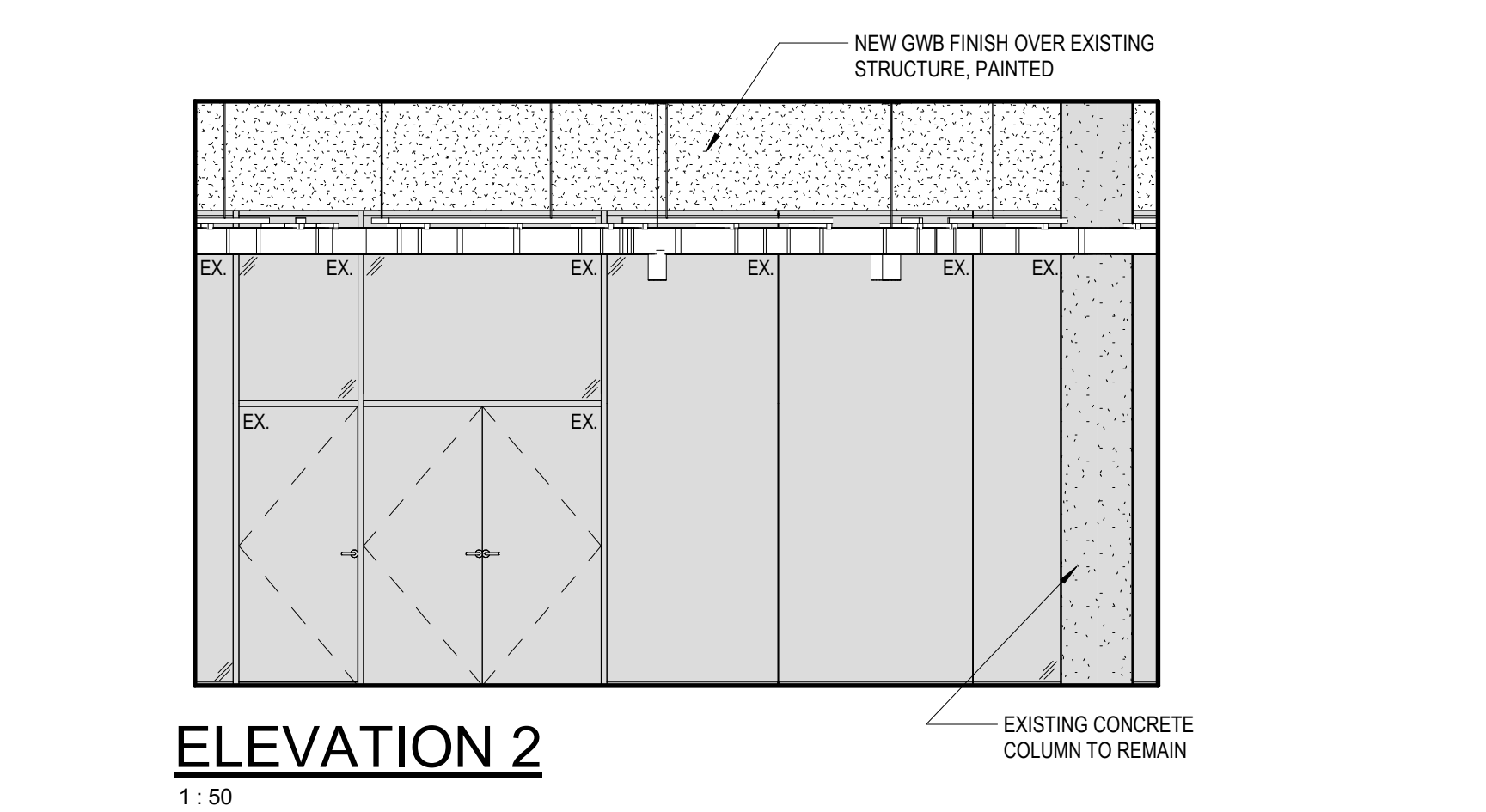
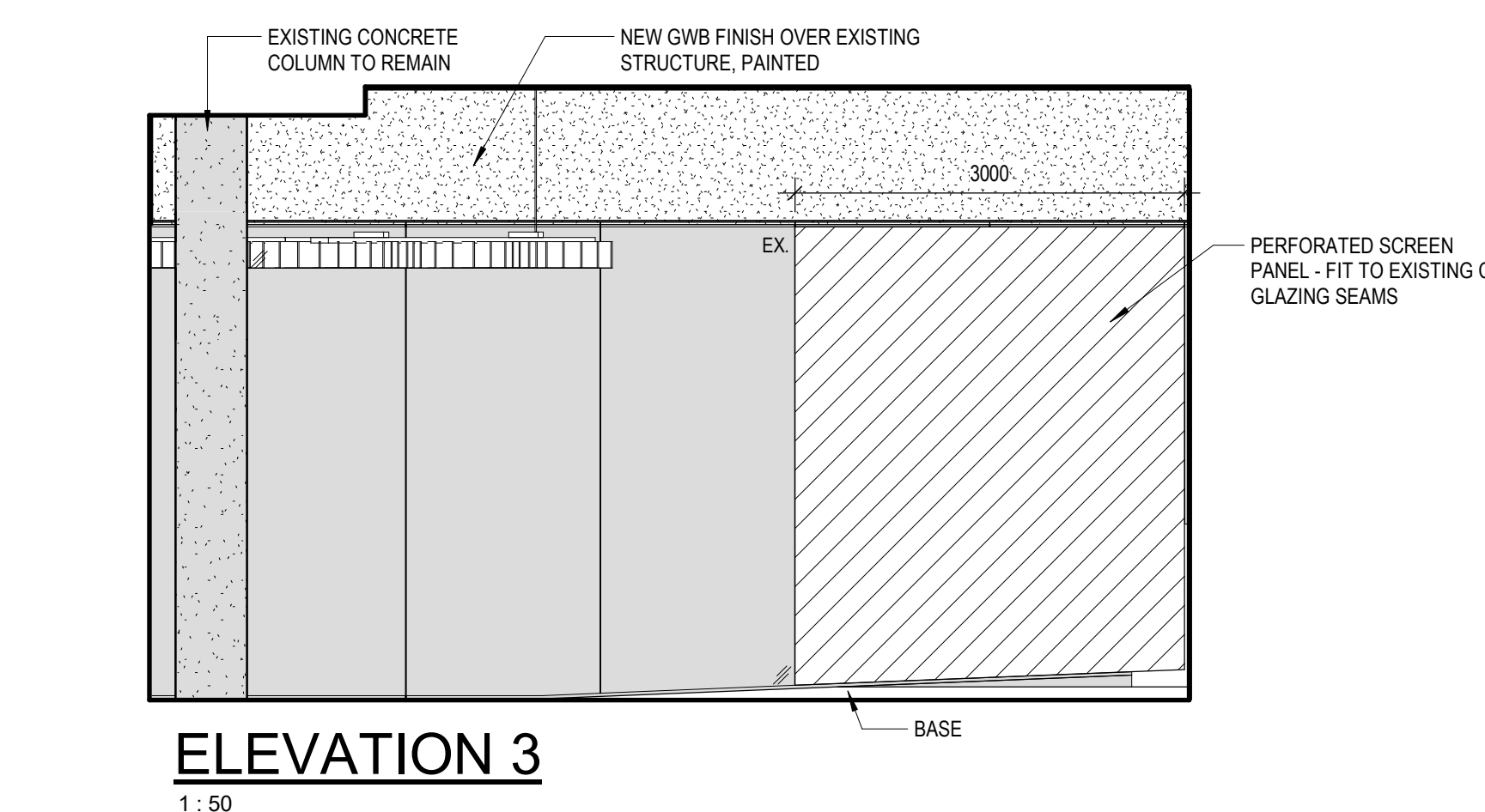
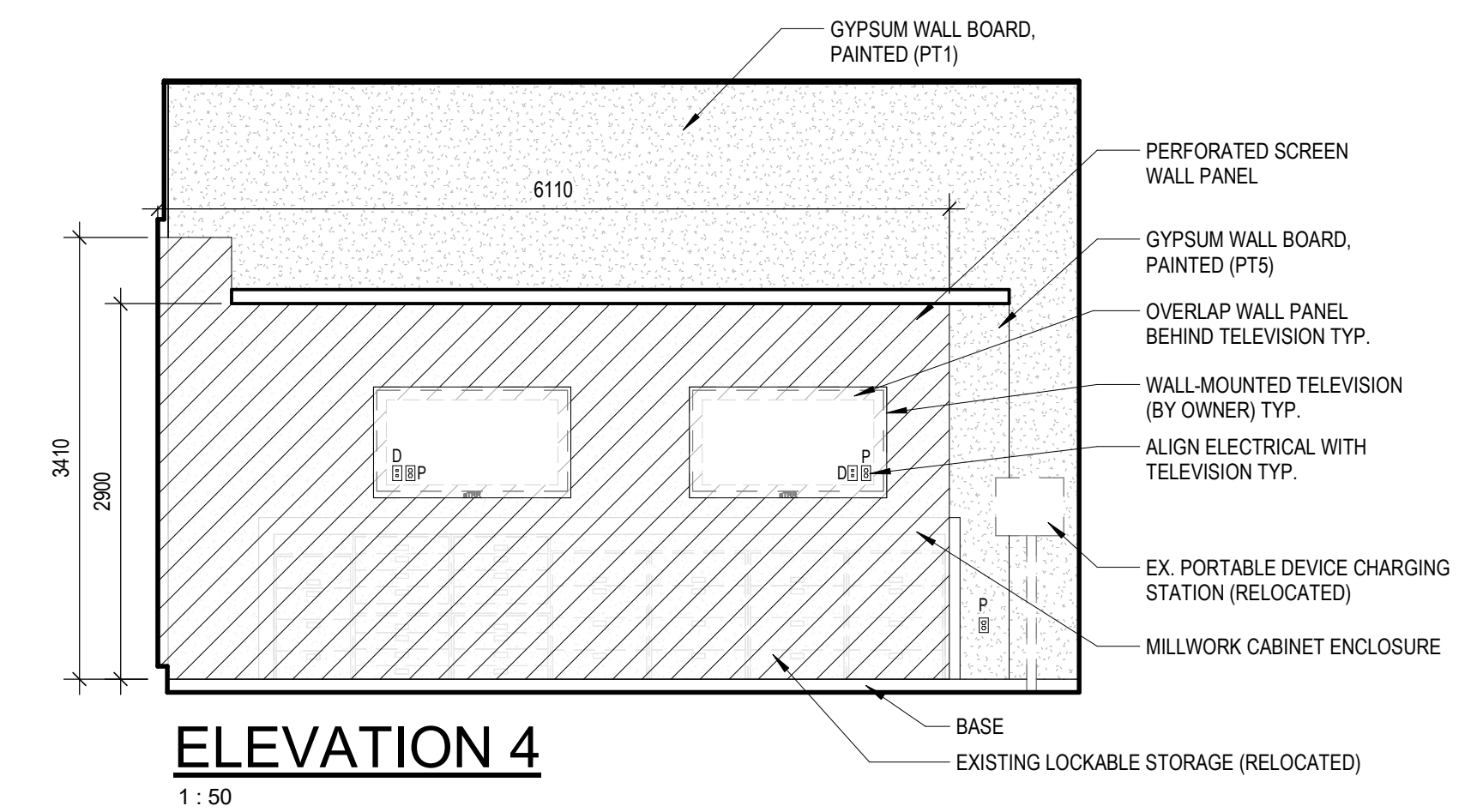
No.	ISSUED FOR	DATE
2	ISSUE FOR TENDER	2025-03-21
1	BUILDING PERMIT	2025-03-14

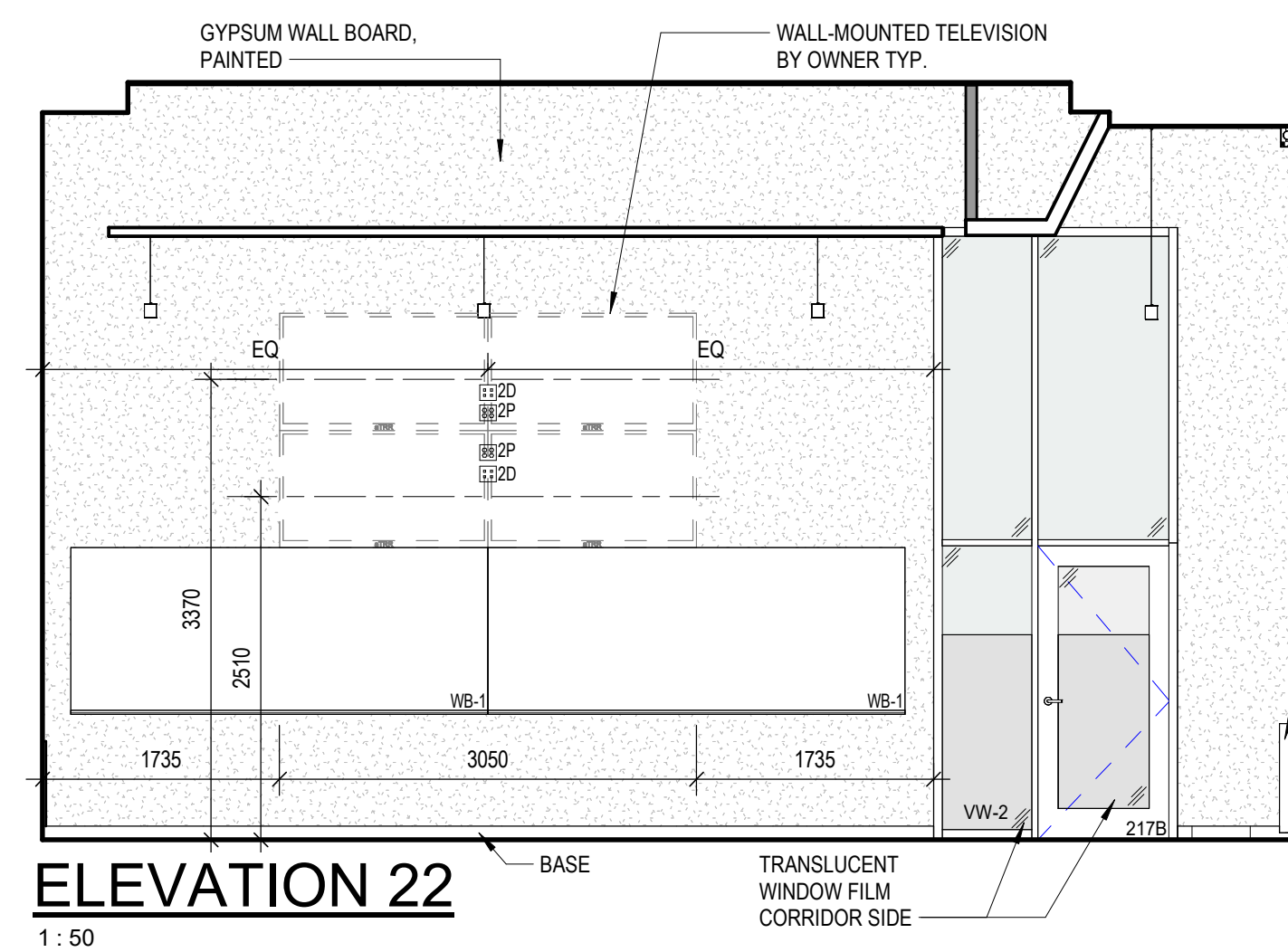
DRAWING TITLE:

**INTERIOR
ELEVATIONS**

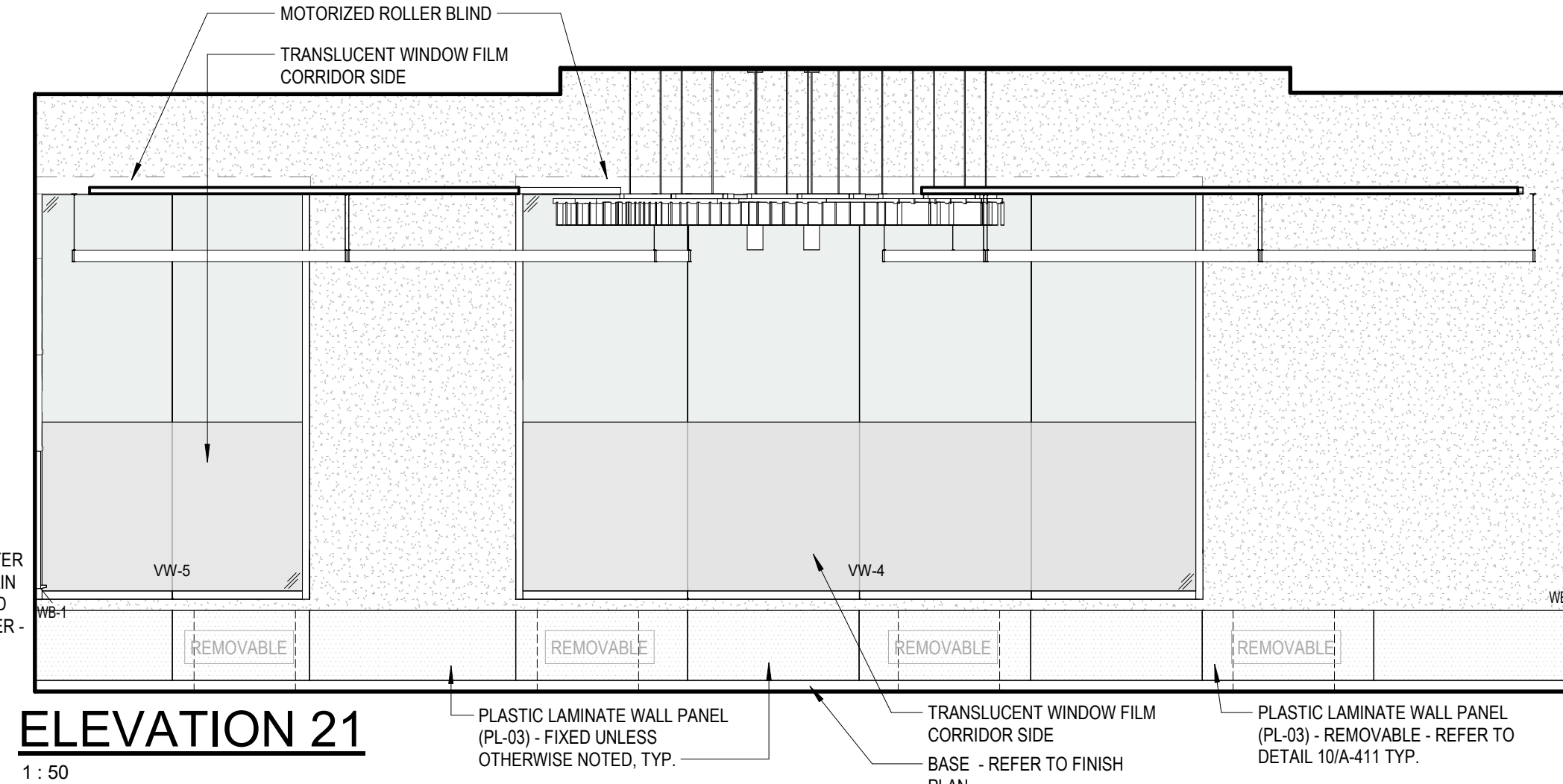
DRAWN:	AEP	SCALE:	1:50	PROJECT NO.:	2615-24(aTRR)
CHECKED:	MCM	DATE:			21 MARCH 2025

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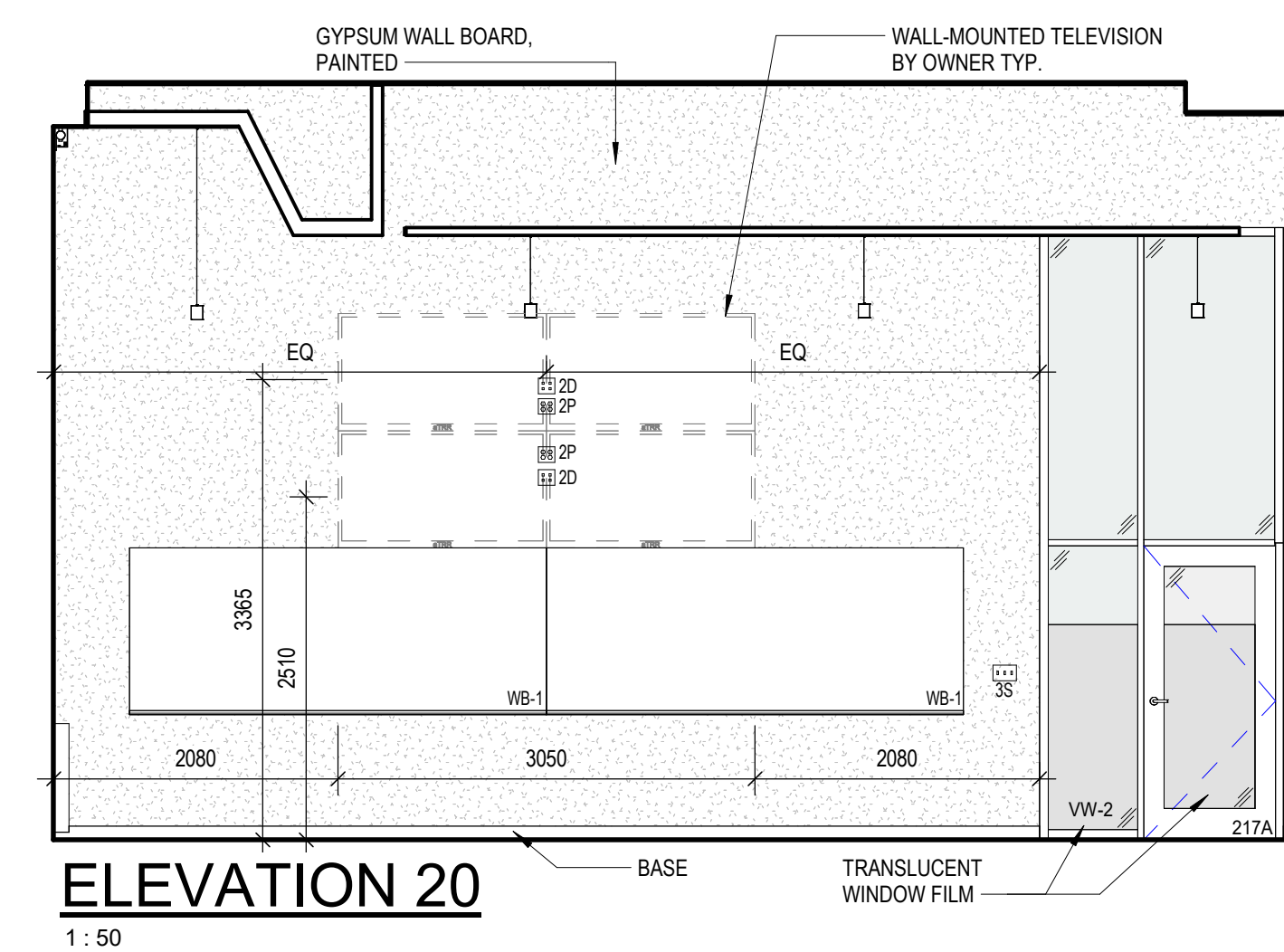




ELEVATION 22
1: 50

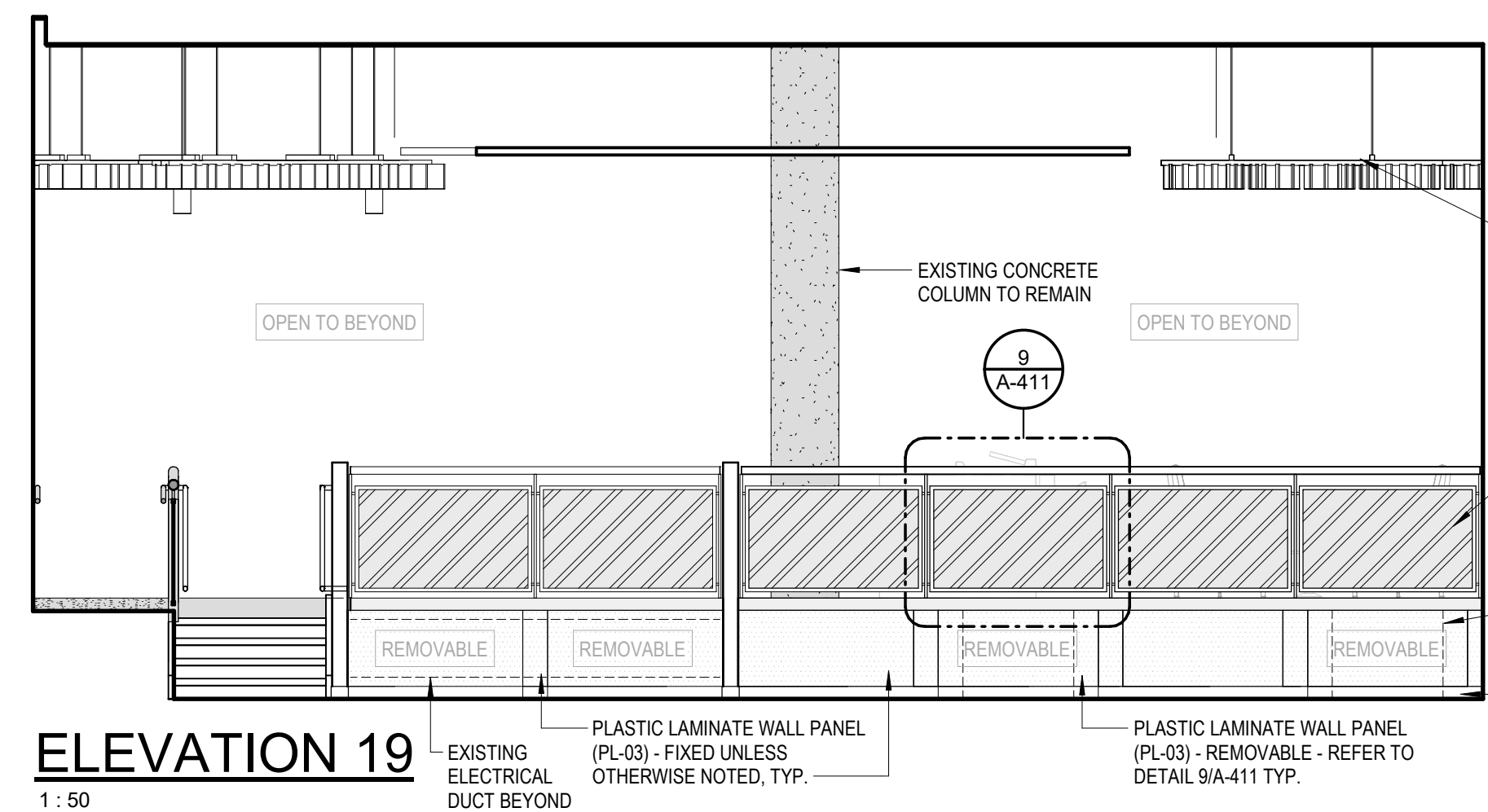


ELEVATION 21
1: 50

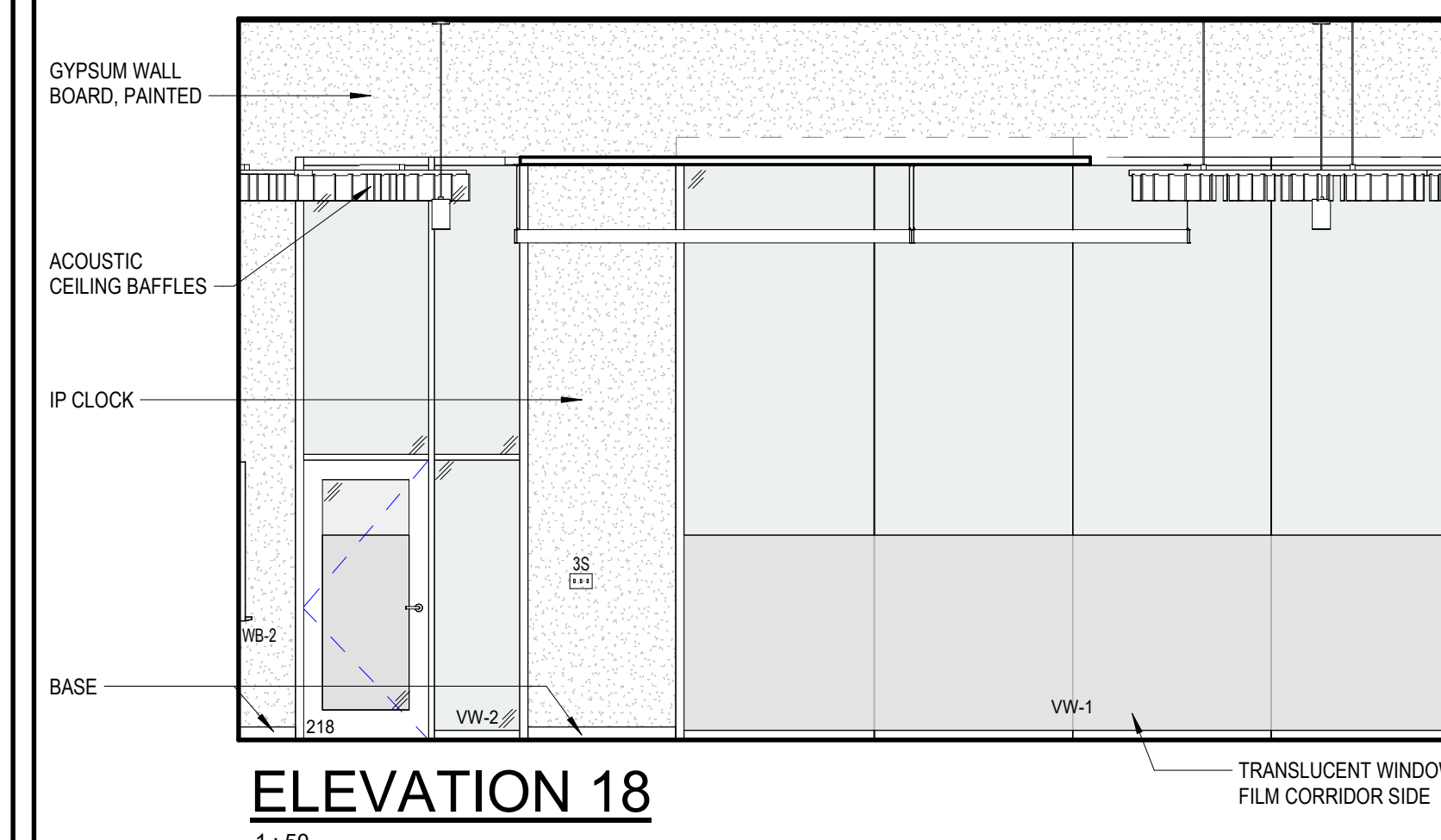


ELEVATION 20
1: 50

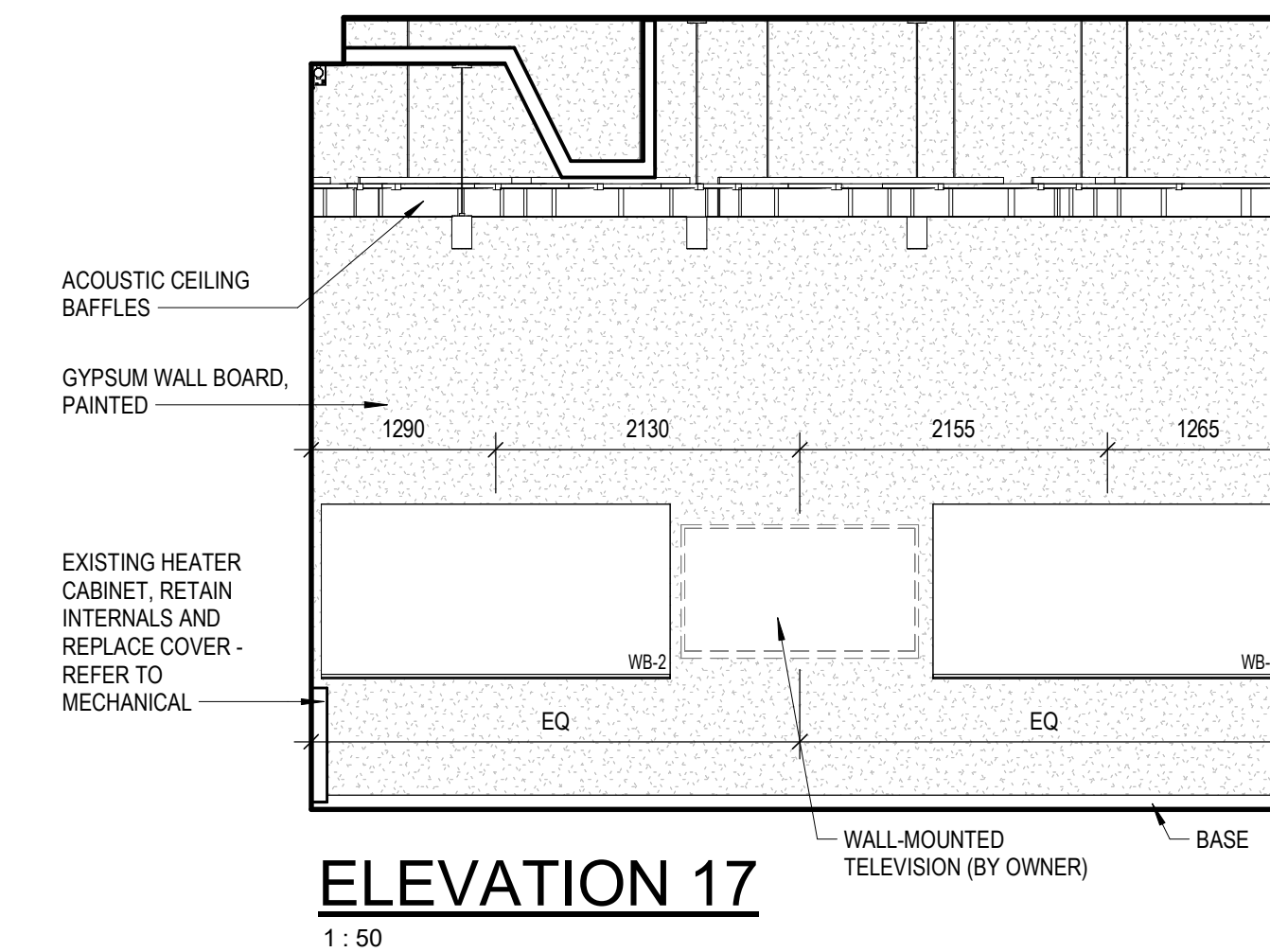
RM. 216 - COMPUTER LAB 5



ELEVATION 19
1: 50



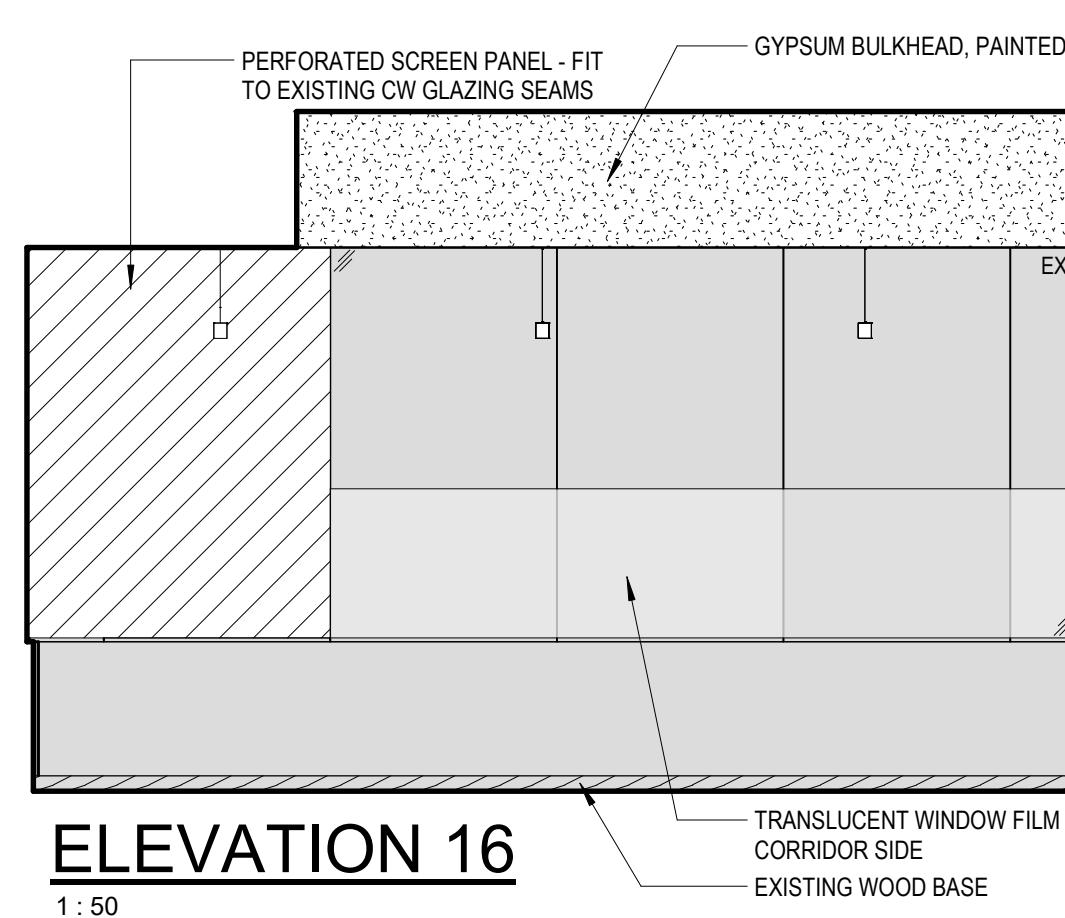
ELEVATION 18
1: 50



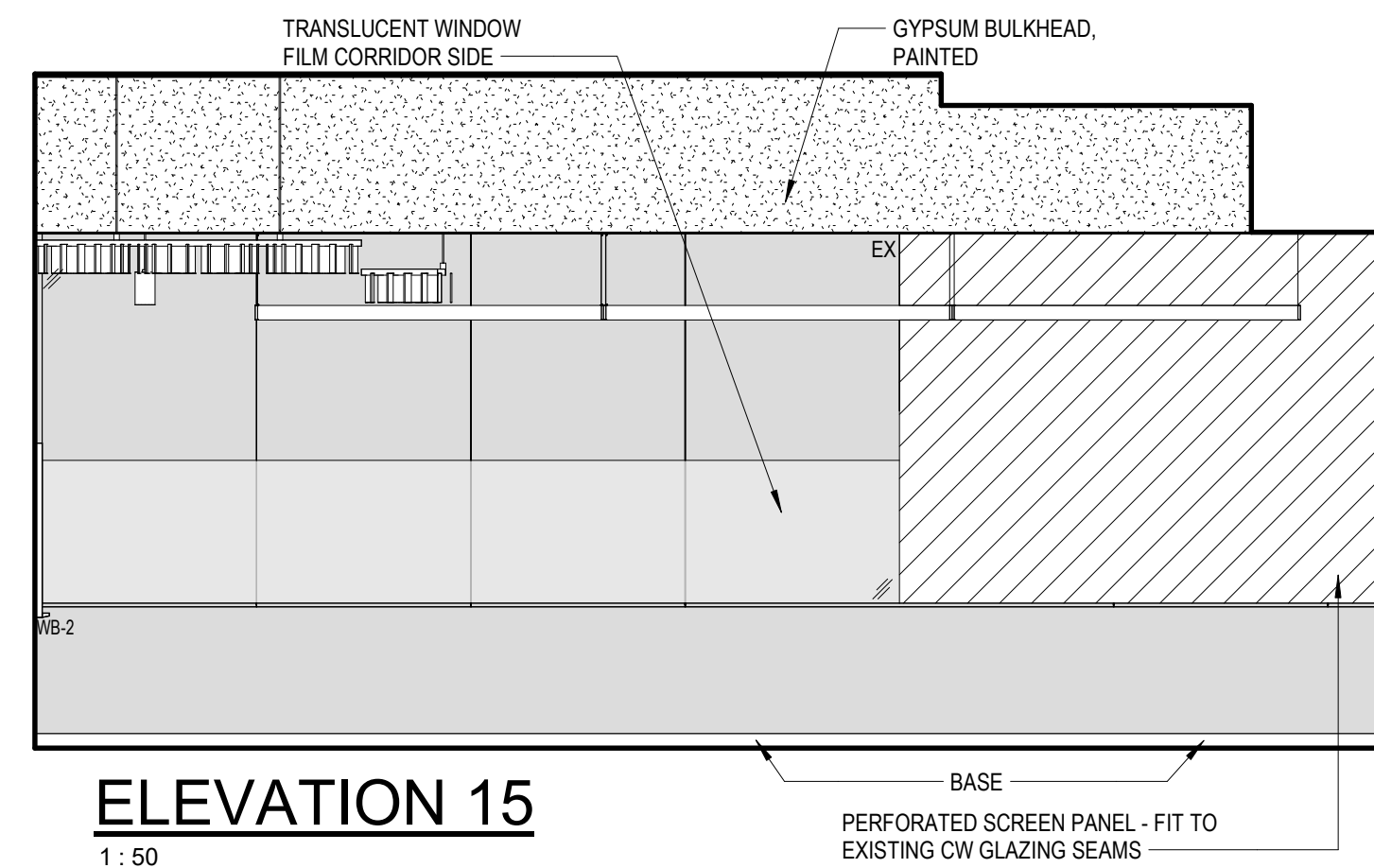
ELEVATION 17
1: 50

RM. 218 - LOWER CORRIDOR 1

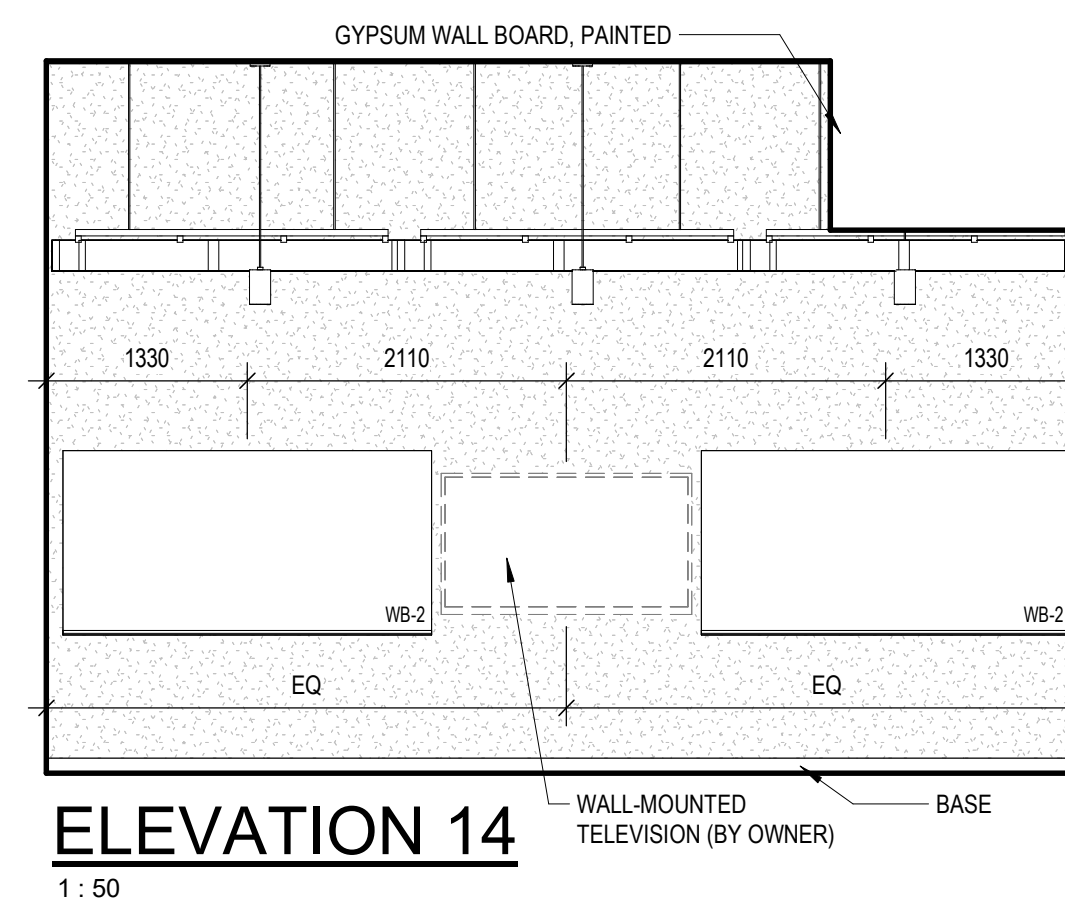
RM. 215 - COMPUTER LAB 4



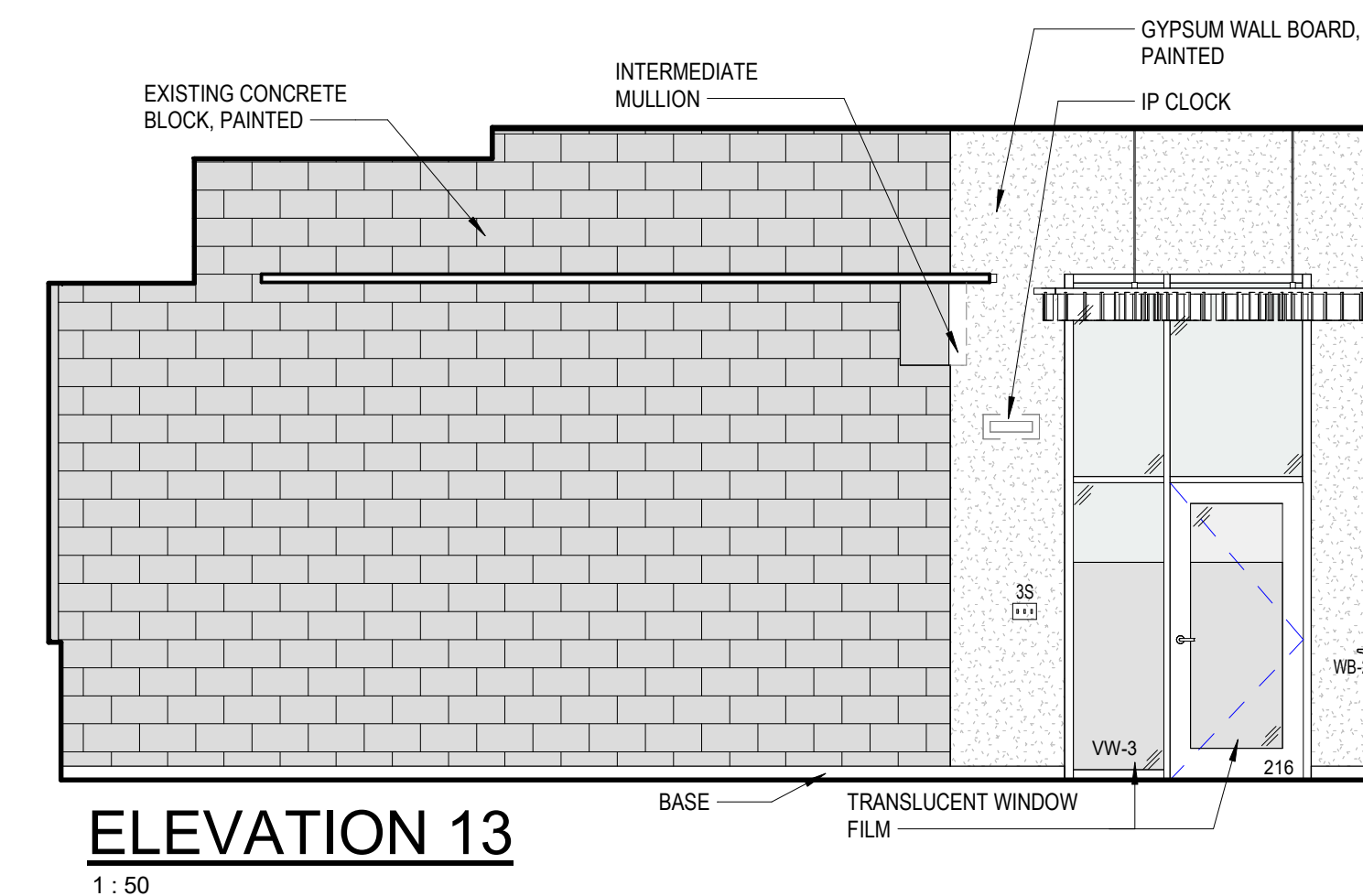
ELEVATION 16
1: 50



ELEVATION 15
1: 50



ELEVATION 14
1: 50



ELEVATION 13
1: 50

RM. 214 - COMPUTER LAB 3

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2	ISSUE FOR TENDER	2025-03-21
1	BUILDING PERMIT	2025-03-14
No.	ISSUED FOR	DATE

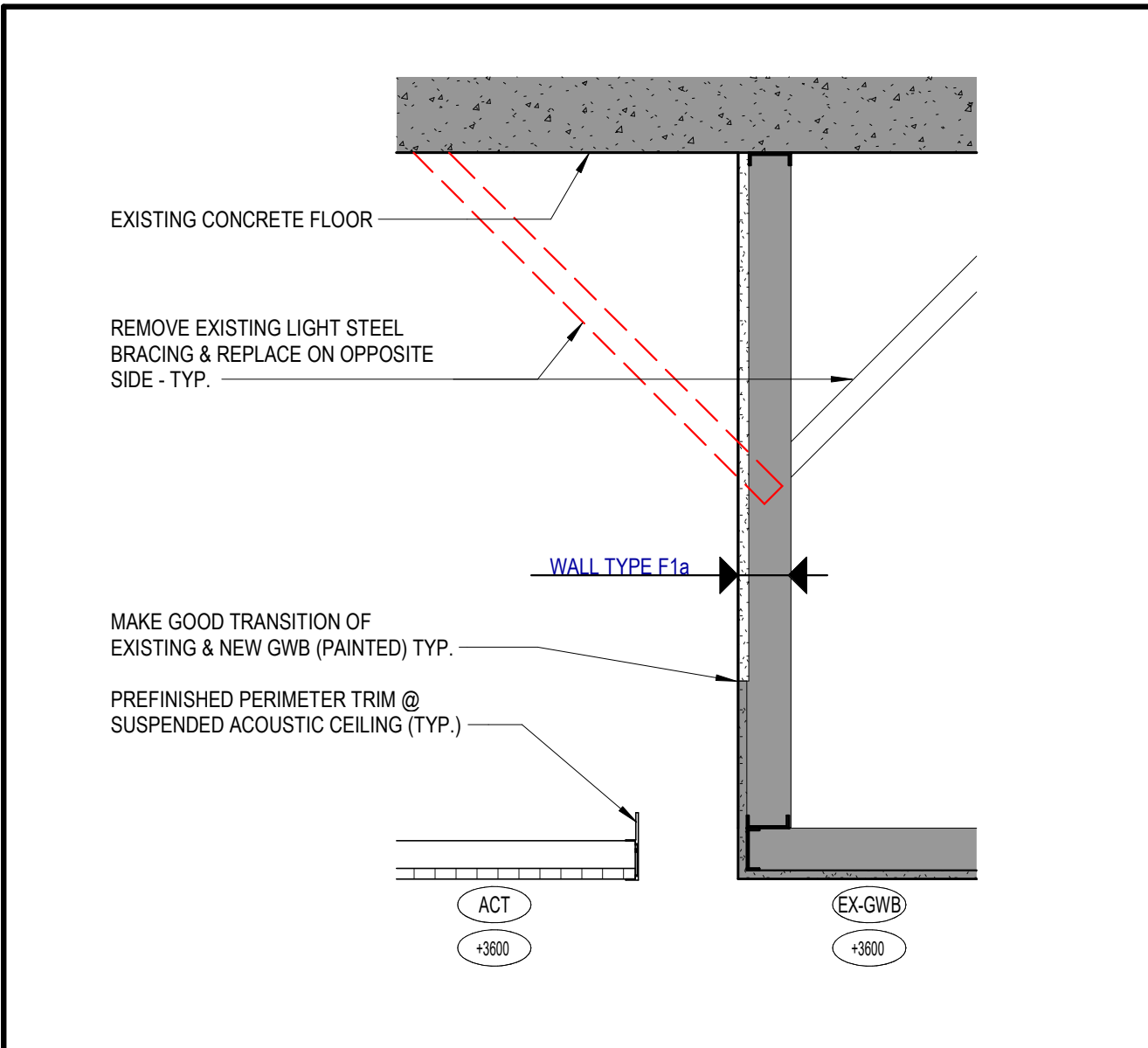
DRAWING TITLE:
**INTERIOR
ELEVATIONS**

DRAWN:	AEP	SCALE:	1: 50	PROJECT NO.:	2615-24(aTRR)
CHECKED:	MCM	DATE:			21 MARCH 2025



SCOTIA BANK HALL RENOVATION

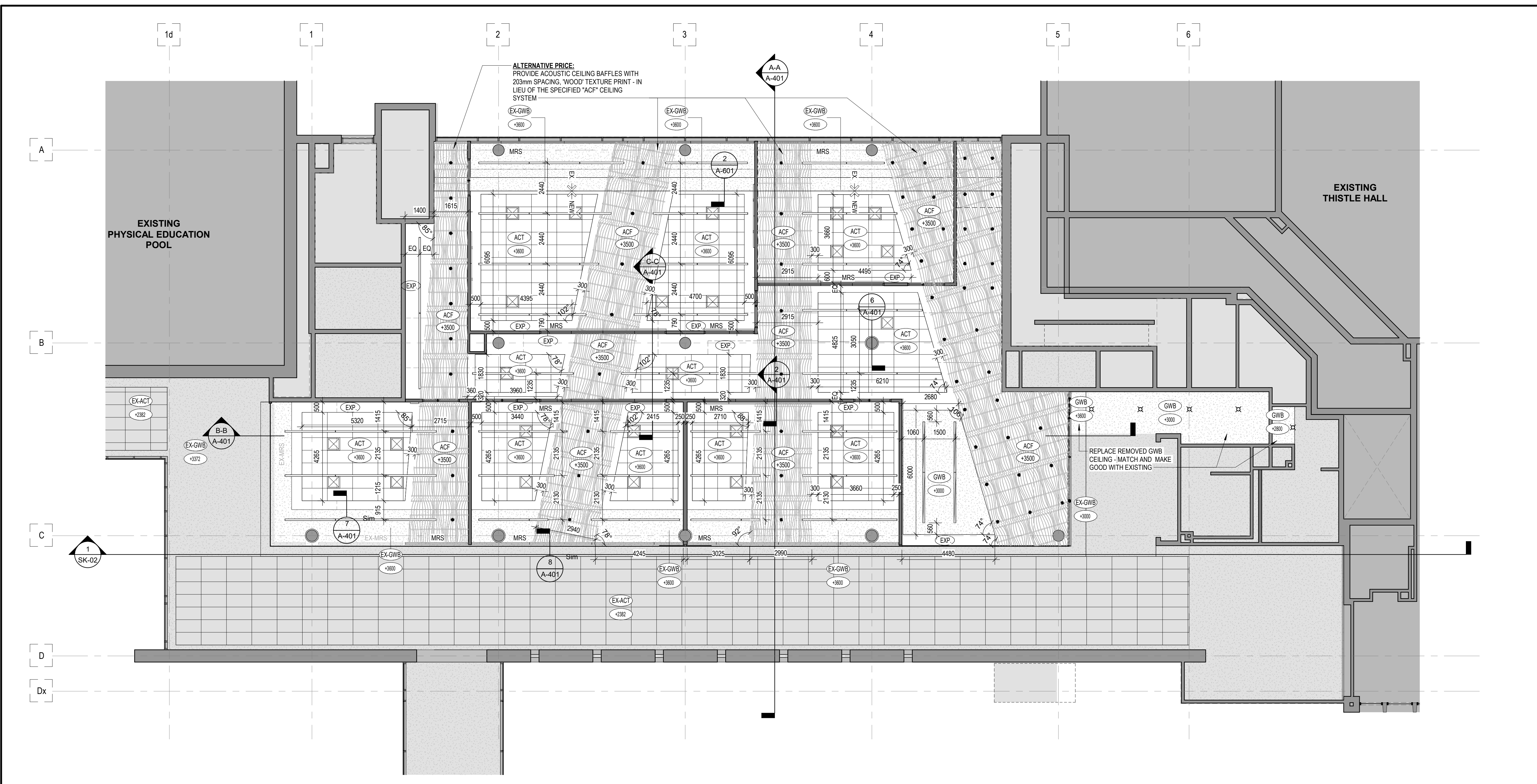
CEILING TYPES		REFLECTED CEILING PLAN LEGEND							
ACT	610 x 1220 ACOUSTIC CEILING TILE	XXX	CEILING MATERIAL	○	PENDANT LIGHT FIXTURE REFER TO ELECTRICAL DRAWINGS	○	OCCUPANCY SENSOR REFER TO ELECTRICAL DRAWINGS	□	VAV BOX ABOVE REFER TO MECHANICAL DRAWINGS
GWB	GYPSUM WALL BOARD CEILING	XXX	CEILING HEIGHT	—	PENDANT LIGHT FIXTURE - LINEAR REFER TO ELECTRICAL DRAWINGS	●	CONCEALED SPRINKLER HEAD - REFER TO MECHANICAL DRAWINGS	WAP	WIRELESS ACCESS POINT REFER TO ELECTRICAL DRAWINGS
ACF	ACOUSTIC CEILING FINS	▭	SUSPENDED CEILING TILE REFER TO TAG FOR MATERIAL AND HEIGHT	—	RECESSED LIGHT FIXTURE - LINEAR REFER TO ELECTRICAL DRAWINGS	□	CCTV CAMERA	EXP	PAINT ALL EXISTING & NEW EXPOSED STRUCTURAL, MECHANICAL, AND ELECTRICAL ELEMENTS THAT INCLUDE, BUT NOT LIMITED TO, MECHANICAL, ELECTRICAL DEVICES OR FIXTURES, ELECTRICAL CONDUITS, MECHANICAL DUCTWORK AND PIPING, WALLS, AND STRUCTURE. COLOUR TO BE SELECTED BY CONSULTANT.
EXP	EXPOSED TO STRUCTURE ABOVE	▨	PAINTED GYPSUM BOARD CEILING REFER TO TAG FOR MATERIAL AND HEIGHT	⊗	SUPPLY DIFFUSER REFER TO MECHANICAL DRAWINGS				
EX	EXISTING								
MRS	MOTORIZED ROLLER SHADE								



2 CEILING DETAIL
1:10

GENERAL NOTES - RCP

- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR SYMBOLS NOT SHOWN



REFLECTED CEILING PLAN



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2	ISSUE FOR TENDER	2025-03-21
1	BUILDING PERMIT	2025-03-14
No.	ISSUED FOR	DATE

DRAWING TITLE:
REFLECTED CEILING PLAN

DRAWN:	SCALE:	PROJECT NO.:
AEP	As indicated	2615-24(aTRR)
CHECKED:	DATE:	
MCM	21 MARCH 2025	

A-601

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**SCOTIA BANK HALL
RENOVATION**

ROOM FINISH LEGEND

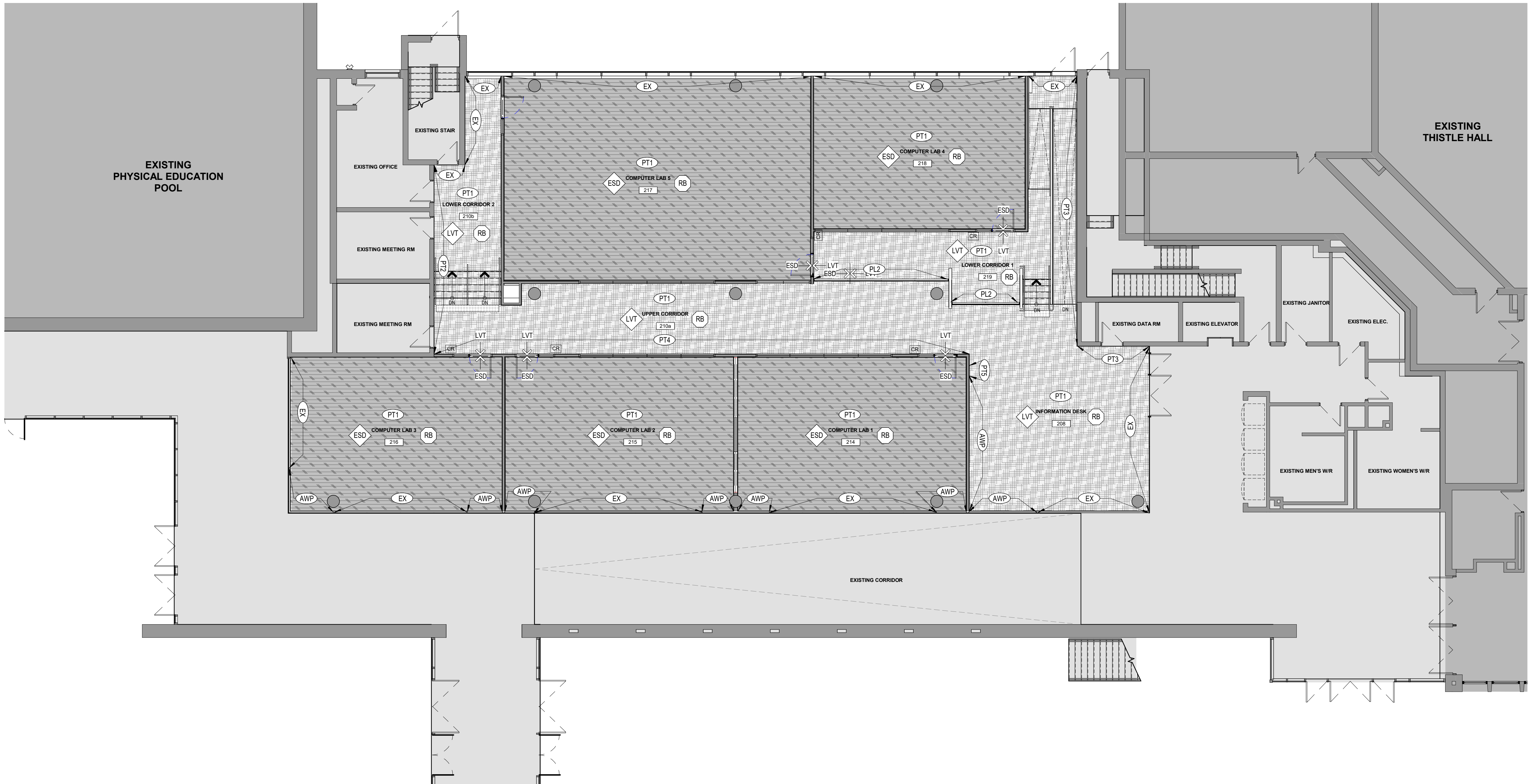
FLOOR		BASE	WALL
[Pattern]	LVT: RESILIENT SHEET FLOORING	RB: RUBBER BASE (CHARCOAL COLOUR)	PT-1: PAINT (BROCK WHITE)
[Pattern]	ESD: ELECTROSTATIC DISSIPATIVE SHEET FLOORING	PL1: PLASTIC LAMINATE (BROCK RED)	PT-2: PAINT (BROCK LIGHT GREY)
[Pattern]	EX: EXISTING FLOORING TO REMAIN	PL2: PLASTIC LAMINATE (WHITE)	PT-3: PAINT (BROCK DARK GREY)
			PT-4: PAINT (BROCK ARROW WOOD)
			PT-5: PAINT (BROCK RED)
			AWP: ACOUSTIC WALL PANEL (BLACK)

ROOM FINISH SCHEDULE

ROOM NAME	ROOM NUMBER	FLOOR FINISH	BASE FINISH	WALL FINISH				COMMENTS
				NORTH	EAST	SOUTH	WEST	
INFORMATION DESK	208	LVT	RB	PT3	EX / PT1	EX / AWP / PT1	AWP / PT5 / PT1	
UPPER CORRIDOR	210a	LVT	RB	PT1	PT3	PT4	PT2	
LOWER CORRIDOR 2	210b	LVT	RB	EX	PT1	EX / PT2		
COMPUTER LAB 1	214	ESD	RB	PT1	PT1	EX / AWP / PT1	PT1	
COMPUTER LAB 2	215	ESD	RB	PT1	PT1	EX / AWP / PT1	PT1	
COMPUTER LAB 3	216	ESD	RB	PT1	PT1	EX / AWP / PT1	EX / AWP / PT1	
COMPUTER LAB 5	217	ESD	RB	EX	PT1	PT1	PT1	
COMPUTER LAB 4	218	ESD	RB	EX	PT1	PT1	PT1	
LOWER CORRIDOR 1	219	LVT	RB	PT1 / EX	PT3	PL2 / PT1	PT1	

GENERAL NOTES - ROOM FINISH

- REFER TO FLOOR FINISH PLANS FOR OVERALL FLOOR PATTERNS.
- REFER TO MANUFACTURER'S INSTALLATION / TECHNICAL INSTRUCTIONS PRIOR TO INSTALLING.
- ALL GROUT LINES TO BE 3mm. GROUT COLOURS TBD.
- UNLESS OTHERWISE NOTED ASSUME ALL FLOOR FINISH PATTERNS TO ALIGN WITH ADJACENT ARCHITECTURE I.E. PARTITION FACE, DOOR FRAME, MULLION OR COLUMN.
- ALL TRANSITIONS TO OCCUR UNDER DOOR IN CLOSED POSITION OR ALIGNED WITH ADJACENT ARCHITECTURE. REFER TO ARCHITECTURAL DRAWINGS.



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2	ISSUE FOR TENDER	2025-03-21
1	BUILDING PERMIT	2025-03-14

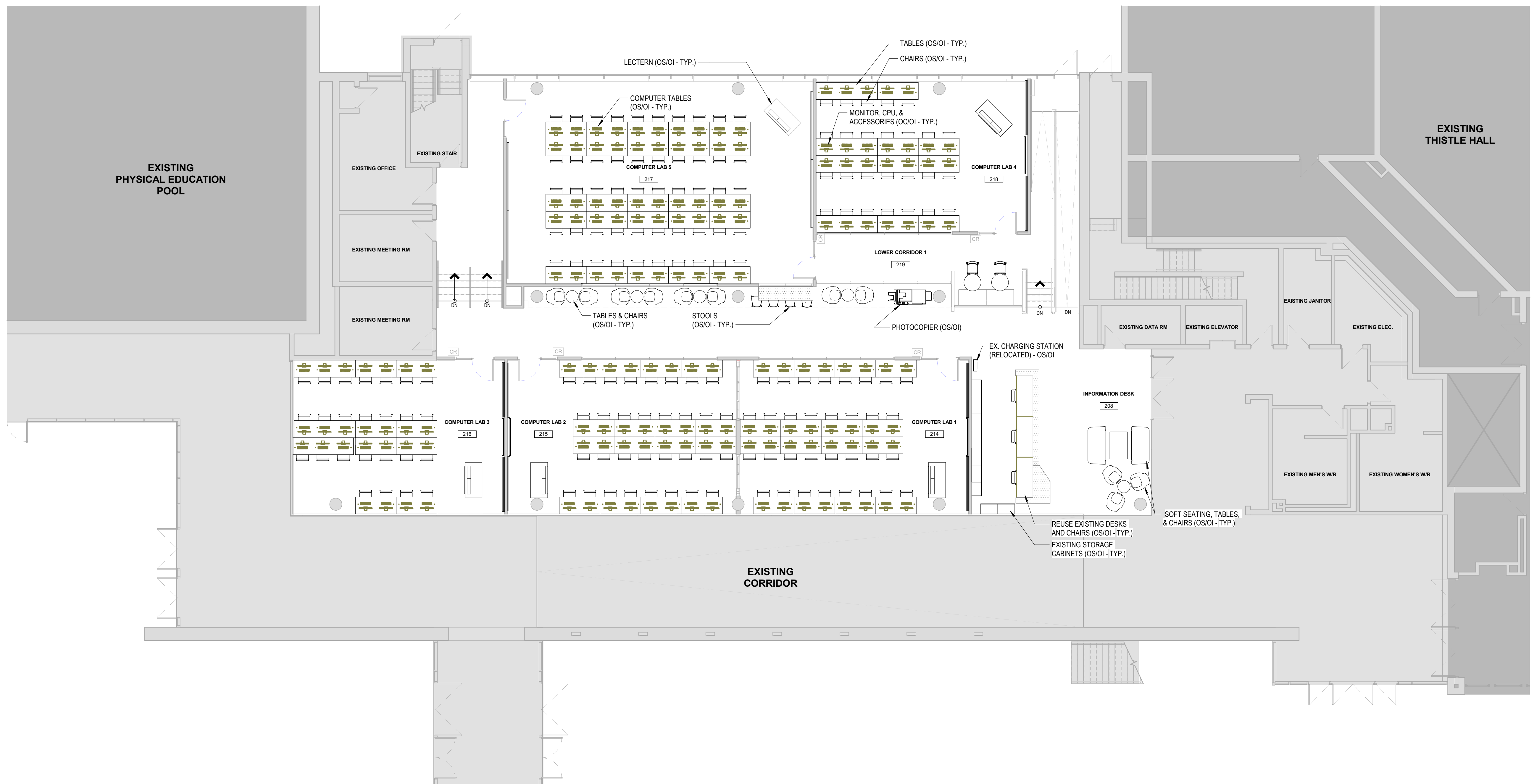
DRAWING TITLE:

**FINISH PLAN,
SCHEDULE & DETAILS**

DRAWN: Author	SCALE: As indicated	PROJECT NO: 2615-24(aTRR)
CHECKED: MCM	DATE: 21 MARCH 2025	

A-701

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No.	ISSUED FOR	DATE
2	ISSUE FOR TENDER	2025-03-21
1	BUILDING PERMIT	2025-03-14

DRAWING TITLE:
EQUIPMENT & FURNITURE PLAN

DRAWN:	AEP	SCALE:	1 : 100	PROJECT NO.:	2615-24(aTRR)
CHECKED:	MCM	DATE:	21 MARCH 2025		

A-801

DOOR AND FRAME SCHEDULE

ROOM	DOOR								FRAME				COMMENTS	Scheduled Hardware - Contains Card Reader
NAME	#	#	WIDTH	HEIGHT	TYPE	MAT.	FINISH	GLASS	TYPE	MAT.	FINISH	GLASS		
COMPUTER LAB 1	214	214	965	2150	FG	AL	AN	GL1	VW-3	AL	AN	VW-3		Yes
COMPUTER LAB 2	215	215	965	2150	FG	AL	AN	GL1	VW-3	AL	AN	VW-3		Yes
COMPUTER LAB 3	216	216	965	2150	FG	AL	AN	GL1	VW-3	AL	AN	VW-3		Yes
COMPUTER LAB 5	217	217A	965	2150	FG	AL	AN	GL1	VW-2	AL	AN	VW-2		Yes
COMPUTER LAB 5	217	217B	965	2150	FG	AL	AN	GL1	VW-2	AL	AN	VW-2		No
COMPUTER LAB 4	218	218	965	2150	FG	AL	AN	GL1	VW-2	AL	AN	VW-2		Yes

DOOR & FRAME LEGEND

DOOR LEGEND

EX 1011 - EXISTING DOOR IN EXISTING FRAME

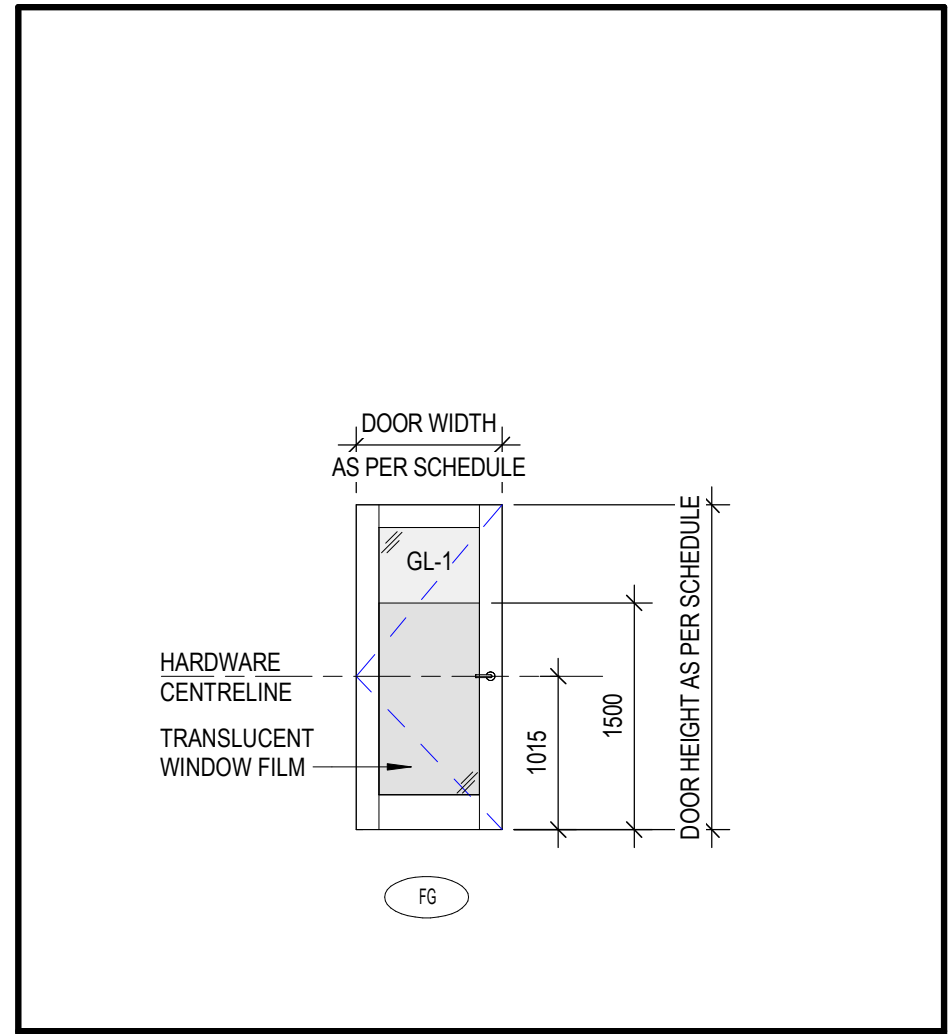
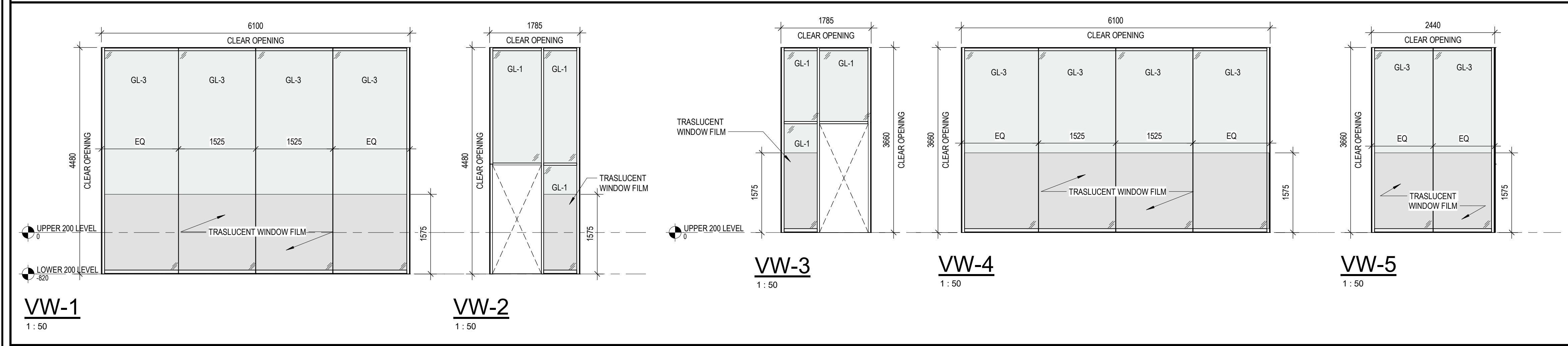
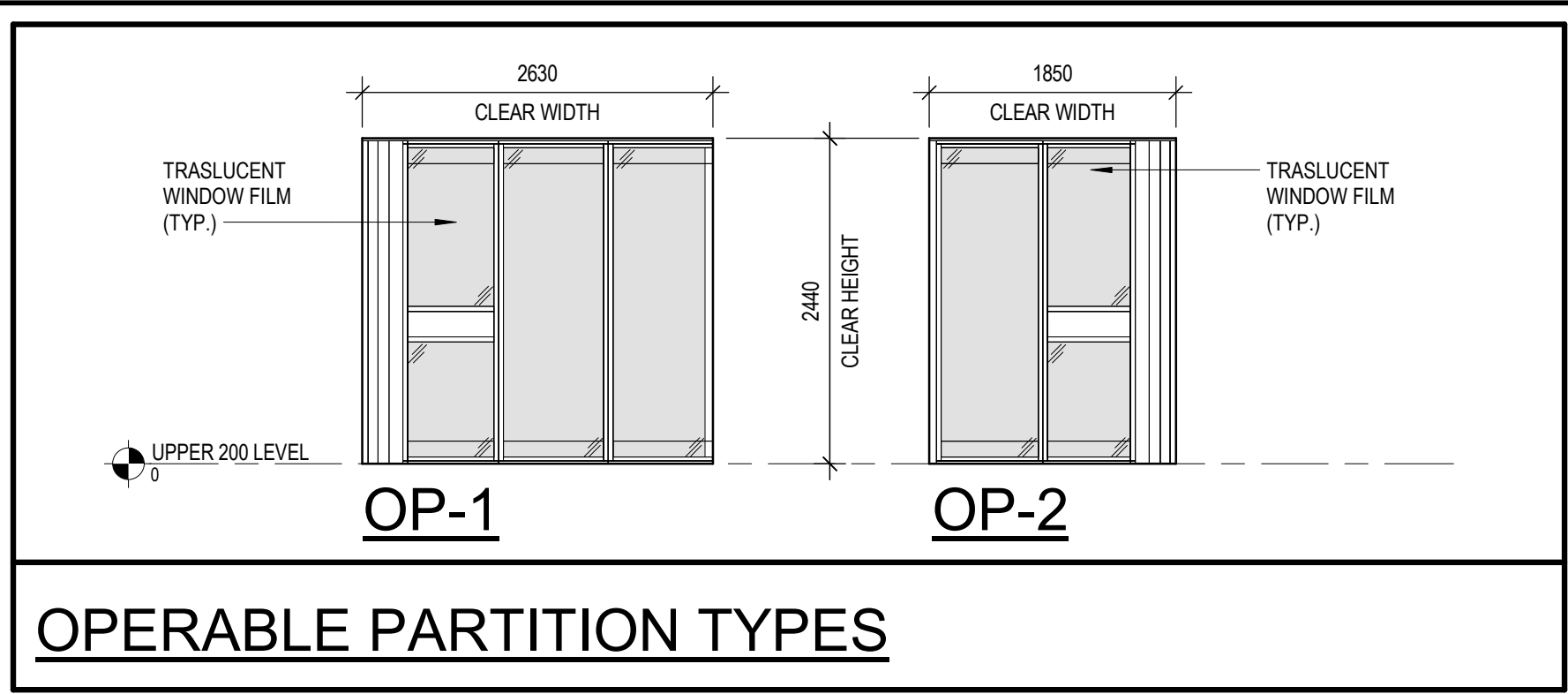
1011 - NEW DOOR IN NEW FRAME

DOOR TYPES

EX - EXISTING DOOR TO REMAIN
F - SLAB (FLUSH) DOOR
FG - FULL GLASS DOOR

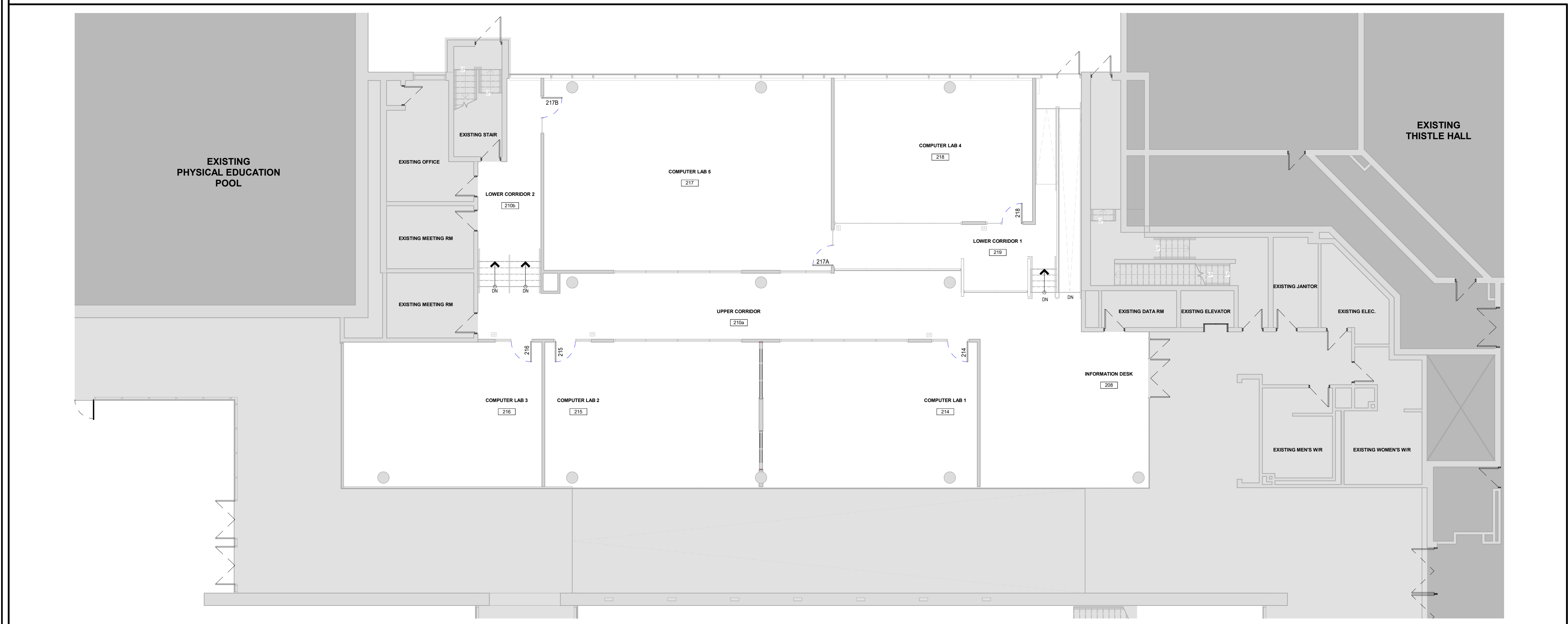
GLAZING TYPES

GL-1 - CLEAR TEMPERED GLASS
GL-2 - FIRE RATED GLASS
GL-3 - LAMINATED GLASS



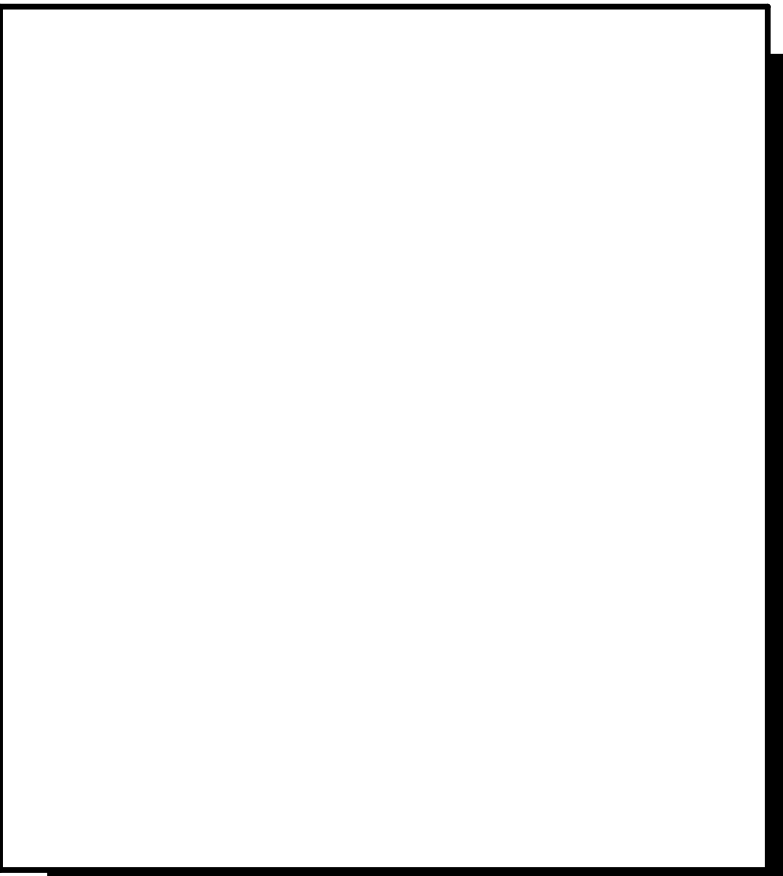
VIEW WINDOW TYPES

DOOR TYPES



DOOR AND FRAME PLAN
1:100

SCOTIA BANK HALL RENOVATION



tillmann
architects ruth
robinson

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No.	ISSUED FOR	DATE
2	ISSUE FOR TENDER	2025-03-21
1	BUILDING PERMIT	2025-03-14

DRAWING TITLE:
DOOR & VIEW WINDOW TYPES & SCHEDULES


DRAWN: AEP	SCALE: As indicated	PROJECT NO: 2615-24(aTRR)
CHECKED: MCM	DATE: 21 MARCH 2025	

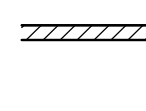
A-901

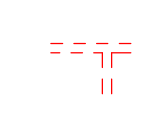
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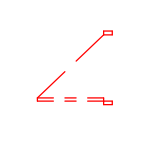
DEMOLITION GENERAL NOTES

 TEMPORARY RIGID DUST SCREEN

 EXISTING TO REMAIN PROTECTED AT ALL TIMES

 PATCH, REPAIR, LEVEL AND MAKE GOOD ALL AFFECTED SURFACES TO RECEIVE NEW FINISH TO MATCH EXISTING ADJACENT SURFACE UNLESS OTHERWISE NOTED BY THE ROOM FINISH SYMBOL.

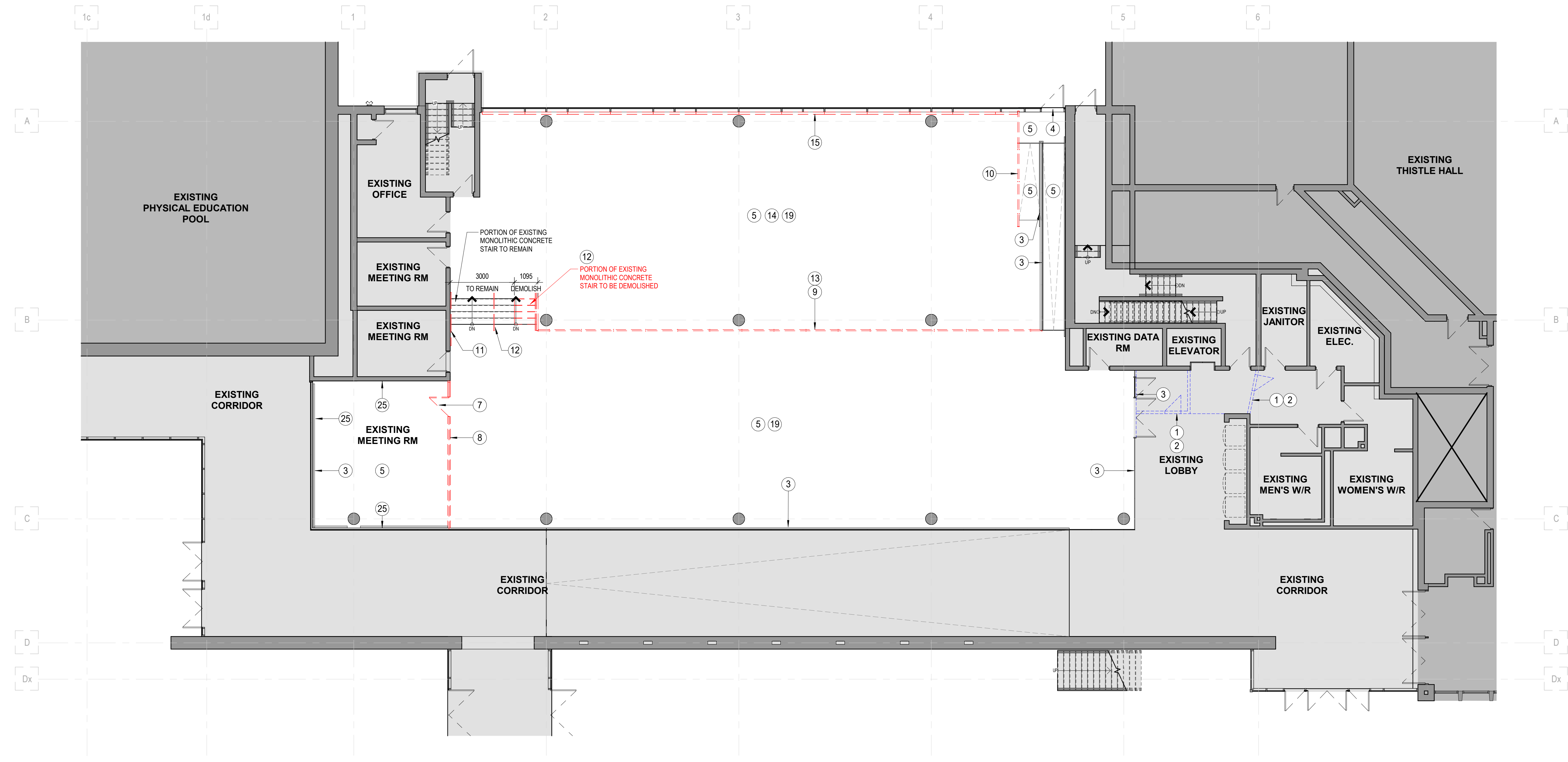
 EXISTING CONSTRUCTION TO BE REMOVED. DISPOSE OF ALL MATERIALS AS REQUIRED. PATCH, REPAIR, LEVEL AND MAKE GOOD ALL AFFECTED SURFACES TO RECEIVE NEW FINISH TO MATCH EXISTING UNLESS OTHERWISE NOTED BY THE ROOM FINISH SYMBOL.

 REMOVE EXISTING DOOR, FRAME AND HARDWARE. DOOR HARDWARE SHALL BE TURNED OVER TO OWNER. MAKE GOOD ALL AFFECTED SURFACES TO MATCH EXISTING ADJACENT SURFACE UNLESS OTHERWISE NOTED BY THE ROOM FINISH SYMBOL.

- IN ALL AREAS SHOWN TO BE DEMOLISHED, REMOVE DESIGNATED PARTITIONS, CEILINGS ASSEMBLIES AND ALL FLOORING FINISHES IN THEIR ENTIRETY AS WELL AS FIXTURES, EQUIPMENT AND FITMENTS. DISPOSE OF ALL MATERIALS FROM THE SITE WITH WHICH HAVE NOT BEEN DESIGNATED TO BE TURNED OVER TO THE OWNER OR RELOCATED. COORDINATE WITH THE MECHANICAL AND ELECTRICAL DRAWINGS FOR ASSOCIATED MECHANICAL, PLUMBING AND ELECTRICAL DEMOLITION, AS WELL AS CAPPING AND TERMINATION OF EXISTING SERVICES.
- ALL DEBRIS AND MATERIALS REMOVED FROM AREAS OF THE WORK SHALL BE DONE SO IN COVERED CONTAINERS. CONTRACTOR SHALL COORDINATE REMOVAL ROUTE WITH THE OWNER AND AS SPECIFIED.
- ALL DEMOLITION SHALL BE PERFORMED IN ACCORDANCE SCHEDULING OF WORK. FOR DEMOLITION AND SALVAGE REQUIREMENTS, REFER TO SPECIFICATION DIVISION 2, SECTION 02050 DEMOLITION.
- CONTRACTOR SHALL MARK OUT ALL REMOVALS IN STRUCTURAL ASSEMBLIES FOR REVIEW BY CONSULTANT PRIOR TO COMMENCING ASSOCIATED DEMOLITION WORK. ALL OPENINGS CREATED IN STRUCTURAL WALL, SLAB AND ROOF ASSEMBLIES SHALL BE PERFORMED BY AN EXPERIENCED AND PROFESSIONAL CORE DRILLING AND CUTTING SUBCONTRACTOR.
- MECHANICAL AND ELECTRICAL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIREMENTS RESULTING FROM THEIR INSTALLATIONS IN ACCORDANCE WITH SPECIFICATION DIVISION 1, SECTION 01040, PROJECT COORDINATION, DIVISION 21 AND 23 MECHANICAL, AND DIVISION 26 TO 28 ELECTRICAL. REPAIRED SURFACES SHALL BE PREPARED TO RECEIVE NEW FINISHES AS DIRECTED ON THE ROOM FINISH DRAWINGS OR AS OTHERWISE DIRECTED BY THE CONSULTANT.
- THE OWNER SHALL BE RESPONSIBLE FOR REMOVING ALL EXISTING FURNITURE, FITMENTS AND EQUIPMENT FROM THE AREAS BEING DEMOLISHED PRIOR TO COMMENCEMENT OF DEMOLITION.
- REMOVE ALL HAZARDOUS MATERIALS PRIOR TO DEMOLITION.
- ARCHITECTURAL DEMOLITION DRAWINGS ARE TO BE READ IN CONJUNCTION WITH MECHANICAL, ELECTRICAL, AND STRUCTURAL DEMOLITION DRAWINGS.

DEMOLITION KEY NOTES

- PROVIDE TEMPORARY RIGID DUST SCREENS AND PLATFORM ABOVE ELEVATOR ENTRANCE AND EXIT AS REQUIRED TO SEPARATE THE CONSTRUCTION AREA WITH THE CORRIDOR. MAINTAIN UNOBSTRUCTED ACCESS TO EXIT STAIR AND ELEVATOR AS REQUIRED. DUST SCREEN SHALL CONSIST OF 16mm GYPSUM WALL BOARD ON THE PUBLIC SIDE, ON STEEL STUD FRAMING 400mm O.C. COMPLETE WITH 75mm SOUND ATTENUATION BATTS BETWEEN STUDS AND 4 MIL. POLYETHYLENE AND 13mm PLYWOOD ON THE CONSTRUCTION SIDE. ENCLOSE BOTTOM OF PLATFORM TO CAPTURE DUST AND CONSTRUCTION DEBRIS. ALL JOINTS SHALL BE TAPED. THESE SCREENS SHALL BE MAINTAINED AT ALL TIMES UNTIL COMPLETION OF THE WORK AREA, THEN THEY MAY BE REMOVED. PROVIDE LOCKABLE SIDE DOORS ON FRAMES AND HARDWARE IN TEMPORARY PARTITIONS. EXTENT AND LAYOUT OF SCREENS AND PLATFORM TO BE DETERMINED BY THE CONTRACTOR.
- PROVIDE TEMPORARY DUST MATS ON FLOOR. MATS SHALL BE SECURELY ADHERED TO THE FLOOR DURING CONSTRUCTION. ALL CONSTRUCTION ENTRY POINTS SHALL HAVE A DUST MAT PROVIDED TO CONTROL TRANSMISSION OF DUST PARTICLES.
- PROVIDE TEMPORARY PROTECTION FOR EXISTING GLASS GUARDS, GLASS WALL AND ENTRANCE SYSTEM DURING CONSTRUCTION.
- WASTE ROUTE VIA EXISTING EXTERIOR DOORWAY. PROVIDE TEMPORARY PROTECTION FOR EXISTING DOOR, DOOR FRAME AND ADJACENT GLAZED CURTAIN WALL FRAMES.
- REMOVE AND DISPOSE EXISTING FLOORING AND WALL BASE IN ITS ENTIRETY WITHIN RENOVATION AREA. PREPARE FLOOR AND WALL AS REQUIRED TO ACCEPT NEW FINISHES IN ACCORDANCE TO A-700 SERIES DRAWINGS.
- REMOVE AND DISPOSE EXISTING SUSPENDED ACOUSTICAL AND GYPSUM BOARD CEILINGS IN ITS ENTIRETY UNLESS OTHERWISE NOTED. PROVIDE NEW CEILINGS AS INDICATED IN THE REFLECTED CEILING PLANS OR ROOM FINISH SYMBOLS. PATCH, REPAIR AND MAKE GOOD ANY EXISTING TO REMAIN CEILINGS THAT MAY HAVE BEEN DAMAGED FROM ADJACENT DEMOLITION.
- REMOVE AND DISPOSE EXISTING DOOR AND FRAME COMPLETE WITH ALL ASSOCIATED HARDWARE.
- REMOVE AND DISPOSE EXISTING GLASS WALL SYSTEM. PATCH, REPAIR AND MAKE GOOD ADJACENT SURFACES AS REQUIRED TO ACCEPT NEW FINISHES IN ACCORDANCE TO A-700 SERIES DRAWINGS.
- CAREFULLY REMOVE AND SALVAGE PORTION OF THE EXISTING GUARD FOR REUSE, MODIFICATION AND REFINISHING. REFER ELEVATION 19 ON DRAWING A-522 AND SECTION DETAIL 10 ON DRAWING A-411 FOR DETAILS. REMOVE AND DISPOSE REMAINING EXISTING GUARDS.
- REMOVE AND DISPOSE EXISTING FLOOR-MOUNTED GUARD. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED TO ACCEPT NEW FINISHES AND TO FACILITATE CONSTRUCTION OF NEW PARTITION.
- REMOVE AND DISPOSE EXISTING GUARD WALL-MOUNTED HANDRAIL. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED TO ACCEPT NEW FINISHES IN ACCORDANCE TO A-700 SERIES DRAWINGS.
- SAWCUT, REMOVE AND DISPOSE PORTION OF EXISTING CASE-IN-PLACE CONCRETE STAIRCASE PER EXTENT SHOWN IN A-200 AND A-400 SERIES DRAWINGS. CAREFULLY REMOVE EXISTING INTERMEDIATE HANDRAIL FOR REUSE AND REFINISHING. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES AS REQUIRED TO ACCEPT NEW FINISHES IN ACCORDANCE TO A-700 SERIES DRAWINGS.
- REMOVE AND DISPOSE ALL EXISTING REMOVABLE WOOD PANELS ALONG WALL BETWEEN UPPER AND LOWER FLOOR LEVELS.
- CAREFULLY REMOVE AND TURN OVER TO OWNER EXISTING FITMENTS WITHIN RENOVATION AREA, INCLUDING BUT NOT LIMITED TO SIGNAGE, CLOCKS, CCTV CAMERAS, TVs AND PROJECTION SCREEN.
- REMOVE AND DISPOSE ALL EXISTING METAL ENCLOSURES OF CONVECTION HEATERS. REFER TO ELECTRICAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION ON NEW ENCLOSURES.
- PARTIALLY REMOVE AND DISPOSE EXISTING SUSPENDED GYPSUM BOARD CEILING AS REQUIRED FOR INSTALLING NEW CHILLED WATER SUPPLY AND RETURN PIPES AND CONDENSATE DRAIN OF NEW FANCOIL UNIT.
- PROVIDE OPENING IN EXISTING SERVICE SHAFT AS REQUIRED TO PROVIDE NEW CONNECTIONS TO EXISTING CHILLED WATER SUPPLY AND RETURN RISERS FOR NEW FANCOIL UNIT. INFILL OPENING TO MATCH EXISTING WALL CONSTRUCTION AND PROVIDE FIRESTOP AROUND THE NEW CONNECTIONS. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- CORE-DRILL EXISTING WALL AS REQUIRED TO FOR INSTALLING NEW CONDENSATE DRAIN OF NEW FANCOIL UNIT. PATCH, REPAIR AND SEAL AROUND WALL PENETRATION AS REQUIRED.
- SAWCUT EXISTING CONCRETE FLOOR SLAB AS REQUIRED FOR PROVIDING NEW ELECTRICAL AND DATA CONNECTIONS TO COMPUTER TABLES AND LECTERNS (SUPPLY AND INSTALLED BY OWNER); COORDINATE WITH FURNITURE SHOP DRAWINGS FOR EXTENT OF SAWCUT. PATCH, REPAIR AND MAKE GOOD FLOOR SURFACE TO ACCEPT NEW FLOORING. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- PARTIALLY REMOVE AND DISPOSE EXISTING GYPSUM WALLBOARD AT EXISTING SUSPENDED CEILING ALONG EXISTING GLASS WALL, AND MODIFY EXISTING METAL STUD FRAMING TO ACCEPT NEW STUD FRAMING FOR FACILITATING INSTALLATION OF NEW MOTORIZED ROLLER SHADES AND METAL STUD BRACING. REFER TO WALL SECTION IN DRAWING A-401 FOR ADDITIONAL INFORMATION ON CEILING REMOVAL AND ASSOCIATED NEW WORK.
- REMOVE EXISTING MECHANICAL FIXTURES AND DEVICES FROM EXISTING CEILINGS, AND SELECT DUCTWORK AND PIPING ABOVE CEILINGS WITHIN RENOVATION AREA. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES OF THE CAST-IN-PLACE CONCRETE FLOOR SLAB ABOVE. REFER TO MECHANICAL DRAWINGS FOR SCOPE OF DUCTWORK REMOVAL.
- REMOVE EXISTING SPRINKLER HEADS FROM EXISTING CEILINGS AND SELECT PIPING ABOVE CEILINGS WITHIN RENOVATION AREA. PATCH, REPAIR AND MAKE GOOD AFFECTED SURFACES OF THE CAST-IN-PLACE CONCRETE FLOOR SLAB ABOVE. REFER TO MECHANICAL DRAWINGS FOR SCOPE OF SPRINKLER PIPE REMOVAL.
- REMOVE EXISTING ELECTRICAL DEVICES FROM EXISTING WALLS WITHIN RENOVATION AREA, INCLUDING BUT NOT LIMITED TO SWITCHES, FIRE ALARM DEVICES, RECEPTACLES, OUTLETS AND ASSOCIATED WIRING ETC. PER ELECTRICAL DRAWINGS. PATCH, REPAIR, AND MAKE GOOD ALL AFFECTED SURFACES TO RECEIVE NEW FINISH OR CONCEAL ABANDONED OUTLETS WITH BLANK PLATES. REFER TO ELECTRICAL DRAWINGS FOR SCOPE OF REMOVAL AND DISCONNECTION.
- REMOVE EXISTING ELECTRICAL DEVICES FROM EXISTING CEILINGS WITHIN RENOVATION AREA, INCLUDING BUT NOT LIMITED TO LIGHT FIXTURES, SENSORS AND CONTROLS AND ASSOCIATED WIRING ABOVE CEILINGS ETC.. REFER TO ELECTRICAL DRAWINGS FOR SCOPE OF REMOVAL AND DISCONNECTION.
- REMOVE EXISTING WALL MOUNTED ELECTRICAL RACEWAY. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- REMOVE AND REUSE EXISTING ELECTRICAL DEVICES FROM EXISTING CEILINGS WITHIN RENOVATION AREA INCLUDING BUT NOT LIMITED TO LIGHT FIXTURES, SENSORS AND CONTROLS AND ASSOCIATED WIRING ABOVE CEILINGS ETC.. REINSTALL WHEN WORK IS COMPLETED. REFER TO ELECTRICAL.



DEMOLITION - FLOOR PLAN

1 : 100



SCOTIA BANK HALL RENOVATION

tillmann
architects ruth
robinson



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No.	ISSUED FOR	DATE
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1	BUILDING PERMIT	2025-03-14


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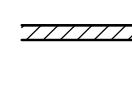
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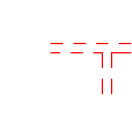
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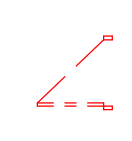
DEMOLITION GENERAL NOTES

 TEMPORARY RIGID DUST SCREEN

 EXISTING TO REMAIN PROTECTED AT ALL TIMES

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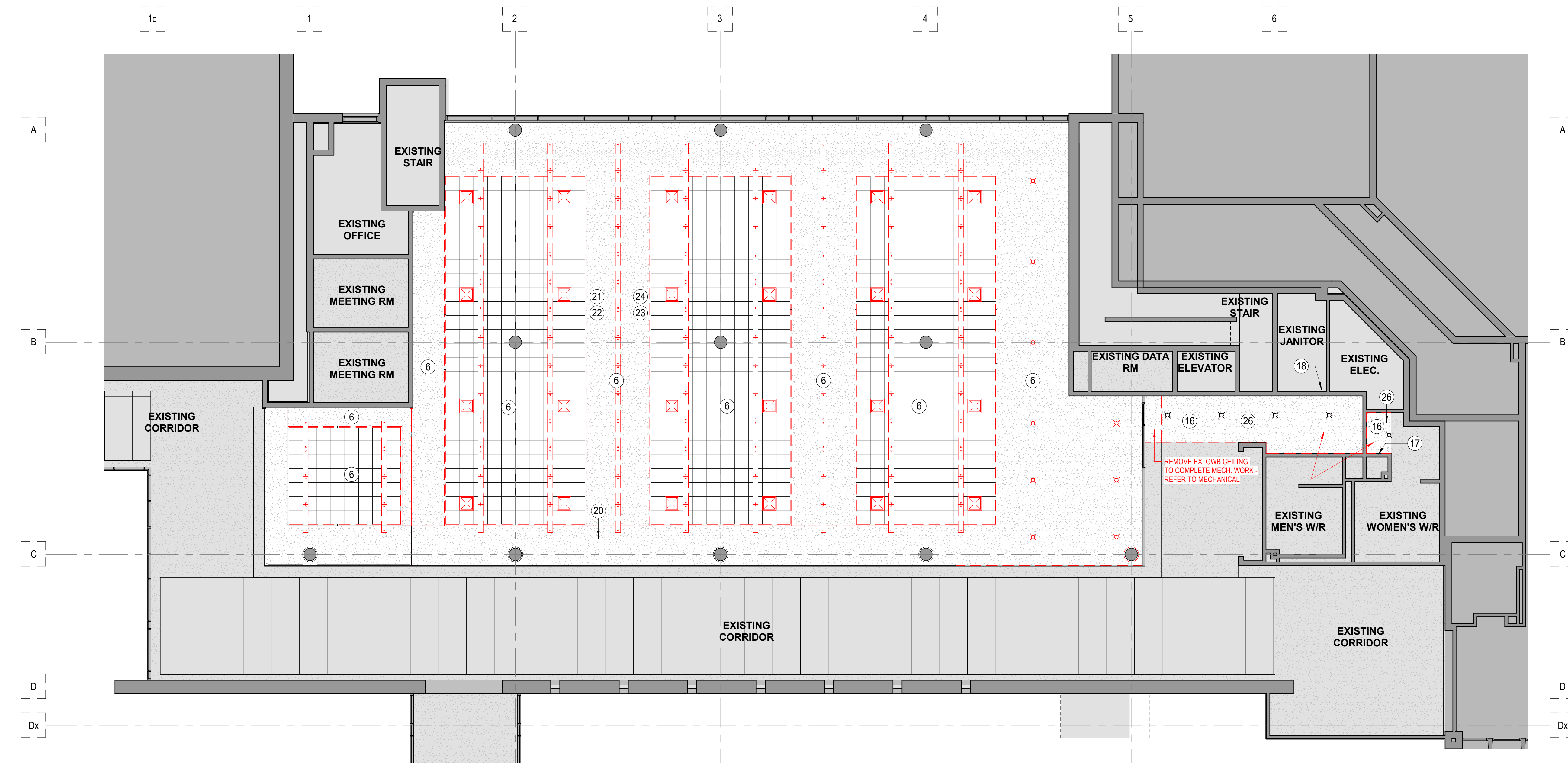
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- REMOVE EXISTING WALL MOUNTED ELECTRICAL RACEWAY. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- REMOVE AND REUSE EXISTING ELECTRICAL DEVICES FROM EXISTING CEILINGS WITHIN RENOVATION AREA INCLUDING BUT NOT LIMITED TO LIGHT FIXTURES, SENSORS AND CONTROLS AND ASSOCIATED WIRING ABOVE CEILINGS ETC.. REINSTALL WHEN WORK IS COMPLETED. REFER TO ELECTRICAL.



DEMOLITION - REFLECTED CEILING PLAN

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SCOTIA BANK HALL RENOVATION



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2	ISSUE FOR TENDER	2025-03-21
1	BUILDING PERMIT	2025-03-14

DRAWING TITLE:

DEMOLITION - RCP

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