

ROOM FINISH SCHEDULE							
ROOM NAME	CEILING HEIGHT (Meters)	WALLS				CEILING	REMARKS
		NORTH	EAST	SOUTH	WEST		
Vestibule 1	2.9	PT1	PT1	PT1	PT1		Do not paint aluminium door frames and window frames. Do not paint stone wall and stone tiles. This room is a Separate Price Item.
Lobby	6.8	PT1 / PT4	PT1	PT1 / PT4	PT1	PT4	Do not paint on slopes and tiles. Paint wood beams and columns PT4. They are a Separate Price Item.
Vestibule 2	2.9	PT1	PT1	PT1	PT1	PT6	Do not paint aluminium door frames and window frames. Do not paint stone wall and stone tiles. This room is a Separate Price Item.
Club Room	2.8	PT1 / PT4	PT1 / PT4	PT1 / PT4	PT1 / PT4	PT4 / PT6	Paint all previously painted radiators to match the wall colour. Paint beams and columns PT4. To prep walls, remove all loose and peeling paint before starting work.
Washroom 1	2.8	PT1	PT1	PT1	PT1	PT6	
Women's Washroom 1	2.8	PT1	PT1	PT1	PT1	PT4 / PT6	Do not paint on partitions and tiles. Paint beams PT4.
Men's Washroom 1	2.8	PT1	PT1	PT1	PT1	PT4 / PT6	Do not paint on partitions and tiles. Paint beams PT4.
Corridor	2.7	PT1 / PT4	PT1 / PT4	PT1 / PT4	PT1 / PT4	PT4 / PT6	Do not paint on Acoustic Ceiling Tiles. Do not paint on counter and wood wall panels. Paint all beams and columns PT4.
Corridor 1	2.7	PT1	PT1	PT1	PT1	PT6	
Coal Room	2.7	PT1	PT1	PT1	PT1		This room is a Separate Price Item. Do not paint on counter.
Box Office	2.7	PT1	PT1	PT1	PT1	PT4	Do not paint on counter. Paint beam PT4.
Office 3	2.7	PT1	PT1	PT1	PT1	PT4	This room is a Separate Price Item. Paint beam PT4.
Office 1	2.7	PT1 / PT4	PT1 / PT4	PT1 / PT4	PT1 / PT4	PT4	Paint beams and columns PT4.
Servery 1	2.8	PT1	PT1	PT1	PT1	PT4 / PT6	Do not paint on stone wall, counter and millwork. Paint beam PT4.
Daycare	2.6	PT1 / PT3 / PT4	PT1 / PT3 / PT4	PT1 / PT4	PT5 / PT4	PT4	Do not paint stone tile and millwork. Paint all previously painted partitions the same as the wall colour. Paint beams and columns PT4.
Washroom 2	2.8	PT1	PT1	PT1	PT1	PT6	
Ball Room	3.5	PT1 / PT2	PT1 / PT2 / PT3	PT1	PT1 / PT2 / PT3	PT6	Do not paint on slopes.
Vestibule 3	2.9	PT1	PT1	PT1	PT1	PT6	
Women's Washroom 2	2.8	PT1	PT1	PT1	PT1	PT6	Do not paint on partitions and tiles.
Men's Washroom 2	2.8	PT1	PT1	PT1	PT1	PT6	Do not paint on partitions and tiles.
Bridge	2.5	PT1	PT1	PT1	PT1		Paint railing and side of bridge PT1.
South Room	3.1	PT6	PT1 / PT2	PT1 / PT2	PT1 / PT2	PT6	Do not paint on wood part of railing, only paint metal portion PT2. Paint all previously painted radiators the same as the wall colour.
Servery 2	3.1	PT1 / PT2	PT1	PT1	PT1		Paint window frame casing. Do not paint on millwork.
Bar	3.1	PT1	PT1	PT1 / PT2	PT1		Do not paint on bar table.
Mezzanine	3.4	PT1	PT1	PT1	PT1	PT4 / PT6	Do not paint lower half of the wall, only paint wall area above the window sills. Do not paint or repair HVAC covers. Paint all beams PT4. Paint four (4) hanging light fixtures PT4.

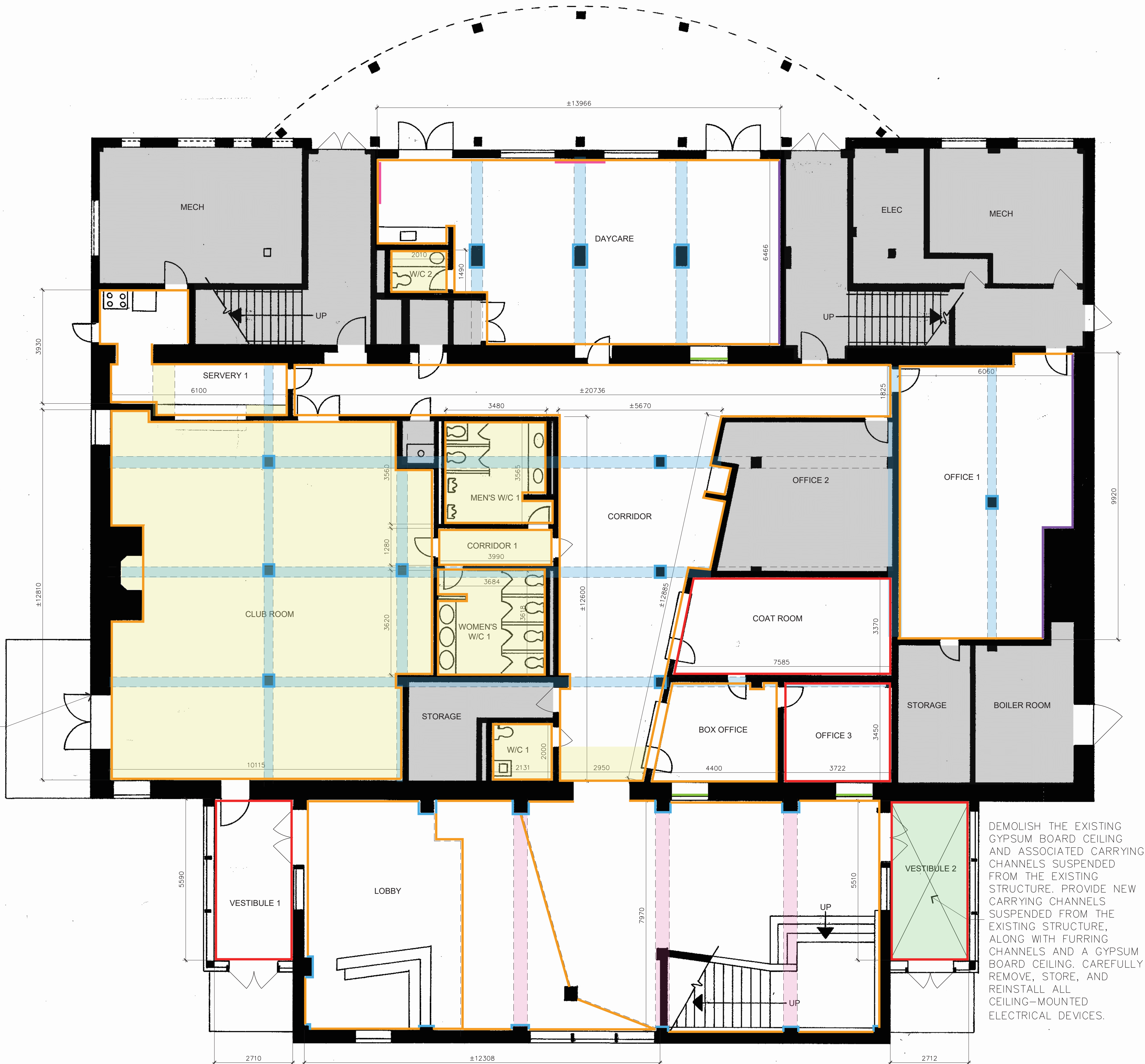
ROOM FINISH SCHEDULE GENERAL NOTES (TYPICAL):

1. VERIFY THE CONDITION OF ALL SURFACES PRIOR TO PAINTING.
2. PATCH AND MAKE GOOD ALL EXISTING SURFACES AS REQUIRED TO ACHIEVE A UNIFORM AND CONTINUOUS APPEARANCE.
3. PATCH AND MAKE GOOD ALL EXISTING CEILINGS TO ACHIEVE A UNIFORM AND CONTINUOUS APPEARANCE.
4. ENSURE ALL PAINTED SURFACES ARE FREE OF DUST AND DEBRIS BEFORE PAINTING.
5. MASK AND COVER ALL VENTURES, SWITCHES, AND OUTLETS BEFORE PAINTING.
6. USE DROP CLOTHS AND PROTECTIVE SHEETING TO COVER FLOORS, FURNITURE, EQUIPMENT AND ETC.
7. PROTECT ALL ADJACENT SURFACES FROM PAINT SPATTERS AND DRIPS.
8. USE ONLY APPROVED PAINT MATERIALS AND COLORS AS SPECIFIED.
9. PAINT ALL WALL AND FRAME SURFACES.
10. PAINT BOTH SIDES OF ALL DOOR AND WINDOW FRAME SURFACES.
11. PAINT ALL PAINTABLE AND PREVIOUSLY PAINTED DOORS AND FRAMES.
12. PAINT ALL BULKHEADS, HORIZONTAL, AND VERTICAL SURFACES.
13. PAINT ALL PREVIOUSLY PAINTED SURFACES TO MAINTAIN CONSISTENCY AND COVERAGE.
14. ENSURE ALL PAINT LAYERS ARE EVEN AND CONSISTENT IN COLOR.
15. ALLOW SUFFICIENT DRYING TIME BETWEEN COATS AS PER MANUFACTURER'S INSTRUCTIONS.
16. DO NOT PAINT ANY FIRE ALARMS OR LIFE SAFETY DEVICES.
17. DO NOT PAINT ON NATURAL WOOD TEXTURE AREAS.
18. DO NOT PAINT ANY SCREWED-ON DEVICES.
19. DO NOT PAINT ANY WALL TILES UNLESS OTHERWISE NOTED.
20. DO NOT PAINT MILLWORK UNLESS OTHERWISE NOTED.
21. DO NOT PAINT ON OUTLETS AND COVER AD BUTTONS.
22. DO NOT PAINT ON WATER FOUNTAIN.
23. DO NOT PAINT ON WOOD TEXTURE RAILINGS, LIGHTING COVERS, ETC.
24. REMOVE, SALVAGE, STORE, AND REINSTALL ALL SIGNS AFTER PAINTING.
25. REMOVE, SALVAGE, STORE, AND REINSTALL ALL WALL-MOUNTED BULLETIN BOARDS AFTER PAINTING.
26. REMOVE, SALVAGE, STORE, AND REINSTALL ALL WALL-MOUNTED ACCESSORIES IN WASHROOMS AND OTHER ROOMS AFTER PAINTING.
27. REMOVE, SALVAGE, STORE, AND REINSTALL ALL WALL-MOUNTED ITEMS SUCH AS SIGNAGE THAT ARE LESS THAN 12 FT X 12 FT AFTER PAINTING.
28. PROVIDE PROPER VENTILATION IN AREAS BEING PAINTED TO INSURE SAFETY.
29. ALL PAINTING WORK MUST COMPLY WITH LOCAL BUILDING CODES AND STANDARDS.
30. MAINTAIN A CLEAN AND ORGANIZED WORK AREA THROUGHOUT THE PAINTING PROCESS.
31. CLEAN AND DISPOSE OF ALL PAINTING MATERIALS AND WASTE ACCORDING TO ENVIRONMENTAL REGULATIONS.
32. PROVIDE TOUCH-UP PAINT FOR FUTURE USE BY THE OWNER.
33. DOCUMENT ANY CHANGES OR DEVIATIONS FROM THE ORIGINAL PAINTING PLAN.
34. REMOVE ALL PAINTING EQUIPMENT AND MATERIALS FROM THE SITE UPON COMPLETION.
35. CONDUCT A FINAL INSPECTION WITH THE PROJECT MANAGER TO ENSURE ALL PAINTING WORK MEETS QUALITY STANDARDS AS PER THE SPECIFICATIONS.
36. ENSURE ALL PAINTING WORK IS SUPERVISED BY QUALIFIED AND EXPERIENCED PERSONNEL.
37. REMOVE ANY LOOSE OR PEELING PAINT FROM WALLS, FLOORS, CEILINGS, AND STEPS. PATCH AND REPAIR ANY DENTS, CRACKS, OR IMPERFECTIONS IN WALLS, PRIME AND PAINT WALLS, CEILINGS, AND SURFACES.
38. KEEP CORRIDORS AND COMMON AREAS CLEAN. THIS BUILDING WILL REMAIN OCCUPIED AND FULLY OPERATIONAL FOR THE DURATION OF THIS PROJECT.
39. THE CONTRACTOR IS TO INCLUDE THE REMOVAL AND REINSTALLATION OF WALL-MOUNTED ITEMS AS REQUIRED TO COMPLETE THIS FULL SCOPE OF WORK. THE CONTRACTOR MUST CONFIRM REQUIREMENTS DURING SITE VISITS.
40. REMOVE EXISTING ADHESIVE, CALKING, AND PAINT LINES FROM THE BASE OF EXISTING WALLS FOR INSTALLATION OF NEW OR REINSTALLED RUBBER BASE MATERIALS. SKIM COAT AS REQUIRED.
41. MECHANICAL AND ELECTRICAL DEVICES SUCH AS LIGHTING ARE NOT INDICATED ON THE DRAWINGS. CONTRACTOR SHALL CUT-IN AROUND ALL EXISTING LIGHT FIXTURES IN A MANNER SO THAT PAINT LINES ARE NOT VISIBLE.
42. ALL WORK SHALL BE PERFORMED DURING THE DAY TIME WITH TIME TO ALLOW SURFACES TO DRY PRIOR TO DAILY OCCUPANCY.
43. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND MANAGING THE MOVING OF FURNITURE AND EQUIPMENT, INCLUDING GYM EXERCISE EQUIPMENT, FOLLOWING THE COMPLETION OF PAINTING. THIS INCLUDES SAFELY REMOVING, STORING AND REINSTALLING THE EQUIPMENT TO ITS ORIGINAL CONDITION. THE CONTRACTOR MUST ENSURE THAT ALL EQUIPMENT IS PROPERLY RESTORED AND SECURELY REASSEMBLED TO ENSURE THE SAFETY OF USERS. ADDITIONALLY, A THIRD-PARTY SAFETY INSPECTION IS REQUIRED.
44. PAINT ALL EXPOSED STEEL BRACKETS.
45. REMOVE, DISCONNECT, STORE, AND REINSTALL ALL ELECTRICAL DEVICES SUCH AS TV's, POS SYSTEM, COMPUTERS, PHOTOCOPIERS, ETC.
46. CONTRACTOR TO REMOVE EXISTING SEALANTS AND PROVIDE NEW SEALANTS AT ALL MATERIAL JUNCTIONS. ENSURE THAT ALL JUNCTIONS ARE PROPERLY CLEANED AND PREPARED BEFORE APPLYING NEW SEALANTS. VERIFY THAT ALL SEALANT MATERIALS ARE COMPATIBLE WITH ADJACENT SURFACES AND MEET PROJECT REQUIREMENTS, IN ACCORDANCE WITH SECTION D7.91.00.
47. CONTRACTOR SHALL PAINT ALL EXPOSED MECHANICAL DUCTWORK TO MATCH THE ADJACENT SURFACES, UNLESS OTHERWISE NOTED ON THE DRAWING OR ROOM FINISHING SCHEDULE.
48. CONTRACTOR SHALL PAINT ALL PREVIOUSLY PAINTED RADIATORS TO MATCH THE ADJACENT SURFACES, UNLESS OTHERWISE NOTED ON THE DRAWING OR ROOM FINISHING SCHEDULE.
49. DO NOT PAINT OVER FIRE-RATED LABELS ON DOORS AND DOOR FRAMES, REGARDLESS OF WHETHER THEY HAVE BEEN PREVIOUSLY PAINTED.

COLOUR FINISH SCHEDULE

	Colour	Sheen	Location	Sample
PT1	Benjamin Moore CSP-250 "Dulce de Leche"	<i>Eggshell / Semi-gloss</i>	Interior Walls	PT1
PT2	Benjamin Moore HC-170 "Stonington Grey"	<i>Semi-gloss</i>	Metal Hollow Frames All Door (Both Sides)	PT2
PT3	Benjamin Moore CSP-250 "Dulce de Leche"	<i>Semi-gloss</i>	Radiators	PT3
PT4	Benjamin Moore 2129-40 "Normandy"	<i>Semi-gloss</i>	Wood Beams and Columns	PT4
PT5	Sherwin Williams SW 6213 "Haloyn Green"	<i>Eggshell / Semi-gloss</i>	Interior Walls Radiators	PT5
PT6	White	<i>Eggshell / Semi-gloss</i>	Interior Ceiling	PT6

CAREFULLY REMOVE AND REPLACE HOLLOW METAL DOOR FRAME.



CHERIE NG ARCHITECT INC.
www.cherieng.com
t. 416.898.1979

general notes :

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2. Drawings are not to be used for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.

3. Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as per directed by the Architect.

LEGEND:

- OUTSIDE OF SCOPE
- DOOR: DO NOT PAINT
- PAINT DOOR & FRAMES BOTH SIDES

- PT1 Colour #1
- PT2 Colour #2
- PT3 Colour #3
- PT4 Colour #4
- PT5 Colour #5
- PT6 Colour #6

SEPARATE PRICE:

- PT1 Colour #1
- PT4 Colour #4
- PT6 Colour #6

ISSUED FOR ADDENDUM NO.1 08 APRIL 2025
ISSUED FOR TENDER 01 NOVEMBER 2024
revision date

WEST ROUGE COMMUNITY CENTRE PAINTING ENHANCEMENT
Address: 270 ROUGE HILLS DR, SCARBOROUGH
GROUND FLOOR - PLAN

project no. : 2419
scale : 1/75
date : APRIL 2025

drawing no. :

A2.1

general notes :

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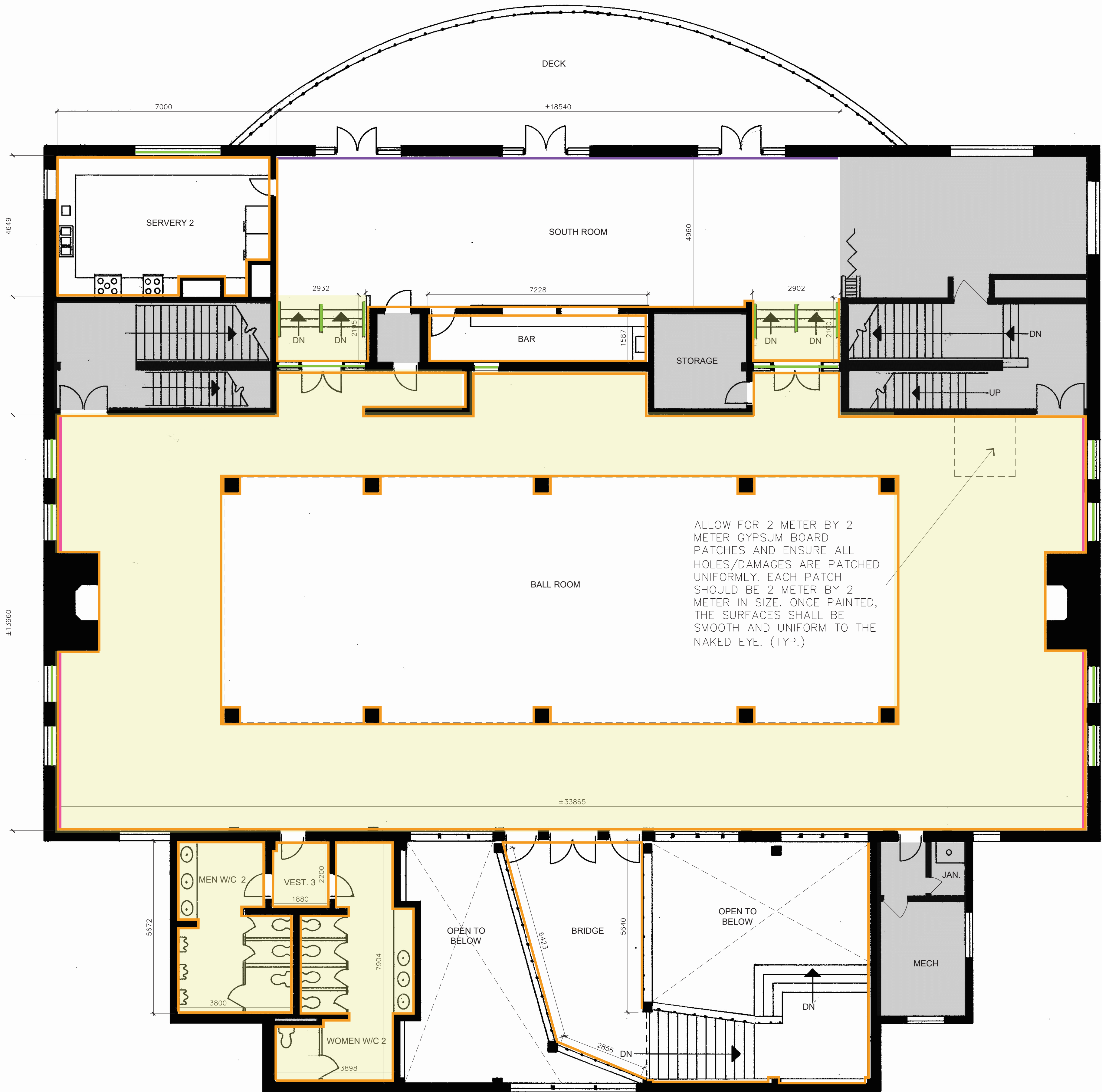
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- OUTSIDE OF SCOPE
DOOR: DO NOT PAINT
PAINT DOOR & FRAMES BOTH SIDES

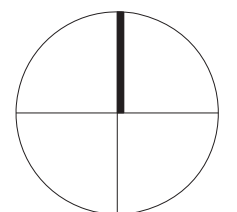
- PT1 Colour #1
PT2 Colour #2
PT3 Colour #3
PT4 Colour #4
PT5 Colour #5
PT6 Colour #6

SEPARATE PRICE:

- PT1 Colour #1
PT4 Colour #4
PT6 Colour #6



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revision	date



WEST ROUGE
COMMUNITY CENTRE
PAINTING ENHANCEMENT
Address: 270 ROUGE HILLS DR, SCARBOROUGH
SECOND FLOOR -
PLAN

project no. : 2419
scale : 1/75
date : APRIL 2025

drawing no. :

A2.2

- general notes :
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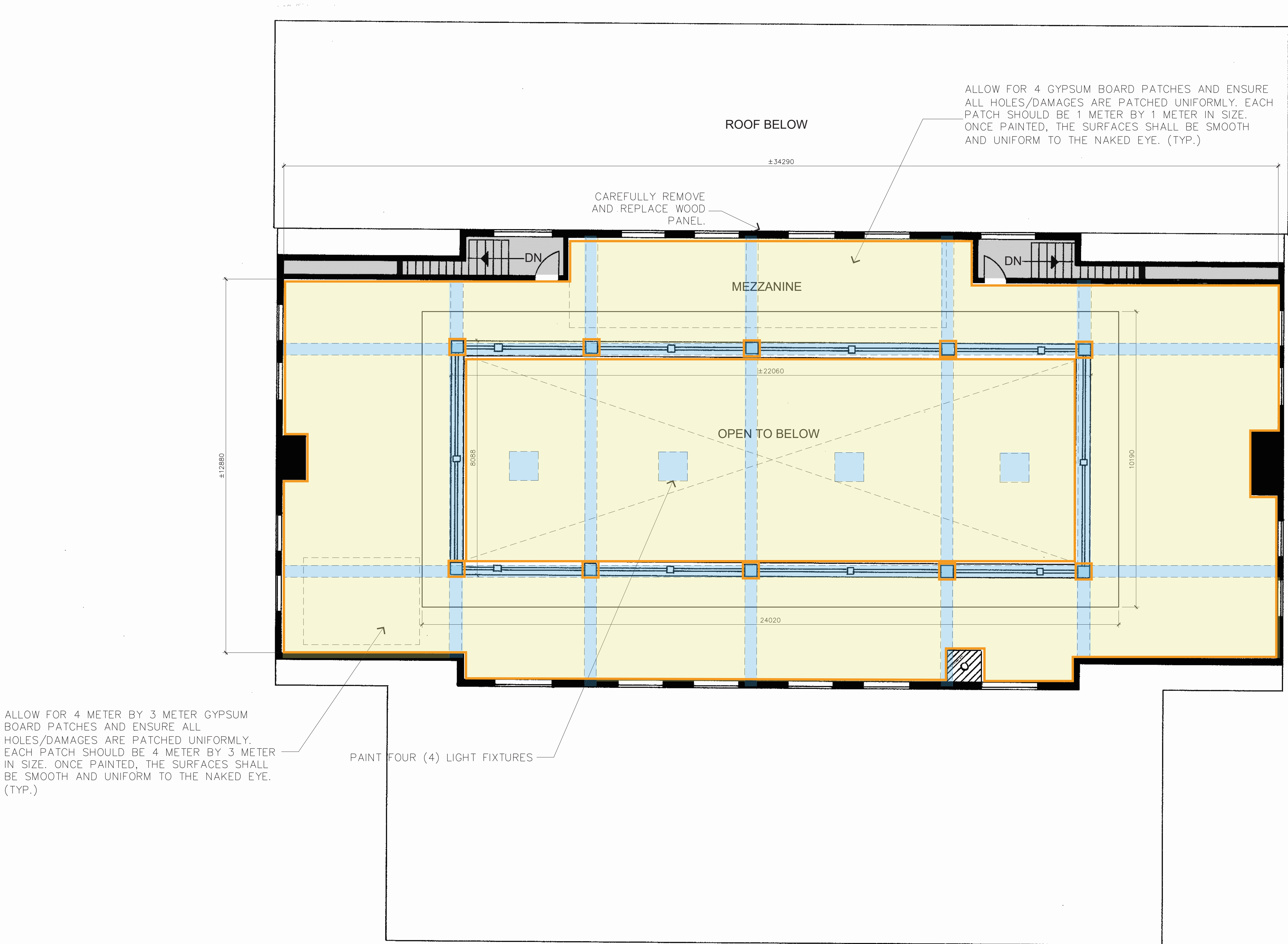
LEGEND:

- OUTSIDE OF SCOPE
DOOR: DO NOT PAINT
PAINT DOOR & FRAMES BOTH SIDES

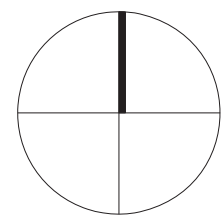
- PT1 Colour #1
PT2 Colour #2
PT3 Colour #3
PT4 Colour #4
PT5 Colour #5
PT6 Colour #6

SEPARATE PRICE:

- PT1 Colour #1
PT4 Colour #4
PT6 Colour #6



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revision	date



WEST ROUGE
COMMUNITY CENTRE
PAINTING ENHANCEMENT
Address: 270 ROUGE HILLS DR, SCARBOROUGH
MEZZANINE FLOOR -
PLAN

project no. : 2419
scale : 1/75
date : APRIL 2025

drawing no. :

A2.3