

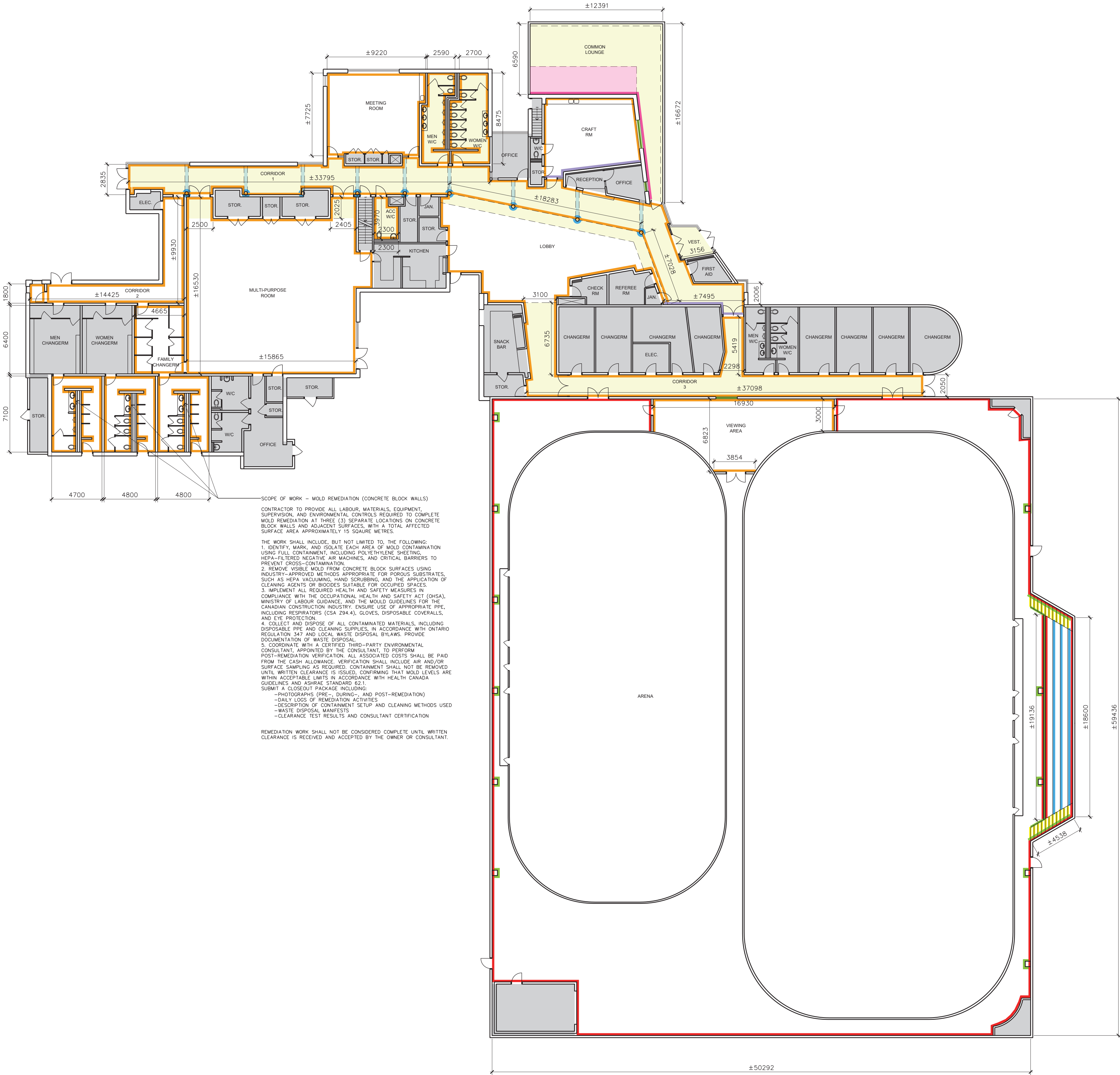
ROOM FINISH SCHEDULE								
ROOM NAME	CEILING HEIGHT	FLOOR	WALLS				CEILING	REMARKS
			NORTH	EAST	SOUTH	WEST		
Vestibule	3.1						PT8	Do not paint stone and aluminum metal frames.
Lobby	6.7		PT1	PT1	PT1 / PT7	PT1	PT5 / PT8	Do not paint stone, aluminum metal frames, overhead doors, red laminate doors and acoustic ceiling tiles.
Common Lounge	4.5				PT4	PT4 / PT2	PT4 / PT8	Do not paint window or door frames. Only paint gypsum wall and ceiling.
Craft Room	3.4		PT1	PT1 / PT2	PT7	PT1		Do not paint ACT.
Men's Washroom	2.9		PT1	PT1	PT1	PT1	PT8	
Women's Washroom	2.9		PT1	PT1	PT1	PT1	PT8	
Accessible Washroom	2.8		PT1	PT1	PT1	PT1	PT8	
Meeting Room	3.4		PT1	PT1	PT1	PT1	PT1	Do not paint red laminate doors and millwork, only the frames.
Multi-purpose Room	3.9		PT1	PT1	PT1	PT1	PT8	Do not paint red laminate doors and millwork, only the frames. Do not paint on ACT.
Corridor 1	6.7		PT1	PT1	PT1	PT1	PT1	
Corridor 2	3.3		PT1	PT1	PT1	PT1	PT1	PT8
Corridor 3	3.9		PT1	PT1	PT1	PT1	PT1	PT8
Family Changeroom	3.7		PT1	PT1	PT1	PT1	PT1	Do not on paint tiles. Do not paint partitions.
Women's Changeroom	3.7		PT1	PT1	PT1	PT1	PT1	Do not on paint tiles. Do not paint partitions.
Men's Changeroom	3.7		PT1	PT1	PT1	PT1	PT1	Do not on paint tiles. Do not paint partitions.
Viewing Area	3.2		PT1 / PT2	PT1	PT1	PT1	PT1	Do not on paint mural, block all murals and paint around. Only paint concrete block and previously painted portion of steel columns. Do not paint metal walls. Paint only wood benches in viewing area PT5 not concrete floor.
Arena	12.1	PT3 / PT5	PT6 / PT2	PT6 / PT2	PT6	PT6	PT6 / PT2	

ROOM FINISH SCHEDULE GENERAL NOTES (TYPICAL):

- VERIFY THE CONDITION OF ALL SURFACES PRIOR TO PAINTING.
- PATCH AND MAKE GOOD ALL EXISTING SURFACES AS REQUIRED TO ACHIEVE A UNIFORM AND CONTINUOUS APPEARANCE.
- PATCH AND MAKE GOOD ALL EXISTING CEILINGS TO ACHIEVE A UNIFORM AND CONTINUOUS APPEARANCE.
- ENSURE ALL PAINTED SURFACES ARE FREE OF DUST AND DEBRIS BEFORE PAINTING.
- MASK AND COVER ALL FIXTURES, SWITCHES, AND OUTLETS BEFORE PAINTING.
- USE DROP CLOTHS AND PROTECTIVE SHEETING TO COVER FLOORS, FURNITURE, EQUIPMENT AND ETC.
- PROTECT ALL ADJACENT SURFACES FROM PAINT SPLATTERS AND DRIPS.
- USE ONLY APPROVED PAINT MATERIALS AND COLORS AS SPECIFIED.
- PAINT ALL WALL AND FRAME SURFACES.
- PAINT BOTH SIDES OF ALL DOOR AND WINDOW FRAME SURFACES.
- PAINT ALL PAINTABLE AND PREVIOUSLY PAINTED DOORS AND FRAMES.
- PAINT ALL BULKHEADS, HORIZONTAL, AND VERTICAL SURFACES.
- PAINT ALL PREVIOUSLY PAINTED SURFACES TO MAINTAIN CONSISTENCY AND COVERAGE.
- ENSURE ALL PAINT LAYERS ARE EVEN AND CONSISTENT IN COLOR.
- ALLOW SUFFICIENT DRYING TIME BETWEEN COATS AS PER MANUFACTURER'S INSTRUCTIONS.
- DO NOT PAINT ANY FIRE ALARMS OR LIFE SAFETY DEVICES.
- DO NOT PAINT ON NATURAL WOOD TEXTURE AREAS.
- DO NOT PAINT ANY SCREWED-ON DEVICES.
- DO NOT PAINT ANY WALL TILES UNLESS OTHERWISE NOTED.
- DO NOT PAINT MILLWORK UNLESS OTHERWISE NOTED.
- DO NOT PAINT ON OUTLETS AND COVER AD BUTTONS.
- DO NOT PAINT ON WATER FOUNTAINS.
- DO NOT PAINT ON WOOD TEXTURE RAILINGS, LIGHTING COVERS, ETC.
- REMOVE, SALVAGE, STORE, AND REINSTALL ALL SIGNS AFTER PAINTING.
- REMOVE, SALVAGE, STORE, AND REINSTALL ALL WALL-MOUNTED BULLETIN BOARDS AFTER PAINTING.
- REMOVE, SALVAGE, STORE, AND REINSTALL ALL WALL-MOUNTED ACCESSORIES IN WASHROOMS AND OTHER ROOMS AFTER PAINTING.
- REMOVE, SALVAGE, STORE, AND REINSTALL ALL WALL-MOUNTED ITEMS SUCH AS SIGNAGE THAT ARE LESS THAN 12 FT X 12 FT AFTER PAINTING.
- PROVIDE PROPER VENTILATION IN AREAS BEING PAINTED TO ENSURE SAFETY.
- ALL PAINTING WORK MUST COMPLY WITH LOCAL BUILDING CODES AND STANDARDS.
- MAINTAIN A CLEAN AND ORGANIZED WORK AREA THROUGHOUT THE PAINTING PROCESS.
- CLEAN AND DISPOSE OF ALL PAINTING MATERIALS AND WASTE ACCORDING TO ENVIRONMENTAL REGULATIONS.
- PROVIDE TOUCH-UP PAINT FOR FUTURE USE BY THE OWNER.
- DOCUMENT ANY CHANGES OR DEVIATIONS FROM THE ORIGINAL PAINTING PLAN.
- REMOVE ALL PAINTING EQUIPMENT AND MATERIALS FROM THE SITE UPON COMPLETION.
- CONDUCT A FINAL INSPECTION WITH THE PROJECT MANAGER TO ENSURE ALL PAINTING WORK MEETS QUALITY STANDARDS AS PER THE SPECIFICATIONS.
- ENSURE ALL PAINTING WORK IS PERFORMED BY QUALIFIED AND EXPERIENCED PERSONNEL.
- REMOVE ANY LOOSE OR PEELING PAINT FROM WALLS, FLOORS, CEILINGS, AND STEPS. PATCH AND REPAIR ANY DENTS, CRACKS, OR IMPERFECTIONS IN WALLS, PRIME AND PAINT WALLS, CEILINGS, AND SURFACES.
- KEEP CORRIDORS AND COMMON AREAS CLEAN. THIS BUILDING WILL REMAIN OCCUPIED AND FULLY OPERATIONAL FOR THE DURATION OF THIS PROJECT.
- THE CONTRACTOR IS TO INCLUDE THE REMOVAL AND REINSTALLATION OF WALL-MOUNTED ITEMS AS REQUIRED TO COMPLETE THIS FULL SCOPE OF WORK. THE CONTRACTOR MUST CONFIRM REQUIREMENTS DURING SITE VISITS.
- REMOVE EXISTING ADHESIVE, CAULKING, AND PAINT LINES FROM THE BASE OF EXISTING WALLS FOR INSTALLATION OF NEW OR REINSTALLED RUBBER BASE MATERIALS. SKIM COAT AS REQUIRED.
- MECHANICAL AND ELECTRICAL DEVICES SUCH AS LIGHTING ARE NOT INDICATED ON THE DRAWINGS. CONTRACTOR SHALL CUT IN AROUND ALL EXISTING LIGHT FIXTURES IN A MANNER SO THAT PAINT LINES ARE NOT VISIBLE.
- ALL WORK SHALL BE PERFORMED DURING THE DAYTIME WITH TIME TO ALLOW SURFACES TO DRY PRIOR TO DAILY OCCUPANCY.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND MANAGING THE MOVING OF FURNITURE AND EQUIPMENT, FOLLOWING THE COMPLETION OF PAINTING. THIS INCLUDES SAFELY REMOVING, STORING AND REINSTALLING THE EQUIPMENT TO ITS ORIGINAL CONDITION. THE CONTRACTOR MUST ENSURE THAT ALL EQUIPMENT IS PROPERLY RESTORED AND SECURELY REASSEMBLED TO ENSURE THE SAFETY OF USERS. ADDITIONALLY, A THIRD-PARTY SAFETY INSPECTION IS REQUIRED.
- PAINT ALL EXPOSED STEEL BRACKETS.
- REMOVE, DISCONNECT, STORE, AND REINSTALL ALL ELECTRICAL DEVICES SUCH AS TV, POS SYSTEM, COMPUTERS, PHOTOCOPIERS, ETC.
- CONTRACTOR TO REMOVE EXISTING SEALANTS AND PROVIDE NEW SEALANTS AT ALL MATERIAL JUNCTIONS. ENSURE THAT ALL JUNCTIONS ARE PROPERLY CLEANED AND PREPARED BEFORE APPLYING NEW SEALANTS. VERIFY.
- CONTRACTOR SHALL PAINT ALL EXPOSED MECHANICAL DUCTWORK TO MATCH THE ADJACENT SURFACES, UNLESS OTHERWISE NOTED ON THE DRAWING OR ROOM FINISHING SCHEDULE.
- CONTRACTOR SHALL PAINT ALL PREVIOUSLY PAINTED RADATORS TO MATCH THE ADJACENT SURFACES, UNLESS OTHERWISE NOTED ON THE DRAWING OR ROOM FINISHING SCHEDULE.
- DO NOT PAINT OVER FIRE-RATED LABELS ON DOORS AND DOOR FRAMES, REGARDLESS OF WHETHER THEY HAVE BEEN PREVIOUSLY PAINTED.

COLOR FINISH SCHEDULE

	Colour	Sheen	Location	Sample
PT1	Benjamin Moore HC-173 "Edgecomb Gray"	Eggshell / Semi-gloss	Interior Walls	PT1
PT2	Sherwin Williams SW-7017 "Dorian Grey"	Semi-gloss	Metal Hollow Frames All Doors (Both Sides) Railings Steel Columns and X-Bracing	PT2
PT3	Traffic Yellow	Semi-gloss	Stair Nosing	PT3
PT4	Benjamin Moore 2059-40 "Santorini Blue"	Eggshell	Interior Walls	PT4
PT5	Sherwin Williams SW-9185 "Marea Baja"	Semi-gloss	Steel Columns Steel Beams Wood Benches	PT5
PT6	Benjamin Moore 2122 - 40 "Smoke"	Eggshell / Semi-gloss	Interior Walls	PT6
PT7	Benjamin Moore 2021-50 "Yellow Lotus"	Eggshell	Interior Walls	PT7
PT8	White	Eggshell / Semi-gloss	All Interior Gypsum Ceilings	PT8



SCOPE OF WORK - MOLD REMEDIATION (CONCRETE BLOCK WALLS)

CONTRACTOR TO PROVIDE ALL LABOUR, MATERIALS, EQUIPMENT, SUPERVISION, AND ENVIRONMENTAL CONTROLS REQUIRED TO COMPLETE MOLD REMEDIATION AT THREE (3) SEPARATE LOCATIONS ON CONCRETE BLOCK WALLS AND ADJACENT SURFACES, WITH A TOTAL AFFECTED SURFACE AREA APPROXIMATELY 15 SQUARE METRES.

THE WORK SHALL INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING:  
1. IDENTIFY, MARK, AND ISOLATE EACH AREA OF MOLD CONTAMINATION USING FULL CONTAINMENT, INCLUDING POLYETHYLENE SHEETING, HEPA-FILTERED NEGATIVE AIR MACHINES, AND CRITICAL BARRIERS TO PREVENT CROSS-CONTAMINATION.  
2. REMOVE VISIBLE MOLD FROM CONCRETE BLOCK SURFACES USING INDUSTRY-APPROVED METHODS APPROPRIATE FOR POROUS SUBSTRATES, SUCH AS HEPA VACUUMING, HAND SCRUBBING, AND THE APPLICATION OF CLEANING AGENTS OR PRODUCTS SUITABLE FOR OCCUPIED SPACES.  
3. IMPLEMENT ALL REQUIRED HEALTH AND SAFETY MEASURES IN COMPLIANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT (OHSA), MINISTRY OF LABOUR GUIDANCE, AND THE MOLD GUIDELINES FOR THE CANADIAN CONSTRUCTION INDUSTRY. ENSURE USE OF APPROPRIATE PPE, INCLUDING RESPIRATORS (CSA 294-4), GLOVES, DISPOSABLE COVERALLS, AND EYE PROTECTION.  
4. COLLECT AND DISPOSE OF ALL CONTAMINATED MATERIALS, INCLUDING DISPOSABLE PPE AND CLEANING SUPPLIES, IN ACCORDANCE WITH ONTARIO REGULATION 347 AND LOCAL WASTE DISPOSAL BYLAWS. PROVIDE DOCUMENTATION OF WASTE DISPOSAL.  
5. COORDINATE WITH A CERTIFIED THIRD-PARTY ENVIRONMENTAL CONSULTANT, APPOINTED BY THE CONSULTANT, TO PERFORM POST-REMEDIATION VERIFICATION. ALL ASSOCIATED COSTS SHALL BE PAID FROM THE CASH ALLOWANCE. VERIFICATION SHALL INCLUDE AIR AND/OR SURFACE SAMPLING AS REQUIRED. CONTAMINATION SHALL NOT BE REMOVED UNTIL WRITTEN CLEARANCE IS ISSUED, CONFIRMING THAT MOLD LEVELS ARE WITHIN ACCEPTABLE LIMITS IN ACCORDANCE WITH HEALTH CANADA GUIDELINES AND ASHRAE STANDARD 62.1.

SUBMIT A CLOSEOUT PACKAGE INCLUDING:  
- PHOTOGRAPHS (PRE-, DURING-, AND POST-REMEDIATION)  
- DAILY LOGS OF REMEDIATION ACTIVITIES  
- DESCRIPTION OF CONTAINMENT SETUP AND CLEANING METHODS USED  
- WASTE DISPOSAL MANIFESTS  
- CLEARANCE TEST RESULTS AND CONSULTANT CERTIFICATION

REMEDIATION WORK SHALL NOT BE CONSIDERED COMPLETE UNTIL WRITTEN CLEARANCE IS RECEIVED AND ACCEPTED BY THE OWNER OR CONSULTANT.

general notes :

1. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the misinterpretations of these documents by the Contractor. Upon written application the Architect will provide written / graphic clarification or supplemental information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

2. Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.

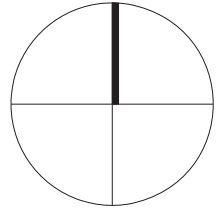
3. Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as per directed by the Architect.

LEGEND:

- OUTSIDE OF SCOPE
- DOOR: DO NOT PAINT
- PAINT DOOR & FRAMES BOTH SIDES

- PT1 Colour #1
- PT2 Colour #2
- PT3 Colour #3
- PT4 Colour #4
- PT5 Colour #5
- PT6 Colour #6
- PT7 Colour #7
- PT8 Colour #8

ISSUED FOR ADDENDUM NO.1	OR APRIL 2025
ISSUED FOR TENDER	OR NOVEMBER 2024
revision	date



McGREGOR PARK  
COMMUNITY CENTRE  
PAINTING ENHANCEMENT  
Address: 2231 LAWRENCE AVE E, SCARBOROUGH  
FLOOR PLAN /  
SCHEDULES

project no. : 2419  
scale : 1:200  
date : APRIL 2025

drawing no. :

A2.1