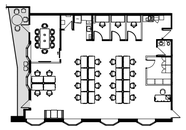
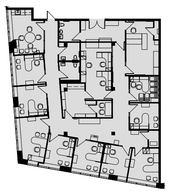
Interior Renovation

465 Davis Dr. Suite 301, Floor 3

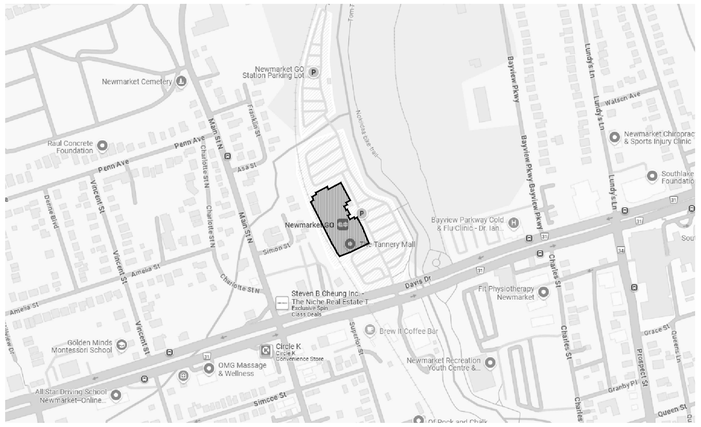
November 2024





KEY PLAN

SCALE: N.T.S.



SITE MAP

SCALE: N.T.S.

ARCHITECTURE (ID) - DRAWING LIST

SHEET NO.	SHEET TITLE
ID000	Cover Sheet
ID001	General Notes
ID002	Code Compliance Plan
ID101	Demolition Plan
ID102	Demolition Reflected Ceiling Plan
ID103	Furniture Removal Plan
ID201	Partition Plan
ID202	Finishes Plan
ID301	Reflected Ceiling Plan
ID401	Power & Communications Plan
ID501	Furniture Plan
ID601	Interior Elevations & Details
ID701	Door Schedule & Details

IO project number: 240256

BGIS - Direct Interiors project number: BGD6589081

Issued For: TENDER

No	Revisions	Date
4	ISSUED FOR TENDER	20250527
3	ISSUED FOR 99% COORDINATION	20250414
2	ISSUED FOR PS COORDINATION	20250404
1	ISSUED FOR 66% COORDINATION	20250305

Orientation

Seal

The Contractor shall check and verify all dimensions and report all errors and omissions to the IO–Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A / B — A Detail No; B Sheet No where detailed

BGIS

Infrastructure Ontario

Ministry PSIF Number

Project
INTERIOR RENOVATION

Location
465 DAVIS DR. SUITE 301, NEWMARKET, ON L3Y 7T9

IO Project No: 240256
Site No:
Building No: B25590

Client
INFRASTRUCTURE ONTARIO

Drawing Title
COVERSHEET

Scale: NTS	Project Start Date: 20241122
Drawn by: SY / DF	Substantial Performance Date: 20251030
Designed by: SY / DF	Drawing No: ID000 of 13
Approved by: JC	Floor No: F3

CADD File NAME

594x841mm

SUMMARY OF ALL WORK:

1. ALL WORK CARRIED OUT SHALL BE IN ACCORDANCE WITH ALL PROVINCIAL & MUNICIPAL REGULATIONS, LOCAL BY-LAWS AND ORDINANCES. NOTHING IN THE PLAN OR SPECIFICATIONS SHALL RELIEVE THE SUBCONTRACTOR FROM THIS RESPONSIBILITY.

2. IMMEDIATELY REPORT ANY UNEXPECTED DISCOVERY OF MATERIAL THAT MAY CONTAIN DESIGNATED MATERIALS (e.g. ASBESTOS). STOP WORK IN THE AREA UNTIL BUILDING OWNER OR PROPERTY MANAGER AUTHORIZES CONTINUATION OF WORK. ALL CLEAN UP, REMOVAL AND DISPOSAL OF DESIGNATED MATERIALS SHALL STRICTLY CONFORM TO THE REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION IN ONTARIO, COMPLY WITH ONTARIO MINISTRY OF LABOR REGULATIONS 278/05.

3. THE SUBCONTRACTOR SHALL APPLY FOR ALL PERMITS, PAY ALL FEES AND PERFORM ALL TESTING AS REQUIRED BY AUTHORITIES HAVING JURISDICTION REGARDING THE INSTALLATION AND INSPECTION OF WORK. BUILDING AND DEMOLITION PERMITS OBTAINED BY OTHERS.

4. ALL PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.

5. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE OCCUPATIONAL HEALTH AND SAFETY LEGISLATION AND REGULATIONS FOR CONSTRUCTION PROJECTS APPLICABLE TO THE PLACE OF WORK.

6. ALL WORK LISTED, SHOWN OR IMPLIED IN THE CONSTRUCTION DOCUMENTS, INCLUDING TEMPORARY SERVICE AND MAINTENANCE OF THE SITE DURING CONSTRUCTION, SHALL BE SUPPLIED AND INSTALLED BY SUBCONTRACTOR UNLESS NOTED OTHERWISE.

7. COSTS INVOLVED IN MATERIAL DELIVERY OR DEBRIS REMOVAL TO BE THE SUBCONTRACTORS RESPONSIBILITY

8. SUBCONTRACTOR TO CHECK ALL SITE CONDITIONS PRIOR TO SUBMITTING QUOTATION.

9. SUBCONTRACTOR TO VERIFY ALL JOB DIMENSIONS, DRAWINGS, DETAILS AND SPECIFCATIONS. SUBCONTRACTOR TO REPORT TO THE PROJECT MANAGER / DESIGNER PRIOR TO PROCEEDING WITH ANY WORK IF THERE ARE ANY DISCREPANCIES OR OMISSIONS OR THERE IS ANY DOUBT AS TO THE MEANING OR INTENT OF THE WORK.

10. EXAMINE ALL SUBSTRATE SURFACES TO RECEIVE THE WORK AND ENSURE THAT THERE ARE NO CONDITIONS THAT WILL ADVERSELY AFFECT THE PERFORMANCE OF THE WORK, DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF SURFACE AND CONDITIONS.

11. SUBCONTRACTOR TO BE RESPONSIBLE FOR ALL DAMAGE TO SURFACES, FINISHES AND MATERIALS DUE TO THE WORK UNDER THIS CONTRACT AND BEAR ALL COSTS INCURRED TO MAKE GOOD, REPAIR OR REPLACE SAME TO PROJECT MANAGERS SATISFACTION.

12. NO CUTTING, CORING, DRILLING OR OTHER ALTERATIONS TO COLUMNS, FLOORS, WALLS OR ROOF OF THE STRUCTURE WILL BE PERMITTED WITHOUT PRIOR WRITTEN PERMISSION OF THE LANDLORD AND MAY REQUIRE THE REVIEW OF THE BASE BUILDING STRUCTURAL ENGINEERS. CUTTING AND CORING MAY NOT PROCEED WITHOUT X-RAYING BY QUALIFIED CONTRACTOR.

13. SUBCONTRACTOR TO INCLUDE FOR PATCH AND REPAIR WORK TO MATCH EXISTING IN STYLE, TYPE, CONSTRUCTION AND FINISHES AS REQUIRED ON THE FLOOR ABOVE AND BELOW THIS FLOOR AS REQUIRED FOR EXECUTION OF THE WORK SPECIFIED. REVIEW ALL CONDITIONS PRIOR TO SUBMITTING QUOTATION FOR THE WORK.

14. ALL WINDOW BLINDS AND ROLLER SHADES TO BE STORED AND PROTECTED IN THEIR UP RIGHT POSITION FOR THE OF CONSTRUCTION. REMOVE AND DURATION WINDOW COVERINGS AS REQUIRED FOR EXECUTION OF WORK.

15. MAINTAIN OPERATIONS OF BUILDING SERVICES, INCLUDING DATA, TELEPHONE AND ALARM. ENSURE NO INTERRUPTIONS OF THESE SERVICES DURING EXECUTION OF WORK.

16. DO NOT INTERFERE WITH ANY USE OF ADJACENT BUILDING PREMISES. MAINTAIN FREE AND SAFE PASSAGE OF THE GROUND FLOOR LOBBY. USE EXTERIOR DOORS ACCESSING DIRECTLY TO THE EXTERIOR. ADHERE TO ALL LANDLORD REQUIREMENTS.

PROJECT COORDINATION:

17. DRAWINGS SHOULD BE READ IN-CONJUNCTION WITH THE LANDLORD TENANT / CONSTRUCTION MANUAL AND BGIS HEALTH & SAFETY CONSTRUCTION HANDBOOK, NOTHING IN THE PLAN OR SPECIFICATIONS SHALL RELIEVE THE SUBCONTRACTOR FROM MEETING THE REQUIREMENTS OUTLINED WITHIN THESE DOCUMENTS.

18. SUBCONTRACTOR TO BEAR ALL COSTS ASSOCIATED WITH THE REQUIREMENTS AS OUTLINED IN THE LANDLORD TENANT / CONSTRUCTION MANUAL FOR THEIR AREA OF WORK AND FOR ALL REMEDIATION WORK AS A RESULT OF FAILURE TO MEETING THE REQUIREMENTS OUTLINED.

19. DRAWINGS SHOULD BE READ IN-CONJUNCTION WITH ENGINEERING AND VARIOUS CONSULTANT DRAWINGS AND SPECIFICATIONS. REPORT ANY DISCREPANCIES BETWEEN THE VARIOUS CONSULTANT DRAWINGS AND SPECIFICATIONS IMMEDIATELY TO THE CONSTRUCTION AND/OR PROJECT MANAGERS. DO NOT PROCEED WITH WORK UNTIL DISCREPANCIES ARE RESOLVED.

20. COORDINATE ALL SHUTDOWNS OF BUILDING SYSTEMS OR CLIENT SECURITY SYSTEMS WITH PROJECT MANAGER, CLIENT/OWNER AND LANDLORD AS REQUIRED. INCLUDE FOR ALL FEES ASSOCIATED WITH ONSITE SECURITY PRESENCE FOR DURATION OF SECURITY SHUTDOWN

QUALITY ASSURANCE:

21. SUBCONTRACTOR GUARANTEES THAT ALL WORK SHALL BE FREE FROM ALL INHERENT DEFECTS IN DESIGN, WORKMANSHIP OR MATERIAL AND SHALL GIVE PROPER AND CONTINUOUS SERVICE UNDER ALL CONDITIONS OF SERVICE REQUIRED AND SPECIFIED. SUBCONTRACTOR SHALL REPLACE PROMPTLY AT HIS OWN EXPENSE, ANY PART OF HIS WORK PROVING DEFECT WITHIN 1 YEAR FROM DATE OF COMPLETION, DUE TO FAULTY DESIGN, POOR WORKMANSHIP OR POOR MATERIAL.

22. ALL MATERIALS, EQUIPMENT AND FINISHES TO BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURES RECOMMENDATIONS, SPECIFICATIONS AND INSTALLATION METHOD AND INSTRUCTIONS UNLESS OTHERWISE INDICATED IN THESE OR THE ENGINEERING CONSULTANT DRAWINGS AND SPECIFICATIONS.

23. ALL WORK IS TO BE CARRIED OUT BY SKILLED WORKERS WITHIN THE TRADE AND/OR AREA OF WORK THEY ARE RESPONSIBLE FOR AND SHALL PROVIDE THE HIGHEST QUALITY OF STANDARD WORKMANSHIP AS GOVERNED BY THE INDUSTRY AUTHORITY.

THE FOLLOWING STANDARDS TO BE USED FOR REFERENCE WHERE APPLICABLE;

- ONTARIO BUILDING CODE (OBC)
- AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)
- UNDERWRITERS LABORATORIES OF CANADA (ULC)
- CANADIAN STANDARDS ASSOCIATION (CAN/CSA)
- AMERICAN STANDARD TEST METHOD (ASTM)
- WORKPLACE HAZARDOUS MATERIAL INFORMATION SYSTEM (WHIMS)
- ARCHITECTURAL WOODWORKING STANDARD (AWI)
- CGBS STANDARD FOR GLASS & RELATED PRODUCTS AND GANA PUBLICATIONS: "GLAZING MANUAL" & "LAMINATED GLASS DESIGN GUIDE"
- CGC GYPSUM CONSTRUCTION HANDBOOK

THE PURPOSE OF SPECIFYING STANDARD REFERENCE SPECIFICATIONS IS TO ESTABLISH MINIMUM ACCEPTABLE STANDARDS OF MATERIALS AND WORKMANSHIP. MATERIALS AND WORKMANSHIP SHALL MEET OR EXCEED REQUIREMENTS OF THE REFERENCE STANDARDS SPECIFIED. IN THE CASE OF CONFLICT OR DISCREPANCY WITH LOCAL STANDARDS, THE MORE STRINGENT REQUIREMENTS SHALL APPLY.

SUBMITTALS:

24. SHOULD THE SUBCONTRACTOR WISH TO MAKE CHANGES OR SUBSTITUTIONS TO;

A) SIZE, DETAIL OR METHOD OF CONSTRUCTION,
B) MANUFACTURE, OR THE TYPE OF MATERIAL, THE

ALTERNATIVE MUST BE OF SAME QUALITY OF ORIGINAL SPECIFICATION. SUBCONTRACTOR MUST HAVE WRITTEN APPROVAL FROM THE DESIGNER PRIOR TO PURCHASE AND INSTALLATION.

25. SUBCONTRACTOR IS RESPONSIBLE FOR SUBMITTING DOCUMENTATION AS OUTLINED WITHIN 5 DAYS OF QUOTATION APPROVAL;

A) MATERIAL LISTS & MANUFACTURE PRODUCT AND MATERIAL SAFETY DATA SHEETS; SETTING MATERIALS FOR STONE & TILE

- GROUT & GROUT SEALER
- PAINT
- CEMENTITOUS FIREPROOFING
- NEW SUSPENDED CEILINGS
- QUARTZ, STONE & SOLID SURFACING MATERIAL

SUB-CONTRACTOR IS RESPONSIBLE FOR SUBMITTING MATERIAL SAFETY DATA SHEETS (MSDS) FOR EACH CONTROLLED PRODUCT USED, INCLUDING THOSE ITEMS NOT OUTLINED AS A SUBMITTAL REQUIREMENT.

B) SAMPLES; TWO SAMPLES EACH SHALL BE PROVIDED:

- PAINT DRAW DOWNS FOR EACH COLOUR & SHEEN (MIN. 8.5"X11" SIZE)
- WRITEABLE WALL PAINT
- WALL COVERING
- STONE, CERAMIC AND GLASS TILE. CULTURED STONE, QUARTS & SOLID SURFACING MATERIAL (SUFFICIENT SIZE TO COMPLETE PATTERN AND / OR COLOR VARIATION)
- GROUT
- WOOD STAIN FINISH (12"x12" MIN. SAMPLE SIZE
- CARPET (SUFFICIENT SIZE TO SHOW COMPLETE PATTERN)
- CARPET TILE (FULL TILE SIZE)
- TRANSITION STRIPS
- RESILIENT FLOORING & BASE
- WOOD FLOORING & BASE
- PRIVACY AND GRAPHIC FILM
- PLASTIC LAMINATE

C) SHOP DRAWINGS; 2 COPIES EACH, 11X17 FORMAT AND/OR ELECTRONIC SUBMISSION

- ARCHITECTURAL WOODWORKING SHOP DRAWINGS INCLUDING CABINET HARDWARE
- FLOOR FINISHES INSTALLATION PLANS INDICATING SPECIFICATION, PATTERN, LAYOUT & SEAM LAYOUT
- FRAMELESS GLASS DOORS & SIDELIGHTS
- MECHANICAL, ELECTRICAL AND COMMUNICATIONS FIXTURES, EQUIPMENT & DEVICES
- DOOR & FRAME SCHEDULES
- ARCHITECTURAL HARDWARE SCHEDULES
- NEW SUSPENDED CEILING SHOP DRAWINGS

GENERAL CONTRACTOR IS RESPONSIBLE FOR SUBMITTING THE FOLLOWING WITHIN 15 DAYS OF SUBSTANTIAL COMPLETION OF THE PROJECT:

D) N/A

E) ELECTRONIC AS-BUILT FILES:

- SUBMIT ELECTRONIC RECORD DOCUMENTS (AS-BUILT) IN AUTOCAD RELEASE 2010 TO DESIGNER FOR REVIEW AND ACCEPTANCE BY ALL CONSULTANTS

- GENERAL CONTRACTOR TO MAINTAIN ONSITE DURING CONSTRUCTION A HARDCOPY SET OF DRAWINGS FOR RED LINING AS CHANGES OCCUR TO ENSURE TIMELY DELIVERY OF ELECTRONIC RECORD DOCUMENTS DRAWINGS.

SCHEDULE OF WORK:

26. HOURS OF WORK:

27. ACCESS TO BE COORDINATED WITH BGIS FACILITY MANAGER. WORK IS REQUIRED TO BE COMPLETED DURING THE HOURS OF **8AM -5PM (LOCAL TIME).** WITH SECURITY ESCORT. LANDLORD PROTOCOL MUST BE FOLLOWED REGARDING ACCESS, ELEVATOR USE, SECURITY, ETC. VENDOR IS RESPONSIBLE FOR MAKING PARKING ARRANGEMENT.

28. SUBSTANTIAL COMPLETION DATE AS SPECIFIED IN THE PRELIMINARY PROJECT SCHEDULE UNLESS OTHERWISE NOTED.

29. ALL MATERIALS ARE TO BE ORDERED WHEN QUOTE APPROVAL IS RECEIVED. AT THIS TIME THE SUBCONTRACTOR IS TO CONFIRM THAT ALL DELIVERIES WILL MEET THE CONSTRUCTION SCHEDULE. SUBSTITUTIONS WILL NOT BE ACCEPTED DUE TO LATE ORDERING. IN THE EVENT THAT MATERIALS ARE NOT AVAILABLE IN TIME TO MEET THE SCHEDULE COMPLETION DATES, THE SUBCONTRACTOR SHALL PROVIDE PROOF OF DATE OF ORDER OF MATERIALS TO THE CONSTRUCTION AND/OR PROJECT MANAGER PRIOR TO REQUESTING SUBSTITUTIONS.

30. ANY WORK WHICH IS INCOMPLETE OR DEFICIENT AT THE TIME OF SUBSTANTIAL COMPLETION SHALL BE RECTIFIED WITHIN 14 DAYS OF NOTIFICATION AND COMPLETED AFTER NORMAL WORKING HOURS (CONFIRM HOURS WITH PROJECT MANAGER/CONSTRUCTION MANAGER).

PROTECTION AND CLEAN-UP

31. PROTECTION & HOARDING - 10 mil POLYETHYLENE BLACK PLASTIC TO BE USED UNLESS OTHERWISE NOTED

- ERECT AND MAINTAIN DUST PROOF PARTITIONS AS REQUIRED TO PREVENT THE SPREAD OF DUST, FUMES AND SMOKE TO OTHER PARTS OF THE BUILDING. UPON COMPLETION, REMOVE PARTITIONS AND MAKE GOOD DAMAGED SURFACES TO MATCH ADJACENT SURFACES.

- PROTECT IN SUCH A MANNER TO RESTRICT DUST FROM FLOWING THROUGH THE FLOOR OR CEILING PLENUM AREAS ADJACENT TO THE WORK. ERECT AND LOCATE HOARDING IN SUCH A MANNER TO ALLOW SAFE AND CONTINUAL OPERATION BY OWNER/CLIENT.

- ENSURE ALL ACCESS TO AND EGRESS FROM PATHWAYS REMAIN FREE FROM OBSTRUCTION

- MAINTAIN ACCESS AND OPERATION OF ALL LIFE SAFETY CONTROLS AND EQUIPMENT

ANY WORK WHICH AFFECTS THE TENANT OCCUPIED AREA WILL REQUIRE CLEANING AT THE COMPLETION OF EACH WORK DAY. PROVIDE THE OCCUPANT WITH A CLEAN,

A) CONSTRUCTION SITE TO REMAIN CLEAN, TIDY AND CLEAR OF DEBRIS AT ALL TIMES. ENSURE PROGRESS CLEANING AT THE END OF EACH WORK DAY

B) FINAL CLEANING TO INCLUDE BUT IS NOT BE LIMITED TO THE FOLLOWING:
- FLOORS, WALLS & CEILING
- DOORS, FRAMES & GLAZING
- EXTERIOR WINDOWS, MULLIONS & WINDOW COVERINGS
- HEATING CONVECTORS
- MILLWORK - NEW & EXISTING (INSIDE & OUT)
- FURNITURE - NEW & EXISTING

32. PROTECT WORK AND EXISTING PROPERTY, ADJACENT PUBLIC AND PRIVATE PROPERTY AND WORK OF OTHER SECTIONS FROM DAMAGE WHILE DOING WORK.

33. PROTECT ELEVATORS, LOBBY, FLOORS, WALLS AND DOORS AGAINST DAMAGE, SPREAD OF DUST AND DIRT. TAKE SPECIAL MEASURES WHEN MOVING HEAVY LOADS OR EQUIPMENT, THIS INCLUDES THE NEW CARPET INSTALLED THROUGHOUT THE SPACE BY OTHERS.

DEMOLITION PLAN

1. REMOVE, STORE AND PROTECT, FOR REINSTALLATION THOSE MATERIALS AND EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION. ITEMS TO BE TURNED OVER TO OWNER. MAY NCLUDE, BUT NOT LIMITED TO; TENANT SIGNAGE, FURNITURE AND EQUIPMENT. CLIENT TO FIND SUITABLE STORAGE FOR THESE ITEMS.

2. WHERE DEMOLITION OF PARTITION IS INDICATED, CAREFULLY DEMOLISH ALL BAFFLES DIRECTLY ABOVE THE PARTITION IN THE CEILING PLENUM, MINIMIZING TO THE GREATEST EXTENT DAMAGE TO EXISTING FIRE PROOF MATERIAL. REPAIR CEILING GRID, MAKE GOOD ALL ADJACENT CONDITIONS. PATCH, REPAIR AND MAKE GOOD ALL FIRE PROOFING MATERIAL. ENSURE FIRE RESISTANCE RATING OF REPAIRED AREA MATCHES OR EXCEEDS THE EXISTING RATING.

3. COMPLETE ALL CUTTING, PATCHING WORK IN A MANNER TO RECEIVE NEW WORK AND FINISHES. MINIMIZE TO THE GREATEST EXTENT POSSIBLE DAMAGE TO ADJACENT SURFACES DURING DEMOLITION. PROVIDE SAME PRODUCT OR TYPES OF CONSTRUCTION AS THAT IN EXISTING STRUCTURE AS NEEDED TO PATCH, EXTEND OR MATCH EXISTING WORK.

4. CARRY OUT DEMOLITION WORK IN A MANNER TO CAUSE AS LITTLE INCONVENIENCE TO THE CLIENT AND ADJACENT OCCUPIED AREAS AS POSSIBLE. COORDINATE ACTIVITIES WITH LANDLORD AND OBTAIN APPROVAL WHEN NECESSARY FOR SPECIAL DEMOLITION ACTIVITIES CAUSING DISTURBANCE TO OCCUPANTS.

5. CONTRACT DOCUMENTS WILL NOT DEFINE PRODUCTS OR STANDARDS OF WORKMANSHIP PRESENT IN EXISTING CONSTRUCTION. CONTRACTOR SHALL DETERMINE PRODUCTS AND CONSTRUCTION METHOD THROUGH INSPECTION AND ANY NECESSARY TESTING AS REQUIRED.

6. REMOVE ALL GLUE, TAPE, PAPER ETC., THEN WASH CONVECTOR THOROUGHLY OF ALL GREASE AND DIRT THEN REPAIR ALL DAMAGE, INCLUDING DEPRESSIONS, CHIPS, AND SCREW HOLES WHERE PARTITIONS WERE REMOVED AND MADE READY TO RECEIVE NEW PAINT FINISH.

7. PATCH AND REPAIR ALL DAMAGES TO CORE WALLS AND COLUMNS, INCLUDING WHERE OUTLETS HAVE BEEN REMOVED DEPRESSIONS, FLAKING WALLS, SCREWS ATTACHMENTS LEFT OVER WALL PAPER GLUE AND FRAGMENTS WITHIN THE SCOPE OF WORK OUTLINED AND MAKE READY TO RECEIVE NEW WALL FINISH.

8. SUBCONTRACTOR TO PATCH AND MAKE GOOD ALL FLOORING, CEILING AND WALLS ADJACENT TO DEMOLISHED PARTITIONS. PRESENCE OF A PRODUCT, FINISH OR TYPE OF CONSTRUCTION, THAT REQUIRES PATCHING, EXTENDING OR MATCHING SHALL BE PERFORMED AS NECESSARY TO MAKE WORK COMPLETE AND CONSISTENT TO IDENTICAL STANDARDS OF QUALITY.

9. REPAIR ALL DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, AT NO COST TO THE CLIENT.

10. LEAVE SUBSTRATE SURFACES IN SMOOTH, SOUND CONDITION, SUITABLE TO RECEIVE NEW SPECIFIED FINISHED.

11. PROVIDE NECESSARY AND REQUIRED MEANS FOR BOTH THE REMOVAL AND DISPOSAL OFF ALL RUBBISH, DEBRIS AND DEMOLISHED FIXTURES AND FITTINGS AND ALL OTHER ITEMS NOT SCHEDULED TO REMAIN AT THE PLACE OF WORK, RESULTING FROM THE OPERATIONS OF THIS WORK.

12. PROVIDE ALL NECESSARY AND REQUIRED MEANS, INCLUDING GARBAGE BINS AND GARBAGE CHUTES, FOR BOTH THE REMOVAL AND DISPOSAL OF ALL RUBBISH, DEBRIS AND DEMOLISHED FIXTURES AND FITTINGS AND ALL OTHER ITEMS NOT SCHEDULED TO REMAIN. FLOORS MUST NOT BE OVERLOADED OR DAMAGED.

13. REMOVE DEMOLISHED MATERIALS AND DEBRIS, AS WELL AS TOOLS AND EQUIPMENT, FROM SITE ON A DAILY BASIS DURING THE PERFORMANCE OF THE WORK.

14. FINISHES.DEMOLISH, SALVAGE, RE-USE AND/OR DISPOSE OF ITEMS AS INDICATED ON DRAWINGS.

15. PATCH ALL DAMAGED FLOOR AREAS WITH SUITABLE LATEX CONCRETE FILLER, NON-SHRINKING CEMENT AND / OR GROUT DEPENDING UPON EXTENT OF DAMAGE. FILL AND LEVEL FLOOR SLAB

- FOR GENERAL OFFICE AREAS ENSURE FLOOR SLAB IS LEVEL TO A TOLERANCE OF 1/4" PER 10'-0" PRIOR TO THE APPLICATION OF FLOOR FINISHES IN LOCATIONS OF FILE / EQUIPMENT, MILLWORK,

APPLY SEALER TO THE CONCRETE SLAB WHERE PATCH, REPAIR & LEVELLING OCCURRED.

16. REMOVE ALL CEILING TILE AS REQUIRED FOR EXECUTION OF WORK,

- FOR TENANT NON-OCCUPIED SPACE:
STORE AND PROTECT FOR DURATION OF CONSTRUCTION PROJECT.
INCLUDE RE-INSTALLATION OF TILES.

17. REFER TO MECHANICAL AND ELECTRICAL SPECIFICATIONS FOR FURTHER DEMOLITION REQUIREMENTS.

POWER & COMMUNICATIONS PLAN

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING THOSE BY ENGINEERING CONSULTANTS, FURNITURE, AV AND SOUND MASKING VENDORS

2. WALL RECEPTACLES, SWITCHES ETC. NOT SHOWN ON DRAWINGS ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.

3. POWER AND COMMUNICATIONS DRAWINGS ARE FOR THE LOCATION AND DIMENSIONS OF OUTLETS AND OTHER EQUIPMENT AND DEVICES. THEY ARE NOT INTENDED TO INDICATE THE COMPLETE SCOPE OF ELECTRICAL AND COMMUNICATIONS WORK. REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR SPECIFICATIONS, CONDUIT LOCATION & CIRCUITING. REPORT ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE ENGINEERS DRAWINGS TO THE DESIGNER IMMEDIATELY.

4. FOR ALL ELECTRICAL, VOICE AND DATA OUTLETS MOUNTED AT MILLWORK, REFER TO ELEVATIONS FOR EXACT HEIGHTS AND LOCATIONS. COORDINATE AS REQUIRED WITH OTHER TRADES

5. ALL COVERPLATES, LIGHT SWITCHES, DIMMER CONTROLS AND RECEPTACLES SHALL BE WHITE. UNLESS OTHERWISE NOTED IN THESE OR THE ENGINEERING CONSULTANTS DRAWINGS AND SPECIFICATIONS. REPORT ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE ENGINEERS DRAWINGS TO THE DESIGNER IMMEDIATELY.

6. ALL DIMENSIONS ARE TAKEN TO THE CENTER OF THE COVERPLATE OR GANG OF SERVICES UNLESS OTHERWISE NOTED ON DRAWINGS.

7. FOR FURNITURE CONNECTIONS, CONNECT FURNITURE BASE FEED CONNECTORS TO ELECTRICAL OUTLETS AND POWER / COMMUNICATIONS DISTRIBUTION POLES AFTER THE INSTALLATION OF FURNITURE. COORDINATE WITH FURNITURE INSTALLER

8. WHERE OUTLETS ARE MOUNTED ON OPPOSITE SIDE OF SAME PARTITION, STAGGER TO ENSURE UNINTERRUPTED INSTALLATION OF ACOUSTIC ATTENUATION BLANKETS.

9. ALL RECEPTACLES TO BE MOUNTED VERTICALLY TO MATCH EXISTING UNLESS OTHERWISE NOTED.

PARTITION PLAN AND GENERAL CONSTRUCTION

1. PARTITION DIMENSIONS ARE FROM THE FACE OF PARTITION UNLESS NOTED. CLEAR DIMENSIONS ARE FROM FINISHED FACE OF PARTITIONS.

CLEAR DIMENSIONS MUST BE HELD TO A TOLERANCE OF 1/8" (3mm)

2. UNLESS OTHERWISE INDICATED, ALL PARTITIONS SHALL BE LOCATED AS FOLLOWS;
- CENTERED ON T-BARS,
- CENTERED ON PERIMETER GLAZING MULLIONS, OR
- CENTERED ON CEILING TILES, OR
- AT 45 OR 90 DEGREES TO THE CEILING GRID

3. ALL DOOR FRAMES TO BE INSTALLED 4" FROM PARTITIONS UNLESS NOTED OTHERWISE.

4. INSTALL SOUND ATTENUATION BLANKETS CONTINUOUSLY BEHIND ALL POWER, VOICE AND DATA OUTLETS AND OTHER DEVICES RECESSED IN PARTITION.

5. CHALK ALL PARTITION LOCATIONS AND OBTAIN APPROVAL OF PARTITION LAYOUT FROM DESIGNER PRIOR TO INSTALLING METAL TRACKS AND STUDS.

6. GYPSUM BOARD TO BE TAPED, SANDED AND PRIMED READY TO RECEIVE NEW SPECIFIED FINISH UNLESS OTHERWISE NOTED. FOR APPLICATION OF WRITEABLE WALL PAINT ENSURE LEVEL 3 FINISH, COMPLETELY SMOOTH AND FREE FROM ALL DEFECTS (SIMILAR TO PREPARATION FOR WALLCOVERING) IS ACHIEVED PRIOR TO INSTALLATION. REFER TO FINISHES PLAN.

7. GYPSUM BOARD JOINTS ARE TO BE STAGGERED ON EACH SIDE OF METAL STUDS

8. FOR ALL NEW PARTITION CONSTRUCTION;
- PROVIDE CONTINUOUS SEALANT AT FLOOR SLAB CONNECTION
- SURFACE MOUNTED AND RECESSED WALL BASED TO BE APPLIED VERIFY ONSITE FOR EXACT LOCATIONS, REFER TO FLOOR FINISHES PLAN, NOTES AND SPECIFICATIONS

9. ALL NEW PARTITIONS TO RECEIVE SURFACE MOUNTED WALL BASE.

- ENSURE MINIMUM DIMENSION AND INSTALL CONTINUOUS ACOUSTICAL GASKET AT FINISHED CEILING CONNECTION
- USE CADDY CLIPS TO ATTACH NEW PARTITIONS TO T-BARS - DO NOT USE SCREWS TO ATTACH ANYTHING TO T-BAR SYSTEM.
- CONNECTION TO SLAB OR METAL DECK ABOVE;

SLAB:
SECURE BAFFLE w/ 1" x 2" METAL ANGLE, 24" O.C, PROVIDE CONTINUOUS SEALANT

METAL DECK:
EXISTING FIRE PROOFING ON METAL DECK TO BE MAINTAINED, INSTALL 20 GAUGE x 6" WIDE METAL PLATES AT 24" O.C FASTENED THROUGH TO UNDERSIDE OF METAL DECK. LOOSELY PACK FLUTES WITH SOUND ATTENUATION BATTS. SECURE BAFFLE TO METAL PLATE w/ 1"x2" METAL ANGLES. REPAIR AND MAKE GOOD ALL FIRE PROOFING MATERIAL. ENSURE FIRE RESISTANCE RATING OF REPAIRED AREA MATCHES OR EXCEEDS THE EXISTING RATING.

10. ENSURE THAT THE NEW PARTITIONS TO U/S OF CONCRETE SLAB OR METAL DECK AND NEW PARTITIONS WITH PLENUM BAFFLE DO NOT INTERFERE WITH MECHANICAL DUCTS, ELECTRICAL CONDUITS, BOXES OR OTHER.

11. ENSURE THAT ALL PIPING, MECHANICAL DUCTS, ELECTRICAL CONDUITS, BOXES R OTHER AND ANY OPENINGS THAT RUN THROUGH A NEW AND/OR EXISTING PARTITION, BAFFLES AND FLOOR SLABS ARE PROPERLY SEALED. PATCH AND REPAIR AS REQUIRED TO MAINTAIN FIRE RESISTANCE RATING AND/OR SOUND SEALS ENSURE REPAIRED AREA MATCHES OR EXCEEDS THE EXISTING SPECIFIED RATING.

12. FIRESTOP ALL NEW AND/OR EXISTING PENETRATIONS (AS REQUIRED) IN FLOORS AND WALLS WITH 2 HR. LISTED FIRE STOPPING. SUBCONTRACTOR TO SEAL ALL PENETRATIONS IN 2 HR. FIRE-RATED PARTITIONS WITH APPROVED FIRE SEAL MATERIALS, INCLUDING ANY EXISTING PENETRATIONS OR NEW PENETRATIONS WITHIN TELEPHONE ELECTRICAL CLOSETS, SLABS OR WALLS.

13. REFER TO MILLWORK DRAWINGS FOR ALL MILLWORK LOCATED ON THE CONSTRUCTION PLAN AND COORDINATE REQUIRED BLOCKING OR CONCEALED COMPONENTS WITHIN THE PARTITIONS FOR PROPER SUPPORT.

14. PROVIDE ADEQUATE FIRE TREATED OR NON-COMBUSTIBLE BLOCKING WITHIN PARTITIONS TO SUPPORT WORK THAT IS SUPPLIED AND INSTALLED BY OTHERS INCLUDING BUT NOT LIMITED TO; SHELVING, HANGING RODS, MILLWORK, GRAB BARS, CHAIR OR PENCIL RAILS, ACCESSORIES AND OTHER ITEMS THAT ARE INCLUDED AS PART OF THIS CONTRACT.

15. REFER TO FURNITURE PLANS TO COORDINATE LOCATIONS OF BLOCKING TO SUPPORT ALL WALL MOUNTED FURNISHINGS PROVIDED BY OTHERS.

16. WHERE FLOOR SLAB IS UNEVEN, SHIM DOOR FRAMES TO SUIT AND PAINT SHIM TO MATCH FRAME FINISH.

17. REFER TO THE ENGINEERING DRAWINGS FOR ALL MECHANICAL AND ELECTRICAL REQUIREMENTS INCLUDING PLUMBING SPECIFICATIONS.

18. SUBCONTRACTOR TO ENSURE THAT ALL PARTITIONS AND CEILINGS ARE REPAIRED AFTER THE MECHANICAL AND ELECTRICAL TRADES HAVE COMPLETED THEIR WORK.

19. WHERE NEW WORK CONNECTS WITH EXISTING AND/OR WHERE NEW WORK IS ALTERED, ALL NECESSARY CUTTING, FITTING AND PATCHING REQUIRED TO MAKE GOOD AND SATISFACTORY SHALL BE PERFORMED UNDER THIS CONTRACT.

20. DO NOT PENETRATE FACE OF PERIMETER WALLS OR MULLIONS AT INTERSECTIONS WITH PARTITIONS. USE ADHESIVE FACED CLOSED CELL FOAM GASKETS BETWEEN MULLIONS AND INTERIOR PARTITIONS.

21. WHERE PARTITIONS ARE CONSTRUCTED ADJACENT TO OR OVER PERIMETER CONVECTOR UNITS. ENSURE ADEQUATE SPACE IS PROVIDED TO ALLOW REMOVAL OF THE CONVECTOR COVERS, ACCESS PANELS AND GRILLES.

22. REFER TO FLOOR FINISHES PLANS. ALL PARTITIONS SCHEDULE TO RECEIVE RESILIENT OR RUBBER BASE TO BE COMPLETELY FINISHED SMOOTH. REFER TO FLOOR FINISHES PLANS.

23. COLUMNS, EXTERIOR AND BASEBUILDING CORE WALLS ETC. TO BE FURRED OUT AS REQUIRED FOR INSTALLATION OF POWER AND COMMUNICATIONS OUTLETS.

24. ALL DOOR HARDWARE TO BE MOUNTED THE FOLLOWING HEIGHTS A.F.F. UNLESS OTHERWISE NOTED;
- LOCKSETS: 40"
- EXIT DEVICES: 40"
- PUSH PULL: 42"
- DEADLOCKS: 48"
- COAT HOOKS: 60"
- BARRIER FREE COAT HOOKS: 47"

PROVIDE QUANTITY OF DOOR HINGES AS SPECIFIED IN THE APPLICABLE HARDWARE GROUP. 1 1/2 PAIRS OF HINGES FOR DOOR 7'-6" IN HEIGHT OR LESS.

25. WHERE NEW DEMOUNTABLE PARTITIONS ARE SPECIFIED, ENSURE NEW AND/OR EXISTING ADJOINING PARTITIONS ARE SMOOTH, PLUM AND LEVEL FROM CONCRETE SLAB TO UNDERSIDE OF FINISHED CEILING PRIOR TO INSTALLATION OF DEMOUNTABLE PRODUCT. COORDINATE AS REQUIRED WITH CONSTRUCTION AND/OR PROJECT MANAGER, FURNITURE DEALER AND SITE SUPERVISOR AS REQUIRED.

REFLECTED CEILING PLAN

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING THOSE BY ENGINEERING CONSULTANTS, FURNITURE AND AV VENDORS

2. ELECTRICAL AND MECHANICAL ENGINEERING CONSULTANTS DRAWING AND SPECIFICATIONS SHALL GOVERN EXCEPT FOR LOCATION OF FIXTURES SUCH AS LIGHTING, POWER AND COMMUNICATIONS OUTLETS.

3. ALL FIXTURE DIMENSIONS ARE CENTERED TO THE FIXTURE UNLESS OTHERWISE NOTED.

4. REFLECTED CEILING PLANS ARE FOR THE LOCATIONS AND DIMENSIONS OF A PORTION OF FIXTURES, OUTLETS, GRILLES, DIFFUSERS AND OTHER EQUIPMENT AND DEVICES. IT IS NOT INTENDED TO INDICATE THE COMPLETE SCOPE OF MECHANICAL AND ELECTRICAL WORK. REPORT ANY DISCREPANCIES BETWEEN THIS DRAWING AND THE ENGINEERS DRAWINGS TO THE CONSTRUCTION AND/OR PROJECT MANAGERS IMMEDIATELY.

5. T-BAR CEILING TO REMAIN INTACT WHEREVER POSSIBLE. IF CEILING GRID REQUIRES CUTTING OF ANY KIND, REVIEW AND GAIN APPROVAL FROM DESIGNER PRIOR TO COMMENCING WITH WORK.

6. ALL DOWN LIGHTS AND WALL WASHERS TO BE INSTALLED IN THE CENTER OF THE INDICATED CEILING TILE, UNLESS DIMENSIONED OTHERWISE ON PLAN. POSITIONING OF WALL WASHERS TO BE ALIGNED AND DIRECTED TOWARD WALL TO BE ACCENTED AS PART OF THE WORK.

7. ADEQUATELY PROTECT THE CEILING GRID DURING CONSTRUCTION.

8. SUBCONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF CEILING TILES FOR ACCESS BY OTHER TRADES (MECHANICAL, ELECTRICAL AND CABLING).

9. REFLECTED CEILING PLAN SHOWS ACCENT FIXTURE LOCATION ONLY. REFER TO ENGINEER'S DRAWINGS AND SPECIFICATIONS FOR BASE BUILDING LIGHTING, CIRCUITING AND SWITCHING INFORMATION AND REQUIREMENTS

10. REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF SPRINKLER HEADS, EXIT SIGNS, FIRE ALARMS. AND SUPPLY AND RETURN AIR SOURCES.

11. SUPPLY AND INSTALL NEW CEILING TILES TO MATCH EXISTING WHEN REMOVING OR RELOCATING SERVICE POLE, LIGHT FIXTURES, SUPPLY DIFFUSERS, RETURN AIR GRILLS, SPRINKLERS ETC. CONTINUE CEILING AS REQUIRED WHERE PARTITION WAS REMOVED.

12. ALL SWITCHES, INCLUDING DIMMER CONTROLS, AND COVERPLATES TO BE WHITE AND INSTALLED 4" (100MM) FROM THE DOOR OR SIDELIGHT FRAME UNLESS NOTED OTHERWISE ON PLAN

13. MOUNTING HEIGHTS OF SWITCHES TO BE 40" A.F.F. UNLESS OTHERWISE NOTED.

14. REPLACE, PATCH OR REPAIR ANY MISSING OR DAMAGED CEILING T-BAR AND OR CEILING TILES AS REQUIRED AND LEAVE THE CEILING IN A "LIKE NEW" CONDITION.

15. PROVIDE THE LABOR AND MATERIALS TO ACCOMMODATE THE CHANGE IN DIRECTION OF FLUORESCENT LIGHT FIXTURES, AS SHOWN ON PLAN.

16. SUBCONTRACTOR TO INCLUDE FIRE DAMPERS FOR ALL RELOCATED AND / OR NEW LIGHT FIXTURES, DIFFUSERS AND RETURN AIR GRILLES TO CONFIRM WITH LOCAL BUILDING CODES.

17. ALL EXISTING LUMINARIES AND DIFFUSERS ARE TO BE RE-USED WHERE APPLICATION PERMITS.

18. ANY EXISTING LUMINARIES TO REMAIN OR BE RELOCATED, SUBCONTRACT TO CLEAN, REPAIR AND RE-LAMP AS NECESSARY TO ENSURE LUMINARIES ARE OPERABLE FOR TENANT.

19. LAYOUT ON THE FLOOR, LOCATIONS OF ALL FIXTURES, DIFFUSERS, SPRINKLERS AND OTHER DEVICES TO BE INSTALLED IN GYPSUM WALL BOARD CEILINGS FOR DESIGNERS REVIEW. ADVISE DESIGNER OR PROJECT MANAGERS OF ANY DISCREPANCIES WITH THE DIMENSIONED PLANS OR CONFLICTS WITH OTHER PARTS OF THE WORK. ADJUST LOCATIONS AS REQUIRED BASED ON REVIEW. WORK INSTALLED PRIOR TO REVIEW BY DESIGNER MAY BE SUBJECT TO RELOCATION AT SUBCONTRACTORS COSTS.

20. ADVISE DESIGNER AND PROJECT MANAGERS IMMEDIATELY UPON THE DISCOVERY OF INTERFERENCE WITH STRUCTURAL MEMBERS, DUCTS, PIPES OR OTHER BUILDING SERVICES THAT WILL AFFECT LAYOUT AS INDICATED ON DRAWINGS. ADJUST LOCATIONS AS REQUIRED AND AGREED TO BY DESIGNER AND/OR PROJECT MANAGERS

21. REVIEW LOCATION OF ALL ACCESS PANELS WITH DESIGNER. ADJUST LOCATIONS AS REQUIRED BASED ON REVIEW

22. HEIGHTS OF CEILINGS SHOWN ON PLAN

23. ADJUST SUSPENDED CEILING GRIDS AND ACOUSTICAL CEILING TILES AS REQUIRED TO ACCOMMODATE MECHANICAL AND ELECTRICAL DEVICES AND EQUIPMENT. PROVIDE ADDITIONAL CEILING COMPONENTS AS REQUIRED TO MATCH EXISTING IN STYLE, TYPE, PROFILE, COLOUR AND FINISH

24. PROVIDE ADEQUATE NON-COMBUSTIBLE HANGER AND BLOCKING ABOVE CEILING TO SUPPORT ITEMS THAT ARE PART OF THIS CONTRACT AND ITEMS THAT ARE SUPPLIED AND INSTALLED BY OTHERS. INCLUDES BUT IS NOT LIMITED TO; PROJECTOR, PROJECTION SCREEN, CEILING MOUNTED TELEVISIONS, MECHANICAL AND ELECTRICAL FIXTURES AND EQUIPMENT. REFER TO ENGINEERING DRAWINGS FOR FURTHER REQUIREMENTS.

25. ALL GYPSUM WALL BOARD CEILINGS, BULKHEADS, SOFFITS, COVES AND RECESSES TO BE PAINTED PT-01 UNLESS OTHERWISE INDICATED.

26. PAINT EXPOSED SURFACES OF PAINTABLE ACCESS PANELS, GRILLES AND LINEAR DIFFUSERS AT T-BAR CEILING TO MATCH THE CEILING COLOUR.

27. ALL VISIBLE FRAMING THROUGH RETURN AIR SLOTS OR CEILING OPENINGS TO BE PAINTED BLACK. PAINT PRIOR TO GYPSUM WALL BOARD INSTALLATION.

28. PAINT ALL EXPOSED STRUCTURE, PIPING AND DUCTWORK IN AREAS WITH NO SUSPENDED CEILING. DO NOT PAINT EXPOSED VOICE OR DATA CABLING AND/OR HVAC CONTROLS.

29. DAMAGED CEILING TILES CAN BE SWAPPED WITH UNDAMAGED CEILING TILES FROM OTHER FLOORS. COORDINATE WITH SUPERINTENDENT AND CONSTRUCTION MANAGER / PROJECT MANAGER.

WALL FINISHES PLAN

1. UNLESS OTHERWISE NOTED, ALL SURFACES WHERE PAINT IS APPLIED, SUBCONTRACTOR TO: PRIME WITH ONE COAT LATEX PRIMER, SAND ALL SURFACES, REPAIR DEPRESSIONS, ETC. WITH DRYWALL COMPOUND. SPOT PRIME ALL PATCHED AREAS. SAND, APPLY ONE FINISH PAINT COAT COLOUR AS SPECIFIED AND AFTER COAT HAS DRIED RE-SAND AND FINISH WITH FINAL COAT OF PAINT AS SPECIFIED.

2. PAINT FINISHES, SHEEN AND APPLICATION SHALL BE AS SPECIFIED BELOW UNLESS OTHERWISE INDICATED.

- STEEL DOORS AND PRESSED STEEL FRAMES: 1 COAT GALVANIZED METAL PRIMER, 2 COATS OF ACRYLIC LATEX ENAMEL, SEMI GLOSS.
- WOOD DOORS AND FRAME: 1 COAT PRIMER, 2 COATS ACRYLIC LATEX ENAMEL, SEMI-GLOSS
- GYPSUM WALL BOARD (GENERAL AREAS): 1 COAT GWB PRIMER, 2 COATS ACRYLIC LATEX, LOW LUSTER EGGSHELL
- GYPSUM WALL BOARD (CORRIDORS): 1 COAT GWB PRIMER, 2 COATS ACRYLIC LATEX ENAMEL, EGGSHELL
- GYPSUM WALL BOARD (STORAGE, WASHROOMS, WORK, UTILITY ROOMS, AND JANITOR CLOSETS): 1 COAT GWB PRIMER, 2 COATS (WALL) ACRYLIC LATEX ENAMEL SEMI GLOSS, 2 COATS (CEILING) ACRYLIC LATEX ENAMEL EGGSHELL

3. REMOVE ALL DIRT, DUST AND GREASE AND SAND SURFACE PRIOR TO APPLICATION OF SPECIFIED WALL FINISH.

4. CLEAR ALL ADHESIVE BEFORE IT SETS.

5. DELIVER TO THE OWNER SURPLUS OF ANY WALL FINISH IN LABELED CONTAINERS OR PACKAGING

6. ALLOW FOR PAINT TOUCH-UPS AFTER INSTALLATION OF MILLWORK AND FURNITURE.

7. ALL MATERIAL TO HAVE A FLAME SPREAD RATING APPROVED BY LOCAL BUILDING CODES.

8. PAINT EXPOSED SURFACES OF PAINTABLE GRILLES, FHC CABINETS, ACCESS AND ELECTRICAL PANELS TO MATCH THE ADJACENT WALL FINISH. UNLESS OTHERWISE SPECIFIED.

9. LOW VOC PAINT TO BE USED, COLOUR MATCH TO PAINT SPECIFICATIONS INDICATED; VOC CONCENTRATION OF THE PRODUCT INCLUSING COLORANT SHALL NOT EXCEED THE FOLLOWING:

- FLAT - 100 G/L
- NON-FLAT- 150 G/L
- PRIMER OR UNDERCOAT - 150 G/L

10. GROUT THICKNESS TO BE 1/16" UNLESS OTHERWISE NOTES.

11. ALL ADHESIVES AND SEALANTS USED IN THE INTERIOR MUST COMPLY WITH SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) RULE 1168 FOR VOC CONTENT LIMITS.

FLOOR FINISHES PLAN

1. WHERE EXISTING FLOORING IS TO BE REMOVED, FLOOR TO BE CLEANED AND PREPARED TO RECEIVE NEW FINISH. PREPARE FLOOR ACCORDINGLY TO RECEIVE NEW ADHESIVE AND FLOORING.

2. SUBCONTRACTOR TO PROTECT ALL NEW AND EXISTING FINISHED FLOOR AREAS WITH 10 MIL POLYETHYLENE PLASTIC. POLYETHYLENE IS TO BE REMOVED AT COMPLETION OF WORK BY CONTRACTOR. TAPE JOINTS WITH DUCT TAPE, AND ENSURE IT DOES NOT COME IN CONTACT WITH CARPET. MAINTAIN FOR THE DURATION OF CONSTRUCTION

3. LAYOUT ACCURATELY AND MARK CLEARLY FOR DESIGNER'S REVIEW, THE LOCATIONS OF ALL FLOOR PATTERNS AND MATERIAL CHANGES. ADJUST LOCATIONS AS REQUIRED BASED ON REVIEW. OBTAIN APPROVAL PRIOR TO INSTALLATION.

4. WHERE A CHANGE OF FLOORING OCCURS AT DOOR OPENING, THE INTERSECTION BETWEEN THE FLOOR FINISHES SHALL OCCUR AT THE CENTERLINE OF DOOR UNLESS OTHERWISE NOTED.

5. PROVIDE FLOOR TRANSITION STRIPS OR METAL DIVIDERS AS INDICATED ON PLAN AT MATERIAL CHANGES.

6. SUBCONTRACTOR TO REMOVE EXCESS GROUT FROM TILE BEFORE IT HAS HAD A CHANCE TO SET.

7. ALL GROUTING COMPOUND FOR FLOORS AND BACKSPLASH APPLICATION TO BE MADE WATERPROOF AS REQUIRED FOR INTENDED USE.

8. WHERE CERAMIC TILE BASEBOARD IS INSTALLED, SUBCONTRACTOR TO ENSURE ALL EXPOSED EDGES ARE POLISHED UNLESS OTHERWISE NOTED OR TRIM IS SPECIFIED.

9. ALL MATERIAL TO HAVE A FLAME SPREAD RATING APPROVED BY LOCAL BUILDING CODES.

10. SUBCONTRACTOR TO ENSURE SAME DYELOTS FOR ALL CARPET FINISHES. COORDINATE THE INSTALLATION OF CARPET WITH ALL OTHER FLOOR FINISHES.

11. FEATHER CONCRETE WITH CONCRETE TOPPING AS REQUIRED TO BRING MATERIALS ADJACENT

12. ALL FLOOR FINISHES EXCEPT CARPET TO BE INSTALLED UNDER MILLWORK CABINETS PRIOR TO INSTALLATION OF MILLWORK.

13. FLOOR CARPET AND RESILIENT FLOOR PATTERNS ARE DESIGNED WITH FULL OR 1/2 TILE INCREMENTS.

14. GROUT THICKNESS TO BE 1/16" FOR ALL PORCELAIN TILE, UNLESS OTHERWISE NOTED.

18. ALL ADHESIVES AND SEALANTS USED IN THE INTERIOR MUST COMPLY WITH SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) RULE 1168 FOR VOC CONTENT LIMITS.

FURNITURE PLAN

1. ALL FURNITURE AND EQUIPMENT SUPPLY TO BE INCLUDED IN GC SCOPE AND DESIGN TEAM TO COORDINATE WITH FURNITURE VENDOR.

2. COORDINATE FURNITURE DELIVERY, STORAGE AND INSTALLATION WITH DESIGN TEAM AND CLIENT PM.

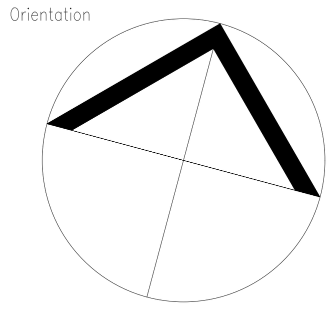
3. FURNITURE PLANS ARE FOR THE FURNITURE LOCATIONS ONLY.

4. ALL FURNITURE TO BE LOCATED 8" AWAY FROM EXTERIOR CONVECTORS.

Key Plan

No	Revisions	Date
4	ISSUED FOR TENDER	20250527
3	ISSUED FOR 99% COORDINATION	20250411
2	ISSUED FOR PS COORDINATION	20250404
1	ISSUED FOR 66% COORDINATION	20250305

Orientation



Seal

The Contractor shall check and verify all dimensions and report all errors and omissions to the IO–Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A/B — A Detail No; B Sheet No where detailed

BGIS

Infrastructure Ontario

Ministry PSIF Number

Project: INTERIOR RENOVATION

Location: 465 DAVIS DR. SUITE 301, NEWMARKET, ON L3Y 7T9

IO Project No: 240256 | Site No: | Building No: B25590

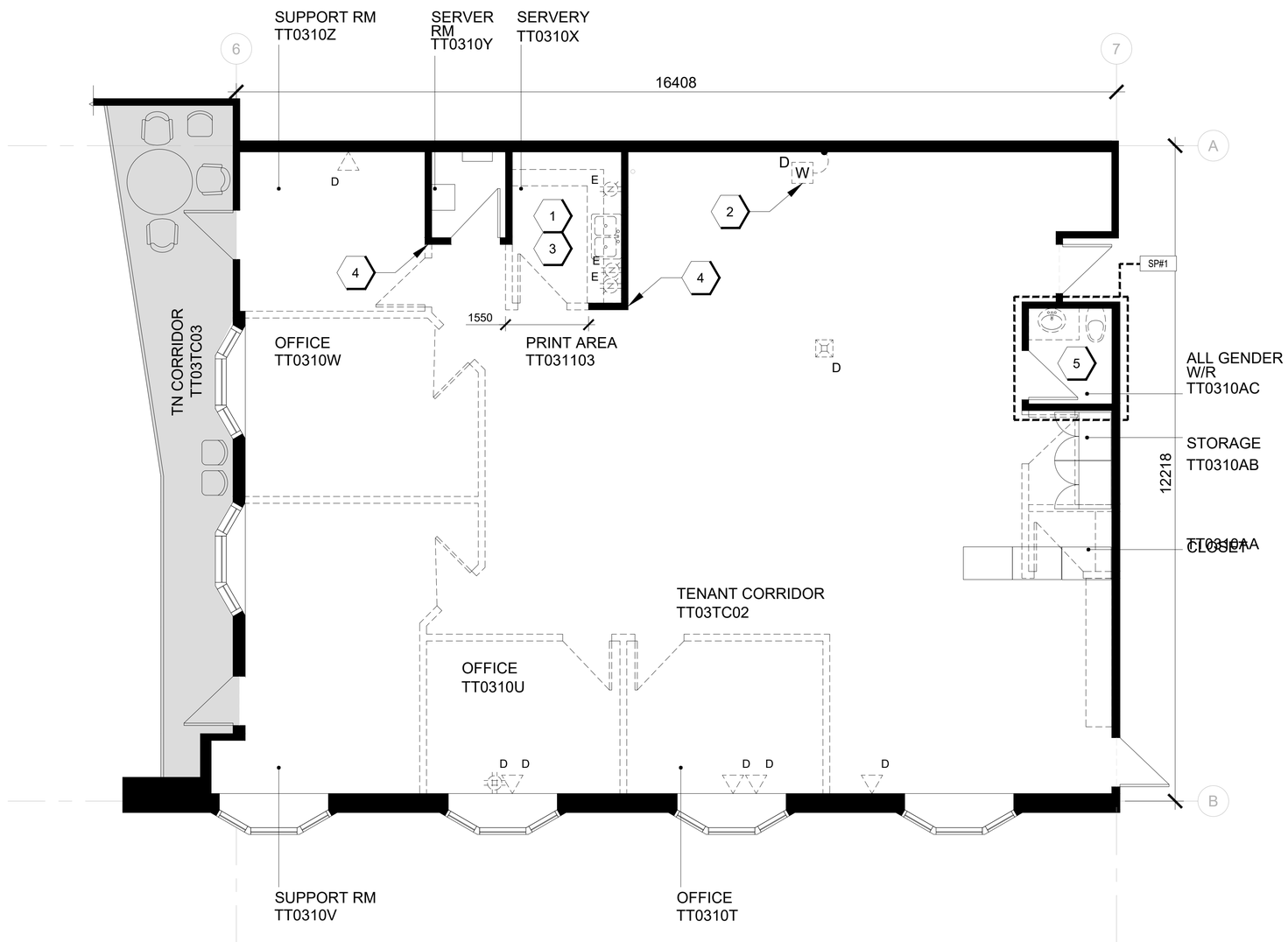
Client: INFRASTRUCTURE ONTARIO

Drawing Title: GENERAL NOTES

Scale: 1:50	Project Start Date: 20241122
Drawn by: SY / DF	Substantial Performance Date: 20251030
Designed by: SY / DF	Drawing No: ID001 of 13
Approved by: JC — Floor No: F3	

CADD File NAME

594x841mm



DEMOLITION PLAN LEGEND & SYMBOLS

SYMBOL	DESCRIPTION
N.I.C	AREA NOT IN CONTRACT
	EXISTING PARTITION TO REMAIN AS IS AND TO BE PROTECTED DURING CONSTRUCTION
	DASHED LINE DENOTES ITEMS TO DEMOLISH/RELOCATE
	EXISTING DOOR, DOOR FRAMES AND HARDWARE TO BE REMOVED AND DISPOSED
	EXISTING DOOR, DOOR FRAMES AND HARDWARE TO REMAIN AND TO BE PROTECTED DURING CONSTRUCTION.
	POWER POLE 'D' DENOTES EXISTING TO BE REMOVED
	WALL MOUNTED DATA OUTLET 'D' DENOTES EXISTING TO BE REMOVED
W	FURNITURE WHIP 'D' DENOTES EXISTING TO BE REMOVED
SP#	SEPARATE PRICE ITEM AREA

DEMOLITION PLAN GENERAL NOTES

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ELECTRICAL & MECHANICAL ENGINEERS DRAWINGS.
2. WHENEVER EXISTING SERVICES OR EQUIPMENT ARE TO BE REMOVED, ALL ELECTRICAL / MECHANICAL/ PLUMBING AND COMMUNICATIONS CONNECTIONS FOR SUCH SERVICES SHALL BE REMOVED AND SECURELY TERMINATED IN AN APPROVED MANNER. ENGINEERS DRAWINGS AND SPECIFICATIONS GOVERN THE EXTENT AND METHOD OF REMOVAL, CAPPING OFF AND MAKING SAFE OF MECHANICAL, ELECTRICAL, PLUMBING AND COMMUNICATIONS SYSTEMS.
3. FOR REMOVAL OF EXISTING COMMUNICATIONS CABLING REFER TO CONSULTANT DRAWINGS TO ENSURE ALL CONCEALED AND APPARENT ELEMENTS HAVE BEEN DISCONNECTED, RECUPERATED (WHERE APPLICABLE) AND TERMINATED IN ACCORDANCE TO ALL APPLICABLE REGULATIONS.
4. PATCH AND REPAIR ALL DAMAGES AND MAKE GOOD ALL AREAS AFFECTED BY DEMO. CLEAN AND VACUUM ALL AREAS IN PLACE OF WORK.
5. PROTECT ALL EXISTING ITEMS TO REMAIN DURING RENOVATION FROM DUST AND DAMAGE UNLESS OTHERWISE NOTED.
6. EXISTING MATERIALS THAT REMAIN THE PROPERTY OF THE OWNER AND THAT ARE TO BE REUSED IN THE WORK SHALL BE CAREFULLY REMOVED AND STORED BY THE CONTRACTOR AND PROTECTED IN AN APPROPRIATE MANNER.
7. PATCH AND REPAIR OPENINGS LEFT FROM REMOVAL OF SERVICES TO MATCH EXISTING SURROUNDING FINISHES.
8. WHERE INDICATED IN THE CONTRACT DOCUMENTS THAT DEMOLISHED ITEMS ARE THE PROPERTY OF THE OWNER, BUT ARE TO BE REMOVED OFF SITE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOADING ONTO OWNER'S CARRIER. COORDINATE WITH OWNER.
9. CONTRACTOR TO ALLOW FOR REMOVAL OF ALL EXISTING WALL ART, POSTERS, WALL GRAPHIC, WHITEBOARDS, TACK BOARDS, WALL TALKERS, SLOT WALL. COLLECT ALL GARBAGE AND DISPOSE OF AS REQUIRED UNLESS OTHERWISE NOTED.
10. ALL DISPOSAL TO FOLLOW CLIENT ENVIRONMENTAL GUIDELINES.
11. REMOVE ALL EXISTING ROOM SIGNS (OFFICE AND ROOM SIGNS/PLAQUES) AND MAKE GOOD SURFACES AS REQUIRED TO RECEIVE NEW FINISH. UNLESS OTHERWISE NOTED.
12. REMOVE ALL EXISTING WALL COVERING(S), WALL TALKERS, GRAPHICS PREPARE ALL WALLS TO RECEIVE NEW FINISHES, UNLESS OTHERWISE NOTED. ALL NEW SURFACE TREATMENTS TO TAPER SMOOTHLY INTO EXISTING SURFACES. FURR OUT OR SKIM SURFACES AS NECESSARY TO ACHIEVE ALIGNMENT SO AS NOT TO SHOW TRANSITION.
13. WHENEVER EXISTING SERVICES OR EQUIPMENT ARE TO BE REMOVED, ALL ELECTRICAL/ MECHANICAL/PLUMBING AND TELECOM CONNECTIONS FOR SUCH SERVICES MUST BE REMOVED AND TERMINATED SAFELY IN AN APPROVED MANNER. ENGINEERS' DRAWINGS AND SPECIFICATIONS GOVERN THE EXTENT AND METHOD OF REMOVAL, PLUGGING AND SECURING OF MECHANICAL, ELECTRICAL, PLUMBING AND COMMUNICATION SYSTEMS. REFER TO CONSULTANTS DRAWINGS FOR DETAILS.
14. WHERE IT IS INDICATED IN THE CONTRACT DOCUMENTS THAT THE DEMOLISHED ITEMS ARE THE PROPERTY OF THE OWNER, BUT ARE TO BE REMOVED FROM SITE, THE CONTRACTOR IS RESPONSIBLE FOR LOADING ITEMS ON THE OWNER'S CARRIER. COORDINATE WITH OWNER.
15. EXISTING ITEMS WHICH REMAIN THE PROPERTY OF THE OWNER AND WHICH ARE TO BE RE-USED IN THE WORK MUST BE CAREFULLY REMOVED AND STORED BY THE CONTRACTOR AND PROPERLY PROTECTED.
16. EXISTING FURNITURE FOR REMOVAL ON SITE MAY VARY FROM FURNITURE REMOVAL PLAN(S). ALL FURNITURE NOT SPECIFICALLY IDENTIFIED FOR STORAGE OR RE-INSTALLATION TO BE CONSIDERED REMOVED FOR DISPOSAL.
17. CABLE DECOMMISSIONING OF WORKSTATION WIRING AND FURNITURE REMOVAL BY OTHERS.

DEMOLITION PLAN REFERENCED NOTES

1. REMOVE EXISTING KITCHEN MILLWORK, FIXTURES AND FINISHES TO PREPARE FOR NEW. ALL PLUMBING TO BE MAINTAINED, CAPPED FOR REUSE. REFER TO PARTITION PLAN AND MECHANICAL ENGINEER DRAWING FOR DETAILS
2. CAP EXISTING POWER FEED, AND RETAIN CABLING WITHIN THE WALL FOR FOR FUTURE RE-USE AS REQUIRED IN NEW DESIGN. REFER TO POWER & COMMUNICATIONS PLAN AND ELECTRICAL DRAWINGS FOR DETAIL.
3. CAREFULLY REMOVE EXISTING WALL MOUNTED ACCESSORIES (PAPER TOWEL DISPENSER, TOILET PAPER DISPENSER, MIRROR, BULLETIN BOARD, ETC.) AND FIRST-AID KIT BOX STORE IN PROTECTED AREA FOR RE-INSTALLATION. EXCEPTION WITH SOAP DISPENSER WHICH TO BE DISPOSED.
4. ALLOW VERTICAL PARTIAL OPENING TO INSTALL NEW IN-WALL BLOCKING AS REQUIRED TO INSTALL NEW ARCHITECTURAL WALL SYSTEM. REFER TO PARTITION PLAN AND VENDOR SHOP FOR DETAILS

DEMOLITION PLAN REFERENCED NOTES (CONT...)

5. **SEPARATE PRICE #1:**
WASHROOM SCOPE - REMOVE EXISTING WASHROOM MILLWORK, FIXTURE, FLOOR FINISHES TO PREPARE FOR NEW. ALL PLUMBING TO BE MAINTAINED, CAPPED FOR REUSE. REMOVE EXISTING WALL MOUNTED ACCESSORIES AND SAFELY STORE FOR RE-INSTALL.
REFER TO PARTITION PLAN AND MECHANICAL ENGINEER DRAWING FOR DETAILS

DEMOLITION PLAN TYPICAL NOTES

1. PATCH, REPAIR AND PREPARE ALL AREAS OF WORK AFFECTED BY DEMOLITION TO RECEIVE NEW FINISHES. REFER TO PARTITION PLAN AND FINISHES PLAN FOR DETAILS.
2. CAREFULLY REMOVE EXISTING WALL FINISHES, CARPET / VINYL TILE FLOORING AND WALL BASE(S) THROUGHOUT SCOPE OF WORK.
3. GENERAL CONTRACTOR TO REMOVE AND DISCONNECT REDUNDANT POWER CABLING THROUGHOUT AND MAKE SAFE FOR FUTURE RE-USE WHERE APPLICABLE. REFER TO ELECTRICAL DRAWINGS FOR DETAILS.
4. CLIENT I.T. TEAM TO COORDINATE WITH CONTRACTOR FOR THE DISCONNECTION OF EXISTING DATA CABLING AS NEEDED. COIL UP AND MAKE ALL UNUSED ELECTRICAL SERVICE GROUPING SAFE FOR FUTURE RE-USE. REFER TO ELECTRICAL DRAWINGS FOR DETAILS.
5. ALL EXISTING WINDOW SHADES AT EXTERIOR WINDOW TO REMAIN. PROTECT DURING CONSTRUCTION AS REQUIRED.
6. ALL REMOVED DOOR HARDWARE TO BE RETURNED TO FACILITY MANAGEMENT. REFER TO LANDLORD MANUAL.

Key Plan

No	Revisions	Date
4	ISSUED FOR TENDER	20250527
3	ISSUED FOR 99% COORDINATION	20250414
2	ISSUED FOR PS COORDINATION	20250404
1	ISSUED FOR 66% COORDINATION	20250305

Orientation

Seal

The Contractor shall check and verify all dimensions and report all errors and omissions to the IO-Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A — Detail No
B — Sheet No where detailed

BGIS

Infrastructure Ontario

Ministry PSIF Number

Project
INTERIOR RENOVATION

Location
465 DAVIS DR. SUITE 301, NEWMARKET, ON L3Y 7T9

ID Project No: 240256
Site No:
Building No: B25590

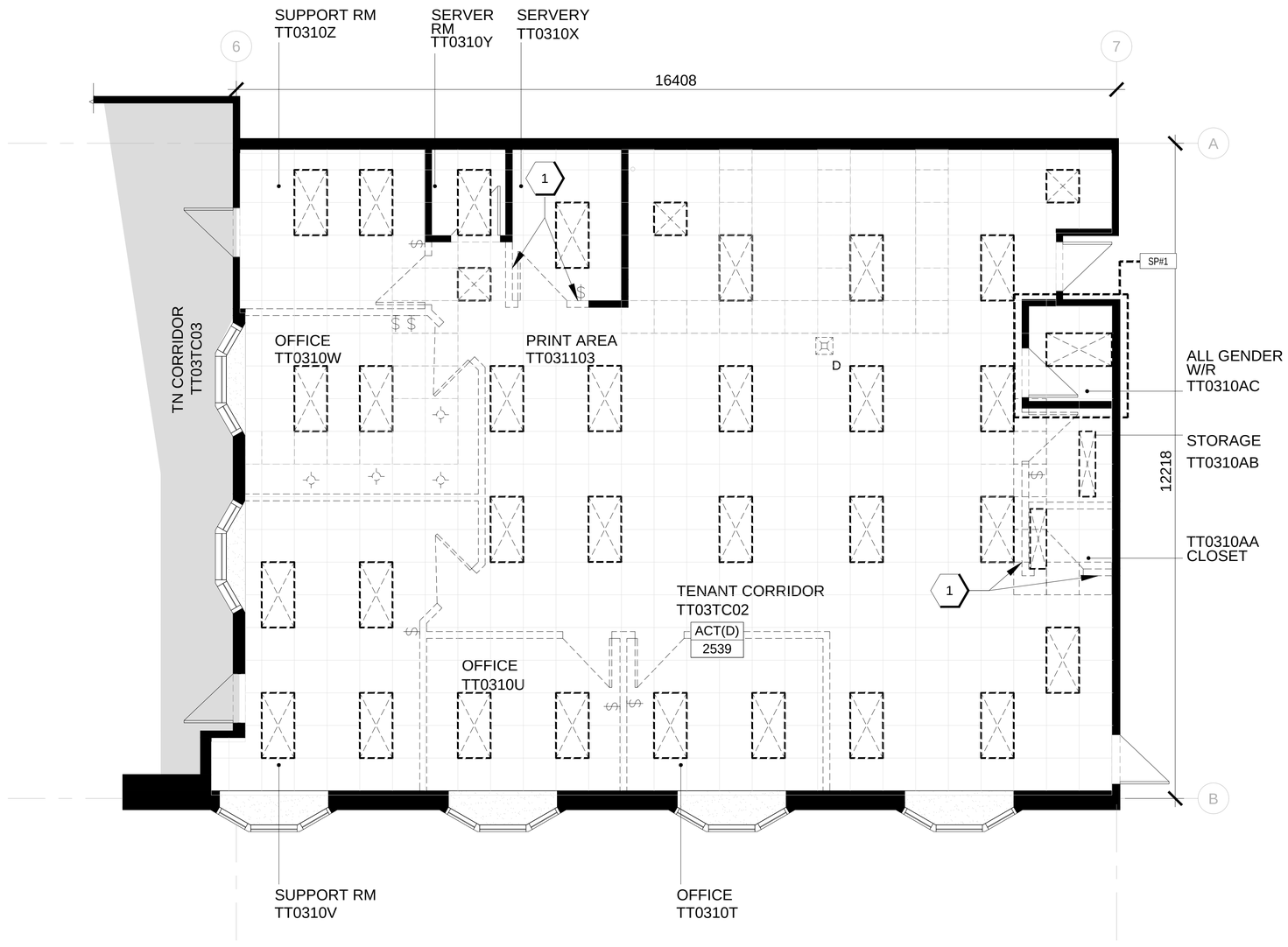
Client
INFRASTRUCTURE ONTARIO

Drawing Title
DEMOLITION PLAN

Scale: 1:50
Project Start Date: 20241122
Drawn by: SY / DF
Substantial Performance Date: 20251030
Designed by: SY / DF
Drawing No: ID101 of 13
Approved by: JC
Floor No: F3

CADD File NAME

594x841mm



DEMOLITION RCP LEGEND & SYMBOLS

SYMBOL	DESCRIPTION
N.I.C	AREA NOT IN CONTRACT
	EXISTING GYPSUM CEILING TO REMAIN
	EXISTING ACOUSTIC CEILING TILES (ACT) TO BE REMOVED AND STORED FOR RE-INSTALL. MAINTAIN AND PROTECT T-BAR CEILING GRID THROUGHOUT
	DASHED LINE DENOTES DEMOLITION
	EXISTING BASE BUILDING LIGHT FIXTURE TO BE REMOVED
	EXISTING RECESSED LIGHT FIXTURE TO BE REMOVED
$	REMOVAL OF EXISTING LIGHT SWITCHES WHERE PARTITIONS ARE TO BE DEMOLISHED
	POWER POLE 'D' DENOTES EXISTING TO BE REMOVED
SP#	SEPARATE PRICE ITEM AREA

DEMOLITION RCP GENERAL NOTES

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ELECTRICAL & MECHANICAL ENGINEERS DRAWINGS AND REFLECTED CEILING PLAN (RCP).
2. WHEREVER EXISTING SERVICES OR EQUIPMENT ARE TO BE REMOVED, ALL ELECTRICAL / MECHANICAL/ PLUMBING AND COMMUNICATIONS CONNECTIONS FOR SUCH SERVICES SHALL BE REMOVED AND SECURELY TERMINATED IN AN APPROVED MANNER. ENGINEERS DRAWINGS AND SPECIFICATIONS GOVERN THE EXTENT AND METHOD OF REMOVAL, CAPPING OFF AND MAKING SAFE OF MECHANICAL, ELECTRICAL, PLUMBING AND COMMUNICATIONS SYSTEMS.
3. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR FINAL AND/OR NEW LOCATION OF HVAC AND LIFE SAFETY.
4. FOR REMOVAL OF EXISTING COMMUNICATIONS CABLING REFER TO CONSULTANT DRAWINGS TO ENSURE ALL CONCEALED AND APPARENT ELEMENTS HAVE BEEN DISCONNECTED, RECUPERATED (WHERE APPLICABLE) AND TERMINATED IN ACCORDANCE TO ALL APPLICABLE REGULATIONS. PATCH AND REPAIR ALL DAMAGES AND MAKE GOOD ALL AREAS AFFECTED BY DEMOLITION. CLEAN ALL AREAS IN PLACE OF WORK.
5. PATCH AND REPAIR ALL DAMAGES AND MAKE GOOD ALL AREAS AFFECTED BY DEMOLITION. CLEAN ALL AREAS IN PLACE OF WORK.
6. EXISTING MATERIALS AND ITEMS THAT REMAIN THE PROPERTY OF THE OWNER AND THAT ARE TO BE REUSED IN THE WORK SHALL BE CAREFULLY REMOVED AND STORED BY THE CONTRACTOR AND PROTECTED IN AN APPROPRIATE MANNER.
7. PATCH AND REPAIR OPENINGS LEFT FROM REMOVAL OF SERVICES TO MATCH EXISTING SURROUNDING FINISHES.
8. WHERE INDICATED IN THE CONTRACT DOCUMENTS THAT DEMOLISHED ITEMS ARE THE PROPERTY OF THE OWNER, BUT ARE TO BE REMOVED OFF SITE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOADING ONTO OWNER'S CARRIER. COORDINATE WITH OWNER.
9. ALL DEMOLISHED SCOPE OF WORK TO BE MADE SAFE.
10. LIGHT FIXTURES TO BE REMOVED AND NOT PLANNED FOR RE-USE IN THE PROJECT SCOPE OF WORK TO BE RETURNED TO THE BUILDING FACILITY MANAGER FOR STORAGE OR DISPOSAL. TO BE COORDINATED.
11. ALL DISPOSAL TO FOLLOW CLIENT ENVIRONMENTAL GUIDELINES.

DEMOLITION RCP REFERENCED NOTES

1. PATCH AND REPAIR T-BAR CEILING WHERE REMOVAL OF EXISTING FULL HEIGHT PARTITIONS ARE BEING DEMOLISHED.
2. **SEPARATE PRICE #1:**
   WASHROOM SCOPE - GRID TO REMAIN, REMOVE EXISTING CEILING TILES, LIGHTING AND FAN TO RECEIVE NEW. REFER TO ELECTRICAL ENGINEER DRAWING FOR DETAILS

DEMOLITION RCP TYPICAL NOTES

1. REMOVE EXISTING CEILING MOUNTED EXIT SIGNS AND MAINTAIN ELECTRICAL IN CEILING TO PREPARE FOR NEW. REFER TO ELECTRICAL DRAWINGS FOR DETAILS.
2. CAP AND REMOVE EXISTING SWITCHES AND OCCUPANCY SENSORS AS REQUIRED. PATCH AND REPAIR AREAS FOR FUTURE RE-USE. REFER TO ELECTRICAL DRAWINGS FOR DETAILS.
3. REMOVE AND DISPOSE OF EXISTING PAC POLES THROUGHOUT. RETAIN EXISTING CABLING AND COIL UP IN CEILING PLENUM FOR FUTURE RE-USE AS REQUIRED IN NEW DESIGN. REFER TO ELECTRICAL DRAWINGS DETAILS.
4. EXISTING CEILING TILES TO BE CAREFULLY REMOVED AND SAFELY STORED DURING DEMOLITION.
5. **SEPARATE PRICE #2:** LIGHTING
   OPTION A: REMOVE ALL EXISTING LIGHTS TO REPLACE NEW.
6. **SEPARATE PRICE #3:** REMOVE ALL CEILING TILE AND RETURN GOOD QUALITY TILES TO LL. PENDING APPROVAL FROM LL.

Key Plan

No	Revisions	Date
4	ISSUED FOR TENDER	20250527
3	ISSUED FOR 99% COORDINATION	20250414
2	ISSUED FOR PS COORDINATION	20250404
1	ISSUED FOR 66% COORDINATION	20250305

Orientation

Seal

The Contractor shall check and verify all dimensions and report all errors and omissions to the IO-Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A — Detail No
B — Sheet No where detailed

BGIS

Infrastructure Ontario

Ministry PSIF Number

Project
INTERIOR RENOVATION

Location
465 DAVIS DR. SUITE 301, NEWMARKET, ON L3Y 7T9

IO Project No: 240256
Site No:
Building No: B25590

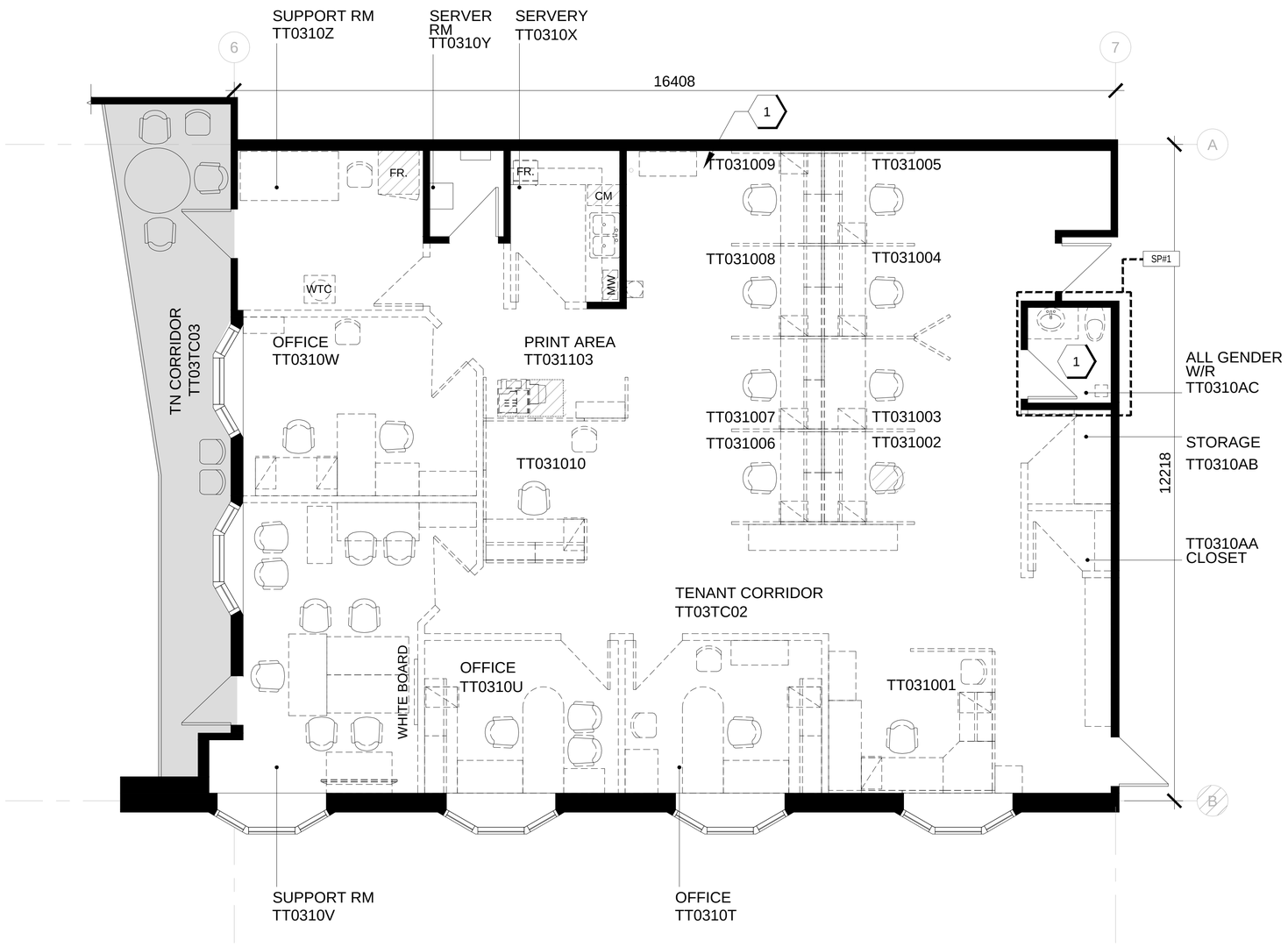
Client
INFRASTRUCTURE ONTARIO

Drawing Title
DEMOLITION REFLECTED CEILING PLAN

Scale: 1:50
Project Start Date: 20241122
Drawn by: SY / DF
Substantial Performance Date: 20251030
Designed by: SY / DF
Drawing No: ID102 of 13
Approved by: JC
Floor No: F3

CADD File NAME

594x841mm



FURNITURE REMOVAL PLAN LEGEND & SYMBOLS

SYMBOL	DESCRIPTION
N.I.C	AREA NOT IN CONTRACT
————	CONTINUOUS LINE DENOTES EXISTING ITEMS TO REMAIN AS IS AND TO BE PROTECTED DURING CONSTRUCTION
- - - - - - - -	DASHED LINE DENOTES ITEMS TO DEMOLISH/RELOCATE
	EXISTING FURNITURE & EQUIPMENT TO REMAIN AND SAFELY STORED IN PROTECTED AREA DURING CONSTRUCTION. REFER TO FURNITURE PLAN FOR NEW LOCATIONS.
SP#	SEPARATE PRICE ITEM AREA

FURNITURE REMOVAL PLAN GENERAL NOTES

1. WHENEVER EXISTING SERVICES OR EQUIPMENT ARE TO BE REMOVED, ALL ELECTRICAL / MECHANICAL/ PLUMBING AND COMMUNICATIONS CONNECTIONS FOR SUCH SERVICES SHALL BE REMOVED AND SECURELY TERMINATED IN AN APPROVED MANNER. ENGINEERS DRAWINGS AND SPECIFICATIONS GOVERN THE EXTENT AND METHOD OF REMOVAL, CAPPING OFF AND MAKING SAFE OF MECHANICAL, ELECTRICAL, PLUMBING AND COMMUNICATIONS SYSTEMS.
2. FOR REMOVAL OF EXISTING COMMUNICATIONS CABLING REFER TO CONSULTANT DRAWINGS TO ENSURE ALL CONCEALED AND APPARENT ELEMENTS HAVE BEEN DISCONNECTED, RECUPERATED (WHERE APPLICABLE) AND TERMINATED IN ACCORDANCE TO ALL APPLICABLE REGULATIONS.
3. PATCH AND REPAIR ALL DAMAGES AND MAKE GOOD ALL AREAS AFFECTED BY DEMO. CLEAN AND VACUUM ALL AREAS IN PLACE OF WORK.
4. PROTECT ALL EXISTING ITEMS TO REMAIN DURING RENOVATION FROM DUST AND DAMAGE UNLESS OTHERWISE NOTED.
5. EXISTING MATERIALS THAT REMAIN THE PROPERTY OF THE OWNER AND THAT ARE TO BE REUSED IN THE WORK SHALL BE CAREFULLY REMOVED AND STORED BY THE CONTRACTOR AND PROTECTED IN AN APPROPRIATE MANNER.
6. PATCH AND REPAIR OPENINGS LEFT FROM REMOVAL OF SERVICES TO MATCH EXISTING SURROUNDING FINISHES.
7. WHERE INDICATED IN THE CONTRACT DOCUMENTS THAT DEMOLISHED ITEMS ARE THE PROPERTY OF THE OWNER, BUT ARE TO BE REMOVED OFF SITE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOADING ONTO OWNER'S CARRIER. COORDINATE WITH OWNER.
8. CONTRACTOR TO ALLOW FOR REMOVAL OF ALL EXISTING WALL ART, POSTERS, WALL GRAPHIC, WHITEBOARDS, TACK BOARDS, WALL TALKERS, SLOT WALL. COLLECT ALL GARBAGE AND DISPOSE OF AS REQUIRED UNLESS OTHERWISE NOTED.
9. ALL DISPOSAL TO FOLLOW CLIENT ENVIRONMENTAL GUIDELINES.
10. REMOVE ALL EXISTING ROOM SIGNS (OFFICE AND ROOM SIGNS/PLAQUES) AND MAKE GOOD SURFACES AS REQUIRED TO RECEIVE NEW FINISH. UNLESS OTHERWISE NOTED.
11. REMOVE ALL EXISTING WALL COVERING(S), WALL TALKERS, GRAPHICS PREPARE ALL WALLS TO RECEIVE NEW FINISHES, UNLESS OTHERWISE NOTED. ALL NEW SURFACE TREATMENTS TO TAPER SMOOTHLY INTO EXISTING SURFACES. FURR OUT OR SKIM SURFACES AS NECESSARY TO ACHIEVE ALIGNMENT SO AS NOT TO SHOW TRANSITION.
12. WHENEVER EXISTING SERVICES OR EQUIPMENT ARE TO BE REMOVED, ALL ELECTRICAL/ MECHANICAL/PLUMBING AND TELECOM CONNECTIONS FOR SUCH SERVICES MUST BE REMOVED AND TERMINATED SAFELY IN AN APPROVED MANNER. ENGINEERS' DRAWINGS AND SPECIFICATIONS GOVERN THE EXTENT AND METHOD OF REMOVAL, PLUGGING AND SECURING OF MECHANICAL, ELECTRICAL, PLUMBING AND COMMUNICATION SYSTEMS. REFER TO CONSULTANTS DRAWINGS FOR DETAILS.
13. WHERE IT IS INDICATED IN THE CONTRACT DOCUMENTS THAT THE DEMOLISHED ITEMS ARE THE PROPERTY OF THE OWNER, BUT ARE TO BE REMOVED FROM SITE, THE CONTRACTOR IS RESPONSIBLE FOR LOADING ITEMS ON THE OWNER'S CARRIER. COORDINATE WITH OWNER.
14. EXISTING ITEMS WHICH REMAIN THE PROPERTY OF THE OWNER AND WHICH ARE TO BE RE-USED IN THE WORK MUST BE CAREFULLY REMOVED AND STORED BY THE CONTRACTOR AND PROPERLY PROTECTED.
15. CABLE DECOMMISSIONING OF WORKSTATION WIRING AND FURNITURE REMOVAL BY OTHERS.

FURNITURE REMOVAL PLAN REFERENCED NOTES

1. CAREFULLY REMOVE EXISTING WALL MOUNTED ACCESSORIES FOR RE-INSTALL (PAPER TOWEL DISPENSER, BULLETIN BOARD, ETC) FIRST-AID KIT BOX STORE IN PROTECTED AREA FOR RE-INSTALLATION. EXCEPTION WITH SOAP DISPENSER WHICH TO BE DISPOSED.

2. **SEPARATE PRICE #1:**
WASHROOM SCOPE - REMOVE TOILET PAPER DISPENSER, MIRROR, BULLETIN BOARD, ETC. WALL MOUNTED ACCESSORIES AND SAFELY STORE FOR RE-INSTALL.
REFER TO PARTITION PLAN AND MECHANICAL ENGINEER DRAWING FOR DETAILS

FURNITURE REMOVAL PLAN TYPICAL NOTES

1. REMOVAL OF EXISTING FURNITURE ON SITE MAY VARY FROM FURNITURE REMOVAL PLAN. BGIS RELOCATION SERVICE TEAM TO COORDINATE ALL ITEMS INDICATED TO BE SUSTAINABLY DECOMMISSIONED WITH CLIENT PROJECT MANAGER.
2. ALL ITEMS FURNITURE NOT SPECIFICALLY IDENTIFIED TO BE MOVED TO STORAGE AND TO BE CONFIRMED WITH CLIENT PM.
3. FURNITURE RELOCATION TO BE DONE BY BGIS RELOCATION SERVICES TEAM. REFER TO FURNITURE PLAN AND SCHEDULE FOR REFERENCE.
4. REMOVE EXISTING EQUIPMENT AND ACCESSORIES (FREESTANDING VIDEO CONFERENCING, SHREDDER, COPY/PRINT MACHINE, BAR FRIDGE, REFRIGERATOR, KITCHEN APPLIANCES, FANS, TECH. EQUIPMENT, PLANTS, ETC.) AND STORE IN PROTECTED AREA FOR RE-USE. EXISTING ELECTRIC WATER HEATER/COOLER, AND WATER COOLER TO BE ADVISED BY CLIENT.
5. REMOVE EXISTING WALL SURFACE MOUNTED ITEMS (WALL ART, WHITEBOARDS, TACK BOARDS, SLOT WALLS, BLOCKING FROM HAND SANITIZER STATIONS, DECORATIVE WALL ORNAMENTS, POSTERS, ETC.) AND STORE IN PROTECTED AREA FOR RE-USE. LOCATION TO BE CONFIRMED BY CLIENT AND PM.

Key Plan

No	Revisions	Date
4	ISSUED FOR TENDER	20250527
3	ISSUED FOR 99% COORDINATION	20250414
2	ISSUED FOR PS COORDINATION	20250404
1	ISSUED FOR 66% COORDINATION	20250305

Orientation

Seal

The Contractor shall check and verify all dimensions and report all errors and omissions to the IO–Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A — Detail No
B — Sheet No where detailed

BGIS

Infrastructure Ontario

Ministry PSIF Number

Project
INTERIOR RENOVATION

Location
465 DAVIS DR. SUITE 301, NEWMARKET, ON L3Y 7T9

IO Project No: 240256
Site No:
Building No: B25590

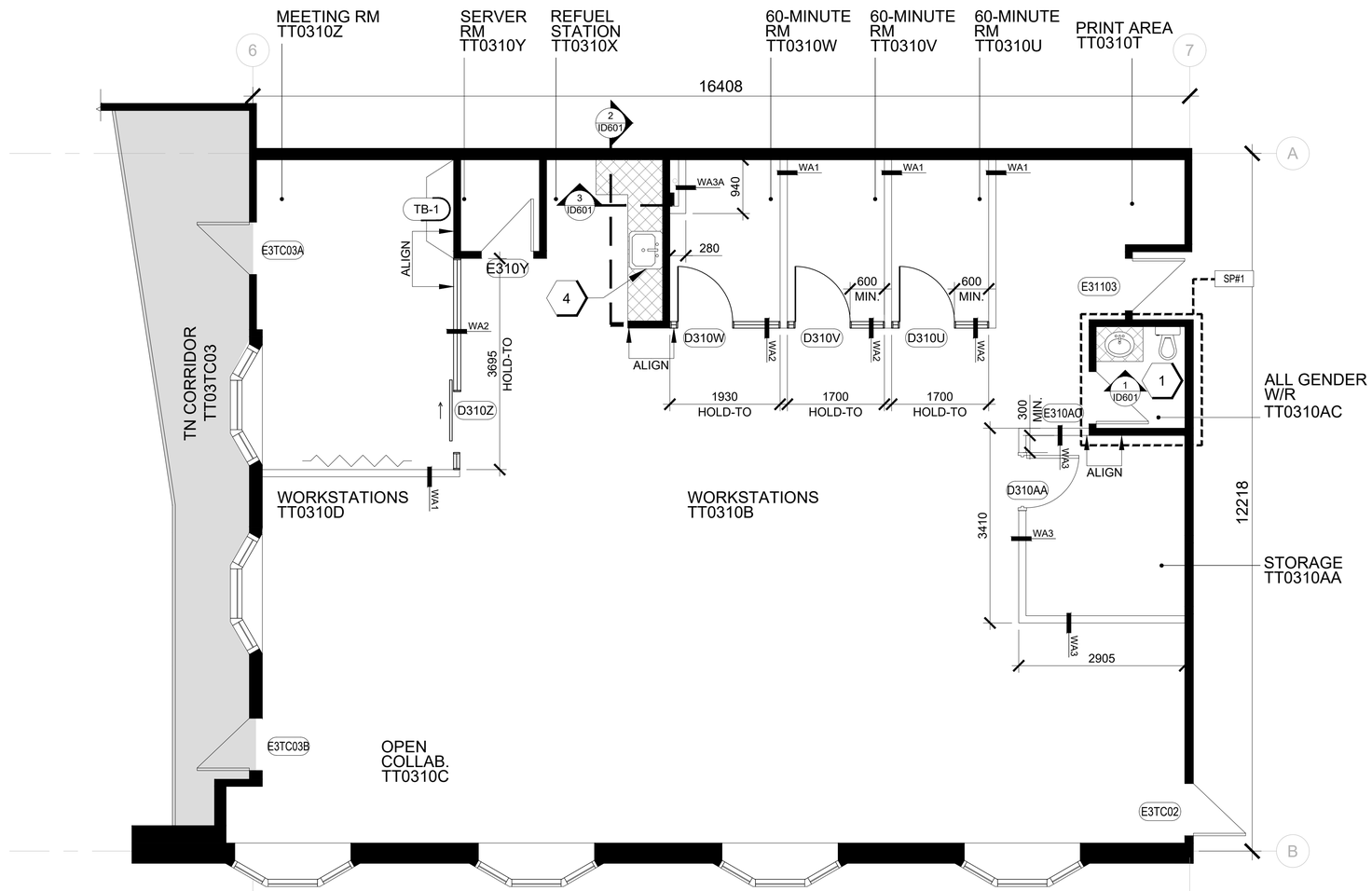
Client
INFRASTRUCTURE ONTARIO

Drawing Title
DEMOLITION PLAN

Scale: 1:50
Project Start Date: 20241122
Drawn by: SY / DF
Substantial Performance Date: 20251030
Designed by: SY / DF
Drawing No: ID103 of 13
Approved by: JC
Floor No: F3

CADD File NAME

594x841mm



PARTITION PLAN LEGEND & SYMBOLS

SYMBOL	DESCRIPTION
N.I.C	AREA NOT IN CONTRACT
	EXISTING PARTITION TO REMAIN AS IS AND TO BE PROTECTED DURING CONSTRUCTION
	NEW INTERIOR PARTITION REFER TO PARTITION DETAILS
	EXISTING / NEW DOOR
DXX	DOOR IDENTIFICATION TAG "D" DENOTES NEW DOOR
WA#	WALL/ PARTITION TAG
	LOCATION OF IN-WALL PLYWOOD BLOCKING
	NEW MILLWORK
SP#	SEPARATE PRICE ITEM AREA

PARTITION PLAN GENERAL NOTES

1. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL CONSTRUCTION SPECIFICATIONS AND DOCUMENTATION.
2. PREPARE ALL WALLS AND FLOORS TO RECEIVE NEW FINISHES. REFER TO FINISHES PLAN. ALL NEW SURFACES TREATMENTS TO TAPER SMOOTHLY INTO EXISTING SURFACES. FURR OUT OR SKIM SURFACES AS NECESSARY TO ACHIEVE ALIGNMENT SO AS TO NOT SHOW TRANSITION.
3. PATCH, REPAIR AND MAKE GOOD ALL AREAS AFFECTED BY DEMO. REFER TO FINISHES PLAN.
4. PROVIDE STIFFENERS, BRACING, METAL BACKING PLATES AND WOOD BLOCKING (FIRE TREATED) AS REQUIRED IN PARTITIONS AND/OR CEILING TO PROPERLY SECURE THE INSTALLATION OF FIXTURES, DOORS, DOOR HARDWARE, HANDRAILS, GUARDS, WALL-MOUNTED SHELVES, UPPER AND LOWER CABINETS, OPERABLE PARTITIONS, MISCELLANEOUS EQUIPMENT AND ACCESSORIES, SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT AND ALL OTHER RELATED COMPONENTS. COORDINATE PLACEMENT OF BLOCKING FOR MILLWORK WITH DESIGNER PRIOR TO CLOSING PARTITIONS. CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD WALLS OPENED FOR NEW IN WALL BLOCKING.
5. PROVIDE BLOCKING WHERE THERE IS NO METAL STUD IN THE DRYWALL FOR ARCHITECTURAL PARTITIONS. 3/4" BLOCKING TO BE SUPPLIED IN HEADER AND JAMBS. REFER TO VENDOR SHOP DRAWINGS FOR DETAILS.
6. ALL NON-BEARING PARTITIONS WHICH ARE INDICATED TO EXTEND TO THE BOTTOM OF THE ROOF DECK OR CEILING ARE TO HAVE A 1" SOFT JOINT AT TOP, UNLESS NOTED OTHERWISE. FIRE RATE JOINT AT RATED WALL CONSTRUCTIONS.
7. PROVIDE MINIMUM 1'-0" CLEAR FLOOR SPACE AT THE PUSH SIDE OF EVERY DOOR. PROVIDE MINIMUM 2'-0" CLEAR AT THE PULL SIDE OF EVERY DOOR, UNLESS SPECIFICALLY DIMENSIONED, NOTED OR SHOWN OTHERWISE.
8. ALL INTERIOR PARTITIONS ARE REQUIRED TO BE BRACED SO AS TO COMPLY WITH LOCAL SEISMIC REQUIREMENTS.
9. UNDERCUT DOORS TO CLEAR TOP OF FLOOR FINISHES BY 1" MINIMUM. UNLESS OTHERWISE NOTED.
10. DRYWALL CONTRACTOR SHALL USE THE REFLECTED CEILING PLAN IN CONJUNCTION WITH THE CONSTRUCTION PLAN TO ESTABLISH EXACT LOCATION OF PARTITIONS.
11. ALL DRYWALL PARTITIONS SHALL BE MARKED ON THE FLOOR AND APPROVED BY INTERIOR DESIGN CONSULTANT.
12. LOCATIONS OF REQUIRED ACCESS PANELS ARE TO BE REVIEWED WITH DESIGNER.
13. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE SURE THE EXISTING SLAB HAS THE CAPACITY TO RELOCATE EXISTING FILING CABINETS, FIREPROOF CABINETS AND OPEN SHELF UNITS AS SHOWN ON FURNITURE PLAN. THIS WORK SHALL BE DONE PRIOR TO COMMENCING ANY WORK. CONSTRUCTION MANAGER TO CONSULT A STRUCTURAL ENGINEER AND TO REVIEW ALL DRAWINGS BEFORE THE START OF WORK.
14. WHERE NEW WORK CONNECTS WITH EXISTING CORE COLUMN, ENSURE NECESSARY CUTTING, FITTING AND TIE-INS REQUIRED SHALL BE SATISFACTORY AND PERFORMED UNDER THIS CONTRACT.
15. EXISTING COLUMNS AND CORE WALLS TO BE MADE GOOD TO RECEIVE NEW FINISH.
16. CONSTRUCTION MANAGER & DRYWALL CONTRACTORS SHALL CONSULT WITH MECHANICAL CONSULTANT TO ENSURE READY ACCESS FOR MAINTENANCE TO ALL MECHANICAL UNITS BEFORE NEW PARTITIONS AND CEILINGS ARE ERECTED AND INSTALLED.
17. SOUND ATTENUATION INSULATION IN PARTITIONS TO BE CONTINUOUS BEHIND ALL POWER & COMMUNICATIONS WALL OUTLETS AND ACROSS DOOR/WINDOW HEADERS WITHOUT INTERRUPTION.
18. MAINTAIN CONTINUOUS SOUND ATTENUATION AT PERIMETER CONVECTOR UNIT CAVITIES AT SOUND ATTENUATED PARTITION CONNECTIONS.
19. MAINTAIN REQUIRED FIRE RATING AROUND MECHANICAL AND ELECTRICAL EQUIPMENT, AND OTHER INSERTIONS.
20. ERECT ACCESSORIES STRAIGHT, PLUMB OR LEVEL, RIGID AND AT THE PROPER PLANE.
21. ENSURE THAT ALL OPENINGS FOR GLAZING ARE SQUARE AND SOLID FOR RECEIVING GLASS OR GLAZING FRAMES.
22. ALL NEW DOORFRAMES TO BE 4" (100MM) AWAY FROM PARTITION UNLESS NOTED OTHERWISE.
23. WHERE PARTITIONS MEET BUILDING WINDOW MULLIONS, DO NOT SCREW INTO MULLIONS. PROVIDE FILLER SECURE WITH ADHESIVE FACED, CLOSED-CELL FOAM GASKETS.
24. FINAL LOCATION OF THERMOSTATS TO BE CONFIRMED AND APPROVED BY INTERIOR DESIGNER.

PARTITION PLAN TYPICAL NOTES

1. ENSURE ALL SURFACES AND CORNERS ARE GOOD / PROPERLY LEVELED TO RECEIVE NEW FINISHES.
2. SUPPLY AND INSTALL NEW ARCHITECTURAL GLAZED DOORS AND WALLS AS SHOWN ON PLAN. ENSURE THAT CRITICAL VERTICAL AND LATERAL HOLD-TO DIMENSIONS ARE MET TO ACCOMMODATE ARCHITECTURAL WALLS. ALL VERTICAL AND LATERAL SURFACES AT OPENINGS FOR ARCHITECTURAL WALLS TO BE FINISHED DRYWALL READY TO RECEIVE NEW WALL FINISH. PROVIDE IN-WALL BLOCKING AND AT CEILING AND NEW VERTICAL WALL SIDE AS REQUIRED TO ENSURE NEW WALL SYSTEMS ARE SECURED. EXISTING PARTITION SIDE TO RECEIVE NEW IN-WALL BLOCKING AND PATCH, REPAIR, PAINT TO MATCH. ARCHITECTURAL WALLS TO BE SUPPLIED AND INSTALLED BY ARCHITECTURAL WALL SYSTEM VENDOR AND GC TO COORDINATE. REFER TO DOOR SCHEDULE AND PARTITION TYPES.

PARTITION PLAN REFERENCED NOTES

1. **SEPARATE PRICE #1:**
WASHROOM SCOPE - INSTALL NEW MILLWORK WITH PLUMBING FIXTURES (UNDERMOUNT SINK, FAUCET,TOILET) RE-USE EXISTING PLUMBING CONNECTION LINE AS REQUIRED.

2. **SEPARATE PRICE #2:** GENERAL WALL CONSTRUCTION TYPES.
PROVIDE TWO DIFFERENT PRICING OPTION FOR OVERALL CONSTRUCTION.
OPTION A - ALL DRYWALL + GLASS WITH U-CHANNEL
OPTION B - ALL IN ARCHITECTURAL MODULAR WALL SYSTEM (PC350, TEKNION OR EQUIVALENT)

3. RESERVED

4. INSTALL NEW MILLWORK WITH NEW SINK AND KITCHEN FAUCET, SPIGOT, WATER HEATER/COOLER, AND TO BE CONFIRMED BY CLIENT. RE-USE EXISTING PLUMBING CONNECTION. REFER TO INTERIOR ELEVATIONS AND MECHANICAL DRAWINGS FOR DETAILS.

Key Plan

No	Revisions	Date
4	ISSUED FOR TENDER	20250526
3	ISSUED FOR 99% COORDINATION	20250414
2	ISSUED FOR PS COORDINATION	20250404
1	ISSUED FOR 66% COORDINATION	20250305

Orientation

Seal

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A — Detail No
B — Sheet No where detailed

BGIS

Infrastructure Ontario

Ministry PSIF Number

Project
INTERIOR RENOVATION

Location
465 DAVIS DR. SUITE 301, NEWMARKET, ON L3Y 7T9

IO Project No: 240256
Site No
Building No: B25590

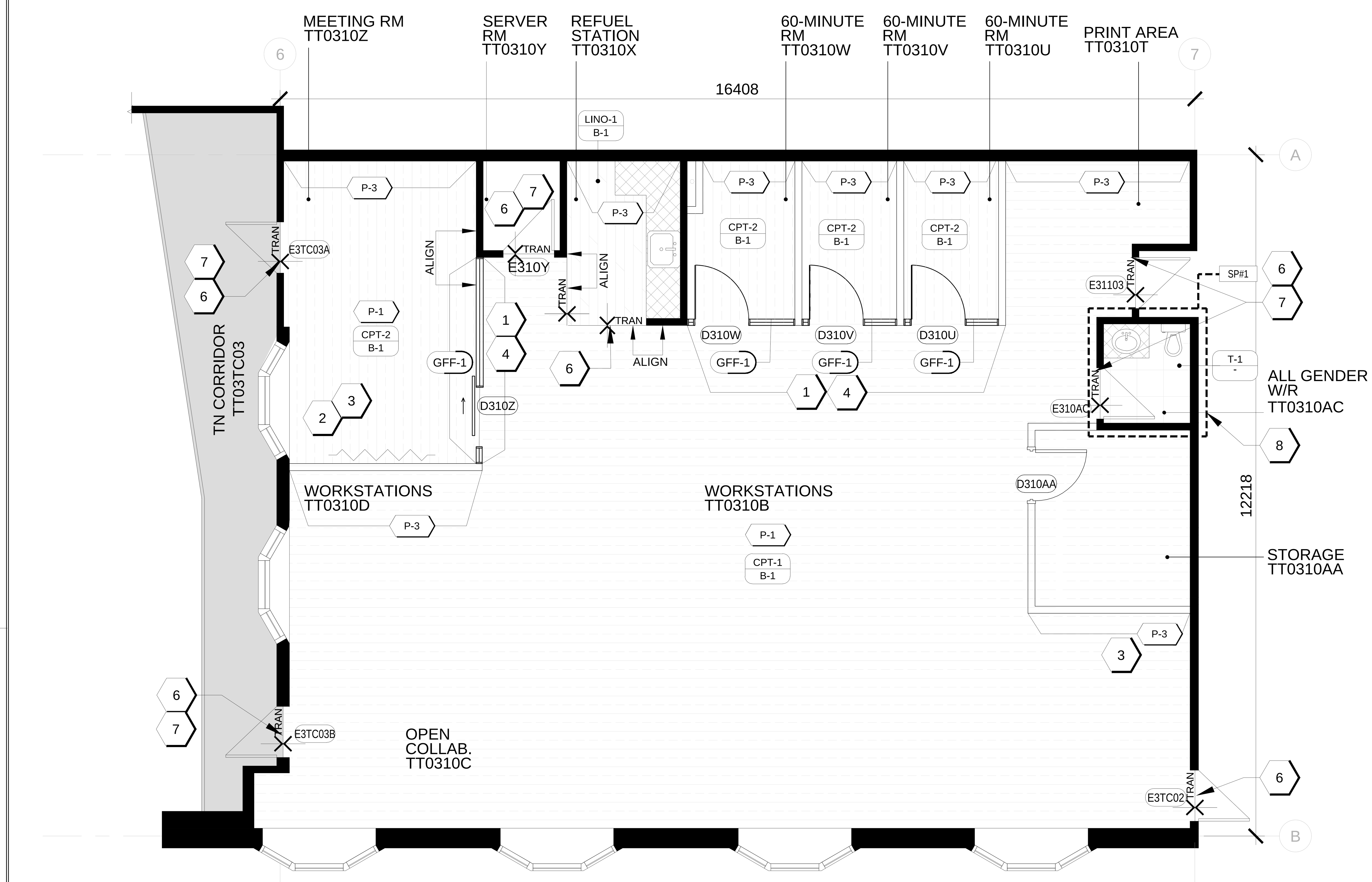
Client
INFRASTRUCTURE ONTARIO

Drawing Title
PARTITION PLAN

Scale: 1:50
Project Start Date: 20241122
Drawn by: SY / DF
Substantial Performance Date: 20251030
Designed by: SY / DF
Drawing No: ID201 of 13
Approved by: JC
Floor No: F3

CADD File NAME

594x841mm



FINISHES SCHEDULE - FLOORS, WALLS,MILLWORK & CEILING

CODE	ITEM	SPECIFICATION	SUPPLIER CONTACT INFO.	REMARKS
WALL BASE	GENERAL NOTES - (1) SAMPLES OF RUBBER WALL BASE TO BE SUBMITTED TO INTERIOR DESIGNER FOR REVIEW PRIOR TO ORDERING / APPLICATION.			
B-1	RUBBER WALL BASE	MANUFACTURER: JOHNSONITE OR EQUIVALENT STYLE: TRADITIONAL WALL BASE COLOUR: WHITE SIZE: 4" (HEIGHT)	-	FIELD BASE. REFER TO FINISHES PLAN FOR LOCATIONS. FINISH NOTED OR EQUIVALENT **IO STANDARD**
CARPET	GENERAL NOTES: - (1) SAMPLES OF EACH CARPET TO BE SUBMITTED TO INTERIOR DESIGNER FOR REVIEW PRIOR TO PURCHASE / FABRICATION / MANUFACTURING / APPLICATION.			
CPT-1	GENERAL CARPET TILE	PRODUCT: GREY OPEN AIR 418 COLOR: 107044 Nickel SIZE:19.69 in x 19.69 in 100 SOLUTION DYED VINYL BACKED TEXTURED OR MULTI-LEVEL LOOPED ANTI MICROBIAL, SOIL RESIST, STATIC CONTROL.	INTERFACE	FIELD CARPET. REFER TO FINISHES PLAN FOR LOCATIONS AND INSTALLATION METHOD. FINISH NOTED OR EQUIVALENT
CPT-2	ACCENT CARPET TILE	PRODUCT: OPEN AIR 416 COLOR: SHELL 107786 SIZE:19.69 in x 19.69 in 100 SOLUTION DYED VINYL BACKED TEXTURED OR MULTI-LEVEL LOOPED ANTI MICROBIAL, SOIL RESIST, STATIC CONTROL.	INTERFACE	ACCENT CARPET. REFER TO FINISHES PLAN FOR LOCATIONS AND INSTALLATION METHOD. FINISH NOTED OR EQUIVALENT
TILE	GENERAL NOTES: - (1) SAMPLES OF EACH TILE TO BE SUBMITTED TO INTERIOR DESIGNER FOR REVIEW PRIOR TO PURCHASE / FABRICATION / MANUFACTURING / APPLICATION.			
T-1	*SEPARATE PRICE* WASHROOM FLOOR TILE	PRODUCT: TBC SIZE:12"X24" PORCELAIN TILE FLOORING WITH 4" TILE WALL BASE TO MATCH SLIP RESIST: 0.60 COF WET MIN. SCRATCH HARDNESS: 6 GROUT: 100% SOLIDS FLEXTILE, MAPEI OR AS PER TILE MANUFACTURER'S RECOMMENDATION	OLYMPIA TILE	REFER TO FINISHES PLAN FOR LOCATIONS AND INSTALLATION METHOD. FINISH NOTED OR EQUIVALENT
VINYL FLOORING	GENERAL NOTES - (1) SAMPLES OF EACH VINYL FLOORING SAMPLE TO BE SUBMITTED TO INTERIOR DESIGNER FOR REVIEW PRIOR TO ORDERING / APPLICATION / MANUFACTURING / FABRICATION.			
LINO-1	LINOLEUM SHEET FLOORING	PRODUCT: 5250 BLUE BASALT MARMOLEUM LINEAR STRIATO SHEET FLOORING	FORBO	REFUEL STATION. REFER TO FINISHES PLAN FOR LOCATIONS.
GLASS FRONT FILM	GENERAL NOTES - MANUFACTURER TO PROVIDE DOCUMENTATION STATING THAT THE GOODS PROVIDED MEET ALL FLAME SPREAD AND SMOKE DEVELOPMENT CODES. - ALL SUBSTITUTES AND ALTERATIONS MUST BE SUBMITTED TO AND REVIEWED BY INTERIOR DESIGNER PRIOR TO PURCHASE. - 3 SAMPLES OF EACH PANEL TO BE SUBMITTED TO INTERIOR DESIGNER FOR REVIEW PRIOR TO ORDERING / APPLICATION / MANUFACTURING / FABRICATION.			
GFF-1	CUSTOM GLASS FRONT FILM	PRIVACY FILM 3M SCOTCHCAL ELECTROCUT GRAPHIC FILM. SERIES: 7725, CAST VINYL COLOR: DUST CRYSTAL #314 OR SIMILAR PRESSURE SENSITIVE ADHESIVE, CLEAR. BEGIN AT 720MM AFF AND END AT 1530MM AFF TOP AND BOTTOM PRIVACY STRIPS ARE 115MM HIGH MIDDLE PRIVACY STRIP: 320MM HIGH DISTRACTION BAND (2) 100MM HIGH WHITE MATTE/OPAQUE STRIPS. 1ST STRIP LOCATED 1350MM AFF 2ND STRIP LOCATED 850-1000MM AFF.	3M OR EQUIVALENT	REFER TO FINISHES PLAN & SCHEDULE. FINISH NOTED OR EQUIVALENT. FILM SUPPLIER TO PROVIDE SAMPLE FOR APPROVAL SPECIFICATIONS TO FOLLOW IO STANDARD FINISH AND DESIGN.
PAINT	GENERAL NOTES - ALL PAINTED WALLS SHALL BE WASHABLE LATEX, EGGSHELL FINISH - ALL PAINTED CEILINGS TO BE WASHABLE LATEX, FLAT FINISH. - ALL PAINTED TRIM TO BE: PREMIUM GRADE AS PER PAINTER'S CONTRACTOR'S ARCHITECTURAL SPECIFICATION MANUAL, LATEST EDITION. - TWO 8 ½" X 11" CARD SAMPLES OF ALL PAINT COLORS TO BE SUBMITTED TO INTERIOR DESIGNER FOR REVIEW PRIOR TO APPLICATIONS. - REFER TO ARCHITECTURAL PROJECT MANUAL DIVISION 9 - FINISHES - 09900 PAINT.			
P-1	FIELD PAINT	MANUFACTURER: SHERWIN WILLIAMS COLOR: HIGH REFLECTIVE WHITE SW 7757 FINISH: SATIN (ALL APPLICATIONS) TYPE: SUPERPAINT REG PRIMER: ProMar 200. B28W12600.	SHERWIN WILLIAMS CONTACT: MELISSA MATTHEWS PHONE: 416-320-0157 E:MELISSA.MATTHEWS @SHERWIN.COM	REFER FINISHES PLAN FOR LOCATIONS. FINISH NOTED OR EQUIVALENT FOR OFFICE PARTITIONS APPLY; - 1 COAT LATEX PRIME-SEALER - 2 COATS INTERIOR LATEX, EGGSHELL
P-2	DOOR & DOOR FRAME PAINT	MANUFACTURER: SHERWIN WILLIAMS COLOR: DOVETAIL SW7018 FINISH: SATIN (ALL APPLICATIONS) TYPE: SUPERPAINT REG PRIMER: ProMar 200. B28W12600. PRIMER SI TO BE TINTED TO P5 GREY		REFER TO FINISHES PLAN. FINISH NOTED OR EQUIVALENT
P-3	ACCENT PAINT	MANUFACTURER: SHERWIN WILLIAMS COLOR: SW6244 NAVAL FINISH: SATIN (ALL APPLICATIONS) TYPE: SUPERPAINT REG PRIMER: ProMar 200. B28W12600. PRIMER SI TO BE TINTED TO P5 GREY		REFER TO FINISHES PLAN. FINISH NOTED OR EQUIVALENT
TRANSITION STRIP	GENERAL NOTES - 1 SAMPLE TO BE SUBMITTED TO INTERIOR DESIGNER FOR REVIEW PRIOR TO ORDERING / APPLICATION / MANUFACTURING / FABRICATION.			
TRAN	TRANSITION STRIP	METAL FLOOR TRANSITION STRIP BETWEEN: LINOLEUM TO CARPET TILE TO CARPET EXTERIOR TO CARPET STYLES.	SCHLUTER SYSTEM OR EQUIVALENT	TRADE TO VERIFY APPROPRIATENESS OF TRANSITION AND REPLACE WHERE REQUIRED. EXISTING/GOOD CONDITION TO REUSE/REMAIN. REFER TO FINISHES PLAN FOR LOCATIONS
MILLWORK	GENERAL NOTES - 2 SAMPLES OF CURRENT STOCK OF ALL MILLWORK MATERIAL TO BE SUBMITTED TO INTERIOR DESIGNER FOR REVIEW PRIOR TO ORDERING. - PROVIDE ANY & ALL ALTERNATE SAMPLES TO DESIGNER FOR REVIEW AND APPROVAL			
SS-1	SOLID SURFACE	SOLID SURFACE CARBONE MARMO 9914SS	WILSONART	REFUEL STATION COUNTERTOPS. REFER TO INTERIOR ELEVATIONS FOR LOCATIONS. *SEPARATE PRICE FOR WASHROOM COUNTERTOP*
PL-1	PLASTIC LAMINATE	7850 BEIGEWOOD LAMINATE 60 MATTE	WILSONART CONTACT: SHERRIE BECKFORD MOBILE: E: BECKFOS@WILSONART.COM	REFUEL STATION MILLWORK
ML-1	MELAMINE	COLOUR: WHITE FINISH: SATIN	WILSONART, FORMICA, OR SIMILAR	REFUEL STATION MILLWORK (INTERIOR)
PULL-1	CABINET HARDWARE	LINEAR PULL FINISH: MATTE BLACK SIZE: 128MM CC, 1-1/16" HEIGHT	BERENSON HARDWARE OR SIMILAR	REFUEL STATION MILLWORK
CORNER CAB	SMART CORNER CABINET UNIT	SMART CORNER CABINET SIZE: 19.25"D X 33-5/16"W X 22-3/8"H	BERENSON HARDWARE OR MARATHON HARDWARE OR SIMILAR	REFUEL STATION CORNER STORAGE UNIT MILLWORK
CEILING	GENERAL NOTES - (1) SAMPLES OF EACH CEILING TILE TO BE SUBMITTED TO INTERIOR DESIGNER FOR REVIEW PRIOR TO ORDERING / APPLICATION / MANUFACTURING / FABRICATION.			
CEILING TILE	GENERAL CEILING TILE	TBC BY LL ROCKFON KORAL (NRC .85) SIZE: 24"X24"X5/8" SQUARE LAYIN GRID STYLE 1100 ITEM NUMBER	WILSONART CONTACT: SHERRIE BECKFORD MOBILE: E: BECKFOS@WILSONART.COM	REFUEL STATION MILLWORK

FINISHES PLAN LEGEND & SYMBOLS

SYMBOL	DESCRIPTION
TRAN	FLOOR FINISH TRANSITION REFERENCE
FLOORING DIRECTION	FLOOR FINISH INSTALL DIRECTION
FLOOR / BASE	FLOOR FINISH AND WALL BASE TYPE
XX	WALL FINISH
GFF-1	GLASS FILM FINISH
	MONOLITHIC PATTERN - CARPET INSTALLATION
	LINOLIUM SHEET INSTALLATION
	STACKED PATTERN - TILE INSTALLATION
CG	CORNER GUARD
TB-1	ACOUSTIC TACKABLE WALL COVERING

FINISHES PLAN GENERAL NOTES

1. FLOORING CONTRACTOR IS TO MAKE GOOD ALL AREAS TO RECEIVE NEW FLOOR FINISHES.
2. CONCRETE SLAB TO BE CLEAN, SOUND AND LEVEL PRIOR TO INSTALLATION OF FLOOR FINISHES.
3. SURFACES TO RECEIVE NEW CARPET SHALL BE DRY AND CLEAN AND FREE OF RIDGES AND DUST.
4. EXCEPT WHERE CARPET EXTENDS UNDER PARTITIONS, INSTALL CARPET AFTER ALL THE FINISHING TRADES HAVE COMPLETED THEIR WORK OR AS SCHEDULE SHOWS.
5. WHERE CARPET IS JOINED OR TERMINATED AT DOORWAYS, LOCATE THE SEAM OR TERMINATION UNDER THE DOOR IN ITS CLOSED POSITION.
6. FLOORING CONTRACTOR TO INSTALL NEW FLOORING AS PER MANUFACTURERS INSTRUCTIONS.
7. THIS DRAWING TO BE READ IN CONJUNCTION WITH ALL FLOOR FINISHES SPECIFICATIONS, EXECUTION AND INSTALLATION GUIDES PROVIDED IN MANUFACTURERS' DOCUMENTATION.
8. INSTALLER TO ENSURE SMOOTH LEVEL TRANSITIONS BETWEEN DIFFERENT FLOORING.
9. TILES SHOULD BE LAID ALL IN ONE DIRECTION TO OBTAIN UNIFORM AFFECT- ABRUPT VARIATION WILL NOT BE ACCEPTABLE.
10. INSTALL EDGE STRIPS AT UNPROTECTED OR EXPOSED EDGES WHERE FLOORING TERMINATES.
11. PROVIDE MANUFACTURERS MAINTENANCE AND PERFORMANCE DATA FOR ALL FINISHES TO THE DESIGNER AT COMPLETION OF PROJECT.
12. FLOOR FINISHES SHALL EXTEND UNDER ALL RADIATORS/CONVECTORS AND NEW MILLWORK UNITS WHERE APPLICABLE.
13. PAINTING CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOUR, EQUIPMENT AND SERVICES AS NECESSARY FOR A SOLID INSTALLATION TO COMPLETE WORK AS INDICATED ON ENCLOSED PLANS.
14. DELIVER ALL PAINT TO SITE IN MANUFACTURERS LABELED AND SEALED CONTAINERS. LABELS SHALL GIVE MANUFACTURERS NAME, BRAND, BATCH NUMBER, COLOUR OF PAINT WITH PRINTED INSTRUCTIONS TO REDUCING, THIN ONLY IN ACCORDANCE WITH PRINTED INSTRUCTIONS OF THE MANUFACTURER.
15. STORE ALL MATERIALS ON SITE, IN SPACES AS DESIGNATED BY BUILDING MANAGER. SUCH STORAGE PLACE SHALL BE KEPT CLEAN. REMOVE ANY OILY RAGS, WASTE ETC. FROM THE BUILDING EVERY NIGHT TO TAKE EVERY PRECAUTION TO AVOID THE DANGER OF FIRE. IN NO CASE SHALL AMOUNT OF MATERIALS STORED EXCEED THAT PERMITTED BY LOCAL LAW.
16. ALL SURFACES FOR PAINT FINISH SHALL BE SANDED, FILLED, SANDED SMOOTH AND PREPARED AS REQUIRED TO ACCEPT ONE COAT PRIMER AND 2 COATS PAINT FINISH.
17. PAINTING CONTRACTOR CONFIRM ALL COLOURS, FINISHES AND MATERIALS SPECIFIED.
18. PAINTING CONTRACTOR SHALL PREPARE A $\frac{81}{2}$"X11" PULL DOWN OF EACH PAINT COLOUR SPECIFIED FOR APPROVAL BY DESIGN CONSULTANT PRIOR TO PROCEEDING WITH THE WORK.
19. ALL MATERIALS TO HAVE A FLAME SPREAD RATING AS REQUIRED BY THE LOCAL BUILDING CODE. CONTRACTOR TO PROVIDE FLAME SPREAD RATING FOR ANY APPROVED ALTERNATIVES.
21. PRIOR TO PREPARATION OF WALL TO ACCEPT NEW FINISHES, REMOVE COVER PLATES, SURFACE HARDWARE, ETC. AND REINSTALL IN SATISFACTORY CONDITION UPON COMPLETION.
22. PAINT ONLY WHEN SURFACES ARE CLEAN, DRY, AND SMOOTH. EACH COAT OF PAINT SHALL BE WALL BRUSHED ON, WORKED EVENLY AND ALLOWED TO DRY AT LEAST 24 HOURS PRIOR TO SUBSEQUENT COAT APPLICATION. ALWAYS FOLLOW MANUFACTURER'S INSTRUCTION.
23. FINISHED WORK SHALL BE UNIFORM, OF APPROVED COLOUR, SMOOTH AND FREE FROM RUNS, SAGS, CLOGGING OR EXCESS FLOODING. MAKE EDGE OF PAINT ADJOINING OTHER MATERIALS OR COLOURS, SHARP AND CLEAN WITHOUT OVERLAPPING. WHERE GLOSS ENAMEL IS USED, LIGHTLY SAND UNDERCOAT TO OBTAIN A SMOOTH FINISH.
24. AT COMPLETION, TOUCH-UP AND RESTORE SURFACES WHERE DAMAGED, AND LEAVE FINISHES SURFACES IN GOOD CONDITION.
25. ALL REVEALS TO BE PAINTED AS PER WALL FINISHES PLAN.
26. MAKE GOOD ALL AREAS AFFECTED BY DEMO AND PREPARE WALLS AND FLOORS TO RECEIVE NEW FINISHES.
27. PATCH AND REPAIR OR REPLACE CARPET TILES WHERE EXISTING SURFACE MOUNTED FLOOR MONUMENTS ARE REMOVED, CAPPED AND/OR DAMAGED AS A RESULT FROM FURNITURE REMOVAL.
28. ALL DOORS WITHIN SCOPE TO BE PREPARED AS REQUIRED TO RECEIVE NEW PAINT FINISH P-2. REFER TO DOOR SCHEDULE FOR DETAILS.
29. RETAIN FLOORING AND WALL BASE UNLESS OTHERWISE INDICATED.
30. SUPPLY AND INSTALL NEW SIGNAGE AND DOOR NUMBERING AS PER CLIENT STANDARDS.

FINISHES PLAN TYPICAL NOTES

1. APPLY P-1 PAINT FINISH THROUGHOUT SCOPE OF WORK UNLESS NOTED OTHERWISE.
2. PROVIDE NEW GFF-1 FILM ON GLAZED FRONTS (INSIDE FACE). REFER TO FINISHES SCHEDULE FOR SPECIFICATIONS. FILM TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR.
3. CONTRACTOR TO INCLUDE AN ALLOWANCE FOR NEW ROOM SIGNAGES AS PER IO STANDARD. REFER TO SCHEDULE FOR MORE DETAILS.
4. ENSURE THAT CRITICAL VERTICAL AND LATERAL HOLD-TO DIMENSIONS ARE MET TO ACCOMMODATE ARCHITECTURAL WALLS. ARCHITECTURAL WALLS TO BE SUPPLIED AND INSTALLED BY GC.
5. ALL VERTICAL AND LATERAL SURFACES AT OPENING FOR ARCHITECTURAL WALLS TO BE FINISHED DRYWALL READY TO RECEIVE NEW WALL FINISH. REFER TO FINISHES PLAN FOR DETAILS.
6.

FINISHES PLAN REFERENCED NOTES

1. SUPPLY AND INSTALL NEW ARCHITECTURAL GLAZED DOORS WITH SIDELITES. REFER TO ARCHITECTURAL WALL SYSTEM VENDOR SHOP DWG, DOOR SCHEDULE AND PARTITION TYPES.
2. INSTALL NEW WALL MOUNTED TV BRACKET. BRACKET AND TV TO BE SUPPLIED BY CLIENT AV CONSULTANT AND COORDINATED WITH CLIENT PROJECT MANAGER.
3. DRYWALL TO BE PREPARED TO A LEVEL 5 FINISH WHERE INDICATED ON THE DRAWINGS.
4. PROVIDE NEW GFF-1 FILM ON GLAZED FRONTS (INSIDE FACE). REFER TO FINISHES SCHEDULE FOR SPECIFICATIONS. FILM TO BE SUPPLIED AND INSTALLED BY CM.
5. RESERVED
6. NEW CARPET INSTALLATION TO TRANSITION TO TILES, LINOLEUM OR EXISTING BASE CORRIDOR FINISH.
7. INDICATED EXISTING DOOR AND FRAME TO BE PREPPED TO RECEIVE NEW PAINT BOTH SIDES. REFER TO DOOR SCHEDULE AS NOTED
8. **SEPARATE PRICE #1:** WASHROOM SCOPE - INSTALL NEW FLOOR TILE, TILE WALL BASE AND TO BE WALL PAINTED.

Key Plan

No	Revisions	Date
4	ISSUED FOR TENDER	20250527
3	ISSUED FOR 99% COORDINATION	20250414
2	ISSUED FOR PS COORDINATION	20250404
1	ISSUED FOR 66% COORDINATION	20250305

Orientation

Seal

The Contractor shall check and verify all dimensions and report all errors and omissions to the IO–Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A Detail No
B Sheet No where detailed

BGIS

Infrastructure Ontario

Ministry PSIF Number

Project
INTERIOR RENOVATION

Location
465 DAVIS DR. SUITE 301, NEWMARKET, ON L3Y 7T9

IO Project No 240256
Site No
Building No B25590

Client
INFRASTRUCTURE ONTARIO

Drawing Title
FINISHES PLAN

Scale 1:50
Project Start Date 20241122
Drawn by SY / DF
Substantial Performance Date 20251030
Designed by SY / DF
Approved by JC
Floor No F3
Drawing No ID202 of 14
CADD File NAME

594x841mm

REFLECTED CEILING PLAN LEGEND & SYMBOLS

SYMBOL	DESCRIPTION
N.I.C	AREA NOT IN CONTRACT
	EXISTING GYPSUM CEILING
	RE-INSTALL EXISTING ACOUSTIC CEILING TILES (ACT) AND EXISTING T-BAR CEILING TO REMAIN
SEPARATE PRICING: ALL NEW ACT TILES	
	NEW LED LIGHT FIXTURE
$	NEW LIGHT SWITCH 'D' - DENOTES DIMMER SWITCH
	NEW POWER POLE 'N' DENOTES NEW
N	RECESSED LED POT LIGHT FIXTURE 'N' DENOTES NEW REFER TO ELECTRICAL DRAWINGS FOR DETAILS
ACT (X) XXXX	DENOTES CEILING TYPE & HEIGHT ACT- ACOUSTICAL CEILING GRID AND TILE GWB- GYPSUM WALL BOARD (E)- EXISTING (N)- NEW
SP#	SEPARATE PRICE ITEM AREA

REFLECTED CEILING PLAN GENERAL NOTES

1. BASE BUILDING CEILING OUTSIDE SCOPE OF WORK TO REMAIN AS IS UNLESS NOTED OTHERWISE.
2. REFLECTED CEILING PLAN TO BE READ IN CONJUNCTION WITH MECHANICAL & ELECTRICAL DRAWINGS.
3. BLOCKING REQUIRED AT GYPSUM BOARD BULKHEAD AND AT ALL ARCHITECTURAL GLAZED PARTITIONS. REFER TO MANUFACTURER'S SPECIFICATIONS FOR MORE INFORMATION.
4. BASE BUILDING FIXTURES TO BE INSTALLED AT EXISTING JUNCTION BOX LOCATIONS WHERE POSSIBLE.
5. CONTRACTOR SHALL VERIFY THAT ACCESS PANELS OF TYPE SPECIFIED ARE INSTALLED IN NON-ACCESSIBLE CEILING TYPES WHERE SERVICE OR ADJUSTMENT TO MECHANICAL, PLUMBING, OR ELECTRICAL ITEMS MAY BE REQUIRED. ACCESS PANELS SHALL BE FIRE RATED TYPE EQUAL TO THE RATING OF THE CEILING IN WHICH THEY OCCUR. EXACT LOCATION TO BE COORDINATED WITH DESIGNER ON SITE.
6. CONTRACTOR TO REPLACE ALL DAMAGED, SOILED AND/OR DISCOLOURED CEILING TILES AND T-BAR AS REQUIRED. CONTRACTOR SHALL VERIFY QUANTITY AND ESTIMATE IN CONTRACT TO SUPPLY NEW AS REQUIRED TO MATCH EXISTING IN STYLE, COLOUR AND FINISH, UNLESS NOTED OTHERWISE.
7. WHERE EXISTING LAY-IN CEILING TO REMAIN, THE CONTRACTOR SHALL REPLACE ANY TILE THAT HAS BEEN DAMAGED, WITH MATERIALS THAT MATCH THE EXISTING FOR COLOUR, TEXTURE, PATTERN, ETC. IF UNIFORMITY CANNOT BE ACHIEVED, THE CONTRACTOR SHALL INFORM THE PM AND THE DESIGNER IMMEDIATELY AND PROVIDE SEPARATE PRICING TO REPLACE THE ENTIRE CEILING WITHIN THE SPACE WITH NEW MATERIAL.
8. SUPPORT ALL T-BAR CEILING MOUNTED DEVICES FROM T-BAR OR STRUCTURE ABOVE, NOT FROM CEILING TILES.
9. PROVIDE ALL FRAMING AND/OR BLOCKING AS REQUIRED IN THE CEILINGS TO ENSURE PROPER SECUREMENT OF ALL MATERIALS, EQUIPMENT, ACCESSORIES, ETC.
10. ALL LOCATIONS OF SWITCHES AND THERMOSTATS TO BE VERIFIED BY DESIGNER PRIOR TO INSTALLATION.
11. CONTRACTOR TO PROTECT ALL EXISTING AREAS DURING CONSTRUCTION FROM ANY DAMAGES.
12. ALL FIXTURES ARE TO BE REMOVED AND STORED FOR POSSIBLE FUTURE USE.
13. ALL LIGHT FIXTURES TO BE REMOVED AND NOT RE-USED AS PART OF NEW SCOPE OF WORK FOR THIS PROJECT, ARE TO BE CONFIRMED WITH THE OWNER ON HOW TO DISPOSE.
14. CONTRACTOR TO ENSURE ALL EXISTING LIGHT FIXTURES ARE PROPER WORKING ORDER AND RE-LAMP AS REQUIRED.
15. REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR SPECIFICATIONS OF SPRINKLER SYSTEM, EXIT SIGNS, LIGHTING CIRCUIT AND CONNECTIONS, WIRING, CONDUITS AND ELECTRICAL PANEL(S), AIR SUPPLY AND RETURN.
16. ALL GYPSUM BOARD CEILINGS AND BULKHEADS IN SCOPE TO RECEIVE PAINT FINISH IN CEILING WHITE, UNLESS NOTED OTHERWISE.
17. ANY DISCREPANCIES BETWEEN DESIGN AND ENGINEERING DRAWINGS TO BE REPORTED TO DESIGNER IMMEDIATELY.

REFLECTED CEILING PLAN REFERENCED NOTES

1 **SEPARATE PRICE #1:**
WASHROOM SCOPE - INSTALL NEW TIMER ON EXHAUST FAN WITH NEW CEILING TILES AND LIGHTS.

REFLECTED CEILING PLAN TYPICAL NOTES

1. EXISTING T-BAR CEILING GRID TO REMAIN AS IS UNLESS NOTED OTHERWISE. RE-INSTALL WITH GOOD CONDITION EXISTING CEILING TILES. REPLACE ACOUSTICAL CEILING TILES AFFECTED FROM REMOVAL OF WALLS,FIXTURES, ELECTRICAL EQUIPMENT AND/OR MECHANICAL EQUIPMENT THROUGHOUT. NEW CEILING TILE(S) TO MATCH EXISTING. GC TO COORDINATE WITH FACILITY MANAGER.
2. **SEPARATE PRICE #2:** GC TO SUPPLY AND INSTALL ALL NEW LIGHTS AND OCCUPANCY SENSORS. REFER TO ELECTRICAL DRAWINGS FOR DETAILS.
3. **SEPARATE PRICE #3:** REPLACE ALL NEW CEILING TILE. REFER TO FINISHES SCHEDULE. PENDING APPROVAL FROM LL.
4. EXIT SIGNS TO BE REPLACED WITH NEW CODE COMPLIANT RUNNING MAN / EXIT SIGN. PATCH AND REPAIR AREA IN CEILING AFFECTED BY CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR DETAILS.
5. PROVIDE CUT-OUT IN CEILING TILES TO ACCOMMODATE WIRING AND CABLING TO THE NEW FURNITURE POWER PAC POLE. REFER TO POWER & COMMUNICATIONS PLAN AND ELECTRICAL DRAWINGS FOR DETAILS.

Key Plan

No	Revisions	Date
4	ISSUED FOR TENDER	20250527
3	ISSUED FOR 99% COORDINATION	20250414
2	ISSUED FOR PS COORDINATION	20250404
1	ISSUED FOR 66% COORDINATION	20250305

Orientation

Seal

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A — Detail No
B — Sheet No where detailed

BGIS

Infrastructure Ontario

Ministry PSIF Number

Project
INTERIOR RENOVATION

Location
465 DAVIS DR. SUITE 301, NEWMARKET, ON L3Y 7T9

IO Project No: 240256
Site No:
Building No: B25590

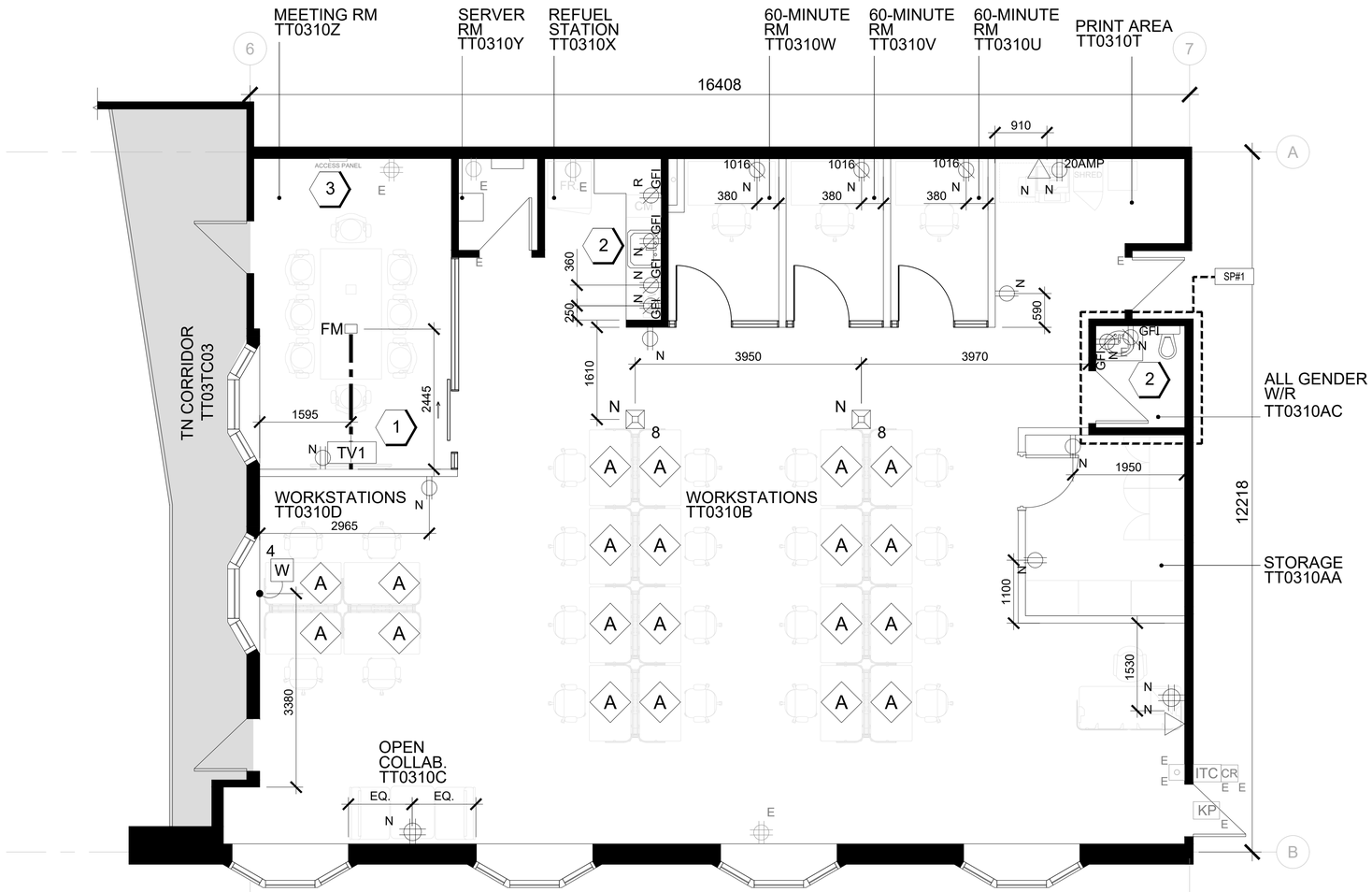
Client
INFRASTRUCTURE ONTARIO

Drawing Title
REFLECTED CEILING PLAN

Scale: 1:50
Project Start Date: 20241122
Drawn by: SY / DF
Substantial Performance Date: 20251030
Designed by: SY / DF
Drawing No: ID301 of 13
Approved by: JC
Floor No: F3

CADD File NAME

594x841mm



POWER & COMMUNICATION PLAN LEGEND & SYMBOLS

SYMBOL	DESCRIPTION
N.I.C	AREA NOT IN CONTRACT
	WALL MOUNTED DUPLEX OUTLET 'E' DENOTES EXISTING 'R' DENOTES REUSED 'N' DENOTES NEW
	WALL MOUNTED QUAD OUTLET 'E' DENOTES EXISTING 'N' DENOTES NEW
	WALL MOUNTED DATA OUTLET 'E' DENOTES EXISTING 'N' DENOTES NEW
	NEW POWER POLE FOR POWER, VOICE AND DATA FROM CEILING INTO FURNITURE SYSTEM FOR DIRECT CONNECTION TO FURNITURE SYSTEM. HARNESS TO BE SUPPLIED BY FURNITURE DEALER, HARDWIRE CONNECTION BY ELECTRICAL CONTRACTOR. '#' INDICATES THE NUMBER OF WORKSTATIONS TO BE SUPPLIED 'N' DENOTES NEW
A	DENOTES GROUP A - WORKSTATION OUTLETS GANGED TOGETHER AND MOUNT ON WORK SURFACE- THREE (3) SIMPLEX, ONE (1) DATA, ONE (1) USB-C POWER
KP	EXISTING KEYPAD LOCK DOOR HARDWARE TO REMAIN
ES	ELECTRIC STRIKE 'E' DENOTES EXISTING 'N' DENOTES NEW

SYMBOL	DESCRIPTION
ADO	NEW AUTOMATIC DOOR OPERATOR
TV1	SERVICES GROUPING FOR TELEVISION TYPICAL 48" AFF 1X DUPLEX 1X DATA @ 48"/1220mm AFF AND 1X HDMI 1X DUPLEX @ STANDARD HEIGHT NOTE: 2" CONDUIT C/W PULL STRINGS, FOR AV CABLING. TO RUN FROM SINGLE GANG BOX TO UNDERFLOOR RACEWAY.
FM	NEW IN-CARPET CONNECTRAC RACEWAY TO RECEIVE: ONE (1) DUPLEX, ONE (1) DATA, ONE (1) HDMI REFER TO CONSULTANT DRAWINGS FOR DETAILS
ITC	EXISTING INTERCOM / AUDIO CALLING SYSTEM TO REMAIN
	EXISTING TO REMAIN PUSH BUTTON (PUSH TO OPEN) 'E' DENOTES EXISTING (NOT FUNCTIONING) 'N' DENOTES NEW
W	NEW FURNITURE WHIP '#' INDICATES NUMBER OF STATIONS TO BE SUPPLIED.
CR	EXISTING CARD READER SUPPLIED TO REMAIN 'E' DENOTES EXISTING (NOT FUNCTIONING) 'N' DENOTES NEW
DC	DOOR CONTACT 'E' DENOTES EXISTING 'N' DENOTES NEW
SP#	SEPARATE PRICE ITEM AREA

POWER & COMMUNICATION PLAN GENERAL NOTES

1. REFER TO ELECTRICAL & MECHANICAL DRAWINGS. THEY ARE TO BE READ IN CONJUNCTION WITH THIS DRAWING AND ALL RELATED SPECIFICATIONS. CONTRACTOR TO INFORM THE DESIGNER IMMEDIATELY OF ANY DISCREPANCIES.
2. PROVIDE POWER AND DATA AS REQUIRED FOR ALL RELOCATED & NEW EQUIPMENT.
3. REFER TO CONSULTANTS DRAWINGS FOR LOCATION & QUANTITY OF NEW AND EXISTING OUTLETS.
4. ALL RELOCATED & NEW OUTLETS MOUNTING HEIGHT TO MATCH EXISTING UNLESS NOTED OTHERWISE. REFER TO CONSULTANT DRAWINGS.
5. WHERE AN EXISTING OUTLET IS REMOVED/ RELOCATED CONTRACTOR TO PATCH & REPAIR THE AFFECTED AREA AS REQUIRED.
6. DIMENSIONS SHOWN ON PLAN ARE FROM CENTRE OF OUTLETS. ALL DIMENSIONS ARE TAKEN FROM THE FACE OF FINISHES SURFACE UNLESS NOTED OTHERWISE.
7. PROVIDE ADEQUATE LENGTH OF DATA AND COMMUNICATIONS CABLE TO CONNECT THE EQUIPMENT FARTHEST FROM THE DATA/COMMUNICATIONS ENTRY POINT OF THE WORKSTATIONS GROUPING. MAKE TERMINATIONS AND CONNECT TO EQUIPMENT AFTER EQUIPMENT INSTALLATION.
8. FOR VOICE AND DATA CABLE FROM THE OUTLETS/POLES TO SYSTEMS FURNITURE, PROVIDE A LIQUID TIGHT FLEX C/W CONNECTORS TO MATCH THE FURNITURE BASE POWER IN CONNECTOR.
9. REFER TO FURNITURE SUPPLIER DRAWINGS FOR ACCURATE PLACEMENT OF FURNITURE PAC POLE(S), FURNITURE BLOCKS AND DIMENSIONS.
10. WHERE BASE-POWER-IN IS SPECIFIED ON THIS DRAWING, ALL TELEPHONE AND COMMUNICATIONS WILL BE INSTALLED THROUGH FURNITURE SYSTEM AND THEREFORE WILL REQUIRE EXTRA LENGTH OF CABLE.
11. REFER TO ELECTRICAL AND MECHANICAL CONSULTANT DRAWINGS FOR SPECIAL CONDITIONS, CIRCUITRY, THERMOSTATS, AND FIRE PROTECTION EQUIPMENT.
12. NOTE TO CONSULTING ENGINEERS: LOCATIONS FOR THERMOSTATS, DIFFUSERS, OUTLETS MUST BE VERIFIED WITH THE DESIGNER
13. ANY DISCREPANCIES OR DEVIATIONS MUST BE REPORTED TO THE PM AND THE DESIGNER IMMEDIATELY PRIOR TO INSTALLATION.
14. LOCATION OF POWER & COMMUNICATIONS OUTLETS FOR GENERAL PURPOSES ARE INDICATED ON THIS DRAWING, REFER TO ELECTRICAL CONSULTANT DRAWINGS FOR ALL CIRCUITRY AND SPECIAL OUTLET CONDITIONS, ETC.
15. ALL NEW POWER & COMMUNICATIONS OUTLETS TO BE LOCATED PRIOR TO CARPET INSTALLATION. INSTALL FLOOR MONUMENTS AFTER CARPET INSTALLATION.
16. ALL EXISTING AND NEW CAPPING OF POWER AND COMMUNICATION FLOOR OUTLETS TO BE FLUSH FILLED TO ACCEPT NEW FLOOR FINISH.
17. ANY WIRING (SWITCH, THERMOSTAT, TELEPHONE, ELECTRICAL OUTLET, ETC.) IN EXISTING WALLS THAT ARE DESIGNATED TO BE DEMOLISHED, ARE TO BE REMOVED AND/OR TERMINATED IN ACCORDANCE WITH THE LOCAL BUILDING CODE AND ELECTRICAL CODE.
18. ELECTRICAL CONTRACTOR SHALL ARRANGE AND COORDINATE ALL TEMPORARY POWER SHUT OFFS WITH BUILDING OWNER/TENANT.
19. OUTLETS SHALL BE GANGED TOGETHER WHEREVER POSSIBLE; PROVIDE MULTI-GANG FACE PLATES. IF NOT POSSIBLE, SPACING BETWEEN JUNCTION BOX SHALL BE 1".
20. BASE-POWER-IN SUPPLIED BY FURNITURE SUPPLIER BUT HARDWIRE CONNECTION AND ANY SPECIAL COVER PLATES BY ELECTRICAL CONTRACTOR.
21. ALL DATA AND CABLING TO BE COORDINATED BY CONSTRUCTION MANAGER.
22. ALL COVER PLATES TO BE SPECIFIED BY ENGINEER. COLOUR/FINISH: WHITE
23. LAYOUT ACCURATELY AND MARK CLEARLY THE LOCATIONS OF FLOOR FEED. OBTAIN DESIGNER'S APPROVAL OF LOCATION PRIOR TO INSTALLATION.
24. INSTALL COVER PLATES ON JUNCTION BOXES AT LOCATIONS WHERE EXISTING SERVICES AND CONTROLS HAVE BEEN REMOVED.
25. EXISTING SOUND MASKING SYSTEM IN THE CEILING TO REMAIN.

POWER & COMMUNICATION PLAN TYPICAL NOTES

1. REPAIR EXISTING DATA AND OUTLET AS REQUIRED. CONTRACTOR TO CHECK IF THE DATA OR POWER OUTLETS ARE FUNCTIONING. IF NOT, WIRES TO BE MADE SAFE AND INSTALL BLANK COVER PLATE.

POWER & COMMUNICATION PLAN REFERENCED NOTES

1. INSTALL NEW UNDER CARPET CONNECTRAC SYSTEM SOLUTION. FLOOR MONUMENT TO ALIGN WITH MEETING TABLE BASE. REFER ELECTRICAL DRAWINGS FOR DETAILS AND COORDINATE WITH FURNITURE VENDOR DRAWING.
2. **SEPARATE PRICE #1:** WASHROOM SCOPE - PROVIDE NEW GFI POWER OUTLETS TO ACCOMMODATE AUTOMATIC PLUG-IN TOUCHLESS FAUCET AND CONVENIENCE USE.

Key Plan

No	Revisions	Date
4	ISSUED FOR TENDER	20250527
3	ISSUED FOR 99% COORDINATION	20250414
2	ISSUED FOR PS COORDINATION	20250404
1	ISSUED FOR 66% COORDINATION	20250305

Orientation

Seal

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A — Detail No
B — Sheet No where detailed

BGIS

Infrastructure Ontario

Ministry PSIF Number

Project
INTERIOR RENOVATION

Location
465 DAVIS DR. SUITE 301, NEWMARKET, ON L3Y 7T9

IO Project No. 240256 | Site No | Building No. B25590

Client
INFRASTRUCTURE ONTARIO

Drawing Title
POWER & COMMUNICATION PLAN

Scale 1:50 | Project Start Date 20241122

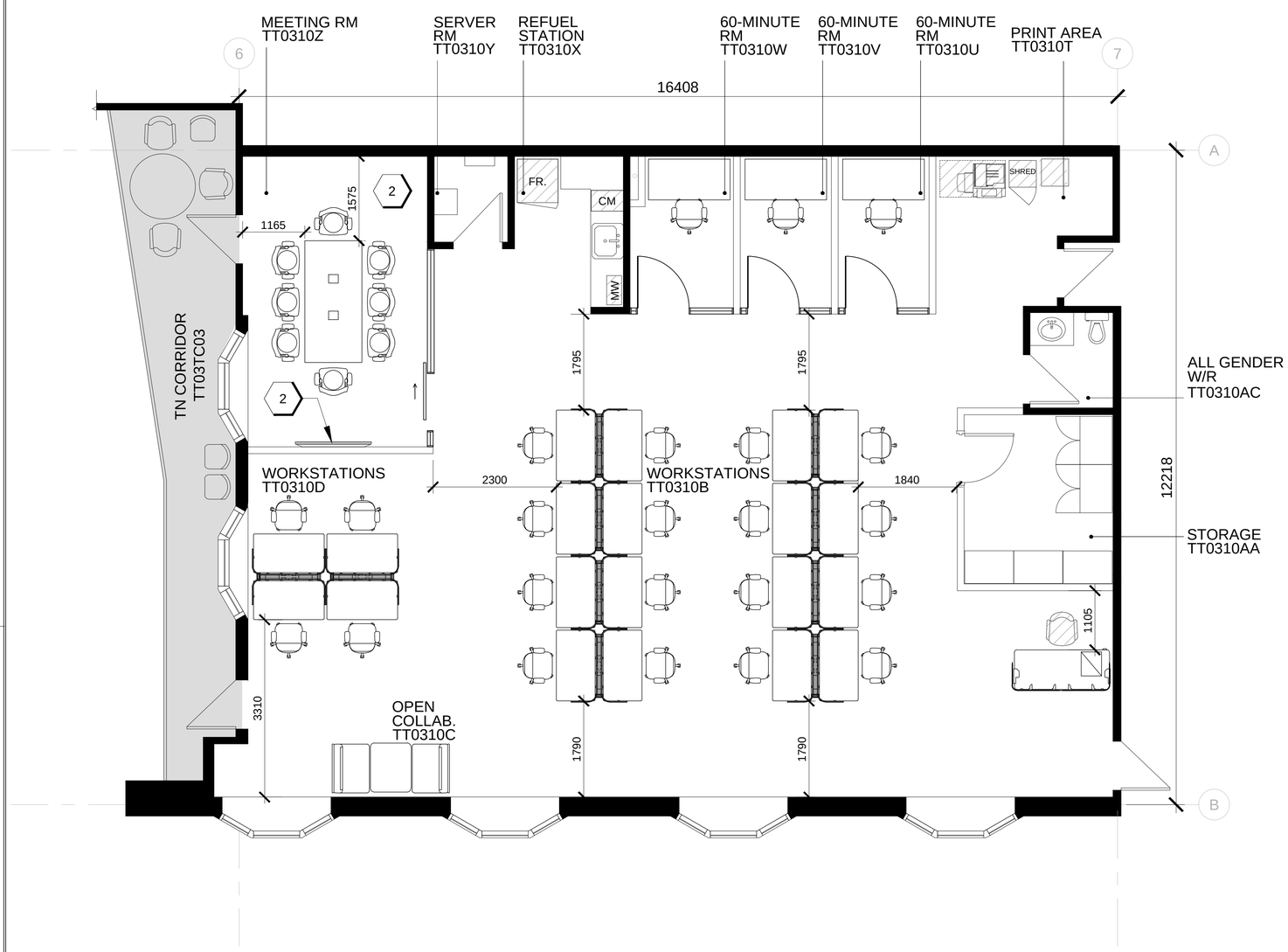
Drawn by SJ / DF | Substantial Performance Date 20251030

Designed by SJ / DF | Drawing No

Approved by JC | Floor No F3 | ID401 of 13

CADD File NAME

594x841mm

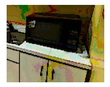


FURNITURE & EQUIPMENT SCHEDULE (NEW)

GENERAL NOTES :
1. ALL FURNITURE COLOR TAGS INDICATED BELOW REFERENCE THE OPS MODERN OFFICE SPACE STANDARDS VER.3.0 (OMOS) STANDARD. REFER TO EXCERPTS INCLUDED WITH TENDER SUBMISSION FOR ADDITIONAL DETAILS. INCLUDE ALL FURNITURE REQUIREMENTS AS DOCUMENTS ON STANDARD, UNLESS NOTED OTHERWISE.
2. INCLUDE ALL FURNITURE COMPONENTS REQUIRED TO COMPLETE THE FURNITURE LAYOUTS PROVIDED. FINAL SOLUTIONS MAY DIFFER FROM THE FURNITURE PLAN PROVIDED TO MEET SITE-SPECIFIC CONDITIONS, SAVINGS, DESIGN CONSIDERATIONS, ETC.
3. VARIATIONS FROM THE OMOS STANDARD DOCUMENT OR FURNITURE PLAN PROVIDED TO BE HIGHLIGHTED AND CLEARLY INDICATED TO THE ATTENTION OF THE DESIGN CONSULTANT.
4. FURNITURE VOR TO PROVIDE A LIST OF COLOR, FINISH AND FABRIC OPTIONS, INCLUDING FINISH GRADE LEVEL THAT WILL BE AVAILABLE TO MEET THE ASSIGNMENT DEADLINE.
5. FURNITURE VOR TO PROVIDE AT LEAST (1) PHYSICAL SAMPLES OF ALL APPLICABLE FURNITURE FINISHES TO THE ATTENTION OF THE DESIGN CONSULTANT AT THE FOLLOWING ADDRESS: 4175 14TH AVE. MARKHAM ON L3J 0J2 PRIOR TO ORDER ENTRY.
6. INSTALL BY FURNITURE VENDOR AND TO BE COORDINATED BY GC

CODE	ITEM	QUANTITY	DIMENSION	OMOS PG REFER.
FU-N1	WORKSTATION - TYPE A	1	REFER TO ATTACHED FURNITURE INSTRUCTION	
FU-N2	WORKSTATION - TYPE E	20	REFER TO ATTACHED FURNITURE INSTRUCTION	
FU-N3	TASK CHAIR	23	-	
FU-N4	60 MIN ROOM TYPE A HEIGHT ADJUSTABLE DESK	3	60"W X 30" D	
FU-N5	MEDIUM MEETING ROOM TYPE C MEETING TABLE	1	90"X 42" D	
FU-N6	MEETING CHAIR	8	-	
FU-N7	COLLAB FURNITURE C1	1	REFER TO ATTACHED FURNITURE INSTRUCTION	
FU-N8	STORAGE - LATERAL FILING LOCKING CABINETS X2, - OPEN SHELF WITH ADJ, SHELVES X 3	5	36"W X 24"D	
FU-NX	LOCKERS (TBC)			
EQ-N1	TV AND WALL MOUNTING BRACKET (TBA BY CLIENT)	1	-	

FURNITURE & EQUIPMENT SCHEDULE (EXISTING)

CODE	ITEM	SPECIFICATIONS	QUANTITY	REFERENCE PHOTO
FU-E1	TASK CHAIR	-	1	
FU-E2	SECURED RECYCLE BIN	-	1	
EQ-E1	MICROWAVE PROPOSE NEW*	21.5"W X 11"D X 13"H	1	
EQ-E2	COFFEE MACHINE	-	1	
EQ-E3	MULTI-FUNCTIONAL PRINTER	48"W X 27"D X 48"H MODEL RICOH MP 5054 SERIAL #: G186R920849	1	
EQ-E4	FRIDGE	32"D X 30" W X 66.5H	1	
EQ-N5	SHREDDER	-	1	

FURNITURE PLAN LEGEND & SYMBOLS

SYMBOL	DESCRIPTION
N.I.C	AREA NOT IN CONTRACT
	EXISTING RELOCATED FURNITURE & EQUIPMENT
	NEW FURNITURE

FURNITURE PLAN GENERAL NOTES

1. COORDINATE WITH PROJECT MANAGER FOR REMOVING/RELOCATING/LOCATING ALL NEW AND EXISTING FF&E.
2. CONTRACTOR TO PROTECT ALL EXISTING FURNITURE, FIXTURE AND EQUIPMENT FROM ANY DAMAGE DURING CONSTRUCTION.
3. WHERE EXISTING FF&E IS BEING REUSED OR RELOCATED, PROJECT MANAGER AND/OR BGIS RELOCATION SERVICES TO STORE THEM IN A SAFE PLACE AND TO PROTECT THEM AGAINST ANY DAMAGE.
4. PROJECT MANAGER TO CONFIRM THE QUANTITY AND TYPE OF ALL RELOCATED FF&E.
5. ALL STORAGE AND LOCKERS TO BE LEVELED HIGH TO ACCOMMODATE FLOOR MONUMENT CLEARANCE. MUST NOT SIT DIRECTLY ON FLOOR MONUMENT.
6. COORDINATE WITH CONSTRUCTION MANAGER FOR RELOCATION OF FURNITURE.
7. FURNITURE VENDOR(S) TO REFERENCE THE FURNITURE PLAN IN CONJUNCTION WITH THE POWER AND COMMUNICATION PLAN AND THE FINISHES PLAN TO DETERMINE THE APPROPRIATE PRODUCT SPECIFICATIONS AND APPLICATIONS.
8. ALL FURNITURE CODES INDICATED REFERENCES THE OPS MODERN OFFICE SPACE STANDARDS VER.3.0 (OMOS) STANDARD. REFER TO EXCERPTS INCLUDED WITH TENDER SUBMISSION FOR ADDITIONAL DETAILS. INCLUDE ALL FURNITURE REQUIREMENTS AS DOCUMENTS ON STANDARD, UNLESS NOTED OTHERWISE.
9. INCLUDE ALL FURNITURE COMPONENTS REQUIRED TO COMPLETE THE FURNITURE LAYOUTS PROVIDED. FINAL SOLUTIONS MAY DIFFER FROM THE FURNITURE PLAN PROVIDED TO MEET SITE-SPECIFIC CONDITIONS, SAVINGS, DESIGN CONSIDERATIONS, ETC.
10. VARIATIONS FROM THE OMOS STANDARD DOCUMENT OR FURNITURE PLAN PROVIDED TO BE HIGHLIGHTED AND CLEARLY INDICATED TO THE ATTENTION OF THE DESIGN CONSULTANT.
11. FURNITURE VOR TO PROVIDE A LIST OF COLOR, FINISH AND FABRIC OPTIONS, INCLUDING FINISH GRADE LEVEL THAT WILL BE AVAILABLE TO MEET THE ASSIGNMENT DEADLINE.
12. FURNITURE VOR TO PROVIDE AT LEAST (1) PHYSICAL SAMPLES OF ALL APPLICABLE FURNITURE FINISHES TO THE ATTENTION OF THE DESIGN CONSULTANT AT THE FOLLOWING ADDRESS: 4175 14TH AVE. MARKHAM ON L3J 0J2 PRIOR TO ORDER ENTRY.

FURNITURE PLAN REFERENCED NOTES

1. RESERVED
2. CLIENT TO PROVIDE NEW WALL MOUNTED TV MONITORS WITH TV BRACKET. GC TO COORDINATE TO INSTALL WITH CLIENT AV CONSULTANT.

FURNITURE PLAN TYPICAL NOTES

1. FURNITURE VENDOR TO ENSURE ALL NEW FURNITURE IS LEVELED AND CLEARANCE TO FURNITURE FEED/ELECTRICAL ACCESS TO FURNITURE IS PROVIDED WHERE REQUIRED. REFER TO POWER & COMMUNICATIONS PLAN & ELECTRICAL DRAWINGS FOR DETAILS.
2. REFER TO FURNITURE SCHEDULE FOR NEW AND EXISTING FURNITURE DETAILS.

Key Plan

No	Revisions	Date
4	ISSUED FOR TENDER	20250527
3	ISSUED FOR 99% COORDINATION	20250414
2	ISSUED FOR PS COORDINATION	20250404
1	ISSUED FOR 66% COORDINATION	20250305

Orientation

Seal

The Contractor shall check and verify all dimensions and report all errors and omissions to the IO-Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A Detail No
B Sheet No where detailed

BGIS

Infrastructure Ontario

Ministry PSIF Number

Project
INTERIOR RENOVATION

Location
465 DAVIS DR. SUITE 301, NEWMARKET, ON L3Y 7T9

IO Project No 240256 | Site No | Building No B25590

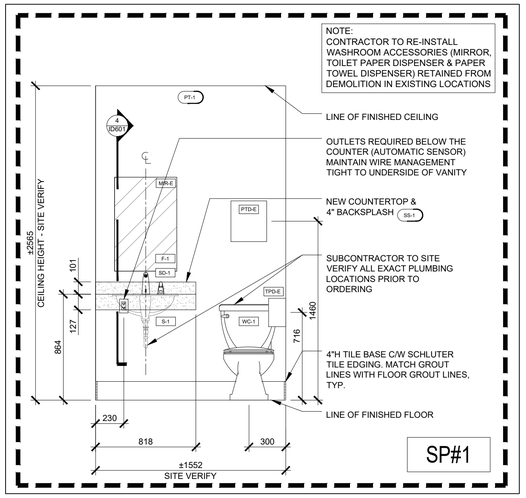
Client
INFRASTRUCTURE ONTARIO

Drawing Title
FURNITURE PLAN

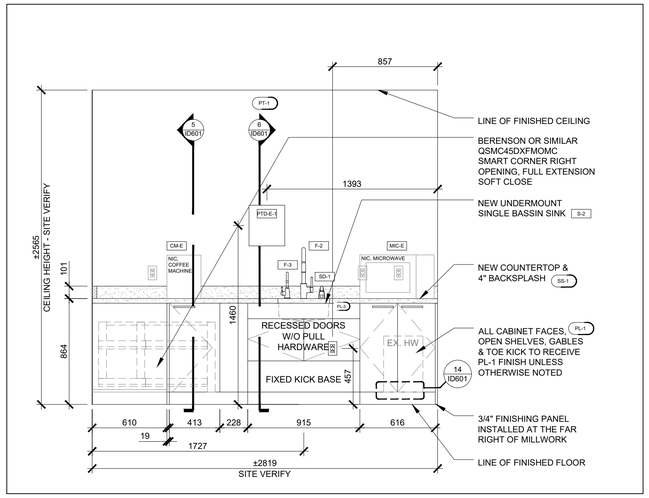
Scale 1:50
Project Start Date 20241122
Drawn by SY / DF
Substantial Performance Date 20251030
Designed by SY / DF
Approved by JC
Floor No F3
Drawing No ID501 of 13

CADD File NAME

594x841mm



1 ID601 SEPARATE PRICE: WASHROOM ELEVATION
SCALE: 1:25



2 ID601 KITCHENETTE SECTION (EAST VIEW)
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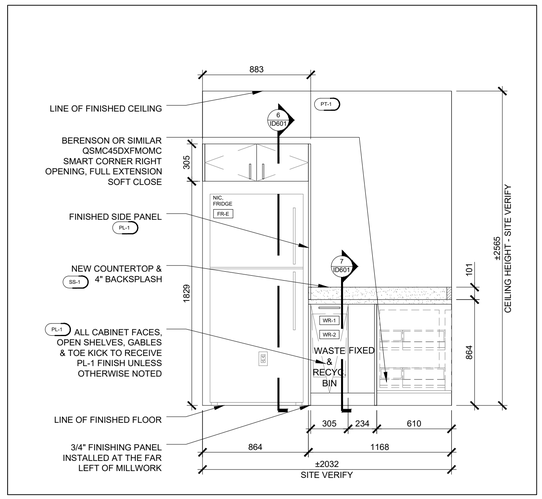

3 ID601 KITCHENETTE SECTION (NORTH VIEW)
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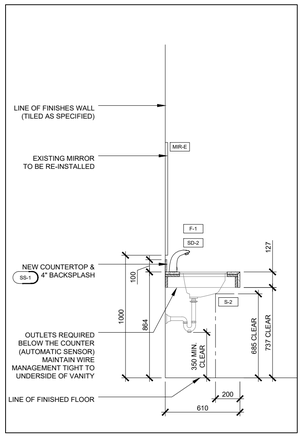

4 ID601 WASHROOM SINK SECTION
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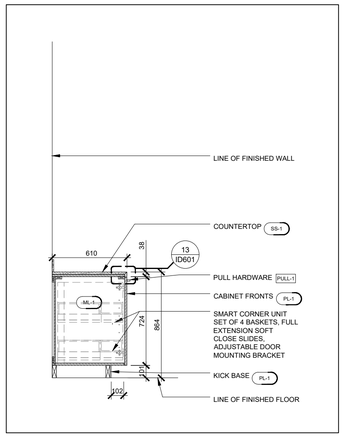

5 ID601 KITCHENETTE CAROUSEL SECTION
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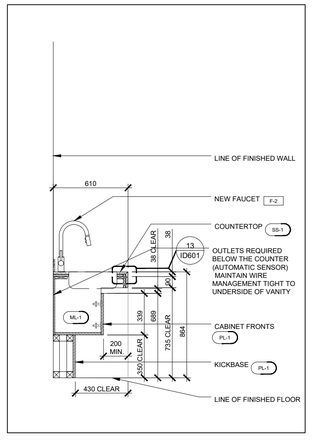

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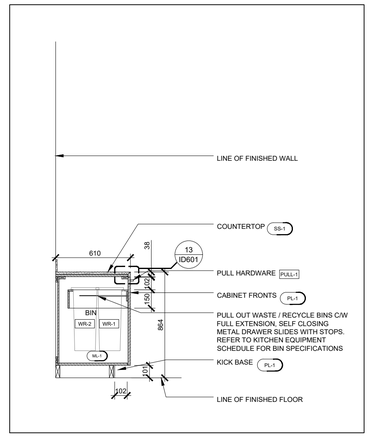

7 ID601 KITCHENETTE WASTE BIN SECTION
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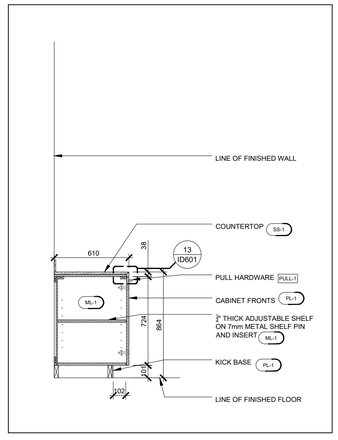

8 ID601 KITCHENETTE CABINET SECTION
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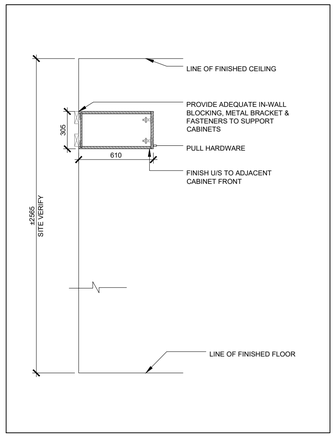

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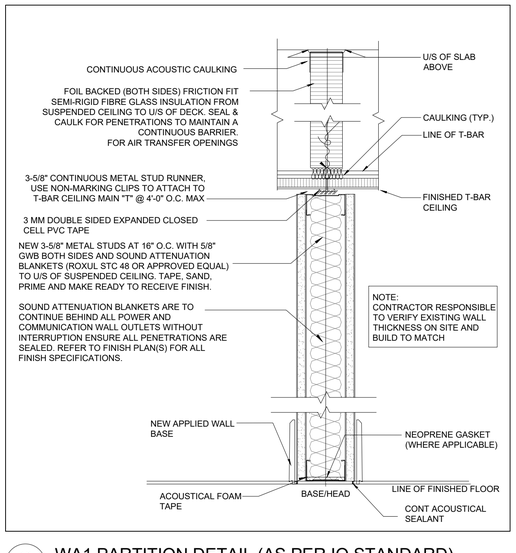

10 ID601 WA1 PARTITION DETAIL (AS PER IO STANDARD)
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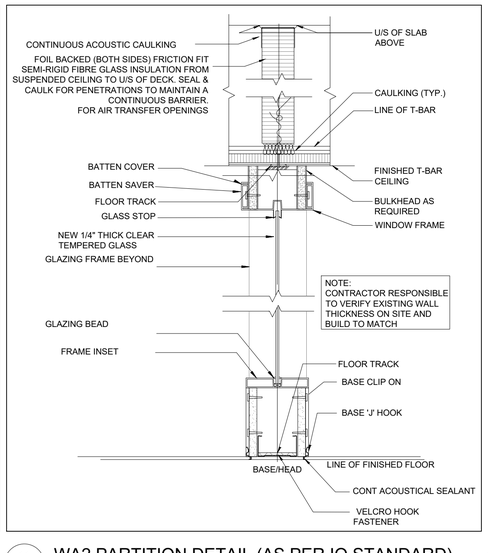

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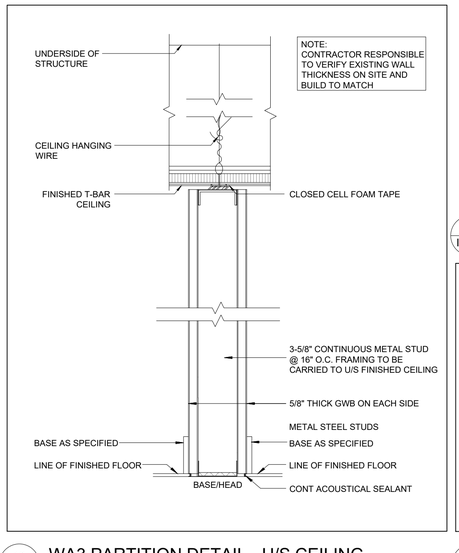

12 ID601 WA3 PARTITION DETAIL - U/S CEILING
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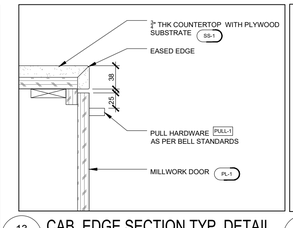

13 ID601 CAB. EDGE SECTION TYP. DETAIL
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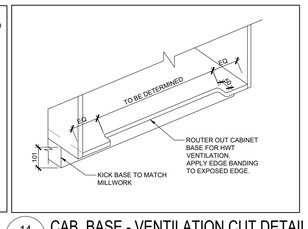
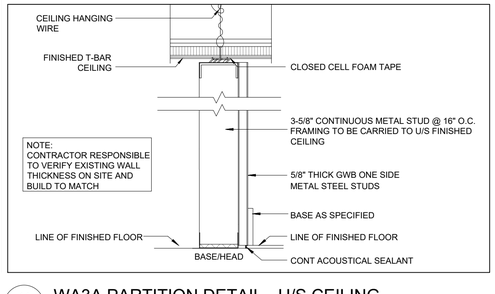


14 ID601 CAB. BASE - VENTILATION CUT DETAIL
SCALE: 1:15



14 ID601 WA3A PARTITION DETAIL - U/S CEILING
SCALE: 1:5

Key Plan

No	Revisions	Date
4	ISSUED FOR TENDER	20250527
3	ISSUED FOR 99% COORDINATION	20250414
2	PS COORDINATION	20250404
1	ISSUED FOR 66% COORDINATION	20250305

Orientation

Seal

The Contractor shall check and verify all dimensions and report all errors and omissions to the IO–Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A — Detail No
B — Sheet No where detailed

BGIS

Infrastructure Ontario

Ministry PSIF Number

Project
INTERIOR RENOVATION

Location
465 DAVIS DR. SUITE 301, NEWMARKET, ON L3Y 7T9

IO Project No: 240256
Site No:
Building No: B25590

Client
INFRASTRUCTURE ONTARIO

Drawing Title
INTERIOR ELEVATIONS SECTIONS & DETAILS

Scale: AS NOTED
Project Start Date: 20241122
Drawn by: SY / DF
Substantial Performance Date: 20251030
Designed by: SY / DF
Drawing No: ID601 of 13
Approved by: JC
Floor No: F3

CADD File NAME

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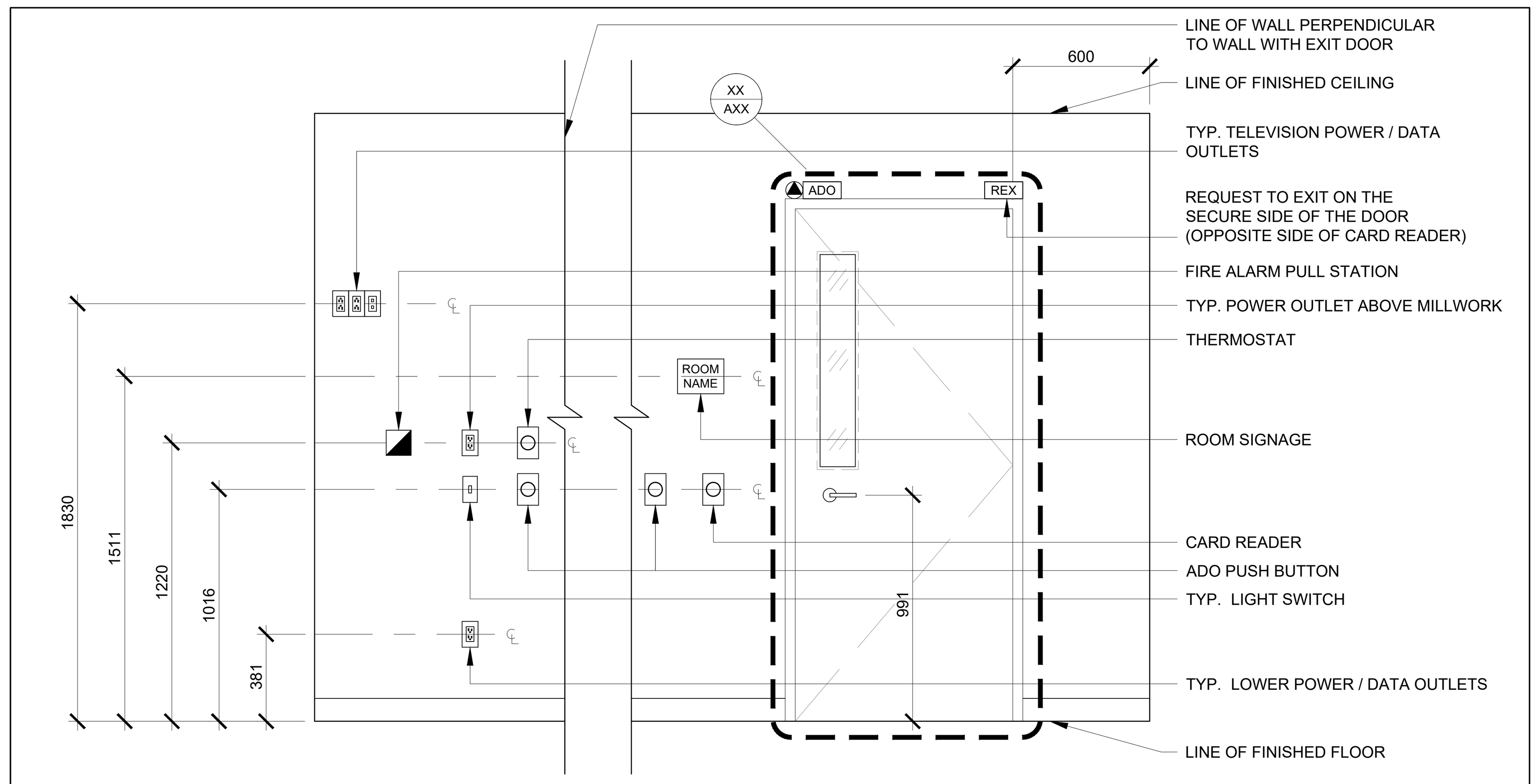
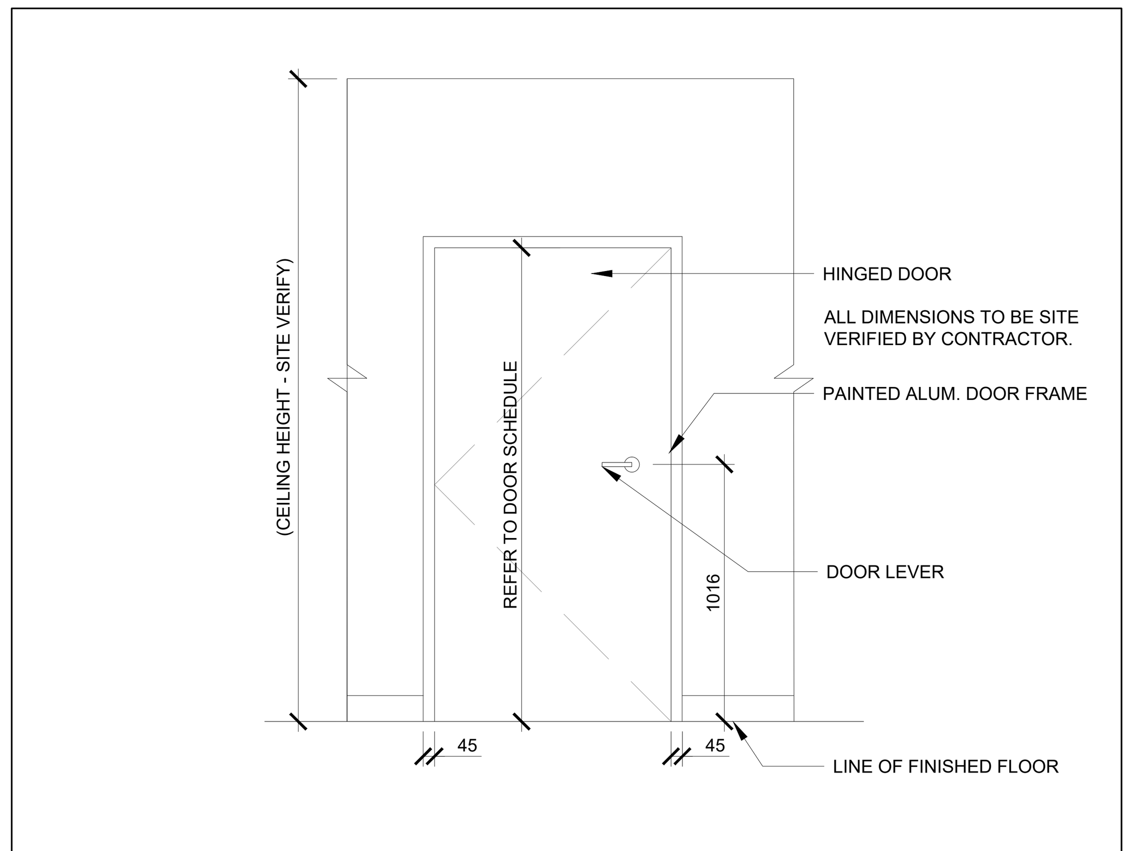
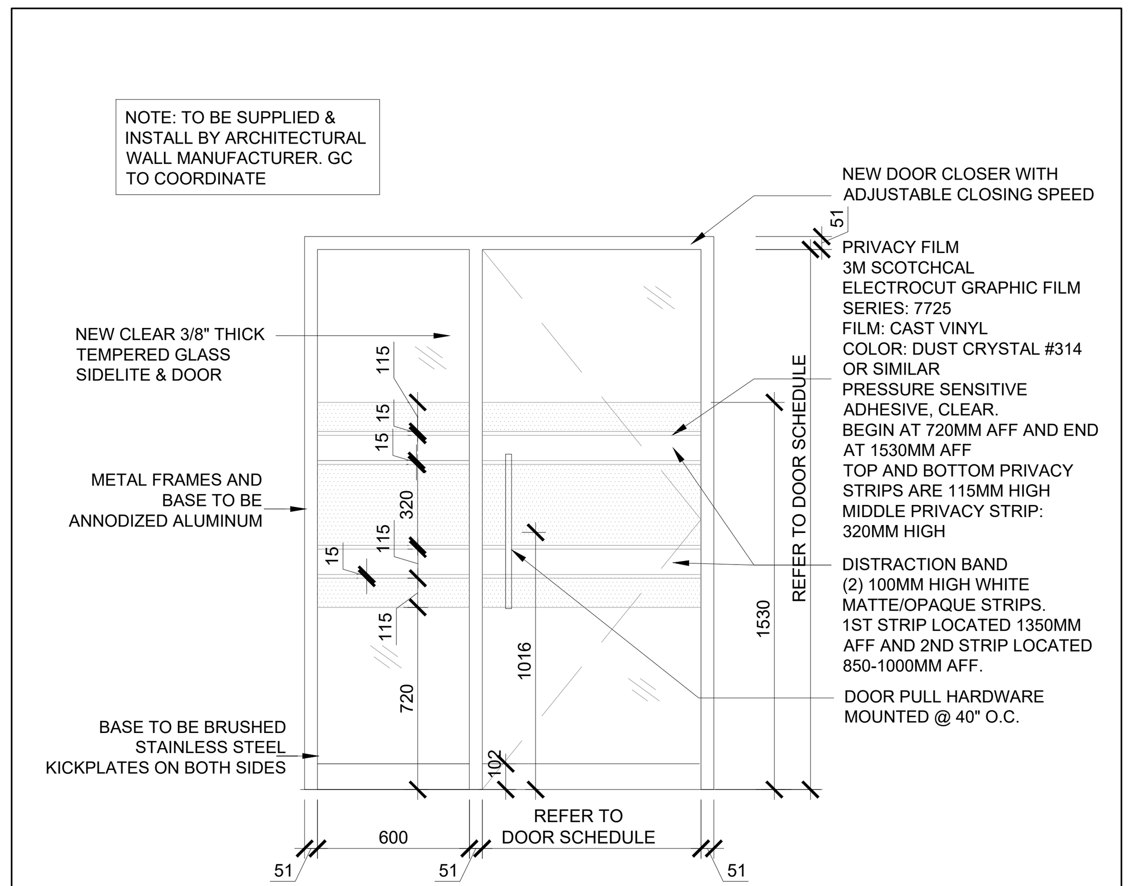


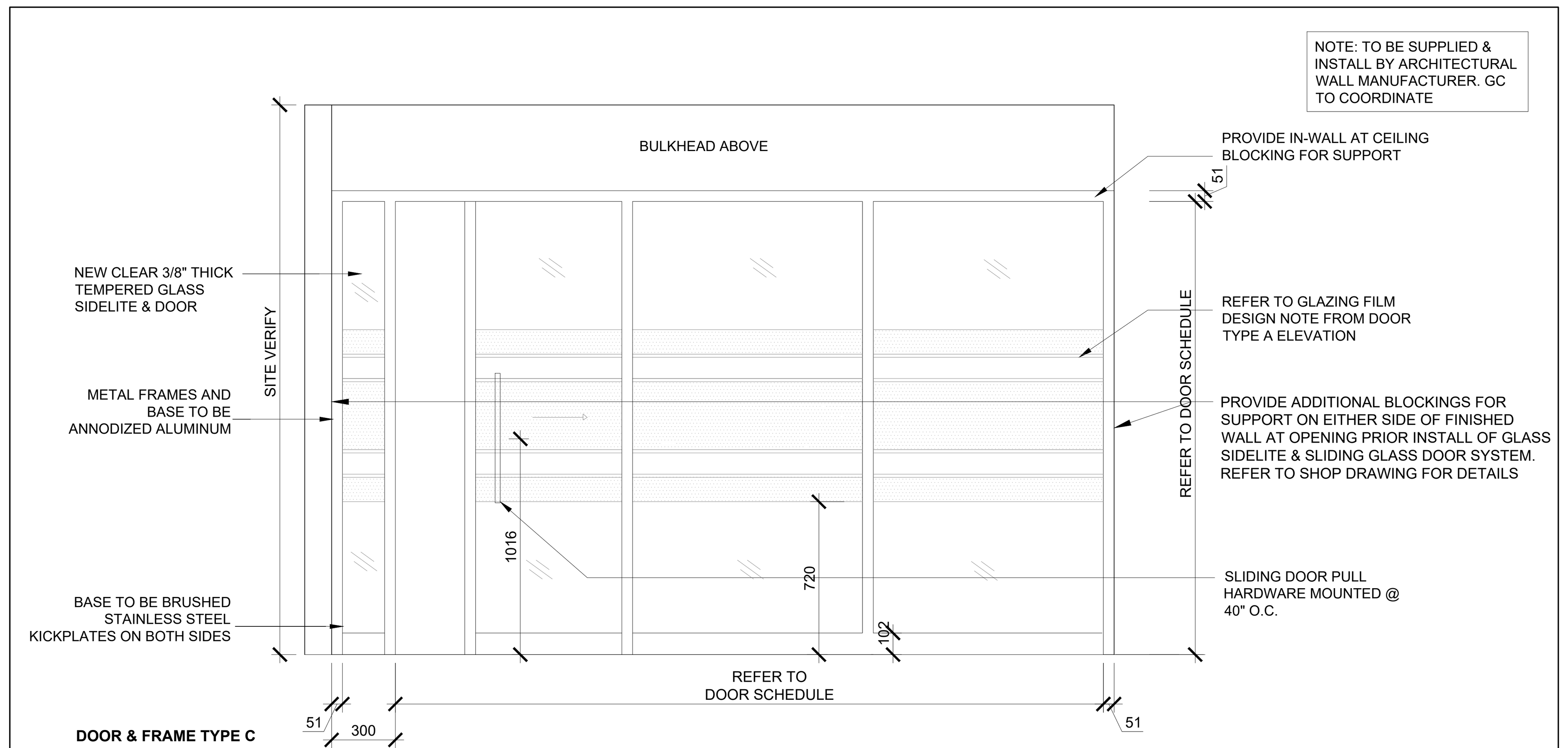
MOUNTING HEIGHT DIAGRAM



DOOR & FRAME TYPE A



DOOR & FRAME TYPE B



DOOR & FRAME TYPE C

DOOR SCHEDULE

DOOR NO.	ROOM NO.	ROOM NAME	DOOR SIZE WIDTH	DOOR SIZE HEIGHT	DOOR SIZE THICK	DOOR TYPE	DOOR MATERIAL	DOOR FINISH	DOOR GLAZING	FRAME TYPE	FRAME MATERIAL	FRAME FINISH	FIRE RATING	HARDWARE SET	REMARKS
NEW DOORS															
D310Z	TT0310Z	MEETING ROOM	3'-2" WIDE 865MM CLEAR OPENING	MATCH EXISTING ADJ. DOOR HT. (SITE VERIFY)	1-3/4"	C	AL/GL	AL/GL	YES	-	HM	PT	-	HARDWARE GROUP 2	REFER TO REFERENCE NOTES N3.N4, N6
D310W	TT0310W	60 MIN ROOM	3'-2" WIDE 865MM CLEAR OPENING	MATCH EXISTING ADJ. DOOR HT. (SITE VERIFY)	REFER TO ELEVATION	B	AL/GL	GL	YES	-	HM	PT	-	HARDWARE GROUP 1	REFER TO REFERENCE NOTES N2, N3, N4, N6
D310V	TT0310V	60 MIN ROOM	3'-2" WIDE 865MM CLEAR OPENING	MATCH EXISTING ADJ. DOOR HT. (SITE VERIFY)	REFER TO ELEVATION	B	AL/GL	GL	YES	-	HM	PT	-	HARDWARE GROUP 1	REFER TO REFERENCE NOTES N2, N3, N4, N6
D310U	TT0310U	60 MIN ROOM	3'-2" WIDE 865MM CLEAR OPENING	MATCH EXISTING ADJ. DOOR HT. (SITE VERIFY)	REFER TO ELEVATION	B	AL/GL	GL	YES	-	HM	PT	-	HARDWARE GROUP 1	REFER TO REFERENCE NOTES N2, N3, N4, N6
D310AA	TT0310AA	STORAGE	3'-2" WIDE 865MM CLEAR OPENING	MATCH EXISTING ADJ. DOOR HT. (SITE VERIFY)	REFER TO ELEVATION	A	WD	PT	NO	-	HM	PT	-	HARDWARE GROUP 4	REFER TO REFERENCE NOTES N5, N6
EXISTING DOORS															
E31103	TT0310T	ENTRY/ PRINT AREA	EX	EX	EX	EX	EX	PT	EX	EX	EX	PT	EX	EX	REFER TO REFERENCE NOTES N1, N2
E310AC	TT0310AC	ALL GENDER W/R	EX	EX	EX	EX	EX	PT	EX	EX	EX	PT	EX	EX	REFER TO REFERENCE NOTES N1, N2
E3TC02	TT0310B	ENTRY/ WORKSTATIONS	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	EX	REFER TO REFERENCE NOTE N2
E3TC03B	TT0310C	ENTRY/ OPEN COLLAB	EX	EX	EX	EX	EX	PT	EX	EX	EX	PT	EX	EX	REFER TO REFERENCE NOTES N1, N2
E3TC03A	TT0310Z	ENTRY/ MEETING RM	EX	EX	EX	EX	EX	PT	EX	EX	EX	PT	EX	EX	REFER TO REFERENCE NOTES N1, N2
E310Y	TT0310Y	SERVER ROOM	EX	EX	EX	EX	EX	PT	EX	EX	EX	PT	EX	EX	REFER TO REFERENCE NOTES N1, N2

NOTES

1. ALL EXISTING DOORS, DOOR FRAMES, AND HARDWARE TO REMAIN AS IS UNLESS NOTED OTHERWISE.
2. REFER TO MECHANICAL DRAWINGS FOR DOOR UNDERCUTS AND GRILLES.
3. COORDINATE AND REVIEW ALL SECURITY HARDWARE AND DEVICES WITH OWNER AS REQUIRED.
4. ALL EXISTING DOORS AND FRAMES IN SCOPE OF WORK TO BE MAINTAINED AND PROTECTED UNLESS OTHERWISE NOTED.
5. COORDINATE LOCATION OF HORIZONTAL DOOR STILES WITH EXIT DEVICES.
6. HARDWARE NOTED FOR CODE REQUIREMENTS ONLY.

DOOR AND SCREEN REFERENCED NOTES:

N1	ALL DOORS AND FRAMES TO BE PAINTED P2 UNLESS OTHERWISE NOTED. REFER TO FINISHES SCHEDULE FOR DETAIL
N2	FLOOR DOOR STOP TO BE FASTENED TO FLOOR AT THE EDGE OF OPEN DOOR TO STOP DOOR SWING AT 90 DEGREES
N3	INSTALL PC350 OR SIMILAR IO STANDARD OFFICE FRONTS SYSTEM. TO MATCH EXISTING SITE STYLE.
N4	NEW FILM TO BE APPLIED TO SIDELIGHT & GLAZING
N5	FLOOR DOOR STOP TO BE FASTENED TO FLOOR AT THE EDGE OF OPEN SLIDING DOOR TO STOP DOOR AT CLEAR OPENING
N6	NEW DOOR HEIGHT TO MATCH ADJACENT EXISTING DOOR HEIGHT. APPROXIMATE SIZE 1916MM H. GC TO SITE VERIFY AND MATCH.

HARDWARE GROUP REFERENCE LEGEND

HARDWARE GROUP 1 (OFFICE DOOR FRONTS)
- STANDARD HINGES
- OFFSET LADDER DOOR PULL - DORSET SERIES, BACK TO BACK MOUNTING FOR ALUMINUM DOOR BY PC350 OR SIMILAR
- PASSAGE FUNCTION
- DOOR STOP (FLOOR MOUNTED)
- DOOR CLOSER

HARDWARE GROUP 2 (MEETING ROOM)
- STANDARD SLIDING BARN DOOR TRACK BY PC350 OR OTHERS
- DUMMY PASSAGE FUNCTION
- OFFSET LADDER DOOR PULL - DORSET SERIES (OR SIMILAR) BACK TO BACK MOUNTING FOR ALUMINUM DOOR BY PC350 OR SIMILAR
- INTEGRATED DOOR STOP

HARDWARE GROUP 4 (STORAGE)
- STANDARD HINGES
- MORTISE STYLE PASSAGE SET
- DOOR STOP (FLOOR MOUNTED)

ABBREVIATION LEGEND	
AL	Anodized Aluminum
FH	Full height
N/A	Not Applicable
PT	Paint, Painted
SC	Solid Core
WD	Wood
GL	GLAZING

SCOPE OF WORK LEGEND

(shaded)	EXISTING DOOR TO REMAIN.
(blank)	INCLUDED IN SCOPE

WASHROOM EQUIPMENT SCHEDULE

GENERAL NOTES:
- REFER TO MECHANICAL CONSULTANT DRAWINGS FOR PLUMBING SPECIFICATIONS.
- SUB-TRADE AND THEIR TRADES ARE RESPONSIBLE FOR VERIFYING ALL SITE DIMENSIONS.
- SUB-TRADE TO VERIFY ALL QUANTITIES REQUIRED, TYPE, AND SPECIFICATION OF ALL FIXTURES, EQUIPMENT AND ACCESSORIES TO BE COORDINATED WITH PROJECT MANAGER.
- REFER TO CODE, ELEVATIONS AND DETAILS FOR MOUNTING HEIGHTS AND SUPPORT REQUIREMENTS.
- ALL EQUIPMENT MAY NOT BE SHOWN ON PLAN.

CODE	ITEM	SPECIFICATION	SUPPLIER / MANUFACTURER	REMARKS	QUANTITY
F-1	*SEPARATE PRICING* WASHROOM FAUCET	MODEL: SF-2400 SENSOR FAUCET FINISH: POLISHED CHROME ADA COMPLIANT HARDWIRED-POWERED	SLOAN OR EQUIVALENT	REFER TO WASHROOM ELEVATIONS DECK MOUNTED.	1
HK-1	*SEPARATE PRICING* UTILITY HOOK	MODEL: B-670 SIZE: 50mm x 50mm, 13mm HOOK FINISH: POLISHED STAINLESS STEEL	BOBRICK OR EQUIVALENT	REFER TO PARTITION PLAN & ELEVATION	1
MIR-E	MIRROR	EXISTING	PROVIDED BY CLIENT GC TO REINSTALL	REFER TO PARTITION PLAN & ELEVATION	1
S-1	*SEPARATE PRICING* UNDER-MOUNT SINK	MODEL: STUDIO, 0614.300 SIZE: 502mm(W) x 350mm(D) x 216mm(H) FINISH: WHITE VITREOUS CHINA ADA COMPLIANT	AMERICAN STANDARD OR EQUIVALENT	REFER TO PARTITION PLAN & ELEVATION	1
SD-1	*SEPARATE PRICING* COUNTER MOUNTED SOAP DISPENSER	MODEL: 401310 FINISH: CHROME HARDWIRED POWERED DECK PROVIDE REFILL BOTTLE	ONE SHOT DISPENSERS TECHNICAL CONCEPTS	REFER TO PARTITION PLAN & ELEVATION	1
TPD-E	TOILET PAPER DISPENSER	EXISTING	PROVIDED BY CLIENT GC TO REINSTALL	REFER TO PARTITION PLAN & ELEVATION	1
WC-1	*SEPARATE PRICING* TOILET	MODEL: CADET TWO PIECE- PRESSURE ASSIST 1.1 GPF/4.2 LPF CHAIR HEIGHT ELONGATED EVERCLEAN TOILET SIZE: 30.25" D X 20.5"W X 30.75 H COMBINATION BOWL, TANK SEAT: AMERICAN STANDARD #5503A00B TRANSITIONAL SLOW-CLOSE SOLID PLASTIC CLOSED FRONT SEAT WITH COVER. ADA COMPLIANT, WATERSENSE , HIGH EFFICIENCY, ULTRA LOW-CONSUMPTION	AMERICAN STANDARD	REFER TO PARTITION PLAN & ELEVATION	1
PTD-E	PAPER TOWEL DISPENSER	EXISTING	PROVIDED BY CLIENT GC TO REINSTALL	REFER TO ELEVATIONS.	1

SERVERY EQUIPMENT SCHEDULE

GENERAL NOTES:
- REFER TO MECHANICAL CONSULTANT DRAWINGS FOR PLUMBING SPECIFICATIONS.
- REFER TO ELECTRICAL CONSULTANT DRAWINGS FOR POWER SPECIFICATIONS.
- SUB-TRADE AND THEIR TRADES ARE RESPONSIBLE FOR VERIFYING ALL SITE DIMENSIONS.
- SUB-TRADE TO VERIFY ALL QUANTITIES REQUIRED, TYPE, AND SPECIFICATION OF ALL FIXTURES, EQUIPMENT AND ACCESSORIES TO BE COORDINATED WITH PROJECT MANAGER.
- REFER TO CODE, ELEVATIONS AND DETAILS FOR MOUNTING HEIGHTS AND SUPPORT REQUIREMENTS.
- ALL EQUIPMENT MAY NOT BE SHOWN ON PLAN.

CODE	ITEM	SPECIFICATION	SUPPLIER / MANUFACTURER	REMARKS	QUANTITY
F-2	KITCHEN FAUCET	MODEL: Crue® Touchless pull-down kitchen sink faucet with three function sprayhead K-22974 ADA COMPLIANT REQUIRE NONSWITCHED U/C OUTLET POLISHED CHROME	KOHLER OR AMERICAN STANDARD OR EQUIVALENT	REFER TO ELEVATIONS.	1
F-3	KITCHEN BEVERAGE FAUCET	MODEL: EVERPURE, EV997059 FINISH: BRUSHED NICKEL ADA COMPLIANT	PENTAIR OR EQUIVALENT	REFER TO ELEVATIONS.	1
PTD-E-1	PAPER TOWEL DISPENSER	EXISTING	PROVIDED BY CLIENT GC TO REINSTALL	REFER TO ELEVATIONS.	1
S-2	UNDER-MOUNT SINK	MODEL: LUSTERSTONE CLASSIC SS, ELUHAD211555 SIZE: 597mm x 664mm x 175mm FINISH: STAINLESS STEEL ADA COMPLIANT	ELKAY OR EQUIVALENT	REFER TO ELEVATIONS.	1
SD-1	COUNTER MOUNTED SOAP DISPENSER	MODEL: 401310 FINISH: CHROME HARDWIRED POWERED DECK PROVIDE REFILL BOTTLE	ONE SHOT DISPENSERS TECHNICAL CONCEPTS	REFER TO PARTITION PLAN & ELEVATION	1
WR-2	WASTE RECEPTACLE LOWER MILLWORK	MODEL: BILLI BOX - SINGLE 10 GAL PRODUCT CODE: 100861 BLACK 100860 BLUE SIZE: TBC COLOR: WR-2BL BLUE (RECYCLE) WR-2BK BLACK (WASTE) LABELING INCLUDED TO INDICATE WASTE, RECYCLING	BUSCH SYSTEMS OR EQUIVALENT	REFER TO SERVERY ELEVATIONS.	XX

Key Plan

No	Revisions	Date
4	ISSUED FOR TENDER	20250527
3	ISSUED FOR 99% COORDINATION	20250414
2	ISSUED FOR PS COORDINATION	20250404
1	ISSUED FOR 66% COORDINATION	20250305

Orientation

Seal

The Contractor shall check and verify all dimensions and report all errors and omissions to the IO-Owner's/MBS Designee (as applicable) for his/her written direction before proceeding with the Work.

A — A Detail No
B — B Sheet No where detailed

BGIS

Infrastructure Ontario

Ministry PSIF Number

Project: INTERIOR RENOVATION

Location: 465 DAVIS DR. SUITE 301, NEWMARKET, ON L3Y 7T9

IO Project No: 240256 | Site No: | Building No: B25590

Client: INFRASTRUCTURE ONTARIO

Drawing Title: DOOR SCHEDULES & DETAILS

Scale: AS NOTED | Project Start Date: 20241122

Drawn by: SY / DF | Substantial Performance Date: 20251030

Designed by: SY / DF | Drawing No: ID701 of 12

Approved by: JC | Floor No: F3

CADD File NAME

594x841mm